

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES AND STANDARDS, HAVING JURISDICTION, INCLUDING APPLICABLE TEXAS LAW AND AMERICANS WITH DISABILITIES ACT. IF THERE ARE ANY QUESTIONS OR CONFLICTS CONCERNING COMPLIANCE WITH SUCH CODES, ORDINANCES OR STANDARDS, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION. ALL NECESSARY LICENSES, CERTIFICATES, TESTS, ETC. SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR. ALL NECESSARY PERMITS SHALL BE PROCURED BY THE CONTRACTOR AND PAID FOR BY OWNER.
2. CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN AND MEETS ALL APPLICABLE CODES BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
3. THE CONTRACTOR SHALL CERTIFY SIZE AND LOCATION OF ALL REQUIRED OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK AND EQUIPMENT WITH TRADES INVOLVED.
4. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING EXISTING CONDITIONS AT THE JOB SITE BEFORE SUBMITTING PROPOSALS. SUBMISSION OF PROPOSALS SHALL BE TAKEN AS EVIDENCE THAT SUCH INSPECTIONS HAVE BEEN MADE. CLAIMS FOR EXTRA COMPENSATION FOR WORK THAT COULD HAVE BEEN FORESEEN BY SUCH INSPECTION, WHETHER SHOWN ON CONTRACT DOCUMENTS OR NOT, SHALL NOT BE ACCEPTED OR PAID.
5. ALL MATERIALS FURNISHED UNDER THIS CONTRACT SHALL BE NEW UNLESS NOTED OTHERWISE. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION OR ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL REPAIR OR REPLACE, AT HIS OWN EXPENSE WHEN ORDERED TO DO SO, ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIAL OR WORKMANSHIP WITHIN THE ONE YEAR TIME PERIOD.
6. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS PUBLISHED RECOMMENDATIONS FOR SERVICE INTENDED, AS INTERPRETED BY THE ENGINEER AND ARCHITECT. THE INSTALLATION OF ALL EQUIPMENT SHALL BE MADE BY EXPERIENCED CRAFTSMEN IN A NEAT, WORKMANLIKE MANNER. ALL MATERIALS, TOOLS COSTS AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE PROVIDED BY THE CONTRACTOR.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD CONSTRUCTION PRACTICES. CONTRACTOR SHALL TAKE PROPER PRECAUTIONS TO PROTECT ALL EXISTING OPERATIONS AND PROPERTY ADJACENT, WITH WHICH WORK COMES IN CONTACT, OR OVER OR UNDER WHICH HE MAY TRANSPORT, HOIST OR MOVE MATERIALS, EQUIPMENT, DEBRIS, ETC., AND SHALL REPAIR SATISFACTORILY ALL DAMAGES CAUSED BY HIM DURING CONSTRUCTION.
8. THE CONTRACTOR SHALL VERIFY AND COORDINATE SIZES, LOCATIONS AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE FURNISHED BY THE OWNER, OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE ANY CONSTRUCTION IS BEGUN.
9. THE CONTRACTOR SHALL SUBMIT TO THE OWNER CONFIRMATIONS OF ORDERS, INCLUDING DELIVERY DATES FOR ALL MATERIALS AND EQUIPMENT WHOSE TIMELY DELIVERY IS REQUIRED TO AVOID CHANGES IN THE CONSTRUCTION DOCUMENTS OR IN THE CONSTRUCTION SCHEDULE.
10. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATIONS. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OR ASSEMBLY, FOR PERFORMING THE WORK IN A SAFE MANNER, AND FOR ADHERING TO ALL APPLICABLE CODES AND STANDARDS.
11. ALL MEP RELATED ITEMS SHOULD BE REVIEWED BY THE ENGINEER AND MAY BE ADJUSTED PENDING NOTICE TO AND APPROVAL OF THE ENGINEER.
12. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
13. ALL WORK NOTED "N.I.C." OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT.
14. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
15. "TYPICAL" OR "TYP." AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITIONS IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.
16. "SIMILAR" OR "SIM." AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SIMILAR TO A CONDITION DETAILED FOR ANOTHER LOCATION.
17. THE COVER SHEET IS A MASTER INDEX. NOT ALL SYMBOLS/ITEMS WILL BE INCLUDED IN DRAWINGS.
18. DO NOT DISASSEMBLE THIS SET, COVER SHEET CONTAINS DATA PERTINENT TO ALL SHEETS.
19. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A CLEAN JOBSITE, INCLUDING WATERING AS REQUIRED TO CONTROL DUST, AT COMPLETION OF CONSTRUCTION, THOROUGHLY CLEAN SITE AND ALL CONSTRUCTION AREAS.
20. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS PUBLISHED RECOMMENDATIONS FOR SERVICE INTENDED. THE INSTALLATION OF ALL EQUIPMENT SHALL BE MADE BY EXPERIENCED CRAFTSMEN IN A NEAT, WORKMAN LIKE MANNER. ALL MATERIALS, TOOLS, COSTS AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE PROVIDED BY THE CONTRACTOR.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, COLLAPSE AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD CONSTRUCTION PRACTICES. CONTRACTOR SHALL TAKE PROPER PRECAUTIONS TO PROTECT ALL EXISTING OPERATIONS AND PROPERTY ADJACENT, WITH WHICH WORK COMES IN CONTACT, OR OVER OR UNDER WHICH HE OR SHE MAY TRANSPORT, HOIST, OR MOVE MATERIALS, EQUIPMENT, DEBRIS, ETC., AND SHALL REPAIR SATISFACTORILY ALL DAMAGES CAUSED BY HIM/HER DURING CONSTRUCTION.
22. THE CONTRACTOR SHALL VERIFY ALL COORDINATE SIZES, LOCATIONS AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE FURNISHED BY THE OWNER, OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE ANY CONSTRUCTION IS BEGUN.
23. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OR ASSEMBLY, FOR PERFORMING THE WORK IN A SAFE MANNER, AND FOR ADHERING TO ALL APPLICABLE CODES AND STANDARDS.
24. LOCATION OF ALL CEILING MOUNTED ITEMS IN THE DESIGNER'S CONSTRUCTION DOCUMENTS HAVE PRECEDENCE OVER MEP DRAWINGS. DESIGNER SHALL BE NOTIFIED OF ANY CONFLICTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REVIEW LIGHTING LOCATIONS PRIOR TO FLOOR/CEILING FRAMING AND SHALL MAKE THE APPROPRIATE ACCOMMODATIONS TO FRAMING DURING INITIAL INSTALLATION IN ORDER TO AVOID FUTURE FRAMING MODIFICATIONS.
25. IT IS THE INTENT AND MEANING OF THE CONTRACT DOCUMENTS THAT THE CONTRACTOR SHALL PROVIDE A MECHANICAL, ELECTRICAL AND PLUMBING INSTALLATION THAT IS COMPLETE. ALL ITEMS AND APPURTENANCES NECESSARY, REASONABLY INCIDENTAL OR CUSTOMARILY INCLUDED, EVEN THOUGH EACH AND EVERY ITEM IS NOT SPECIFICALLY CALLED OUT OR SHOWN IN THE CONSTRUCTION DOCUMENTS SHALL BE PROVIDED.
26. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER FOR ANY CUTTING, NOTCHING, OR DRILLING OF STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING AND WHICH ARE NOT PERMITTED IN THE STRUCTURAL SPECIFICATIONS.
27. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING EXISTING CONDITIONS AT THE JOB SITE BEFORE SUBMITTING PROPOSALS. SUBMISSIONS OF PROPOSALS SHALL BE TAKEN AS EVIDENCE THAT SUCH INSPECTIONS HAVE BEEN MADE. CLAIMS FOR EXTRA COMPENSATION FOR WORK THAT COULD HAVE BEEN FORESEEN BY SUCH INSPECTION, WHETHER SHOWN ON CONTRACT DOCUMENTS OR NOT, SHALL NOT BE ACCEPTED OR PAID.
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29. GC TO VERIFY ALL ASPECTS OF THE CONSTRUCTION PROJECT COMPLIES WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) LEAD RENOVATION, REPAIR AND PAINTING PROGRAM RULE 40CFR PART 745.
30. GC TO COORDINATE ELECTRICAL SERVICE DISCONNECT/RECONNECT WITH THE LOCAL SERVICE PROVIDER.



1020 SPENCE ST

AUSTIN TEXAS 78702

ARCHITECT INFORMATION

CONTACT: RAUL A BAEZA
PHONE: 915-328-4316

OWNER INFORMATION

CHRIS MYERS
D&M ENTERPRISES LLC
5505 MCCARTY LN
AUSTIN, TX 78749
210 248 6666

LEGAL DESCRIPTION

LOT 16 BLK 3 OLT 31-23 DIV O M K & T

ZONING INFORMATION

SF-3 NP

Front Yard: Minimum front yard is: 25 feet
Side Yard: Minimum side yard is: 05 feet
Rear Yard: Minimum rear yard is: 10 feet
Max Height: 35 feet
Max Building Coverage: 40%
Max Impervious: 45% = 2,642 square feet
FAR: 40% = 2,455 square feet

INDEX OF DRAWINGS

- A0.2 SITE DEMO
- A0.3 SITE PLAN
- A0.4 SITE PLAN - TREE
- A0.5 CITY OF AUSTIN - URBEC
- A0.6 CITY OF AUSTIN - HIGH QUALITY
- A0.7 INTERIOR FINISH
- A0.8 INTERIOR WALL
- A0.9 CONCRETE
- A1.0 ROOF PLAN
- A1.1 CONSTRUCTION/CONCRETE PLAN
- A1.2 REFLECTED CEILING PLAN
- A1.3 REFLECTED CEILING PLAN
- A1.4 REFLECTED CEILING PLAN
- A1.5 REFLECTED CEILING PLAN
- A1.6 REFLECTED CEILING PLAN
- A1.7 REFLECTED CEILING PLAN
- A1.8 REFLECTED CEILING PLAN
- A1.9 REFLECTED CEILING PLAN
- A1.10 REFLECTED CEILING PLAN
- A1.11 REFLECTED CEILING PLAN
- A1.12 REFLECTED CEILING PLAN
- A1.13 REFLECTED CEILING PLAN
- A1.14 REFLECTED CEILING PLAN
- A1.15 REFLECTED CEILING PLAN
- A1.16 REFLECTED CEILING PLAN
- A1.17 REFLECTED CEILING PLAN
- A1.18 REFLECTED CEILING PLAN
- A1.19 REFLECTED CEILING PLAN
- A1.20 REFLECTED CEILING PLAN
- A1.21 REFLECTED CEILING PLAN
- A1.22 REFLECTED CEILING PLAN
- A1.23 REFLECTED CEILING PLAN
- A1.24 REFLECTED CEILING PLAN
- A1.25 REFLECTED CEILING PLAN
- A1.26 REFLECTED CEILING PLAN
- A1.27 REFLECTED CEILING PLAN
- A1.28 REFLECTED CEILING PLAN
- A1.29 REFLECTED CEILING PLAN
- A1.30 REFLECTED CEILING PLAN
- A1.31 REFLECTED CEILING PLAN
- A1.32 REFLECTED CEILING PLAN
- A1.33 REFLECTED CEILING PLAN
- A1.34 REFLECTED CEILING PLAN
- A1.35 REFLECTED CEILING PLAN
- A1.36 REFLECTED CEILING PLAN
- A1.37 REFLECTED CEILING PLAN
- A1.38 REFLECTED CEILING PLAN
- A1.39 REFLECTED CEILING PLAN
- A1.40 REFLECTED CEILING PLAN
- A1.41 REFLECTED CEILING PLAN
- A1.42 REFLECTED CEILING PLAN
- A1.43 REFLECTED CEILING PLAN
- A1.44 REFLECTED CEILING PLAN
- A1.45 REFLECTED CEILING PLAN
- A1.46 REFLECTED CEILING PLAN
- A1.47 REFLECTED CEILING PLAN
- A1.48 REFLECTED CEILING PLAN
- A1.49 REFLECTED CEILING PLAN
- A1.50 REFLECTED CEILING PLAN

AREA CALCULATIONS:

EXP: 07/31/2022

1020 SPENCE
AUSTIN TX 78702

PROJECT LOCATION:



10/17/2021

FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

SYMBOL LEGEND:

- ELEVATION SYMBOL
- SECTION DETAIL SYMBOL
- SECTION SYMBOL
- PARTITION TYPE SYMBOL
- ROOM NAME**
- ROOM NAME & NUMBER SYMBOL
- DOOR NUMBER SYMBOL
- DETAIL SYMBOL
- WINDOW SYMBOL

