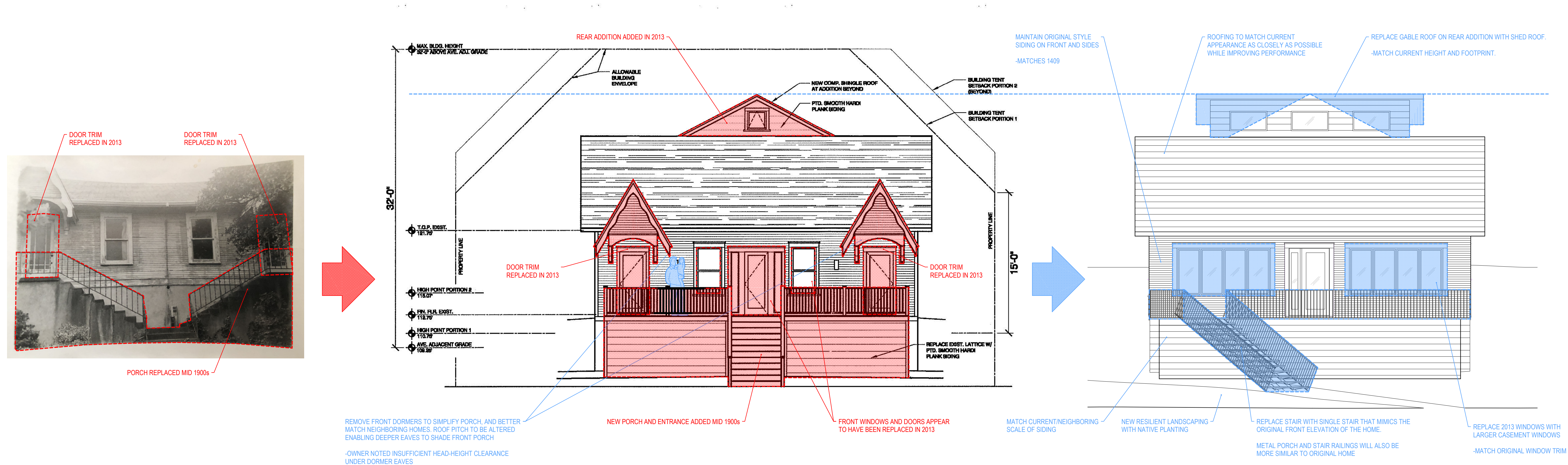


GOAL: CONVERT HOME AT 1407 ALTA VISTA AVE FROM DUPLEX TO SINGLE FAMILY RESIDENCE AND RECONCILE ARTIFACTS FROM 2 PREVIOUS RENOVATIONS TO MAKE THE APPEARANCE MORE SIMPLE, HARMONIOUS AND MORE SYMPATHETIC TO THE CONTEXT OF THE NEIGHBORHOOD.

WE BELIEVE THAT THE PREVIOUS RENOVATIONS WERE SIGNIFICANT ENOUGH THAT 1407 SHOULD NOT BE CONSIDERED AS A CONTRIBUTING BUILDING, HOWEVER WE STILL INTEND TO BE AS SYMPATHETIC AS POSSIBLE TO THE SCALE, FORM, AND MATERIALITY OF OUR CONTEXT.



