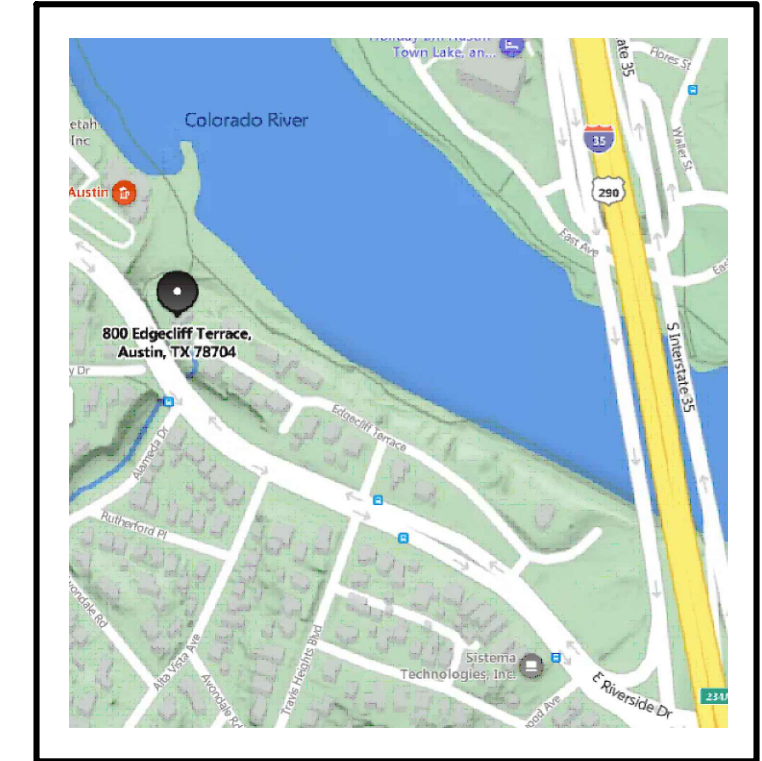


800 EDGECLIFF TERRACE

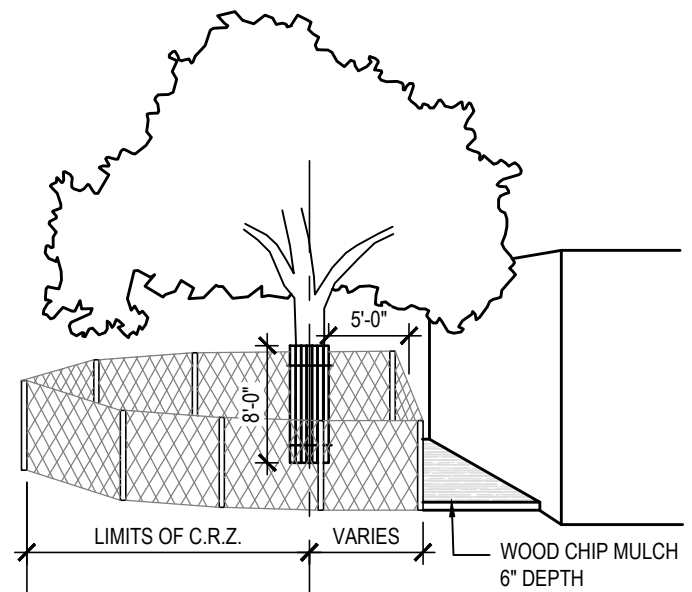


DRAWING INDEX A 0.0 SITE PLAN A 1.0 ROOF PLAN, DIMENSIONED FLOOR PLAN, FLOOR PLAN A 2.0 EXTERIOR ELEVATIONS A 2.1 EXTERIOR ELEVATIONS	
PROJECT INFORMATION OWNER: MR. AND MRS. TIM WALKER ADDRESS: 800 EDGECLIFF TERRACE AUSTIN, TX 78704 LEGAL DESCRIPTION: RESUBDIVISION OF BLK 53 TRAVIS HEIGHTS VOL 450, PG 579 D.R.T.C.T. ZONING CLASSIFICATION: SF-3-H-1P	