DATE ISSUED FOR
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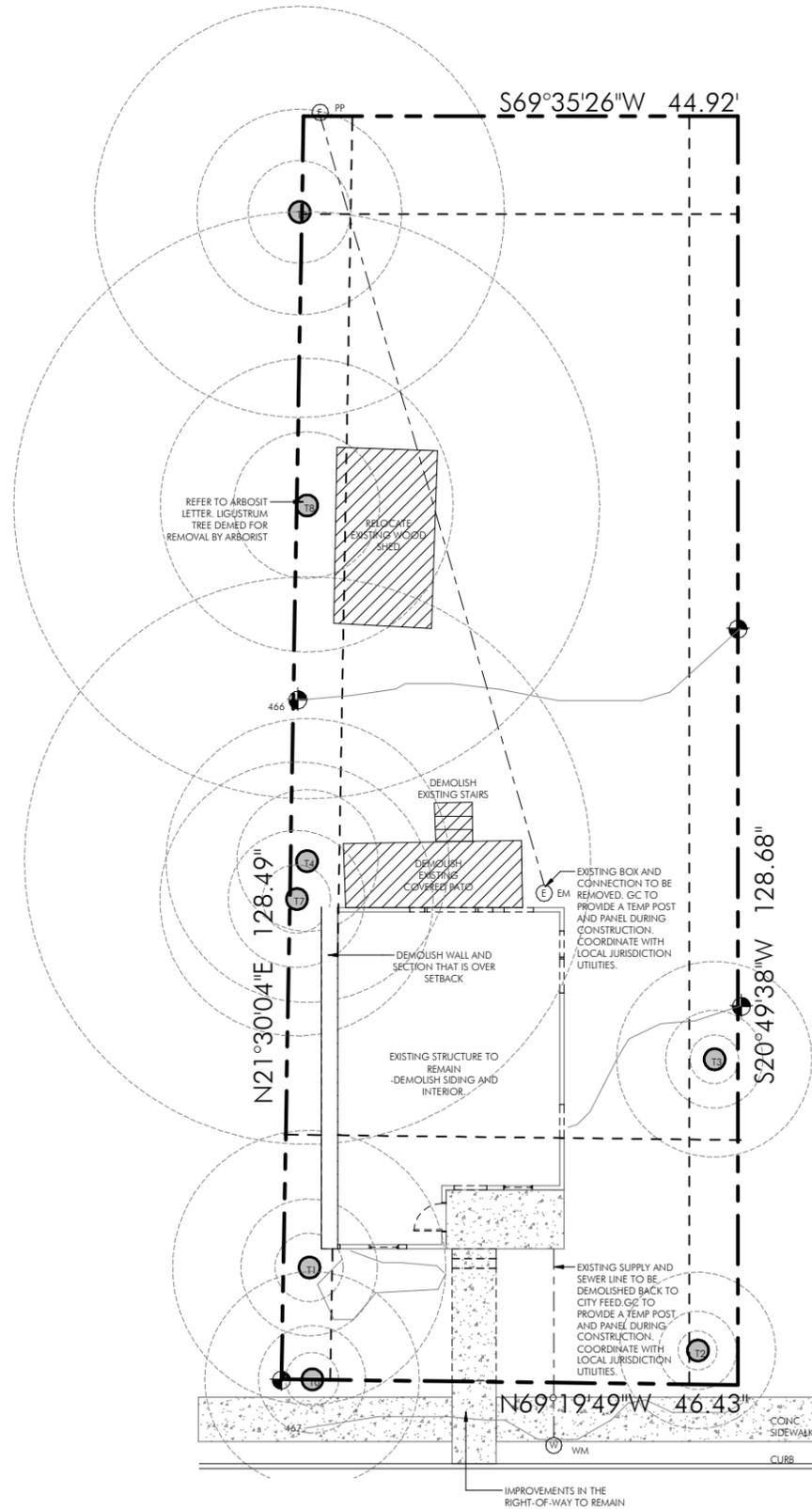
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COVER SHEET

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GENERAL NOTES

EXISTING WORK TO REMAIN UNLESS OTHERWISE NOTED.
 REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR EXTENT OF DEMOLITION OF MEP SYSTEMS.
 REFER TO A0.5 CITY OF AUSTIN - ARBOR FOR TREE PROTECTION

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AUSTIN TX 78702

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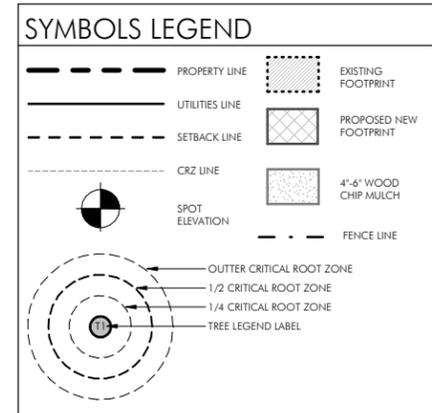
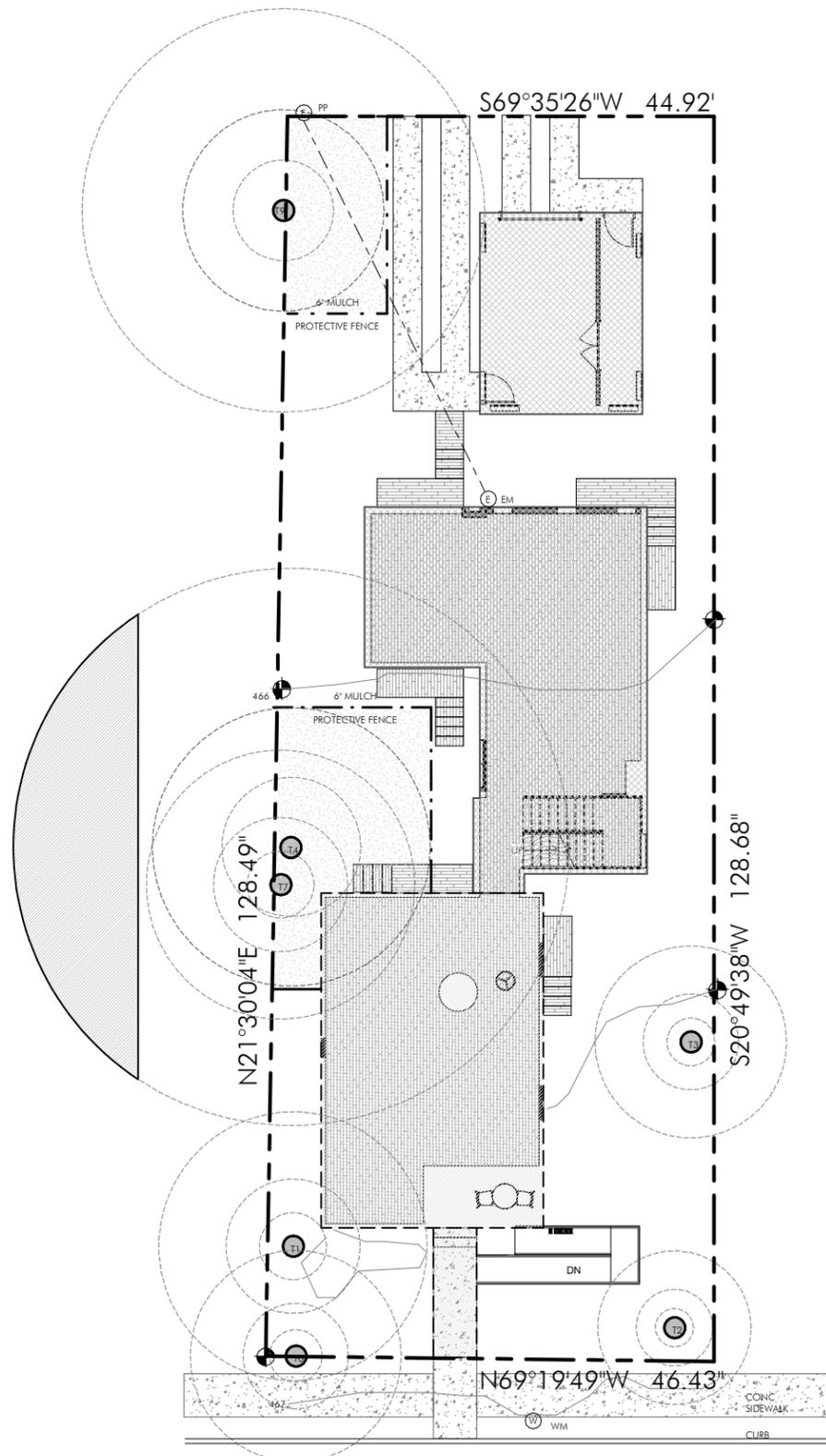
SITE DEMO

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1 SITE - DEMO
 1/8" = 1'-0"





EXP: 07/31/2022

GENERAL NOTES

TREES LOCATION/SIZING INFORMATION PROVIDED BY OWNER SURVEY. PER MUNICIPAL ORDINANCE, ALL TREES 4'-6' OR GREATER IN HEIGHT AND 19" OR GREATER IN TRUNK DIAMETER ARE PROTECTED.

REFER TO SHEET A0.4 CITY OF AUSTIN ARBOR FOR TREE PROTECTION MEASURES. TREE TRUNKS TO BE PROTECTED BY MINIMUM 2X4 PLANKS @ 6' LENGTHS STRAPPED AROUND TRUNK. WHEN PROTECTIVE FENCING DOES NOT ENCOMPASS 1/2 CRZ, USE ROOT FLARES.

ANY TREE REMOVAL OF PROTECTED TREE MUST ACQUIRE A PERMIT PRIOR TO REMOVAL.

REFER TO PLAN FOR 1/4 CRZ PROTECTED TREE EXTENTS; NO IMPACTS ARE PERMITTED WITHIN THAT AREA. NO STORAGE OR PLACEMENT OF CONSTRUCTION MATERIAL OR EQUIPMENT IS PERMITTED ON CRZS UNLESS AN EXEMPTION IS OBTAINED.

TREE CANOPIES MUST NOT BE DISTURBED BY VERTICAL CONSTRUCTION ACTIVITIES; IN THE CASE THAT PRUNING IS REQUIRED THE SCOPE SHALL NOT EXCEED 25% OF THE CANOPY; A LICENSED PROFESSIONAL ARBORIST MUST OVERSEE THE WORK.

AN 8 INCH LAYER OF SHREDDED HARDWOOD MULCH WITHIN ANY UNFENCED PORTION OF THE ENTIRE ROOT ZONE IS REQUIRED FOR ALL PROTECTED TREES WHICH HAVE ANY DISTURBANCE INCLUDING ACCESS PATHWAYS INDICATED WITHIN THEIR CRZ. IF HEAVY EQUIPMENT WILL BE ROLLING OVER THE MULCHED ROOT ZONE, FILTER FABRIC BETWEEN SOIL AND MULCH IS REQUIRED. ON TOP OF THE MULCH, JOB SITE CAN LAY BREATHABLE MATS OR PLYWOOD SHEETS TO CREATE A WORK SURFACE THAT CAN EASILY BE ROLLED OVER.

CRZ IMPACT NOTES

TREE ID	SPECIES	TRUNK DIA	CRZ AREA	IMPACT
T1	SPANISH OAK	08"	CRZ AREA	N/A
T2	PECAN	33"	CRZ AREA	3421 SF
			EXISTING CRZ IMPACT	1086 SF
			NEW CRZ IMPACT	744 SF
			NEIGHBOR IMPACT	840 SF
			TOTAL CRZ IMPACT %	46%
T3	BOX ELDER	17"	CRZ AREA	N/A
T4	PECAN	21"	CRZ AREA	1385 SF
			EXISTING CRZ IMPACT	105 SF
			NEW CRZ IMPACT	184 SF
			NEIGHBOR IMPACT	115 SF
			TOTAL CRZ IMPACT %	17%
T5	PECAN	17"	CRZ AREA	N/A
T6	ELM	09"	CRZ AREA	N/A
T7	BOX ELDER	10"	CRZ AREA	N/A
T8	PECAN	38"	CRZ AREA	4537 SF
			EXISTING CRZ IMPACT	105 SF
			NEW CRZ IMPACT	286 SF
			NEIGHBOR IMPACT	440 SF
			TOTAL CRZ IMPACT %	16%