1 ORIGINAL DUPLEX, ca 1930
NTS

NTS

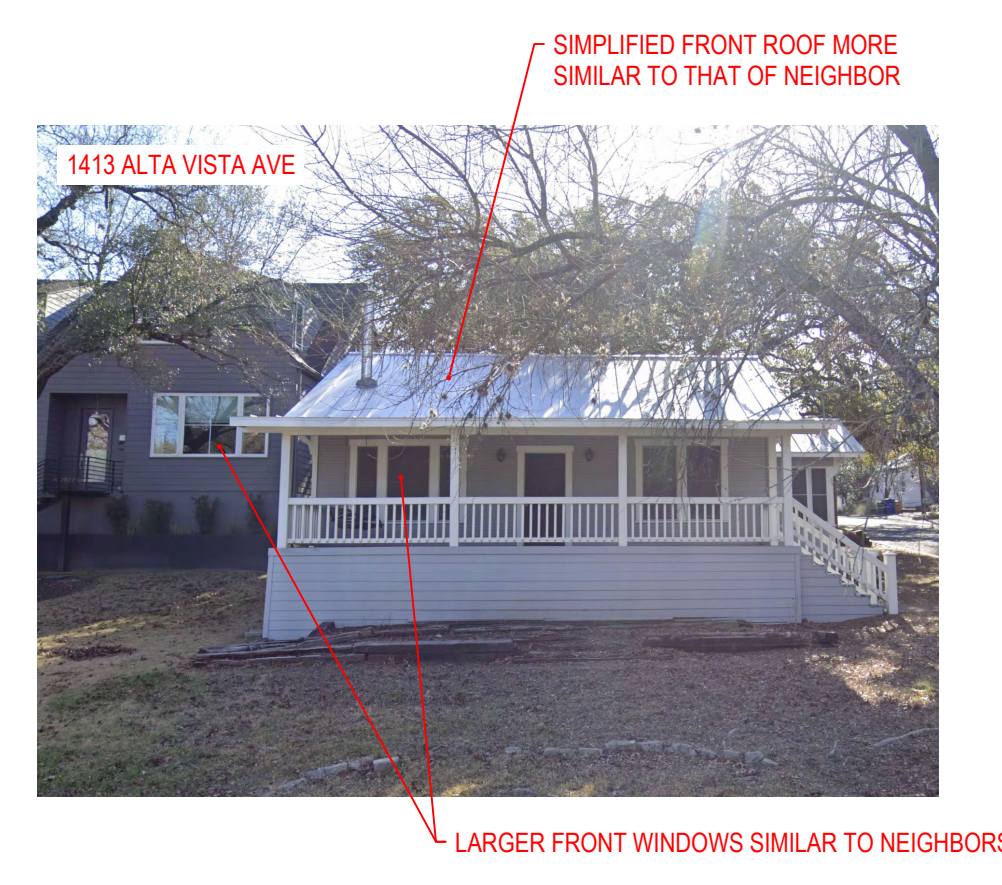
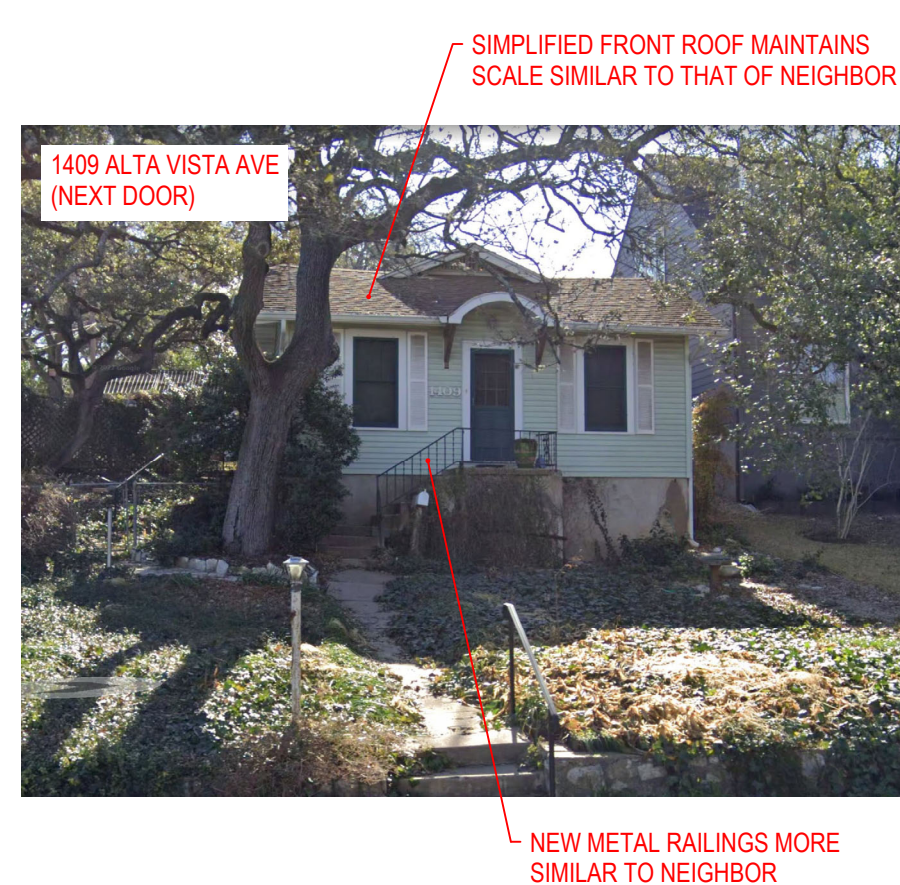
2 PRESENT, CONVERTED TO SINGLE FAMILY IN MID 1900s, AND BACK TO DUPLEX IN 2013

SCALE: 3/16" = 1'-0"

SCALE: 3/16" = 1'-0"

3 PROPOSED ALTERATIONS, 2022

SCALE: 3/16" = 1'-0"



4 CONTEXT PHOTOGRAPHS

NTS

NK

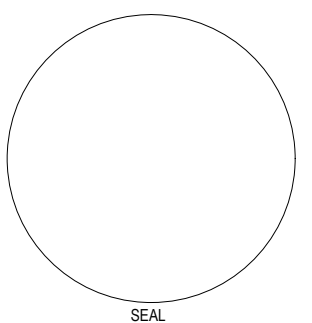
ARCHITECT:
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CHICAGO, IL 60604
312-374-1039
WWW.NORMANKELLEY.US

OWNER:
RUSSELL KORTE &
CARMEN-CHRISTINA KELLEHER
1407 ALTA VISTA AVE
AUSTIN, TX 78704

STRUCTURAL CONSULTANT:
TBD

GENERAL CONTRACTOR
TBD

CERTIFICATION AND SEAL:



RENOVATION
1407 W ALTA VISTA AVE
AUSTIN, TX 78704

PROJECT #220415

ISSUED / REVISED	DATE
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PAST/PRESENT/FUTURE