LOCATOR MAP

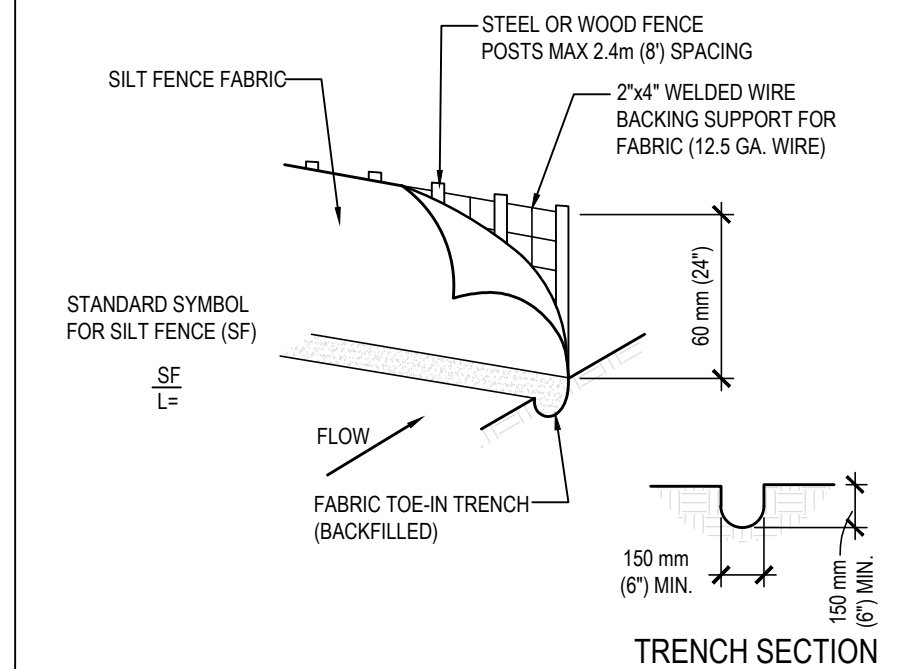


TYPICAL TREE PROTECTION DETAIL



*AS NEEDED TO PROVIDE MINIMUM NECESSARY WORK SPACE.
IF LESS THAN 5', THEN ADD BOARDS STRAPPED TO TRUNK.

TYPICAL SILT FENCE DETAIL



1. STEEL, OR WOOD POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 300mm (12 INCHES). IF WOOD POSTS CANNOT ACHIEVE 300mm (12 INCHES) DEPTH, USE STEEL POSTS.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF THE FLOW.
3. THE TRENCH MUST BE A MINIMUM OF 150mm (6 INCHES) DEEP AND 150mm (6 INCHES) WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE FABRIC SHOULD BE SECURELY FASTENED TO EACH STEEL OR WOOD SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL OR WOOD FENCE POST.
5. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 150mm (6 INCHES). THE SILT SHALL BE DISPOSED OF ON AN APPROVED SITE AND IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.