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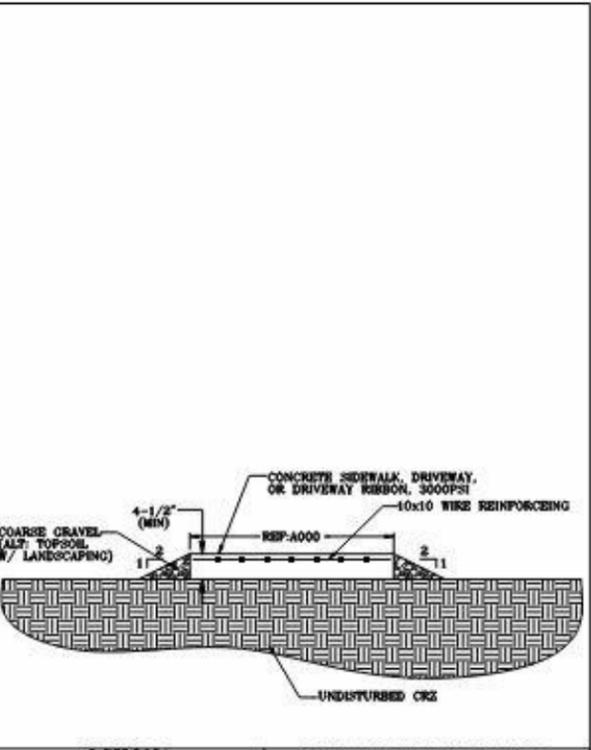
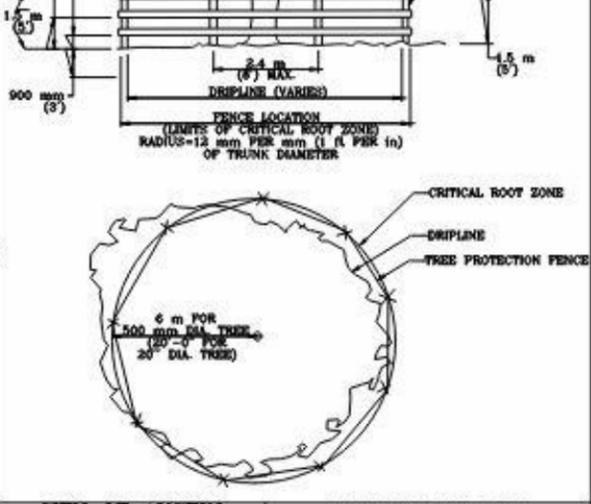
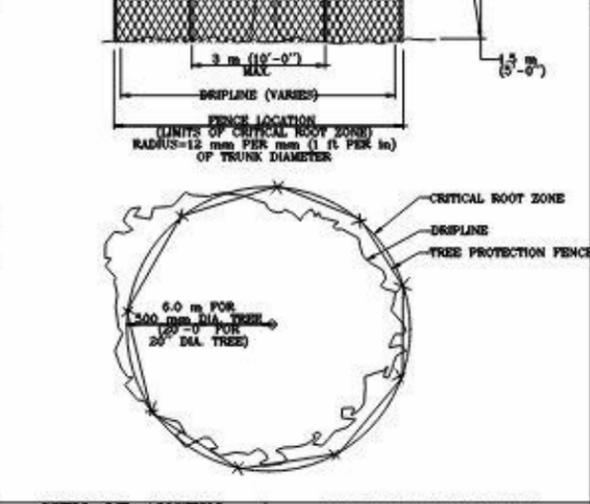
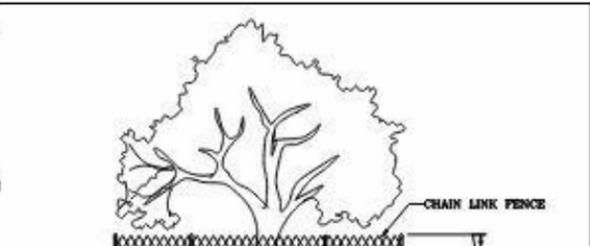
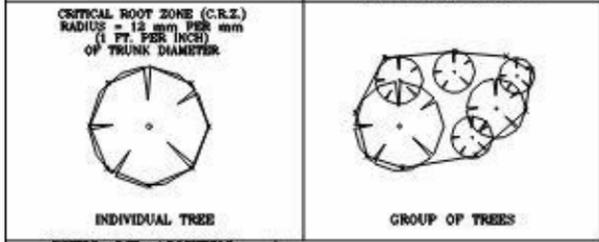
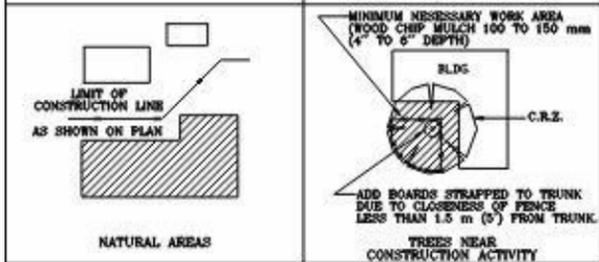
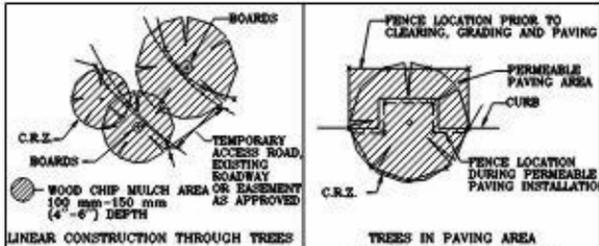
SITE PLAN - TREE

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1 SITE - TREE OVERLAY PLAN
1/8" = 1'-0"



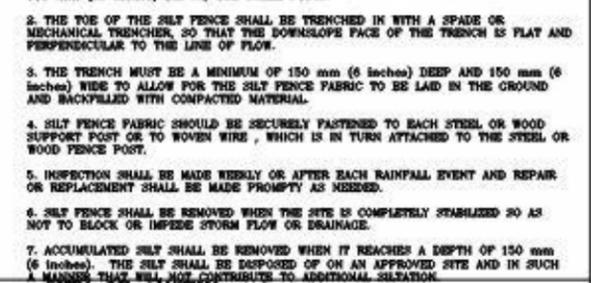
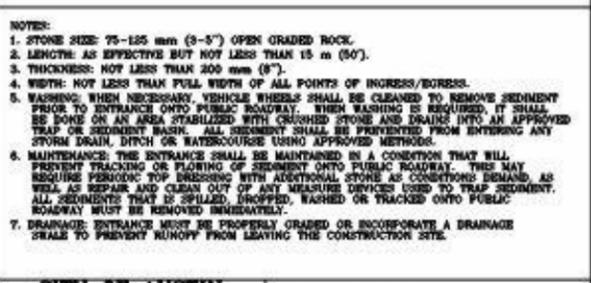
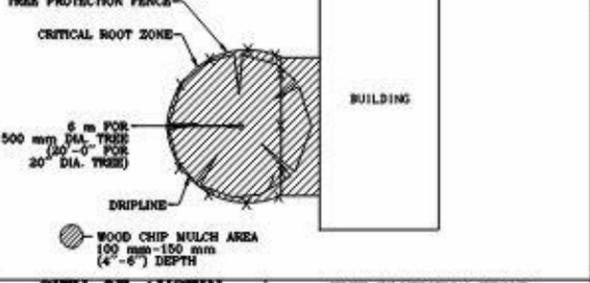
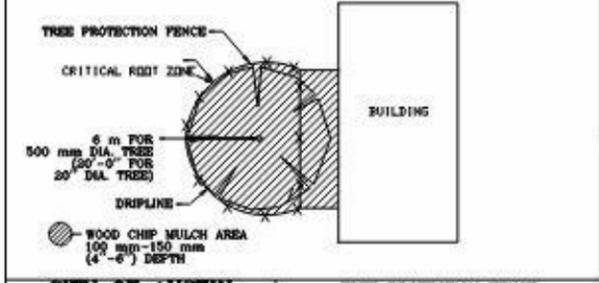
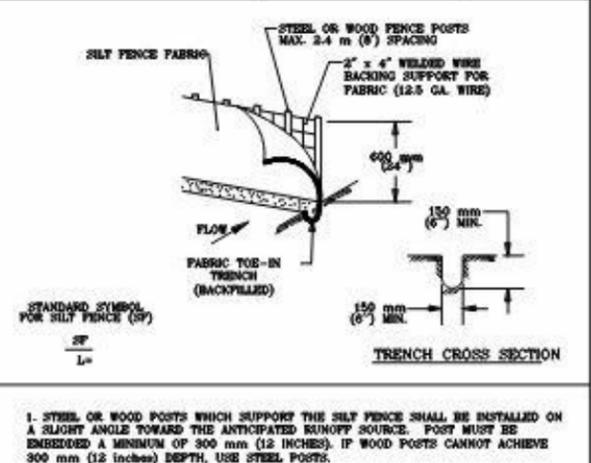
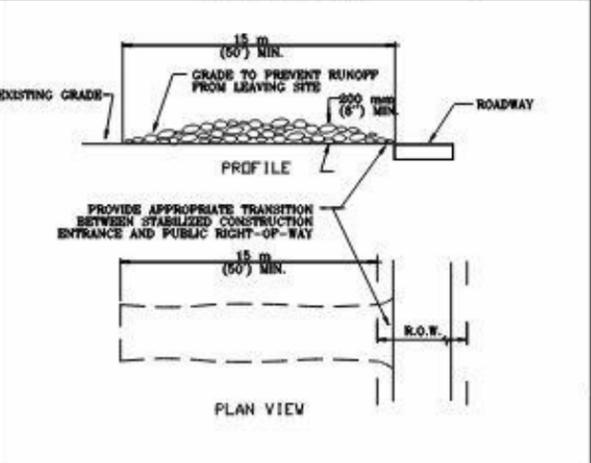
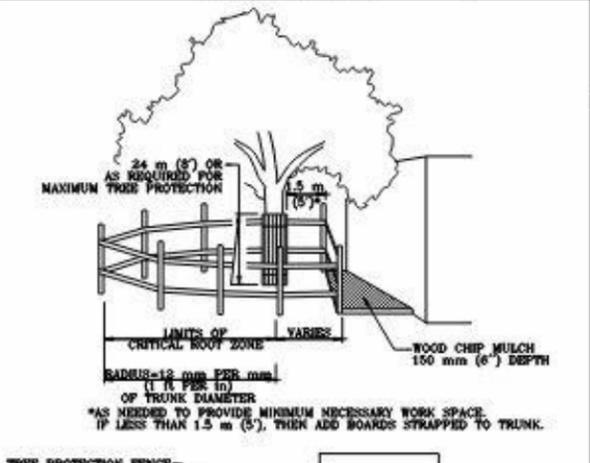
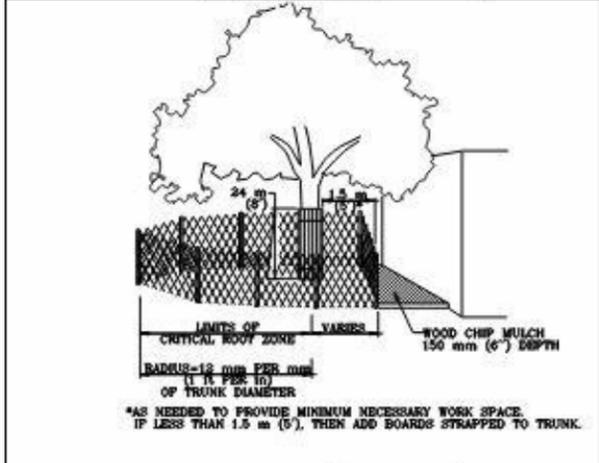


CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
RECORD COPY SIGNED BY J. PATRICK MURPHY 11/16/99 ADOPTED
TREE PROTECTION FENCE LOCATIONS
STANDARD NO. 610S-1
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

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WATERSHED PROTECTION DEPARTMENT
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TREE PROTECTION FENCE TYPE A - CHAIN LINK
STANDARD NO. 610S-2
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

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TREE PROTECTION FENCE TYPE B - WOOD
STANDARD NO. 610S-3
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

OCHONA
DEVELOPMENT + ARCHITECTURE
DRIVEWAY, DRIVEWAY RIBBONS, & SIDEWALK DETAILS IN CRZ



CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
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TREE PROTECTION FENCE MODIFIED TYPE A - CHAIN LINK
STANDARD NO. 610S-4
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

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WATERSHED PROTECTION DEPARTMENT
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TREE PROTECTION FENCE MODIFIED TYPE B - WOOD
STANDARD NO. 610S-5
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
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STABILIZED CONSTRUCTION ENTRANCE
STANDARD NO. 641S-1
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
RECORD COPY SIGNED BY MORGAN BYARS 09/01/2011 ADOPTED
SILT FENCE
STANDARD NO. 642S-1
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

EXP: 07/31/2022

1020SPENCE

AUSTIN TX 78702

10/17/2021

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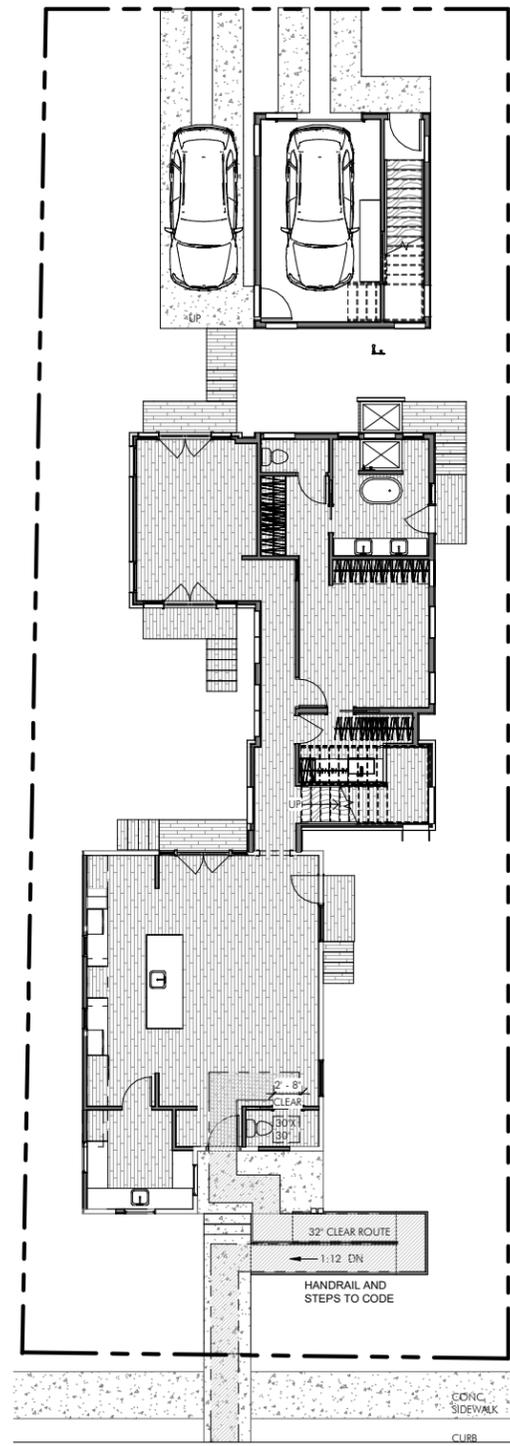
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CITY OF AUSTIN - ARBOR

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SYMBOLS LEGEND			
	PROPERTY LINE		CONCRETE
	UTILITIES LINE		DECKING
	SETBACK LINE		ROOFING
	CRZ LINE		MULCH LAYER
	SPOT ELEVATION		

GENERAL NOTES

VISITABLE BATHROOM ROUTE:
 - A BATHROOM GROUP OR HALF BATH DESIGNATED FOR VISITABILITY MUST BE ACCESSIBLE BY ROUTE WITH A MINIMUM CLEAR OPENING OF 32" BEGINNING AT THE VISITABLE ENTRANCE DESIGNATED AND CONTINUING THROUGH THE LIVING ROOM, DINING ROOM, AND KITCHEN, AND BE LEVEL WITH RAMPED OR BEVELED CHANGES AT DOOR THRESHOLDS.