SK-01

A

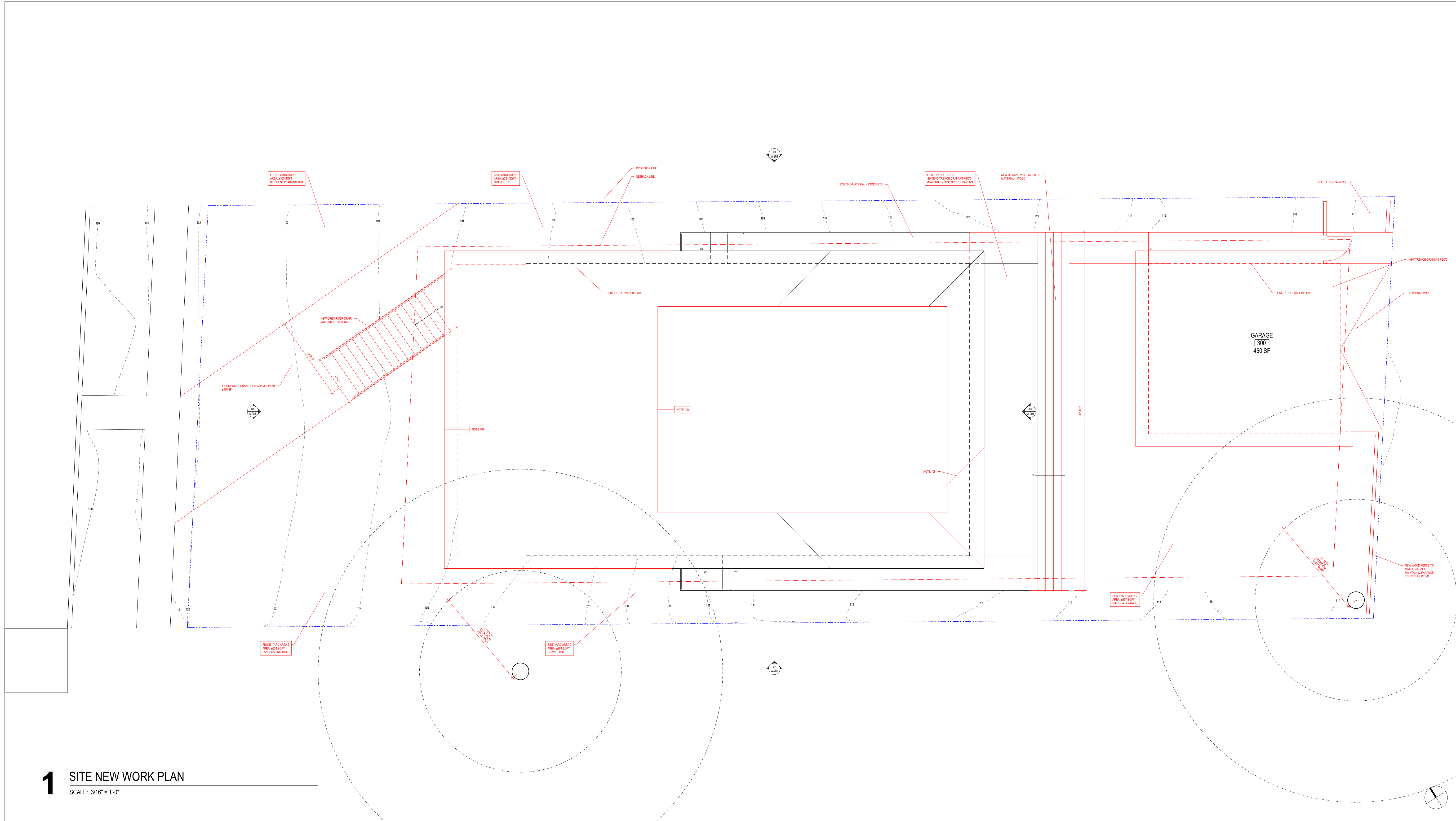
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NOTES

