

## KEYNOTES

- 1 Excavate existing soil to prepare for new foundation; shore as required
- 2 Remove existing door and infill to match existing underpinning
- 3 Remove portion of existing fence
- 4 Remove existing stone steps and low planter walls
- 5 Prepare wall for new door; ref. structural
- 6 Existing 17" Southern Magnolia tree; protect during construction
- 7 Existing 15" Palm tree
- 8 Existing 24.5" Crape Myrtle tree to be removed
- 9 Remove / relocate existing water / gas meters

## DEMO PLAN NOTES

1. Refer to architectural drawings prior to demolition to understand the scope of work.
2. Re: sheet A1.01 for the architectural floor plan.
3. All existing electrical, plumbing and mechanical systems to be removed.
4. Contractor to take care protecting existing wood flooring while demolishing adjacent elements.
5. All existing glass panel windows to be removed and replaced.
6. Remove all ceiling finishes and insulation. Expose all structural framing and ceilings.

## LEGEND



SANDERS ARCHITECTURE

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# Sooch Residence

706 Oakland Ave.,  
Austin, Tx 78703

## Historic Review

October 14, 2022

Drawn by: CG,MC,EK

Checked by: CS

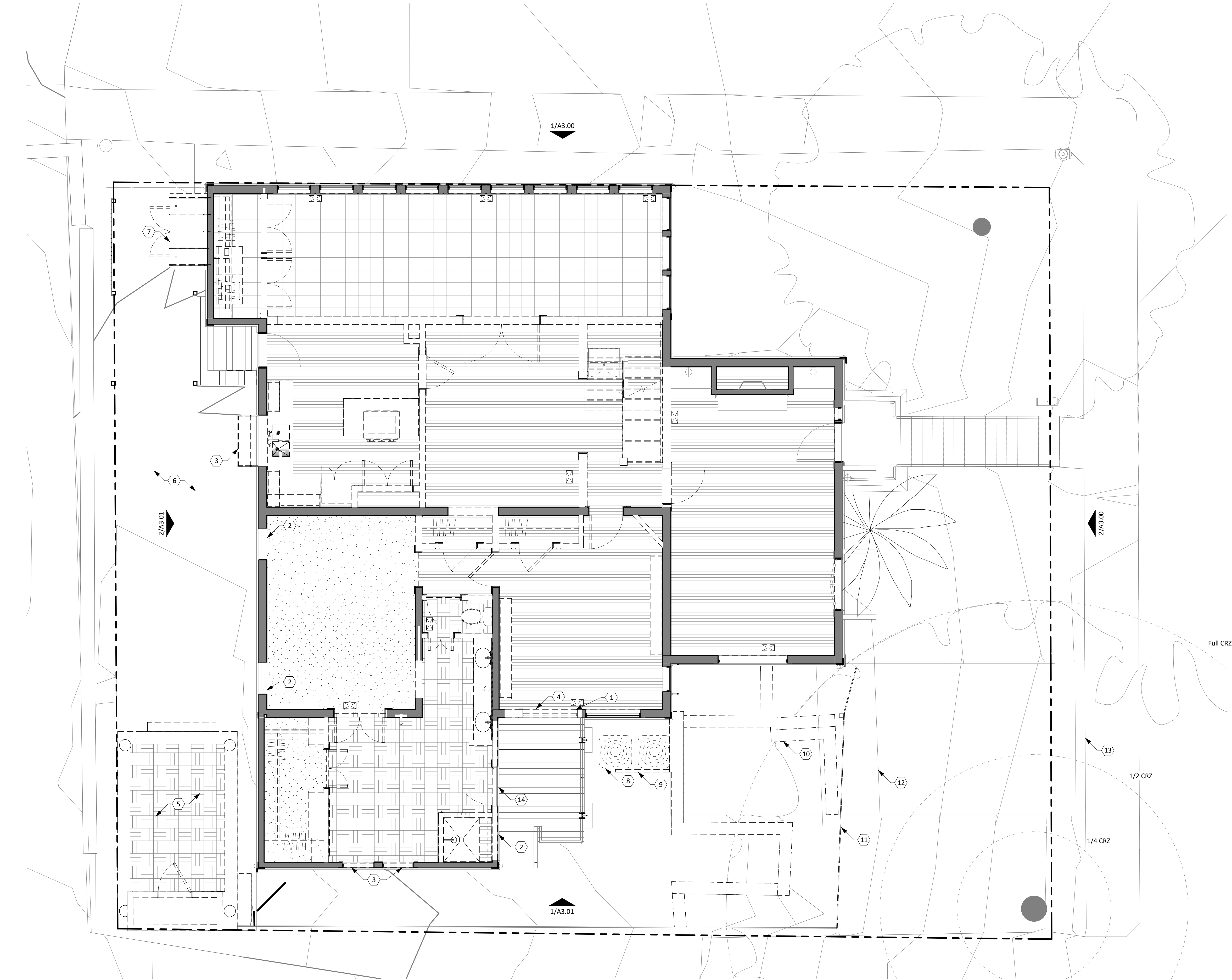
**Revisions:**

Demo Floor Plan -  
Ground Floor.