VISITABLE DWELLING ENTRANCE:
 - A DWELLING MUST BE ACCESSIBLE BY AT LEAST ONE NO-STEP ENTRANCE WITH A BEVELED THRESHOLD OF 1/2" OR LESS AND A DOOR WITH A CLEAR WIDTH OF AT LEAST 32". THE ENTRANCE MAY BE LOCATED AT THE FRONT, REAR OR SIDE OR IN THE GARAGE OR CARPORT, OF THE DWELLING.

VISITABLE BATHROOMS:
 - A MINIMUM CLEAR OPENING OF 30" IS REQUIRED;
 - LATERAL 2"x6" OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS; AND
 - THE CENTERLINE OF THE BLOCKING MUST BE 34" FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF WALL DIRECTLY BEHIND THE LAVATORY. VISITABLE SWITCHES, RECEPTACLES AND ENVIRONMENTAL CONTROLS:
 - LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL; AND
 - OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15" ABOVE THE INTERIOR FLOOR LEVEL, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES.

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10/17/2021

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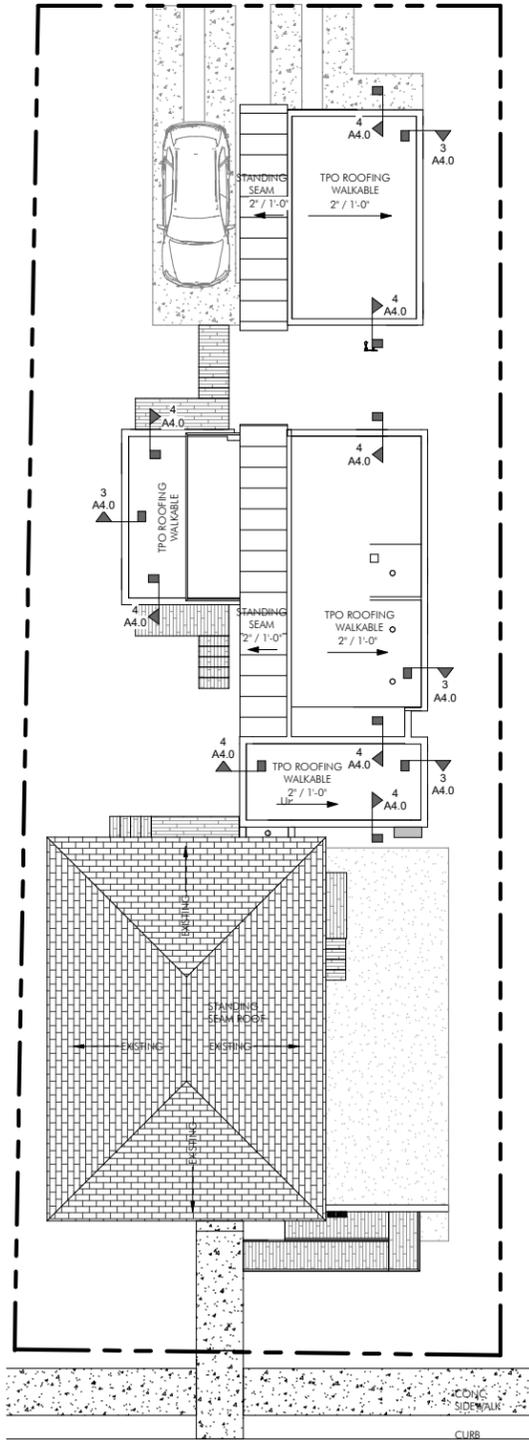
CITY OF AUSTIN - VISITABILITY

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1 SITE PLAN - VISITABILITY
 1/8" = 1'-0"





DRAWING LEGEND	
	NEW ASPHALT ROOF
	COMPOSITION-SHINGLE ROOFING, COLOR TBD, 30-YEAR ARCHITECTURAL
	STANDING SEAM METAL ROOFING, 1-1/2" MINIMUM SEAM, DARK-BRONZE FINISH
	WATERPROOFING MEMBRANE OR WALKABLE TPO

GENERAL NOTES

GENERAL CONTRACTOR TO INSPECT EXISTING CONDITIONS OF ROOFING IF ANY ROOFING WILL BE REUSE IN SCOPE.

ROOFING

REFER TO PLAN HATCH AND NOTES FOR ROOFING TYPES. ROOFS OF COMPOSITION-SHINGLE ROOFS LOWER THAN 4:12 SLOPE TO BE DOUBLE-FELTED PER THE REQUIREMENTS OF IRC SECTION R905. INSTALLATION OF ICE AND WATER MEMBRANE RECOMMENDED FOR PITCH UNDER 4:12.

NEW SOFFIT AND FASCIA ON ROOF OVERHANGS.

ROOF CAP/VALLEY PER MANUFACTURER INSTALLATION INSTRUCTIONS.

DRIP EDGE AT EVE LOCATIONS AS REQUIRED.

FLASHING/COPING

NEW FLASHING AND WEATHER PROOFING AT NEW ROOF PENETRATIONS.

ALL FLASHINGS AND COUNTERFLASHINGS SHALL BE GALVANIZED STEEL UNLESS NOTED OTHERWISE. JOINTS BETWEEN FLASHINGS SHALL BE LAPPED AND SEALED AS REQUIRED.

ALL COPINGS ON PARAPETS AND DECK RAILINGS SHALL BE GALVANIZED STEEL, DARK-BRONZE FINISH, UNLESS NOTED OTHERWISE. NO BUTT JOINTS WILL BE ACCEPTED, ALL COPING TO BE CONTINUOUS WITH SEALED LAP JOINTS.

ALL UNDERSIDES OF COPINGS AND GUTTER ATTACHMENTS TO WALL FINISH/CLADDING TO BE SEALED WITH SILICONE SEALANT.

GUTTERS/SCUPPERS

IF PLANS DO NOT REFLECT GUTTERS, ASSUME 6" GUTTERS AT LOW EAVE LOCATIONS FOR ROOFS INCLUDING HIP, SHED, OR GABLE SHAPES UNLESS NOTED OTHERWISE. ALL GUTTERS SHALL BE FINISHED TO MATCH METAL ROOF OR FASCIA.

GUTTERS TO RECEIVE DOWNSPOUTS FINISHED TO MATCH GUTTER OR PAINTED TO MATCH ADJACENT WALL FINISH. LOCATION OF DOWNSPOUTS TO BE NEAR CORNERS AT ENDS OF WALLS AND CENTERED IN MIDDLE OF WALLS UNLESS NOTED OTHERWISE. QUANTITIES TO BE DETERMINED BY SUBCONTRACTOR.

ALL PARAPETS WALL TO RECEIVE THROUGH-WALL GALVANIZED-METAL OR TPO-COATED METAL SCUPPERS, SIZE SHALL BE 6" HIGH BY 6" WIDE.

SCUPPER LOCATIONS TO BE INDICATED ON ELEVATIONS AND ROOF PLANS. IF PLANS DO NOT REFLECT SCUPPER LOCATIONS QUANTITIES AND LOCATIONS TO BE DETERMINED BY SUBCONTRACTOR.

ALL SCUPPERS TO BE INSTALLED SUCH THAT ROOF AND/OR DECK MATERIAL BEHIND PARAPET SHINGLES ARE ON TOP OF BACK OF SCUPPER.

ALL THROUGH-WALL SCUPPERS TO BE SEALED AT ALL JUNCTIONS WITH EXTERIOR WALL.

DECK/BALCONIES

AT DECKS AND BALCONIES ABOVE CONDITIONED SPACE PROVIDE A WATERPROOFING MEMBRANE OR EQUAL ROOFING MATERIAL. TORCH-DOWN MEMBRANE ASSEMBLIES ARE EXPRESSLY PROHIBITED.

ALL STRUCTURE AND FRAMING USED UNDER SYNTHETIC WOOD DECKING TO BE PRESSURE-TREATED.

ALL SURFACES THAT ARE MORE THAN 30" ABOVE GROUND INCLUDING ROOF DECKS, BALCONIES, AND UNCOVERED ROOF DECKS SHALL RECEIVE GUARDS 36"-42" HEIGHT BALUSTRADE OR PARAPET WALL AS REQUIRED.

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ROOF PLAN

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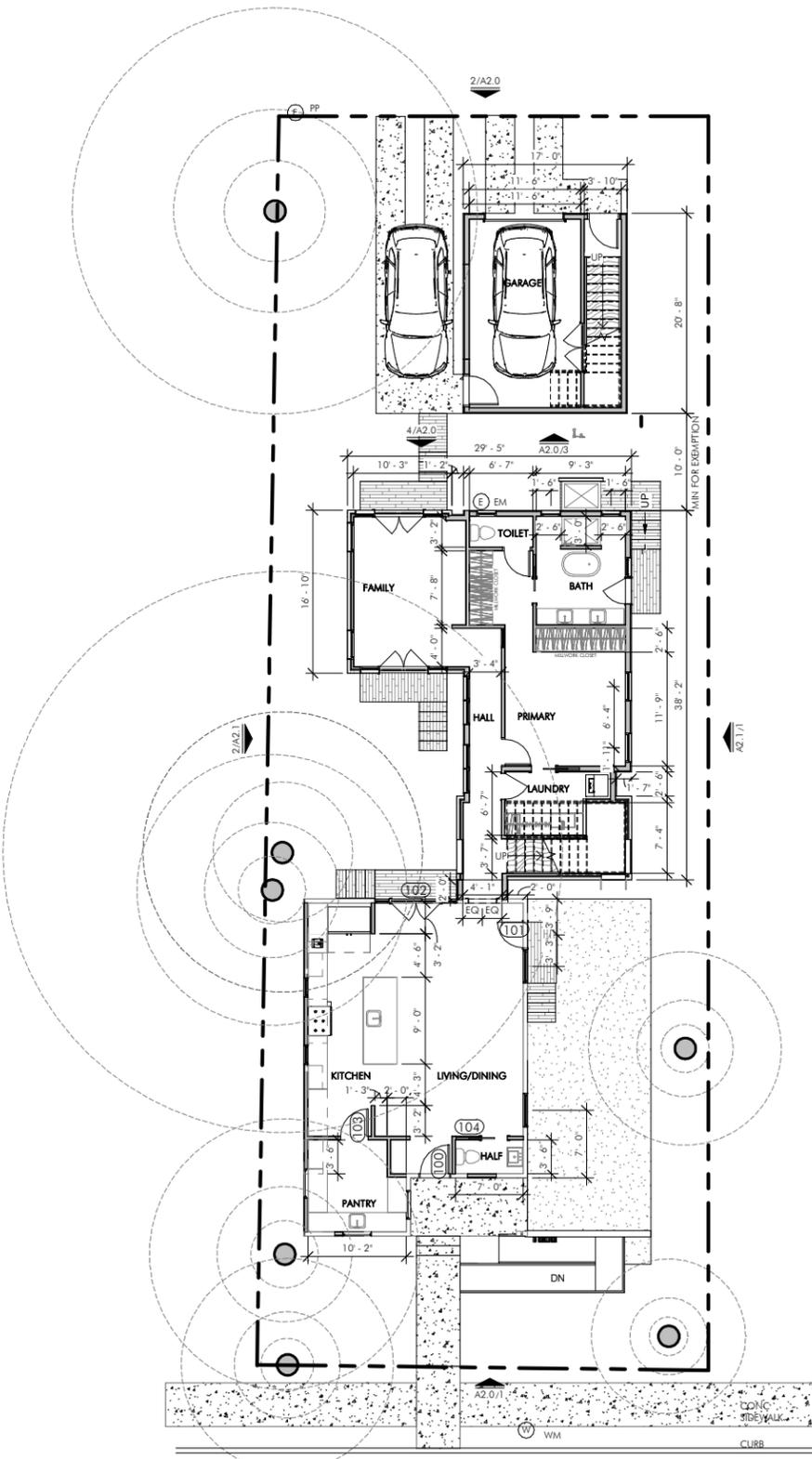
1 ROOF HIGH
1/8" = 1'-0"