KEY INDEX

EXISTING WALLS TO REMAIN

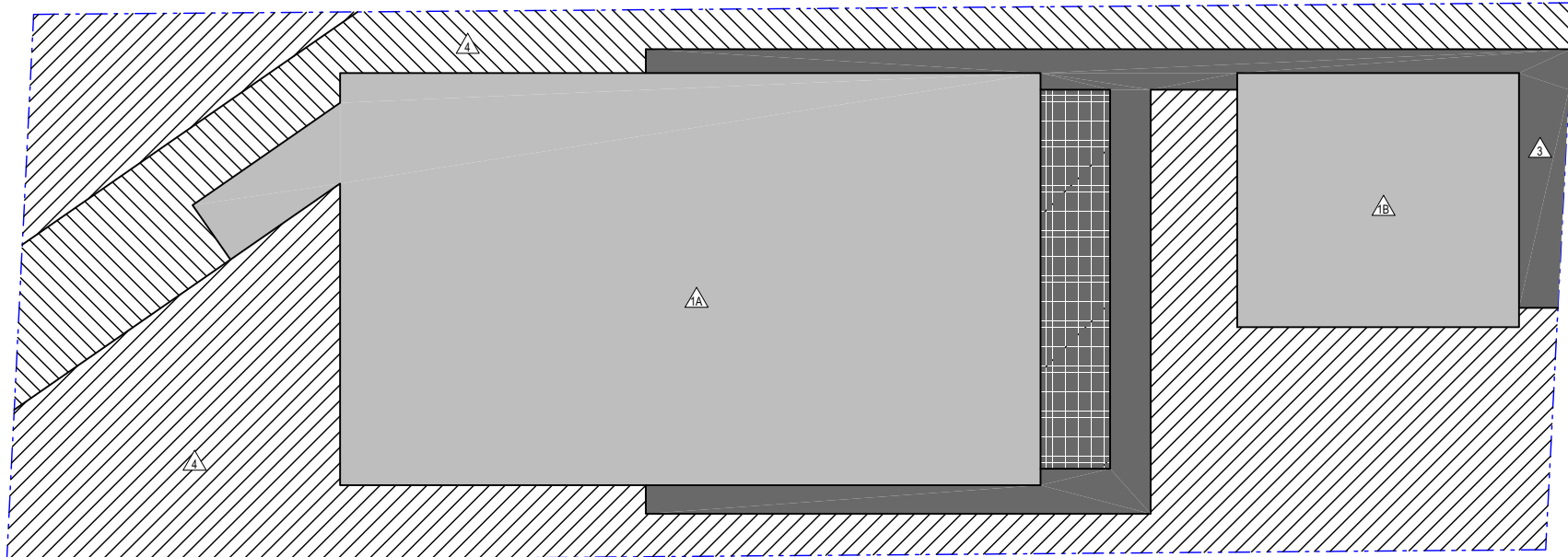
EXISTING ELEMENT TO BE REMOVED OR ALTERED

NEW WALLS












- NOTED ITEMS**
- 10. TOP-CABLE ROOF TO BE REMOVED AND REPLACED WITH SHED ROOF MATCHING EXISTING. PROVIDE LONGHUNG RUFING TOWARDS REAR. TRIM ON EXISTING WALLS AS REQUIRED TO SUPPORT ROOF. FEATHER STRUCTURE OR FLURR OUT EXISTING WALLS TO INCREASE HEADROOM TO BE RESTORED BY STRUCTURAL CONSULTANT.
- 11. NEW FRONT PORCH SURFACE TO BE ADDED OVER EXISTING ROOF. SEE A3 FOR PLAN OF PORCH. PROVIDE CONCRETE SLAB ON GRADE. PROVIDE STRUCTURAL CONSULTANT TO ALLOW NEW PORCH STRUCTURE TO REST ON EXISTING TOP PLATE. SEE A3 FOR PLAN OF PORCH.
- 12. PROVIDE MODIFIED MITIGATION IN CROWNSPACE AS RECOMMENDED BY MEP CONSULTANT.
- 13. PROVIDE ACoustICAL INSULATION AT OFFICE WALLS. PROVIDE DOOR SLEEPEr OF OFFICE PARTITION DIVIDER DOWN.
- 14. STAIR CORRIDORS AND HALLWAYS TO BE DESIGNED PER EXISTING CONDITIONS ON CEILING.
- 15. RESOLVE FURNITURE EXTERNALITY THROUGH EXISTING MECHANICAL ROOMS AND PROVIDE ELEVATION FOR EXISTING MECHANICAL ROOMS AND SOUTH ELEVATIONS. MEET CONSULTANT TO ADVISE.
- 16. SAWD DOWNS AT POWER ROOM TO BE STOPPED AT 90 DEGS.
- 17. NEW FRONT PORCH TO BE INSTALLED OVER EXISTING. REMOVE ONLY PORTION OF EXISTING REQUIRED TO INSTALL NEW PORCH. PROVIDE ADDITIONAL PORTION OF EXISTING ROOF TO BE REMOVED AND REPLACED WITH SHED ROOF MATCHING EXISTING.
- 18. REMOVE EXISTING SCREEN PORCH AND ROOF EXTENSION. PATCHMATCH ROOFING. COORDINATE WITH ELECTRICAL SERVICE AND EXISTING PATTERN ROOF.

SHEET NOTE:



COVERAGE SCHEDULE

HATCH	TAG	SURFACE TYPE	AREA (SF)	PERCENTAGE OF LOT
		BUILDING	3036 SF	45%
		HOUSE	2649 SF	30%
		GARAGE	667 SF	9%
		IMPERVIOUS	714	12%
		PERVIOUS	3090	43%
		LOT AREA	6,896 SF	

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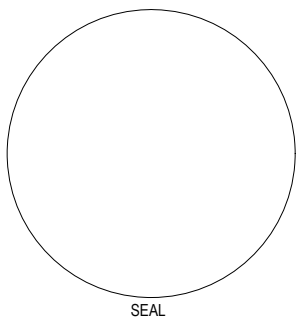
OWNER:
RUSSELL KORTE &
CARMEN-CHRISTINA KELLEHER
1407 ALTA VISTA AVE
AUSTIN, TX 78704

STRUCTURAL CONSULTANT:
TBD

MEP CONSULTANT:
TBD

GENERAL CONTRACTOR
TBD

CERTIFICATION AND SEAL:



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PROJECT #220415

ISSUED / REVISED	DATE
SCHEMATIC DESIGN	6/10/2022
HISTORIC REVIEW	10/12/2022

SITE PLAN

A-010

A

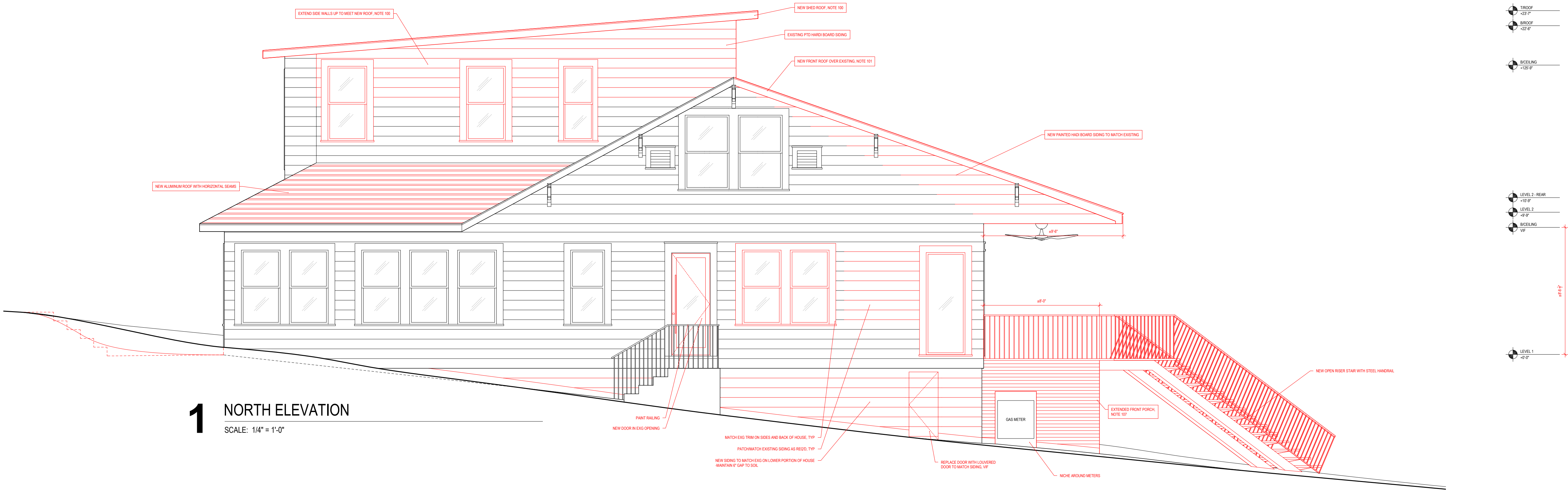
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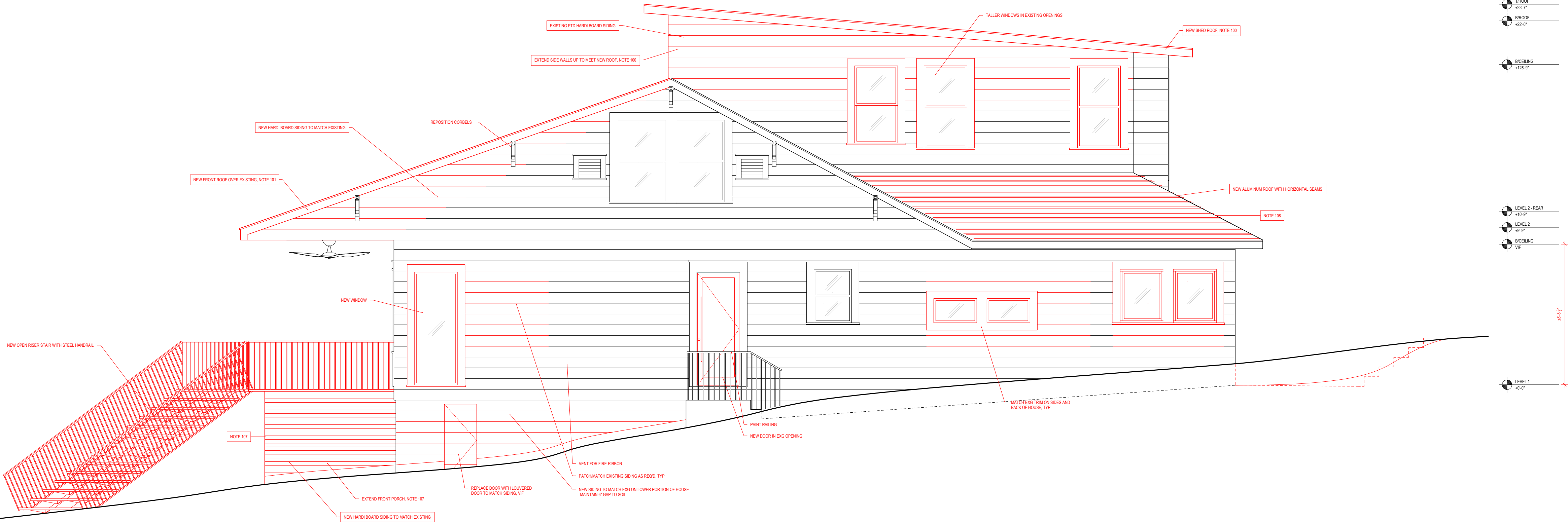
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1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTES

- KEY INDEX**

EXISTING WALLS TO REMAIN

EXISTING ELEMENT TO BE REMOVED OR ALTERED

NEW WALLS
- REFER NOTES**

100. TOP GABLE ROOF TO BE REMOVED AND REPLACED WITH SHED ROOF MATCHING EXISTING MAXIMUM BUILDING HEIGHT. SLOPING TOWARD REAR. TRIM OR EXTEND WALLS AS REQUIRED TO SUPPORT ROOF. FEATHER STRUCTURE OR FLUSH OUT INTERIOR WALLS TO INCREASE HEIGHT. TO BE REVIEWED BY STRUCTURAL CONSULTANT.