Reese
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LICENSE #11166

WALKER RESIDENCE

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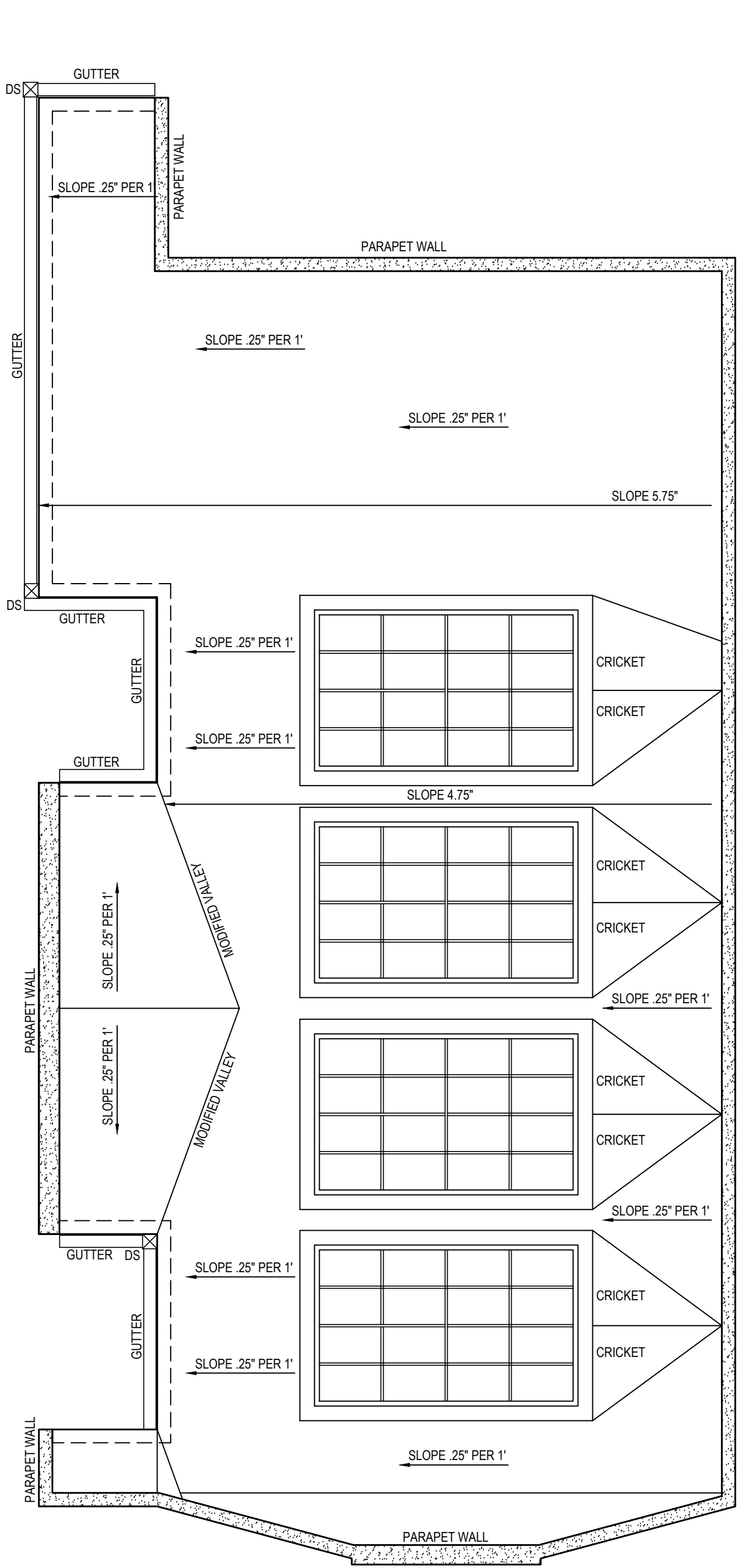
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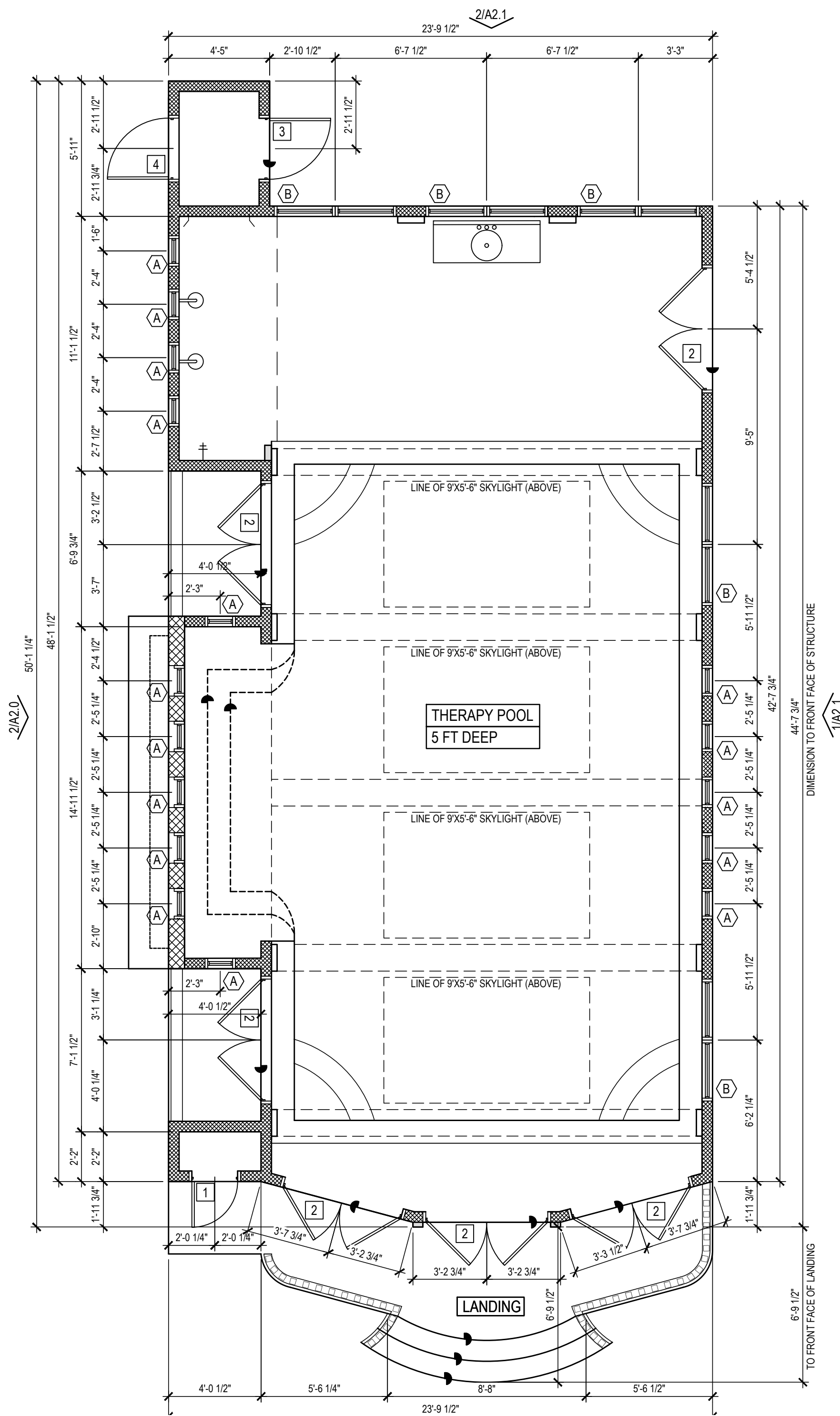
SITE PLAN