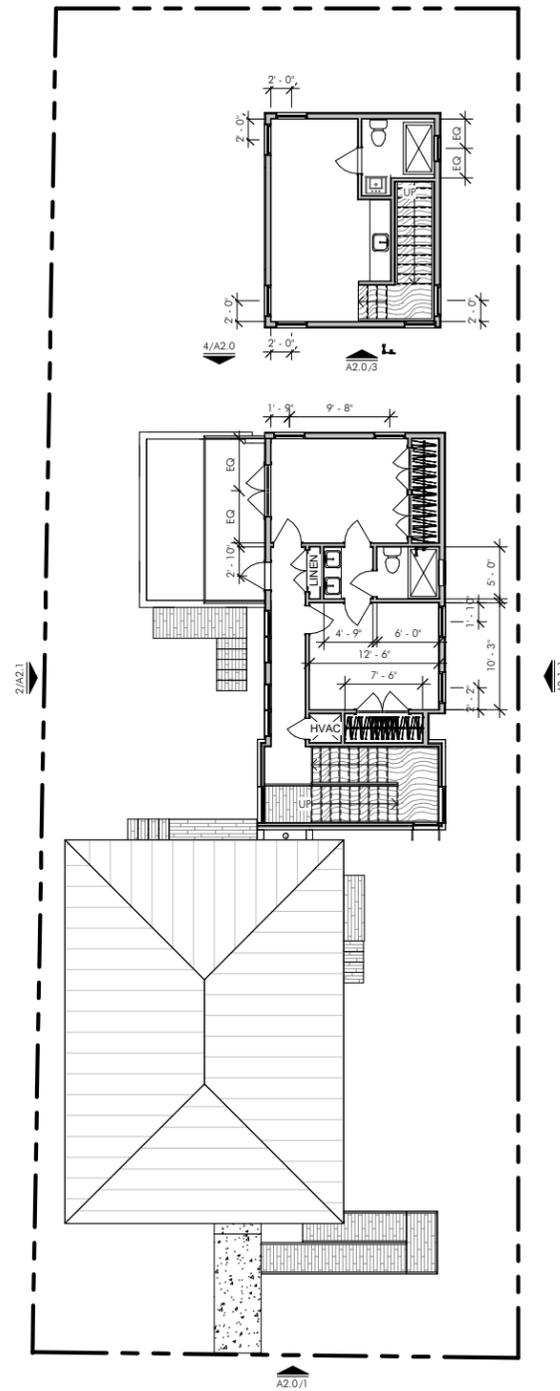
TRUE NORTH



PLAN NORTH



1 FIRST FLOOR PLAN
1/8" = 1'-0"



2 SECOND FLOOR PLAN
1/8" = 1'-0"

DRAWING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- CONCRETE

GENERAL NOTES

ALL INTERIOR PARTITIONS WILL BE WOOD STUDS AT 16" O.C. UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL EXTERIOR WALL CONSTRUCTION INFORMATION.

IT MAY BE NECESSARY FOR THE MILLWORK CONTRACTOR TO SLIGHTLY ALTER A FIXTURE SIZE FOR VARIOUS REASONS. THEREFORE, THE G.C. SHALL VERIFY WITH MILLWORK CONTRACTOR THE ACTUAL SIZE OF ALL WALL SYSTEMS, COMPONENTS, AND FIXTURES BEFORE CONSTRUCTING ANY WALLS.

DIMENSIONS ARE TO FACE OF GYPSUM WALL BOARD OR CENTERLINE OF COLUMN. ALL ELEVATIONS ARE NOTED FROM FINISH FLOOR ELEVATIONS.

ALL GYPSUM BOARD SHALL BE 5/8" TYPE X, UNLESS NOTED OTHERWISE.

MINIMUM DIMENSION FROM ANY CORNER OR WALL TO FRAMING STUD AT DOOR JAMB OPENING SHALL BE 4" U.N.C.

COORDINATE ALL BLOCKING REQUIREMENTS NECESSARY FOR MILLWORK WITH MILLWORK SUPPLIER.

THE G.C. SHALL VERIFY DIMENSIONS OF THE EXISTING SPACE AND OF ANY EXISTING CONSTRUCTION TO REMAIN BY ACTUAL MEASUREMENT BEFORE ANY WORK IS PERFORMED. IF ANY MEASUREMENTS DIFFER FROM DIMENSIONS SHOWN ON PLAN, G.C. IS TO NOTIFY THE OWNER IMMEDIATELY. THE G.C. SHALL BE RESPONSIBLE FOR CORRECTING ANY AND ALL DISCREPANCIES FOUND AFTER THE WORK IS PERFORMED, AT NO ADDITIONAL EXPENSE TO THE OWNER.

G.C. TO VERIFY ALL FINISHED DIMENSIONS. FIELD CONDITIONS ALTERING ANY DIMENSIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.

THE G.C. SHALL COORDINATE WORK OF VARIOUS TRADES IN INSTALLATION OF INTERRELATED WORK. BEFORE INSTALLATION OR WORK BY ANY TRADE BEGINS, MAKE PROPER PROVISIONS TO AVOID INTERFERENCES. CHANGES REQUIRED IN WORK CAUSED BY NEGLIGENCE SHALL BE MADE AT NO COST TO THE OWNER. THIS SHALL INCLUDE WORK PERFORMED BY ANY OF THE OWNERS SUB-CONTRACTOR AS WELL AS THOSE UNDER CONTRACT TO THE G.C.

ALL STUDS TO EXTEND TO UNDERSIDE OF TRUSS, UNLESS NOTED OTHERWISE. STUD SPACING SHALL BE 16" O.C., UNLESS OTHERWISE NOTED.

SEE ENGINEER DRAWINGS FOR FLOOR FRAMING, FOUNDATION AND SLAB INFORMATION.

REFER TO ENGINEER DRAWINGS FOR EXTENT OF SHEAR WALL SHEATHING; BRACING AND BEAM INFORMATION.

ACOUSTIC BATT-TYPE INSULATION SHALL BE INSTALLED IN PARTITION WALLS SEPARATING BATHROOMS, MECHANICAL ROOMS, LAUNDRY ROOMS AND STUDIOS.

PARTITION LEGEND

- | | | |
|------------------------|---|--|
| A1 | EXTERIOR CEMENT - BOARD SIDING
5/8" CDX PLYWOOD WITH BARRIER
2X6 WD STUDS @ 16" O.C.
INSULATION*
5/8" SHEETROCK/GREENBOARD* | |
| *according to location | | |
| B1 | EXTERIOR CEMENT - BOARD SIDING
5/8" CDX PLYWOOD WITH BARRIER
2X6 WD STUDS @ 16" O.C.
INSULATION*
5/8" SHEETROCK/GREENBOARD* | |
| *according to location | | |
| C1 | 5/8" SHEETROCK/GREENBOARD*
2X6 WD STUDS @ 16" O.C.
INSULATION*
5/8" SHEETROCK/GREENBOARD* | |
| *according to location | | |
| D1 | 5/8" SHEETROCK/GREENBOARD*
2X4 WD STUDS @ 16" O.C.
INSULATION*
5/8" SHEETROCK/GREENBOARD* | |
| *according to location | | |

NOTE: UNLESS NOTED OTHERWISE INSTALL ALL CERAMIC TILE OVER MANUFACTURERS RECOMMENDED SUBSTRATE WITH LATEX PORTLAND CEMENT (THIN-SET) MORTAR ON CRACK SUPPRESSANT MEMBRANE. EXTEND TILE UNDER FIXTURES AND TIGHTLY FIT TILE TO WALL OUTLETS/OPENINGS/FLOOR DRAINS WITH ACCURACY CONSISTENT ACROSS JOINTS. PROTECT DURING CONSTRUCTION FROM BLEMISHES AND STAINS. FOR LARGE SCALE, PROPER BONDING REQUIRED MINIMUM BED MORTAR AND BACK BUTTERING TILE TO ENDURE PROPER COVERAGE. REFER TO MANUFACTURER INSTRUCTION AND SUBSTRATE PREPARATION AND TROWEL SECTION. FLOORING MUST BE LEVELED AND THERE MUST BE 99% CONTACT

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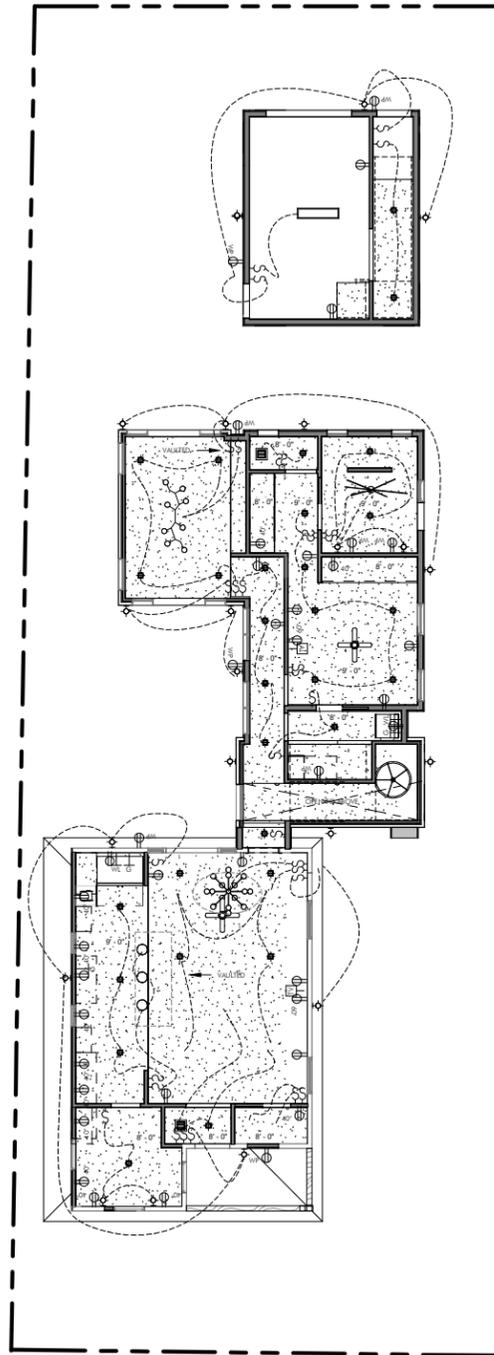
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CONSTRUCTION FLOOR
PL AN

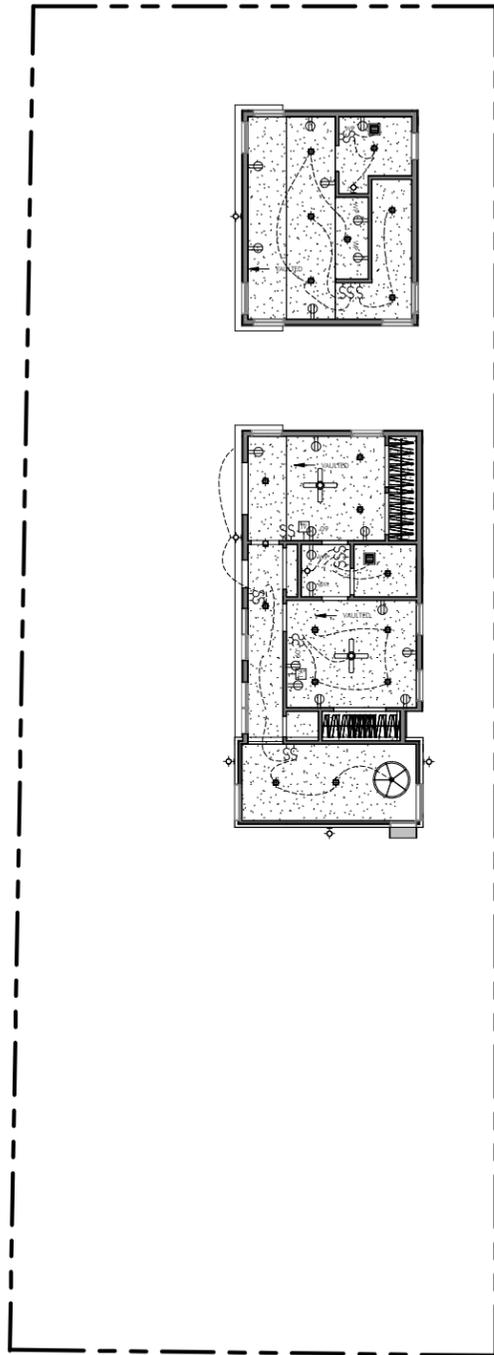
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1 FIRST FLOOR CEILING PLAN
1/8" = 1'-0"



2 SECOND LEVEL
1/8" = 1'-0"

LEGEND

NOT ALL ITEMS ARE USED. SEE SPECIFICATIONS

	RECESSED CAN FIXTURE		TOP HALF SWITCHED
	RECESSED CAN DIRECTIONAL FIXTURE		120V DUPLEX OUTLET WHERE SHOWN NUMBER INDICATES HEIGHT
	SURFACE MOUNTED FIXTURE		120V DUPLEX OUTLET - GROUND FAULT INTERRUPTER
	CEILING MOUNTED RECTANGULAR LIGHT		120V DUPLEX OUTLET - WEATHER PROOF
	PENDANT FIXTURE		120V QUAD OUTLET
	WALL MOUNTED LIGHT FIXTURE		120V OUTLET RECESSED IN FLOOR W/ METAL COVER PLATE. (FINISH TBD)
	STEP LIGHT FIXTURE		220V OUTLET, VERIFY PLUG TYPE
	FLOOD LIGHT FIXTURE		TELEPHONE/DATA JACK
	UNDER CABINET LIGHTING		CABLE TV JACK
	EXHAUST FAN "H" INDICATES HEATING ELEMENT		THERMOSTAT
	CEILING FAN		ALARM
	SMOKE DETECTOR - INSTALL PER CODE		DOOR BELL CHIME
	SWITCH - SINGLE POLE		DOOR BELL
	SWITCH - DIMMER		GAS VALVE
	SWITCH - 3 WAY		HOSE BIB
	SWITCH - 4 WAY		

GENERAL NOTES

CITY OF DALLAS GREEN ORDINANCE PH2 PROJECT TO COMPLY WITH THE INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY THE CITY OF DALLAS

HVAC SYSTEM TO BE INSTALLED IN ATTIC SPACE

AIR FILTERS MUST BE MERV OR GREATER

AIR HANDLERS MUST BE SIZED TO MAINTAIN PRESSURE AND AIR FLOW

AIR FILTER HOUSING TO BE AIR TIGHT

ALL CEILING HEIGHTS TO BE TO BOTTOM OF STRUCTURE U.N.O.