## D1.10



|   |   |
|---|---|
| 1 | Ground Floor Demo Plan.<br>1/4" = 1'-0" |
|---|---|



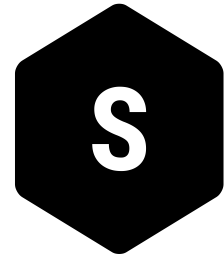
KEYNOTES

- 1 Demo wall where dashed and not poched, typ.
- 2 Demo portion of existing wall to allow for new window
- 3 Remove existing window and infill wall to match
- 4 Remove existing window and wall as needed to prepare for new door
- 5 Demo shed, patio flatwork, pavers, and trellis structure associated
- 6 Remove existing pavers and store for potential reuse; ref. landscape
- 7 Remove shed and patch existing exterior wall
- 8 Mechanical systems to be revised and relocated
- 9 Remove mechanical screen
- 10 Remove existing stone steps and low planter walls
- 11 Remove portion of existing fence
- 12 Remove soil and level as needed for new drive
- 13 Demo existing sidewalk as needed to prepare for new curb cut
- 14 Demolish existing door

DEMO PLAN NOTES

- 1. Refer to architectural drawings prior to demolition to understand the scope of work.
- 2. Re: sheet A1.01 for the architectural floor plan.
- 3. All existing electrical, plumbing and mechanical systems to be removed.
- 4. Contractor to take care protecting existing wood flooring while demolishing adjacent elements.
- 5. All existing glass panel windows to be removed and replaced.
- 6. Remove all ceiling finishes and insulation. Expose all structural framing and ceilings.

LEGEND



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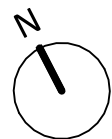
Historic Review

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Revisions:

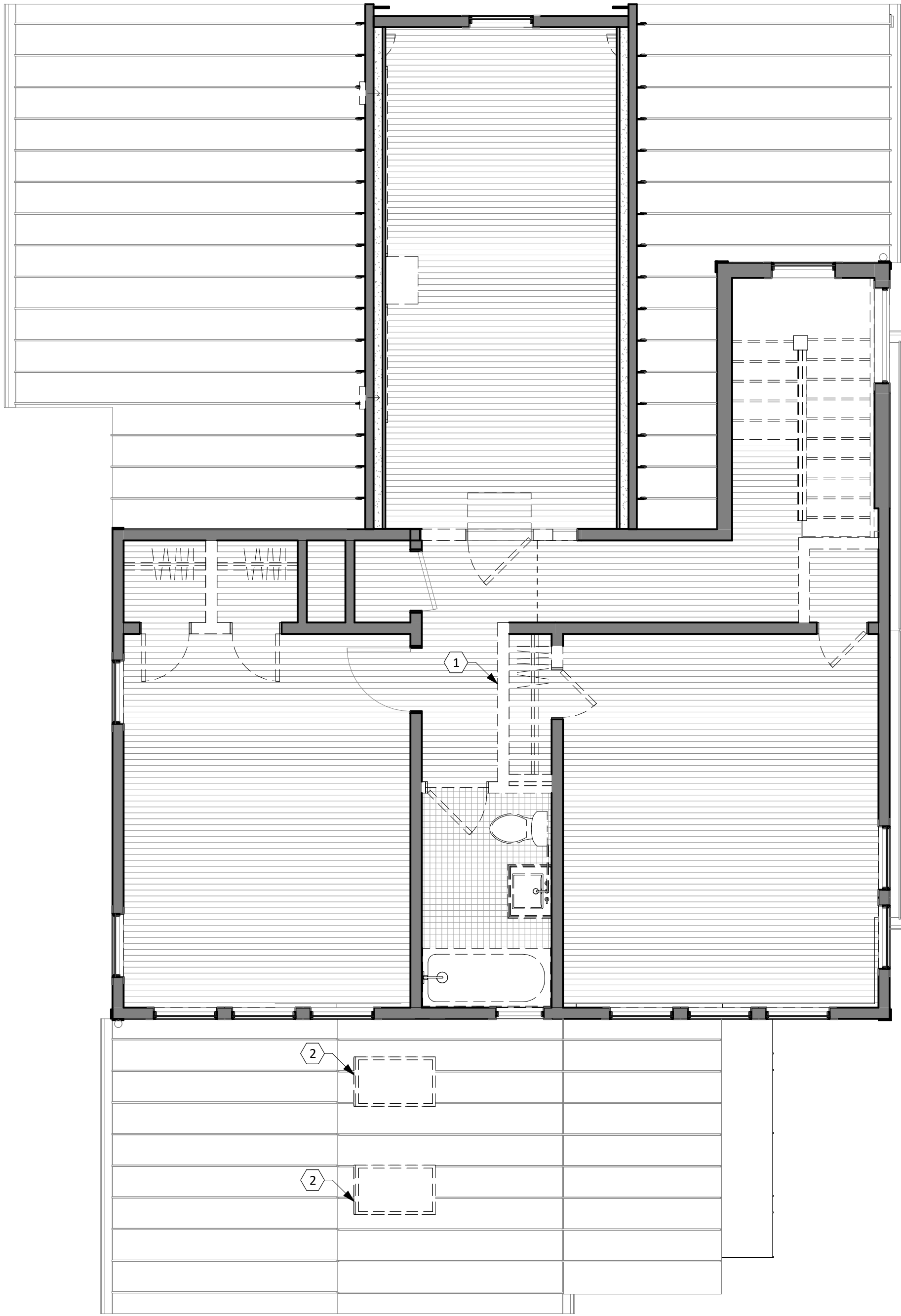
Demo Floor Plan -  
First Floor.