DRAWING NO.

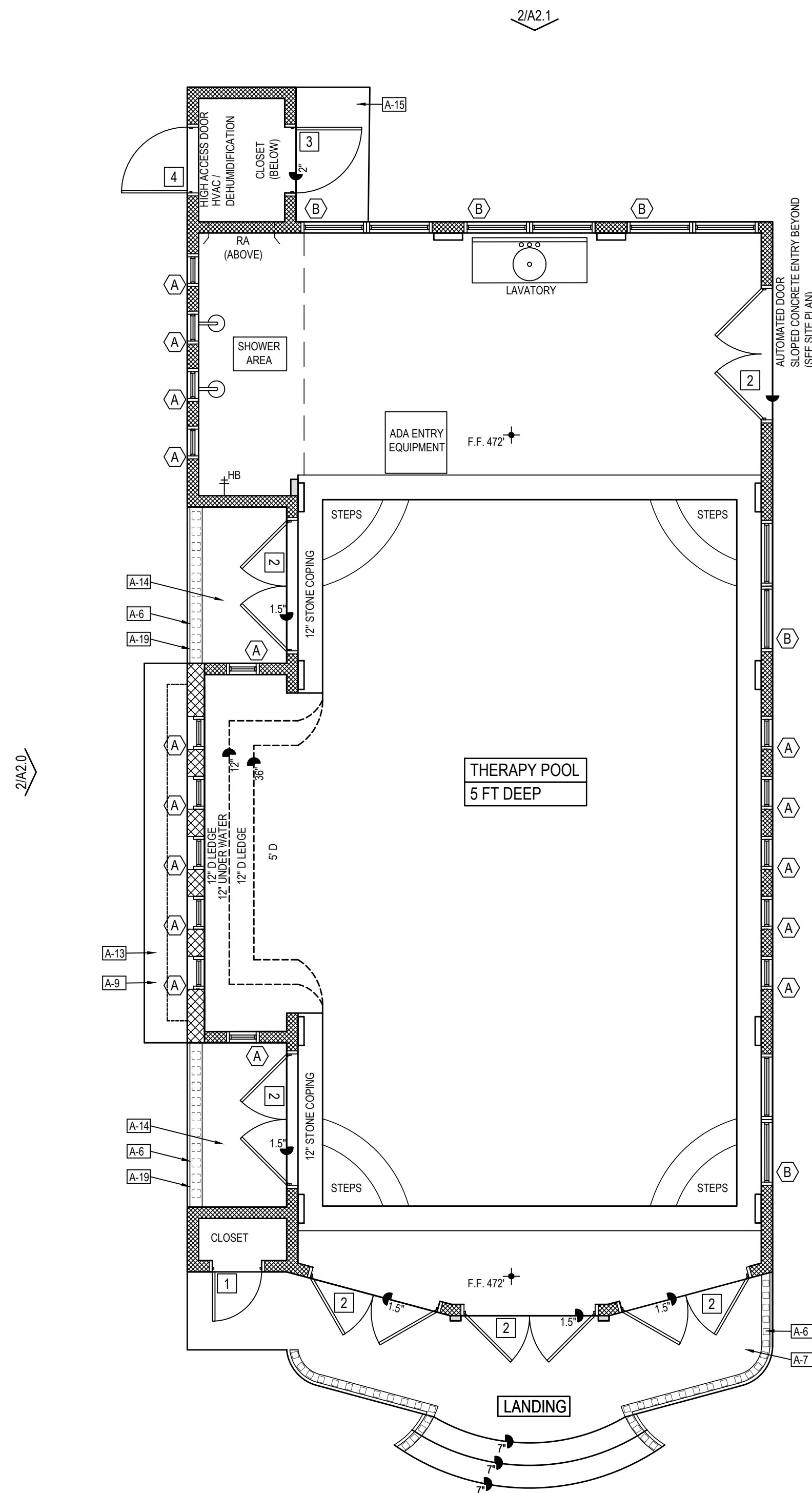
A0.0



3 ROOF PLAN
SCALE: 1/4"=1'-0"



2 DIMENSIONED FLOOR PLAN
SCALE: 1/4"=1'-0"



1 FLOOR PLAN
SCALE: 1/4"=1'-0"

FLOOR PLAN SYMBOLS	
	WINDOW KEYNOTE (SEE WINDOW SCHEDULE FOR WINDOW DETAILS)
	DOOR KEYNOTE (SEE DOOR SCHEDULE FOR DOOR DETAILS)
	EXTERIOR ELEVATION REFERENCE
ARCHITECTURAL KEYNOTES	
A-1	25° PER 1' SLOPED T.P.O. ROOF BEHIND STUCCO PARAPET WALL
A-2	DIVIDED LITE SKYLIGHTS (BEYOND)
A-3	2 LAYERS STUCCO ON LATH WITH TEXTURE AND COLOR TO MATCH THE EXISTING HISTORIC STRUCTURE
A-4	STUCCO PARAPET WALL TO EXTEND ABOVE ROOF BEYOND SLOPE CAP TO DRAIN TO ROOF. CONTINUOUS WATER-PROOF SYSTEM UNDER STUCCO AT PARAPET WALL SURROUND.
A-5	SPANISH COLONIAL ARCHITECTURAL ELEMENT. CLAY SIMILAR TO HOME. OPTION: SMALL STUCCO RECESSES.
A-6	CAST STONE RAILING SYSTEM
A-7	1.5" LIMESTONE LANDING, STEPS AND PATHWAY
A-8	EQUIPMENT ACCESS PANEL FOR DEHUMIDIFICATION SYSTEM
A-9	OPEN GAS FLAME FIREPLACE 8'-12" UP FROM POOL COPING
A-10	REPLACE SIDING ON GARAGE W/ STUCCO TO MATCH EXISTING RESIDENCE & LOWER PORTION OF GARAGE
A-11	EXTERIOR SCONCES
A-12	STEEL ORB WINDOW&DOORS SYSTEMS (FLUSH WITH STUCCO)
A-13	1.25" LIMESTONE SHELF OVER WATERPROOFING MEMBRANE @ GAS FIREPLACE ENCLOSURE
A-14	1.25" LIMESTONE PATIO (SLOPE 1/8" PER 1' TO DRAIN)
A-15	CONCRETE STOOP SLOPE 1/4" PER 1' TO DRAIN
A-16	STUCCO OVER 12" FOAM TRIM SQUARE PROFILE (8/16" AS SHOWN)
A-17	PAINTED GUTTERS TO MATCH BUILDING COLOR
A-18	EXPANSION JOINTS IN STUCCO TO ALIGN WITH WINDOW/DOOR SEPARATIONS
A-19	DRAIN HOLES AT BASE OF CAST STONE RAIL