ALL CEILINGS TO BE PAINTED GYPSUM BOARD U.N.O.

DIMENSIONS ARE TO CENTER OF FIXTURES

MAINTAIN ONE (1) STUD BETWEEN OUTLETS IN PARTITIONS BETWEEN ROOMS

ELECTRICAL WORK TO BE INSTALLED PER CURRENT APPLICABLE CODE, WITH LOCAL AMENDMENTS.

PROVIDE ARC FAULT CIRCUITS FOR OUTLETS IN BEDROOMS. MAINTAIN ONE (1) STUD BETWEEN OUTLETS IN PARTITIONS BETWEEN ROOMS

ALL OUTLETS AT 18" A.F.F. (BOTTOM OF BOX) & ALL SWITCHES AT 38" (EXCEPT AT COUNTERTOPS) OR NOTED OTHERWISE. THE CENTERLINE OF ALL OUTLETS, SWITCHES, THERMOSTATS AND STROBES SHALL START AT 8" FROM THE NEAREST OUTSIDE OR INSIDE CORNER OR DRYWALL, EDGE OF DOORFRAME OR EDGE OF OPEN DOOR, UNLESS NOTES OTHERWISE. DEVICES OCCURRING ADJACENT TO EACH OTHER SHALL ALIGN VERTICALLY.

PROVIDE IN WALL BLOCKING AT ALL WALL MOUNTED MONITOR LOCATIONS.

VERIFY REQUIRED VOLTAGE OF APPLIANCE OUTLETS.

PROVIDE WP (WATERPROOF) & GFI (GROUND FAULT INTERRUPTOR) OUTLETS AS SHOWN AND PER CODE.

PROVIDE SMOKE DETECTORS AS SHOWN AND PER CODE. SMOKE DETECTORS TO BE HARDWIRED TO POWER AND INTERLOCKED.

VERIFY EXISTING CEILING HEIGHTS TO BE MATCHED

CAN LIGHTS TO BE LED MATCH THE REST OF THE HOUSE.

CONTRACTOR TO SCHEDULE A "BLUE BOX REVIEW" WITH OWNER, ARCHITECT AND INTERIOR DESIGNER. FOR THIS REVIEW, ALL JUNCTION BOXES (FOR OUTLETS SWITCHES AND LIGHTING) AND CAN LIGHT HOUSINGS TO BE SET, WITH NO WIRE PULLED. DECORATIVE FIXTURE LOCATIONS TO BE VERIFIED DURING THIS REVIEW.

ALL LIGHTING TO BE ON DIMMERS, EXCEPT IN UTILITY SPACES (CRAWL SPACE, ATTIC, GARAGE)

SWITCHES AND DIMMERS TO BE LUTRON "DIVA". COLORS TO BE SELECTED. DIMMERS TO BE MATCHED TO FIXTURE AND LOAD.

VISIBLE OUTLETS TO BE LUTRON "CLARO", COLORS TO BE SELECTED.

SET DIRECTIONAL CAN LIGHTS 3'-0" OFF OF "TARGET" WALL, U.N.O.

EXHAUST FANS TO BE ON A TIMER, U.N.O.

ELECTRICAL CONTRACTOR TO SET COMMUNICATION JUNCTION BOXES WITH CONDUIT, PER PLANS. COMMUNICATION WIRING AND AUDIO VISUAL WIRING AND DEVICES TO BE BY OWNER, CONTRACTOR TO COORDINATE POWER REQUIREMENTS AND SCHEDULING OF LOW VOLTAGE WIRING.

PROVIDE GAS SUPPLY LINE(S) WITH SHUT OFF VALVES PER CODE FOR WATER HEATER(S), FURNACES, AND GAS APPLIANCES.

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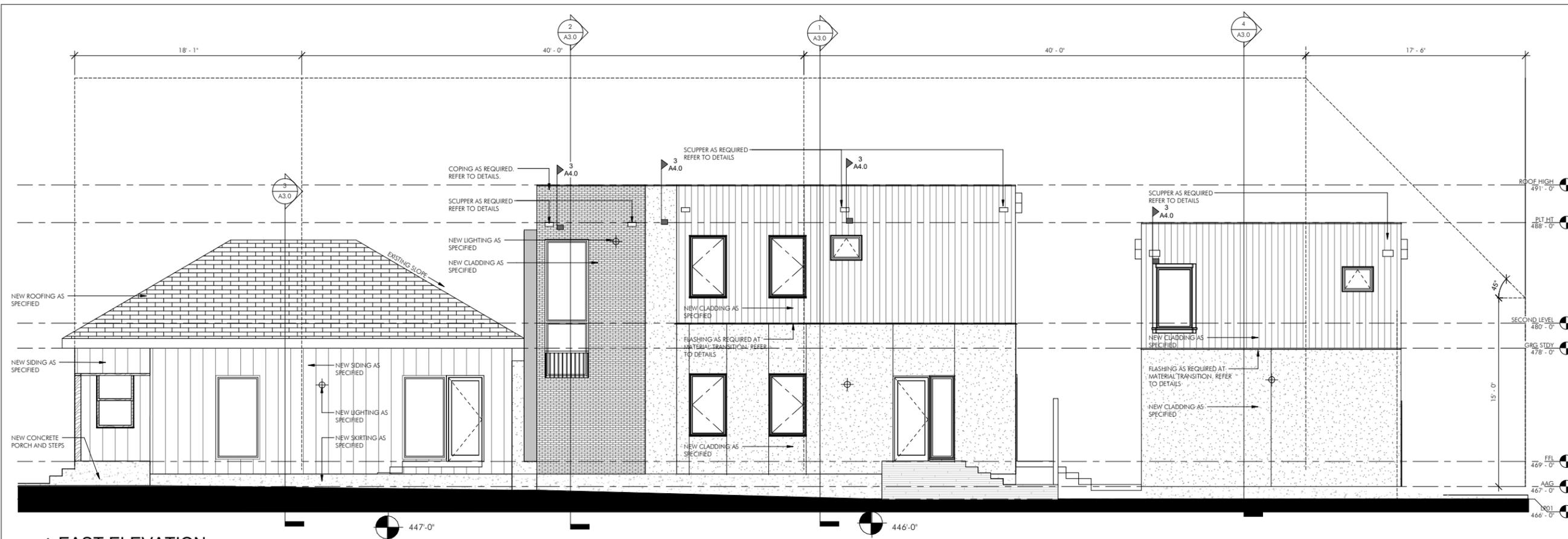
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REFLECTED CEILING PLAN

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1 EAST ELEVATION
1/4" = 1'-0"



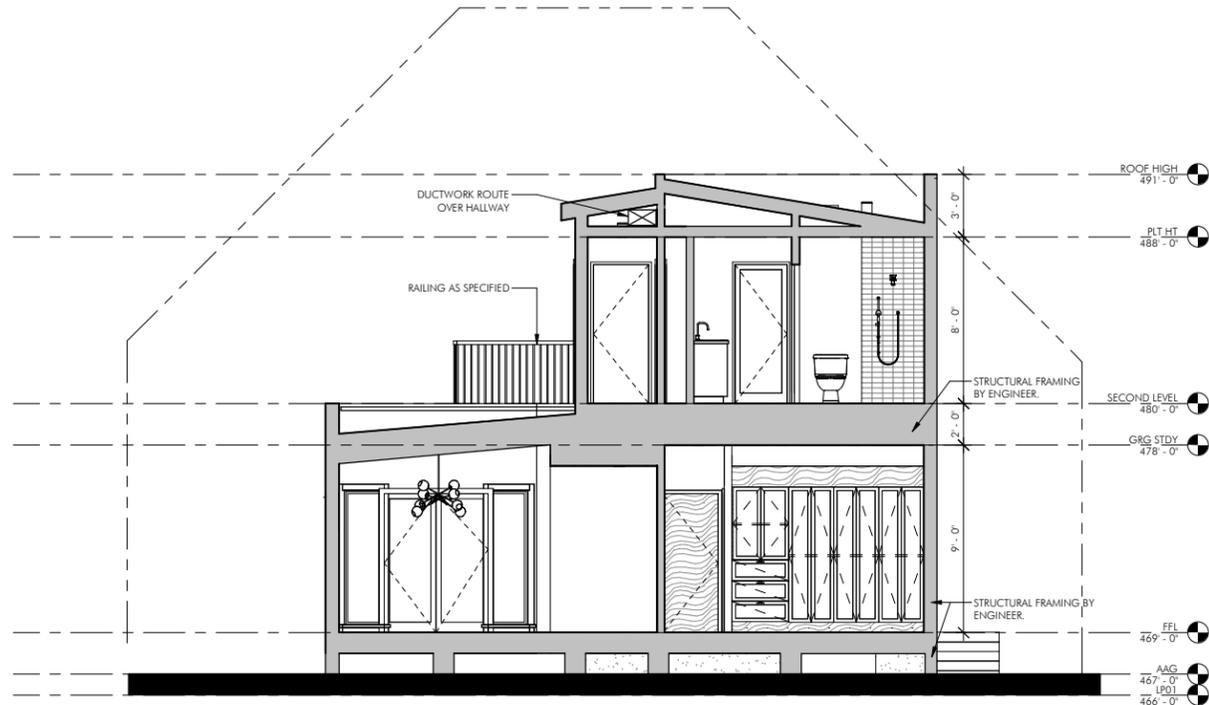
2 WEST ELEVATION
1/4" = 1'-0"

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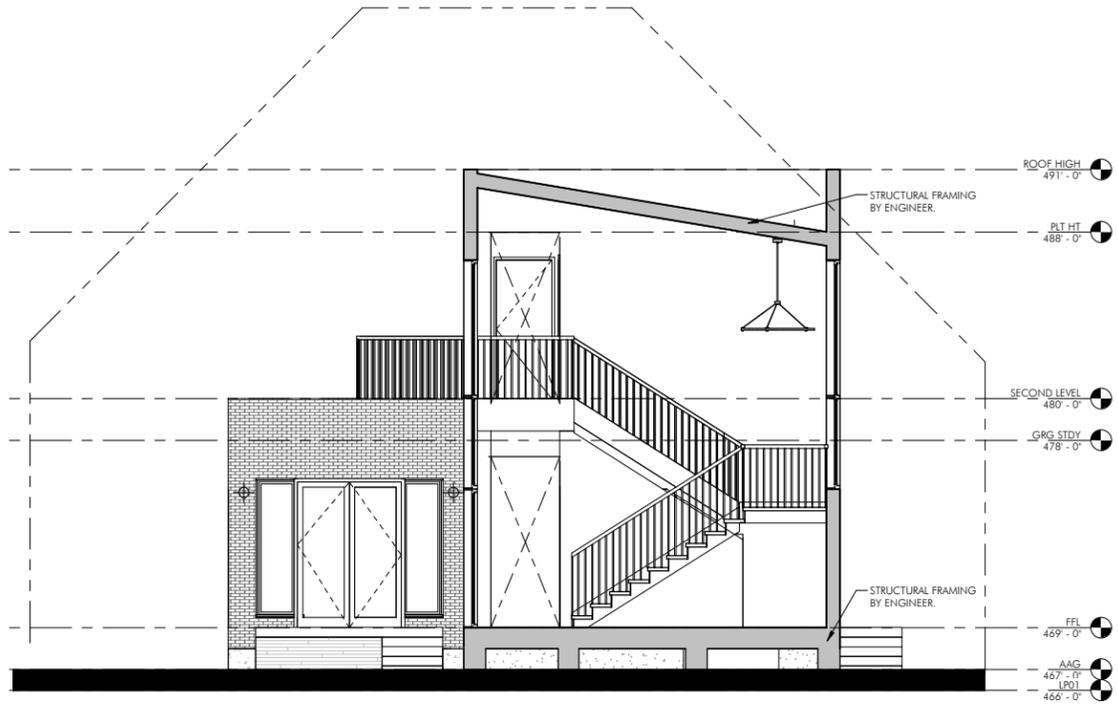
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EXTERIOR ELEVATIONS