D1.11





2/A3.01



1/A3.00

1/A3.01

2/A3.00

## KEYNOTES

- 1 Demo wall where dashed and not poched, typ.
- 2 Remove skylights and replace roof to match existing as needed

## DEMO PLAN NOTES

1. Refer to architectural drawings prior to demolition to understand the scope of work.
2. Re: sheet A1.01 for the architectural floor plan.
3. All existing electrical, plumbing and mechanical systems to be removed.
4. Contractor to take care protecting existing wood flooring while demolishing adjacent elements.
5. All existing glass panel windows to be removed and replaced.
6. Remove all ceiling finishes and insulation. Expose all structural framing and ceilings.

## LEGEND



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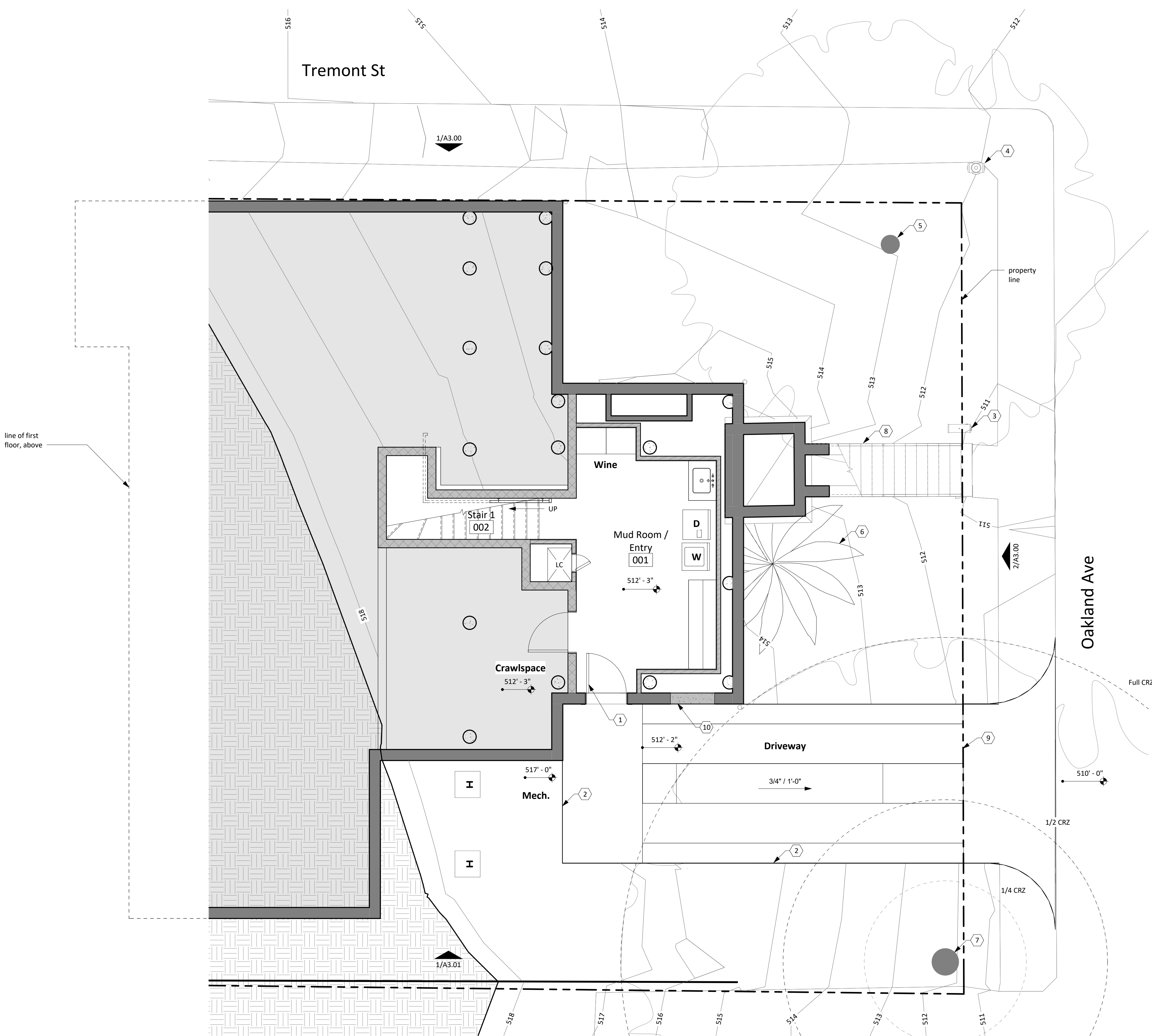
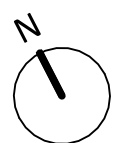
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Revisions:

Demo Floor Plan -  
Second Floor.

D1.12



## KEYNOTES

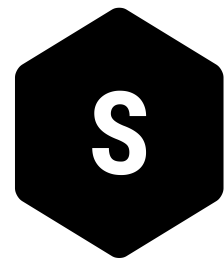
- 1 New wood board door, to match existing exterior wood door finish
- 2 Steel edge retaining wall, both sides of drive
- 3 Existing mailbox
- 4 Existing fire hydrant
- 5 Existing 17" Southern Magnolia tree
- 6 Existing 15" Palm tree
- 7 Existing 24.5" Crape Myrtle tree
- 8 Patch, repair, and restore stair
- 9 New concrete driveway
- 10 Infill existing crawlspace door to match existing underpinning

## FLOOR PLAN NOTES

1. All millwork, plumbing and appliances should be assumed new construction, unless noted otherwise
2. Darker poched walls are existing to remain; lighter poched walls are new construction

## SHEET REFERENCES

1. Refer to G2.01 for wall types and partition types.
2. Refer to G2.50 for door and frame types and schedules.
3. Refer to G2.60 for window types and schedule.
4. Refer to G3.01 for finish schedule, appliance schedule, plumbing fixture schedule, bath accessory schedule.
5. Refer to A2.01 for lighting fixture legend and lighting dimensions.