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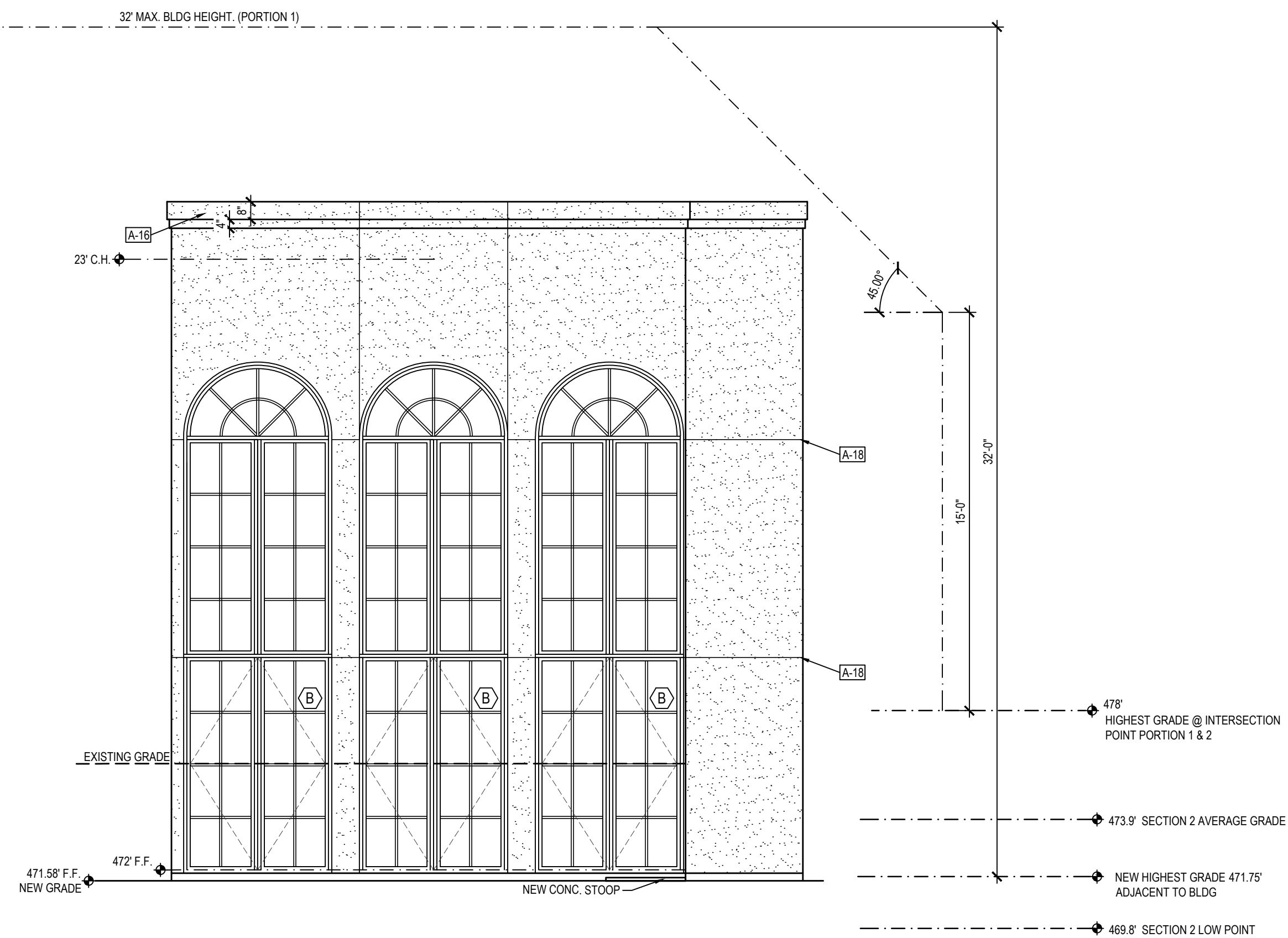
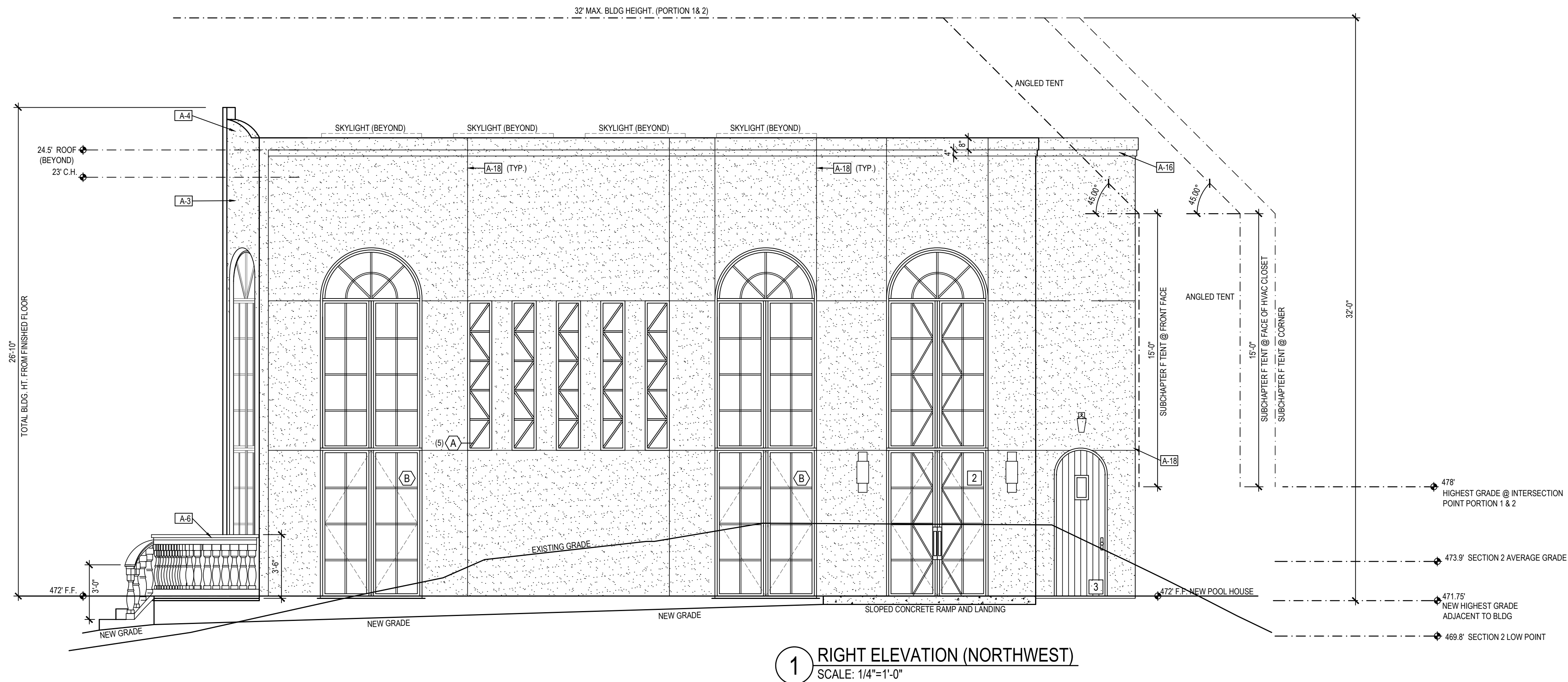
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FLOOR PLAN/ ROOF PLAN