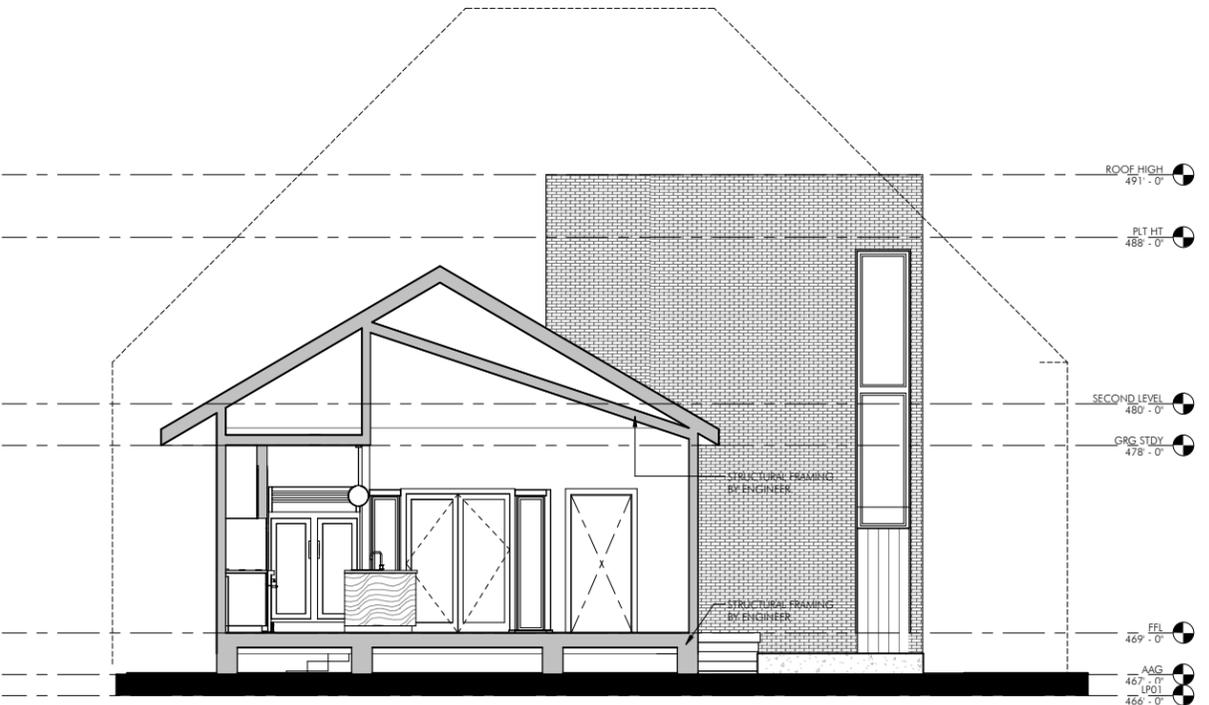
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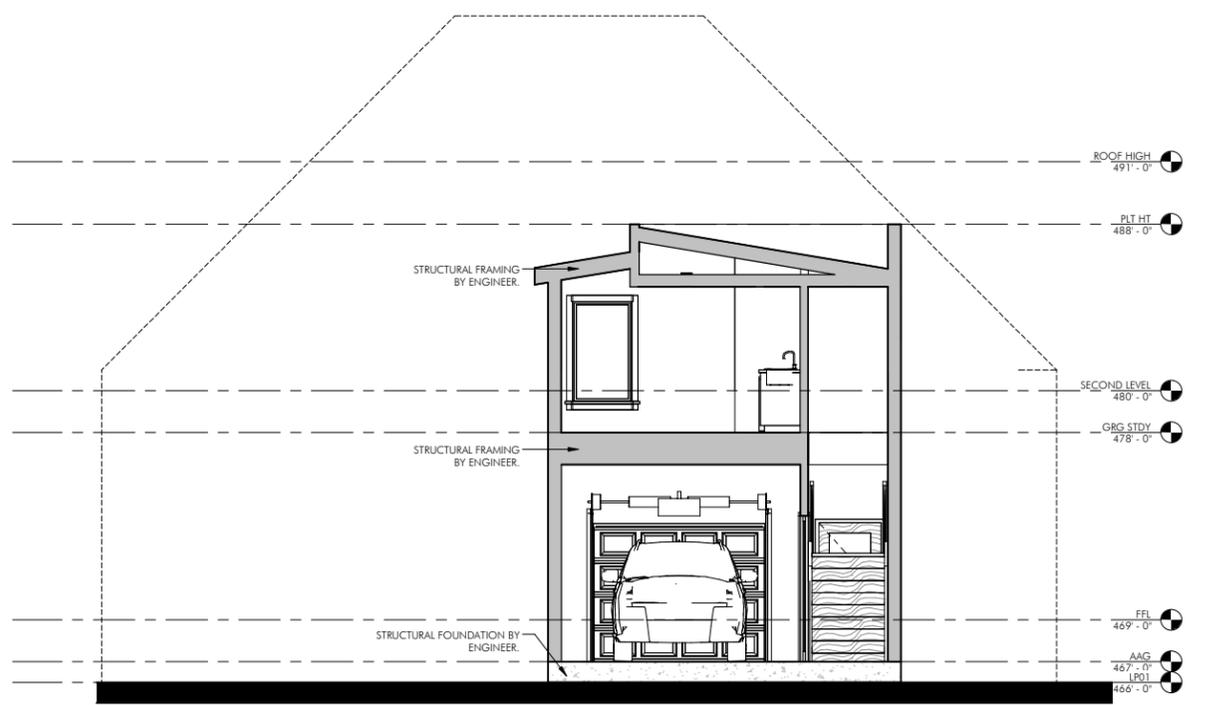
1 SECTION 1 BEDROOMS
1/4" = 1'-0"



2 SECTION 2 STAIR
1/4" = 1'-0"



3 SECTION 3 LIVING KITCHEN
1/4" = 1'-0"



4 SECTION 4 GARAGE
1/4" = 1'-0"

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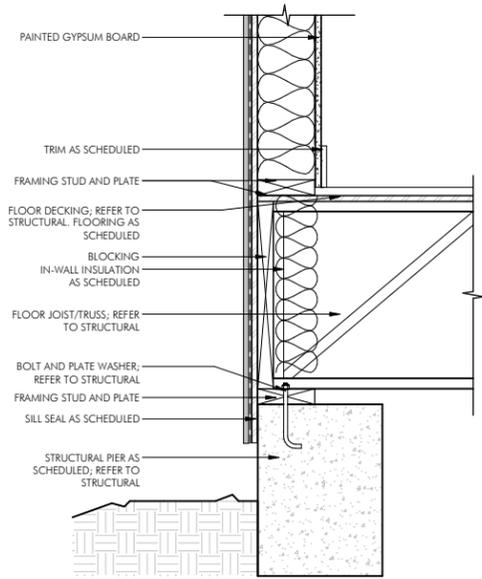
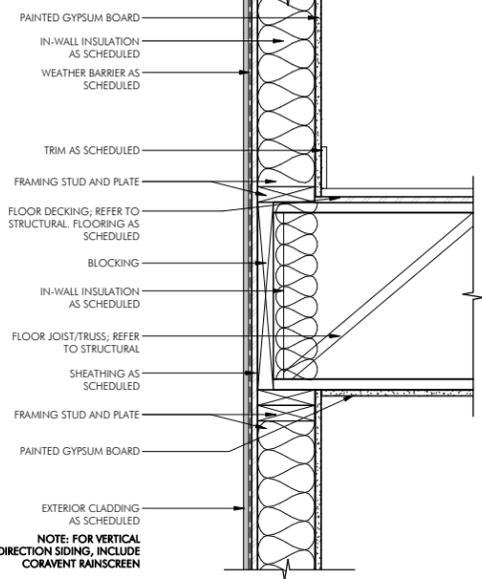
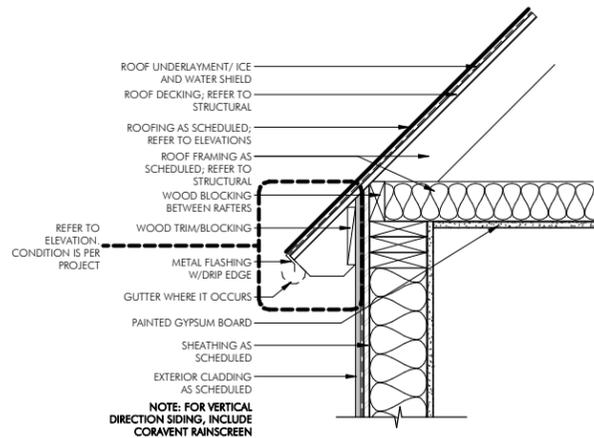
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SECTIONS

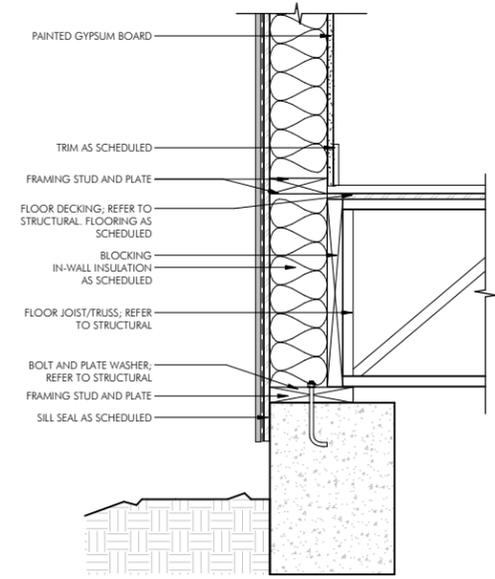
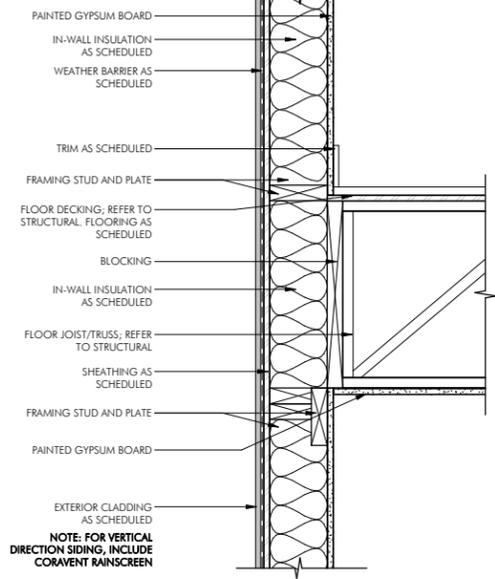
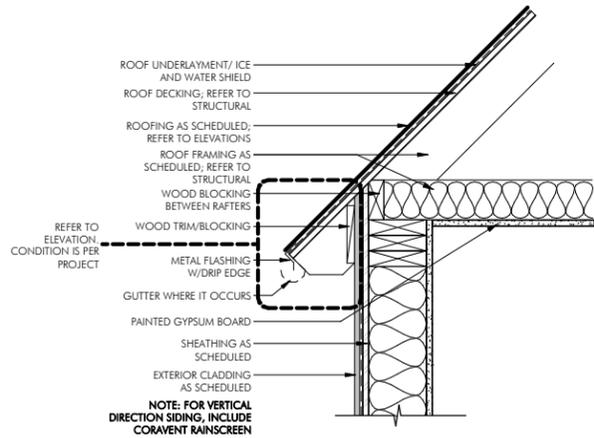
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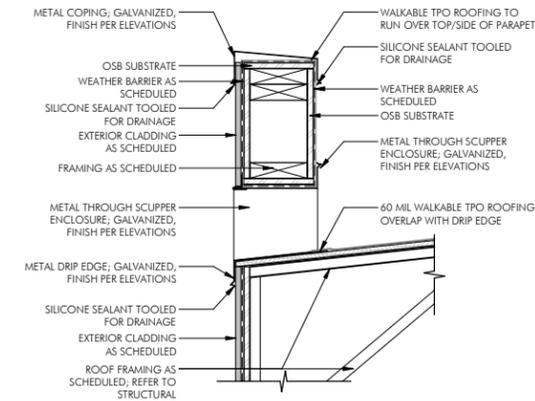
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL ELEMENTS. REFER TO ELEVATIONS FOR SPECIFIED CLADDING AND ROOF SLOPE.

1 WD FRAMING PLATFORM - STUCCO/ SIDING
1 1/2" = 1'-0"



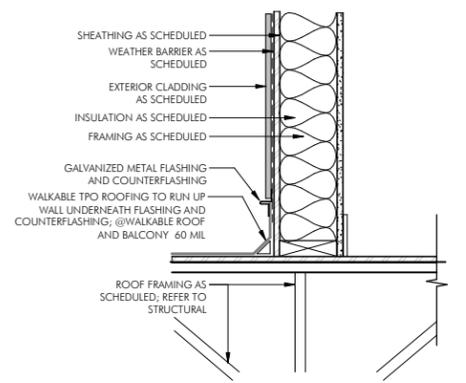
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL ELEMENTS. REFER TO ELEVATIONS FOR SPECIFIED CLADDING AND ROOF SLOPE.

2 WD FRAMING BALLON - STUCCO/ SIDING
1 1/2" = 1'-0"



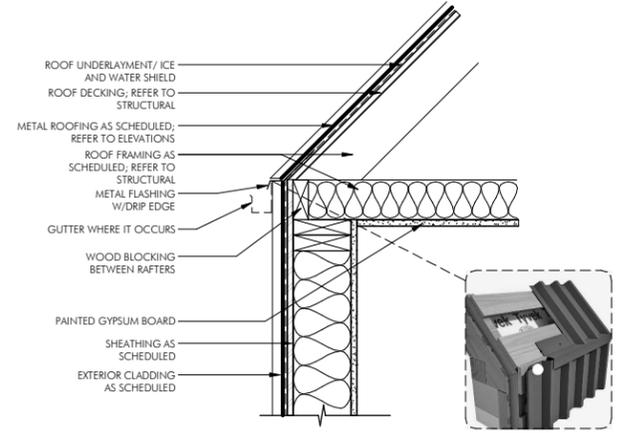
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT. REFER TO MANUFACTURER INSTALLATION MANUAL FOR WATERPROOFING INFORMATION.