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### Historic Review

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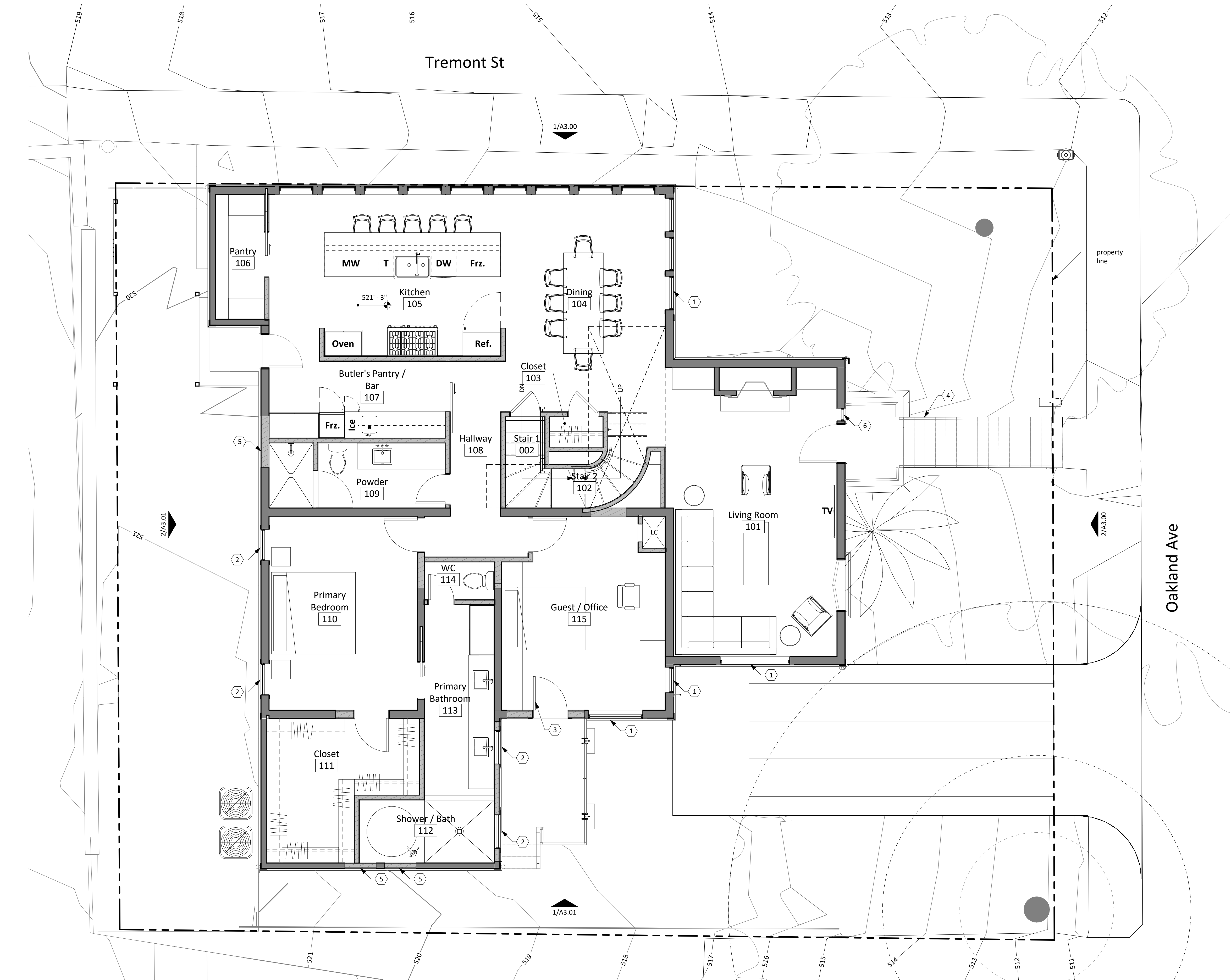
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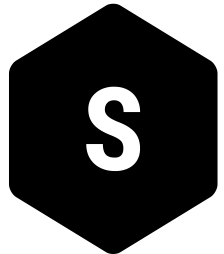
Floor Plan -  
Ground Floor.

# A1.00



KEYNOTES

- 1 All existing windows to be replaced to match original, typ.
- 2 New window to match adjacent existing style
- 3 New door to mimic existing back door on western facade
- 4 Patch, repair, and restore existing stair
- 5 Patch, repair, and paint existing siding
- 6 Existing stained glass window, to be restored as required



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FLOOR PLAN NOTES

- 1. All millwork, plumbing and appliances should be assumed new construction, unless noted otherwise
- 2. Darker poched walls are existing to remain; lighter poched walls are new construction

SHEET REFERENCES

- 1. Refer to G2.01 for wall types and partition types.
- 2. Refer to G2.50 for door and frame types and schedules.
- 3. Refer to G2.60 for window types and schedule.
- 4. Refer to G3.01 for finish schedule, appliance schedule, plumbing fixture schedule, bath accessory schedule.
- 5. Refer to A2.01 for lighting fixture legend and lighting dimensions.