DRAWING NO.

A1.0



ARCHITECTURAL KEYNOTES

- | | |
|------|---|
| A-1 | 25' PER 1" SLOPED T.P.O. ROOF BEHIND STUCCO PARAPET WALL |
| A-2 | DIVIDED LITE SKYLIGHTS (BEYOND) |
| A-3 | 2 LAYERS STUCCO ON LATH WITH TEXTURE AND COLOR TO MATCH THE EXISTING HISTORIC STRUCTURE |
| A-4 | STUCCO PARAPET WALL TO EXTEND ABOVE ROOF BEYOND SLOPE CAP TO DRAIN TO EXISTING CONTINUOUS WATER-PROOF SYSTEM UNDER STUCCO AT PARAPET WALL SURROUND. |
| A-5 | SPANISH COLONIAL ARCHITECTURAL ELEMENT. CLAY SIMILAR TO HOME. OPTION: SMALL STUCCO RECESSES. |
| A-6 | CAST STONE RAILING SYSTEM |
| A-7 | 1.5" LIMESTONE LANDING, STEPS AND PATHWAY |
| A-8 | EQUIPMENT ACCESS PANEL FOR DEHUMIDIFICATION SYSTEM |
| A-9 | OPEN GAS FLAME FIREPLACE 6'-12" UP FROM POOL COPING |
| A-10 | REPLACE SIDING ON GARAGE W/ STUCCO TO MATCH EXISTING RESIDENCE & LOWER PORTION OF GARAGE |
| A-11 | EXTERIOR SCONCES |
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| A-18 | EXPANSION JOINTS IN STUCCO TO ALIGN WITH WINDOW/DOOR SEPARATIONS |
| A-19 | DRAIN HOLES AT BASE OF CAST STONE RAIL |

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EXTERIOR ELEVATIONS

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A2.1

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