3 PARAPET - SCUPPER DETAIL
1 1/2" = 1'-0"

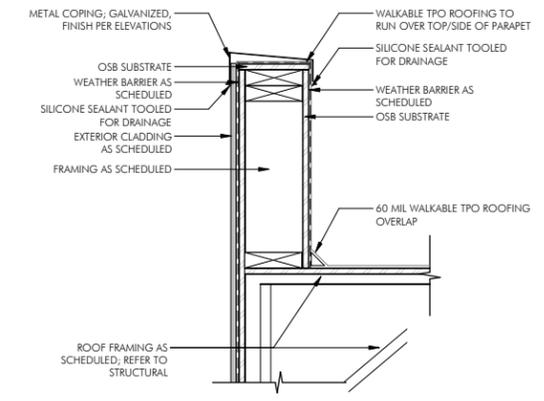


NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT. REFER TO MANUFACTURER INSTALLATION MANUAL FOR WATERPROOFING INFORMATION.

5 ROOF WALL JUNCTION WATER DETAIL
1 1/2" = 1'-0"

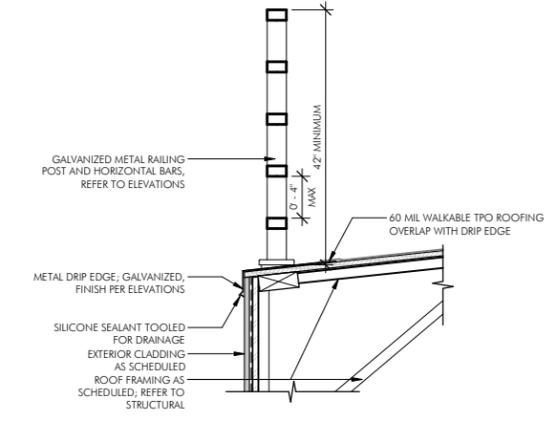


7 METAL ROOFING AND SIDING EAVE
1 1/2" = 1'-0"



NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT. REFER TO MANUFACTURER INSTALLATION MANUAL FOR WATERPROOFING INFORMATION.

4 PARAPET DETAIL
1 1/2" = 1'-0"



NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT. REFER TO MANUFACTURER INSTALLATION MANUAL FOR WATERPROOFING INFORMATION.

6 BALCONY EDGE
1 1/2" = 1'-0"

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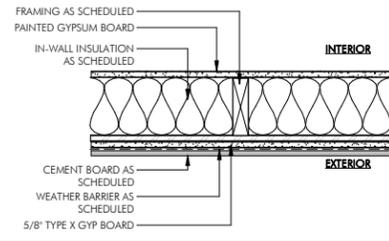
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TYPICAL DETAILS

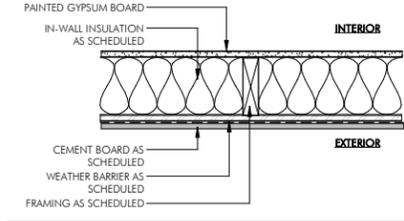
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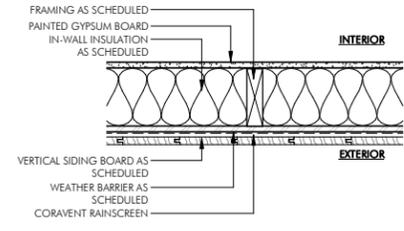
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT. REFER TO MANUFACTURER INSTALLATION INSTRUCTIONS AND STRUCTURAL DRAWINGS

1 CEMENT BOARD CLADDING 1HR
1 1/2" = 1'-0"



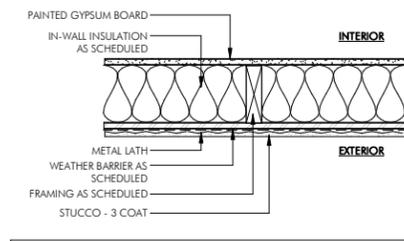
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT. REFER TO MANUFACTURER INSTALLATION INSTRUCTIONS AND STRUCTURAL DRAWINGS

2 CEMENT BOARD CLADDING
1 1/2" = 1'-0"



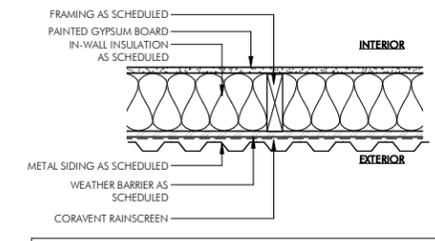
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT. REFER TO MANUFACTURER INSTALLATION INSTRUCTIONS AND STRUCTURAL DRAWINGS

3 VERTICAL WOOD CLADDING
1 1/2" = 1'-0"



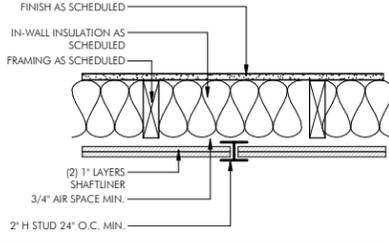
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT. REFER TO MANUFACTURER INSTALLATION INSTRUCTIONS AND STRUCTURAL DRAWINGS

4 STUCCO CLADDING
1 1/2" = 1'-0"



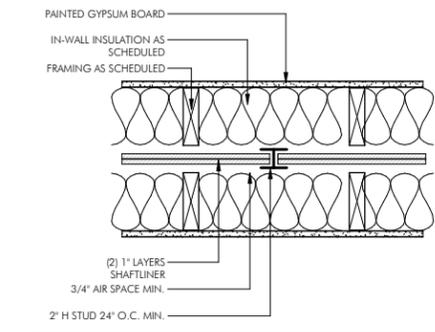
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT. REFER TO MANUFACTURER INSTALLATION INSTRUCTIONS AND STRUCTURAL DRAWINGS

5 METAL CLADDING
1 1/2" = 1'-0"



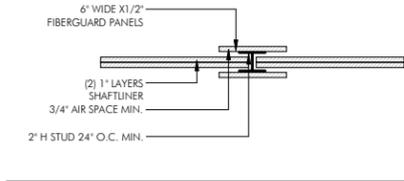
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT FOR FIRE RATED AND UL U373 ASSEMBLIES

6 2HR FIRE RATING - 59STC
1 1/2" = 1'-0"



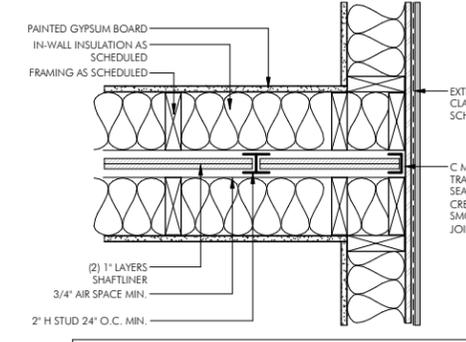
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT FOR FIRE RATED AND UL U373 ASSEMBLIES

7 2HR FIRE RATING - 66STC
1 1/2" = 1'-0"



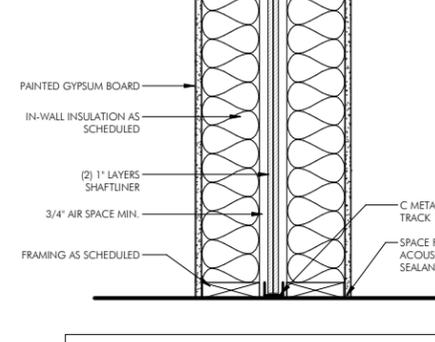
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT FOR FIRE RATED AND UL U373 ASSEMBLIES

8 2HR FIRE RATING - 38STC
1 1/2" = 1'-0"



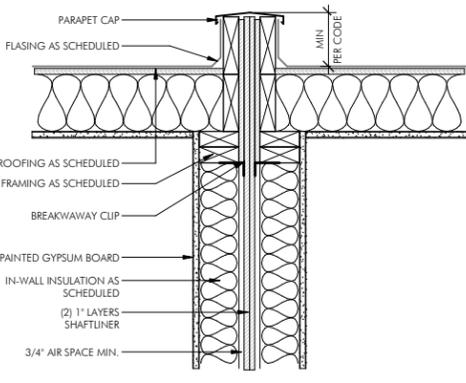
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT FOR FIRE RATED AND UL U373 ASSEMBLIES

9 EXTERIOR WALL INTERSECTION
1 1/2" = 1'-0"



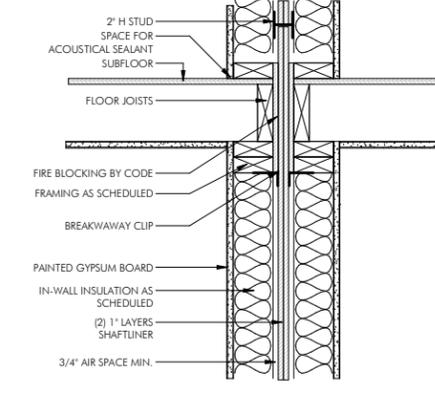
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT FOR FIRE RATED AND UL U373 ASSEMBLIES

10 WALL TO SLAB
1 1/2" = 1'-0"



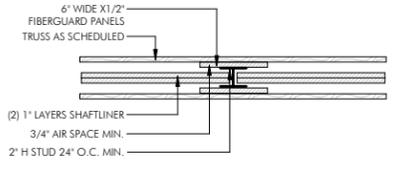
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT FOR FIRE RATED AND UL U373 ASSEMBLIES

11 ROOF-CEILING
1 1/2" = 1'-0"



NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT FOR FIRE RATED AND UL U373 ASSEMBLIES

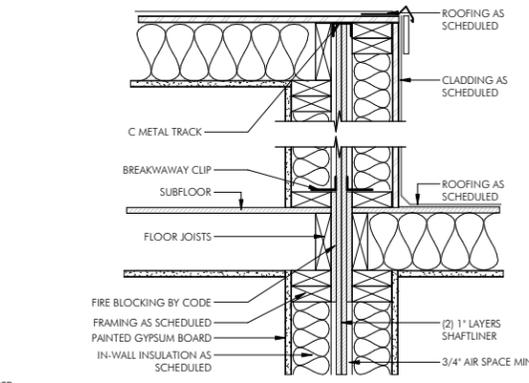
12 FLOOR INTERSECTION
1 1/2" = 1'-0"



*ONLY APPLIES IF SOLID WALL IS ACCESSIBLE. IF NOT ACCESSIBLE, THE STRIPS ARE NOTE REQUIRED.

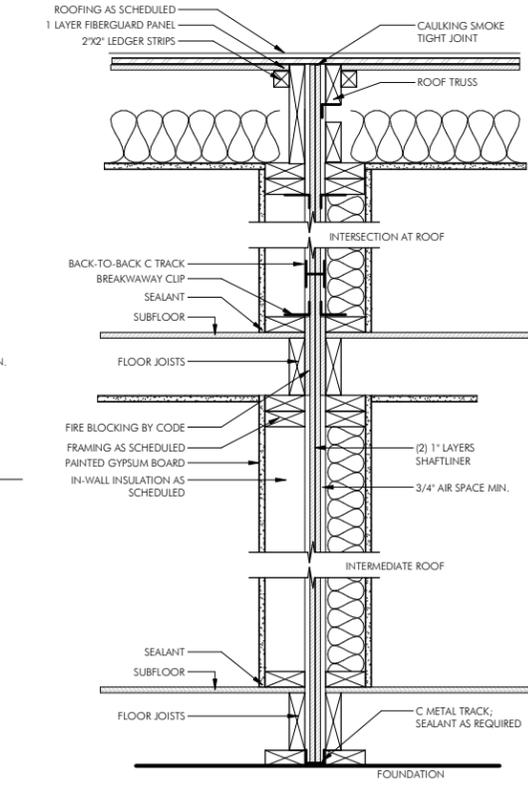
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT FOR FIRE RATED AND UL U373 ASSEMBLIES

13 ATTIC-ADJACENT TO TRUSSES
1 1/2" = 1'-0"



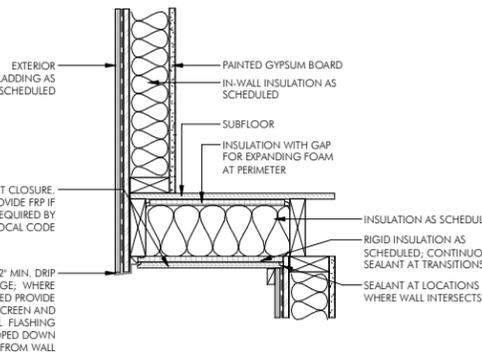
NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT FOR FIRE RATED AND UL U373 ASSEMBLIES

14 TYPICAL ROOF OFFSET
1 1/2" = 1'-0"



NOTE: THIS DETAIL IS A STANDARD DETAIL TO PROVIDE DESIGN INTENT FOR FIRE RATED AND UL U373 ASSEMBLIES

15 FULL SEPARATION WALL
1 1/2" = 1'-0"



16 CANTILEVEL ASSEMBLY
1 1/2" = 1'-0"

EXP: 07/31/2022

1020SPENCE
AUSTIN TX 78702

10/17/2021

FIELD INSPECTION REQUIRED
Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

DATE ISSUED FOR
10/17/2021 PERMIT SET

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PROJECT #: 62CMAL

DETAILS

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