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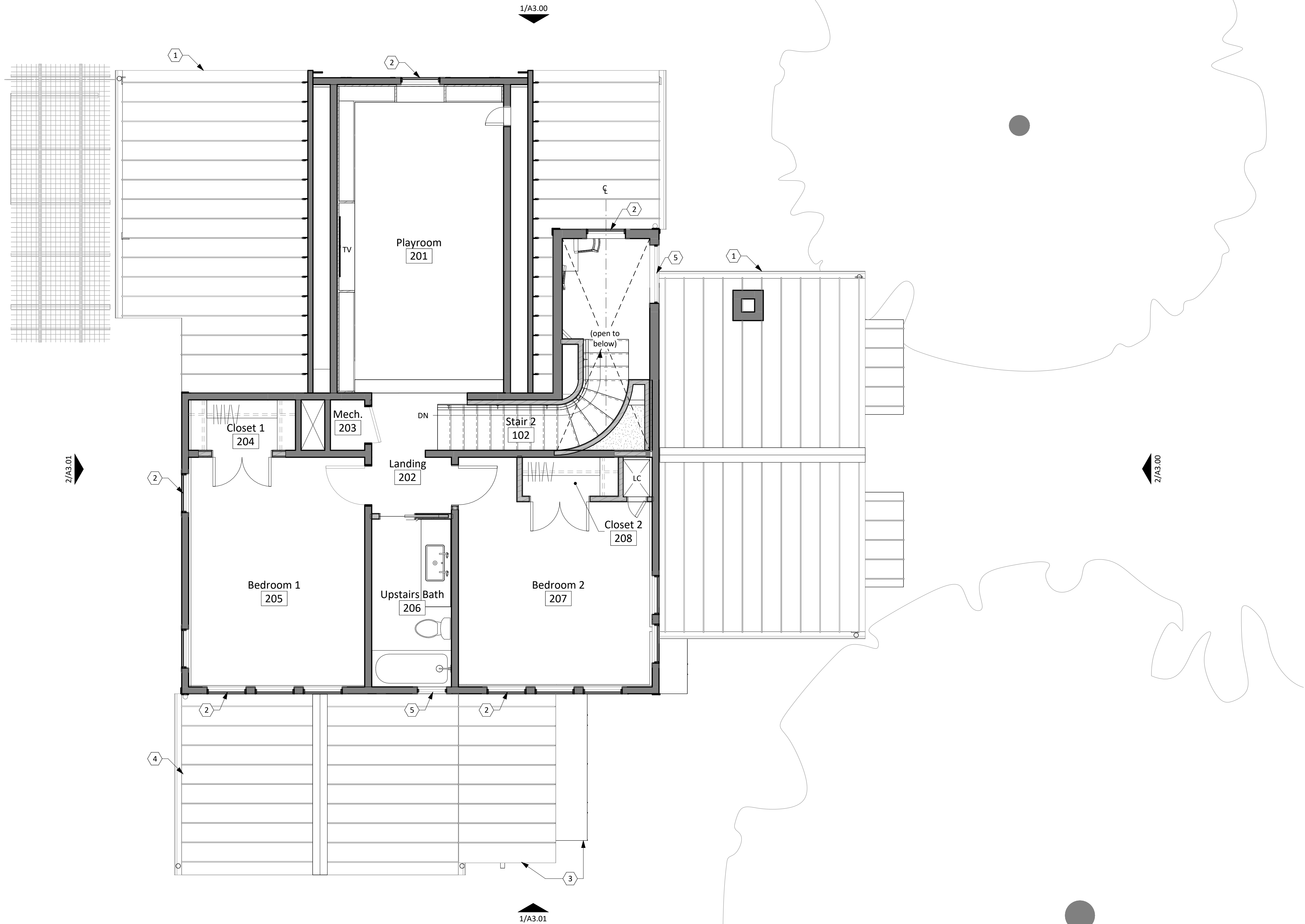
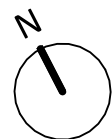
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Drawn by: CG,MC,EK  
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Revisions:

Floor Plan - First  
Floor.

A1.01





## KEYNOTES

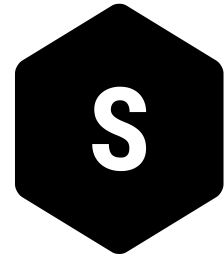
- 1 Patch and repair existing roof
- 2 Replace existing windows, typ.
- 3 Existing roof structure over porch
- 4 New standing seam metal roof to match existing
- 5 Existing stained glass window, to be restored as required

## FLOOR PLAN NOTES

1. All millwork, plumbing and appliances should be assumed new construction, unless noted otherwise
2. Darker poched walls are existing to remain; lighter poched walls are new construction

## SHEET REFERENCES

1. Refer to G2.01 for wall types and partition types.
2. Refer to G2.50 for door and frame types and schedules.
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### Historic Review

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Checked by: CS

Revisions:

Floor Plan -  
Second Floor.

# A1.02