101. NEW FRONT ROOF SURFACE TO BE ADDED OVER EXISTING ROOF AT PITCH TO COVER FRONT PORCH. REMOVE EXISTING GABLES. CUT BACK EXISTING ROOFING TO ALLOW NEW ROOF STRUCTURE TO REST ON EXISTING TOP PLATE. SEE EXISTING FOR PROPOSED NEW ROOF FRAMING. TO BE REVIEWED BY STRUCTURAL CONSULTANT.

102. PROVIDE MOISTURE MITIGATION IN CHIMNEY AS RECOMMENDED BY MEP CONSULTANT.

103. PROVIDE ACoustical INSULATION AT OFFICE WALLS. PROVIDE DOOR SWEEP ON FRONT OFFICE DOOR ENTRY DOOR.

104. STAIR SCREENING AND HANDRAIL TO BE DESIGNED. PROVIDE BLOCKING IN CEILING.

105. REPOSITION FURNACE EXHAUST INTERNALLY THROUGH EXISTING MECHANICAL CLOSET AT 2ND FLOOR. EXISTING EXHAUST IS EXTERIOR ON NORTH AND SOUTH ELEVATIONS. MEP CONSULTANT TO ADVISE.

106. SHED DOORS AT POWDER ROOM TO BE STOPPED AT 96 IN.

107. NEW FRONT PORCH TO BE INSTALLED OVER EXISTING. REMOVE ONLY PORTIONS OF EXISTING REQUIRED TO INSTALL NEW PORCH. PROVIDE ADDITIONAL PORCH STRUCTURE AND FOOTING AS REQUIRED.

108. REMOVE EXISTING SCREEN PORCH AND ROOF EXTENSION. PATCHMATCH ROOFING. COORDINATE WITH ELECTRICAL SERVICE AND EXISTING POWER POLE LOCATION.

- SHEET NOTES**
- 1.

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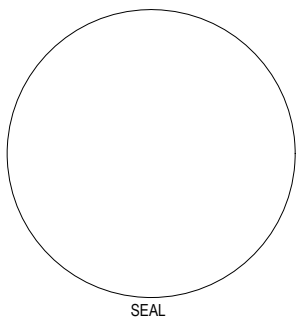
OWNER:
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STRUCTURAL CONSULTANT:
TBD

MEP CONSULTANT:
TBD

GENERAL CONTRACTOR
TBD

CERTIFICATION AND SEAL:



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NORTH AND SOUTH ELEVATIONS

A-202

A

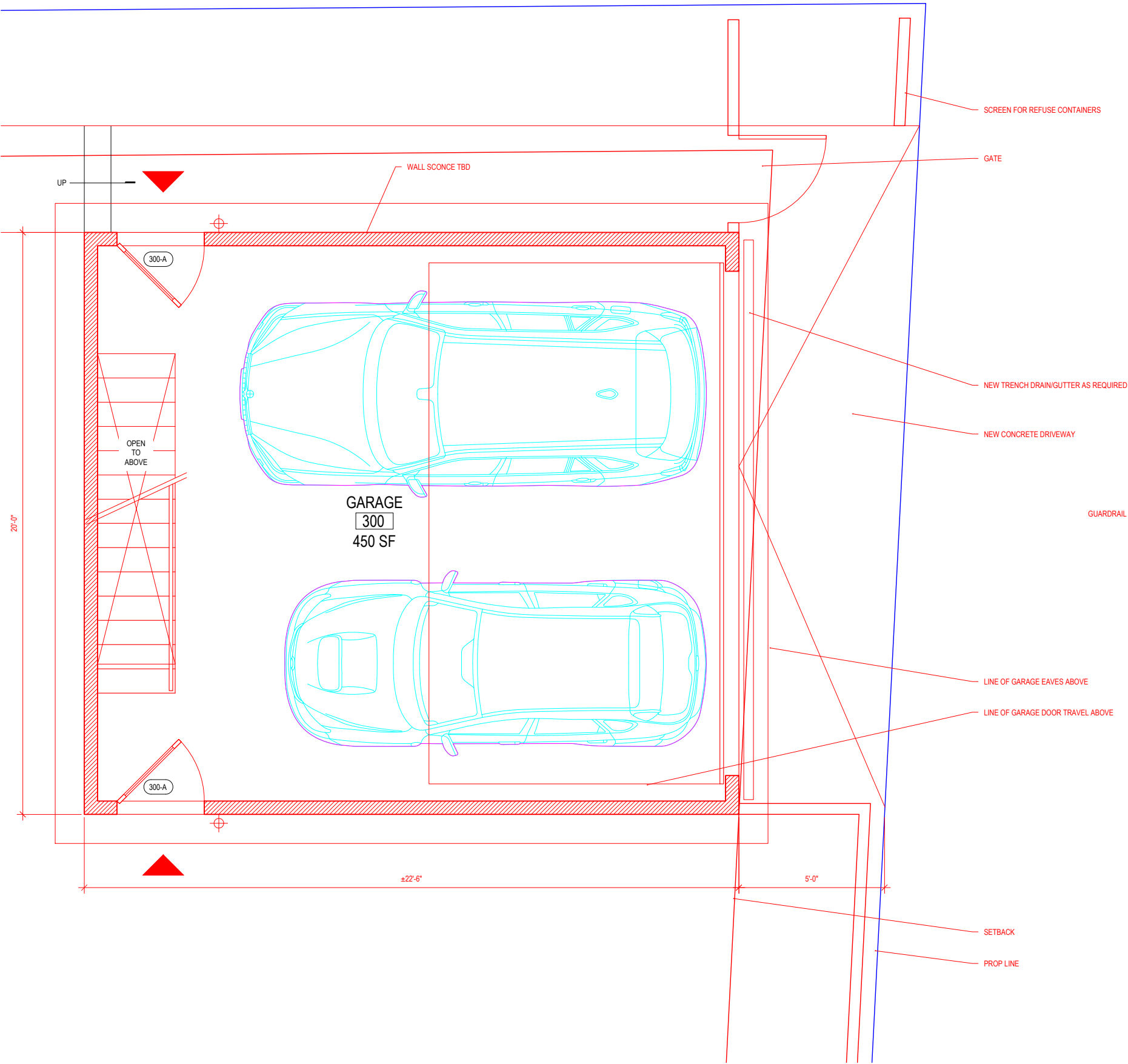
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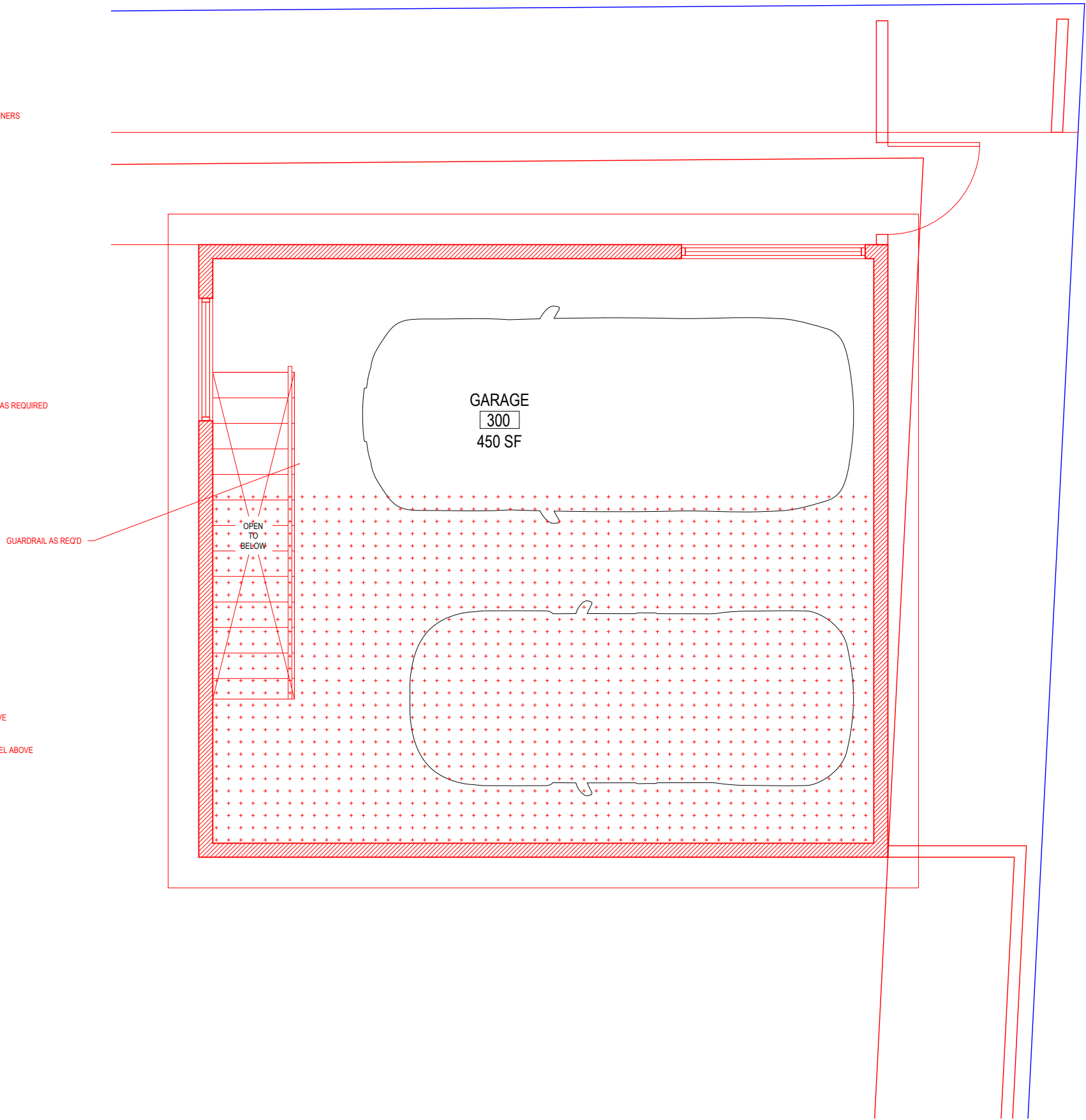
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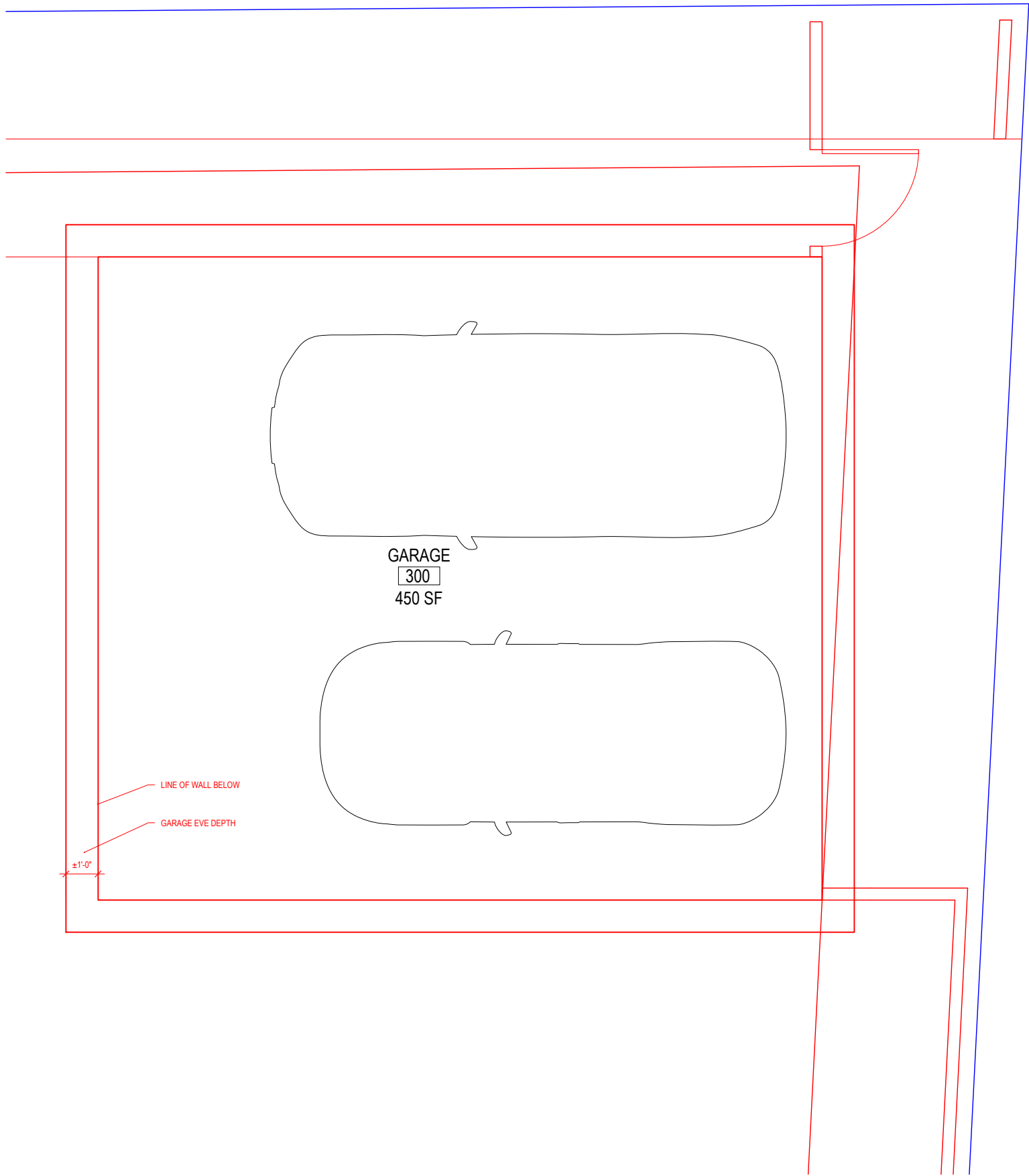
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1 GARAGE PLAN
SCALE: 1/4" = 1'-0"



2 GARAGE PLAN @ +9'-0"
SCALE: 1/4" = 1'-0"



3 GARAGE ROOF PLAN
SCALE: 1/4" = 1'-0"

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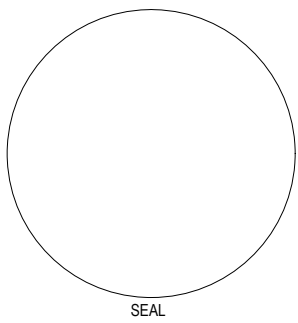
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STRUCTURAL CONSULTANT:
TBD

MEP CONSULTANT:
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GENERAL CONTRACTOR
TBD

CERTIFICATION AND SEAL:

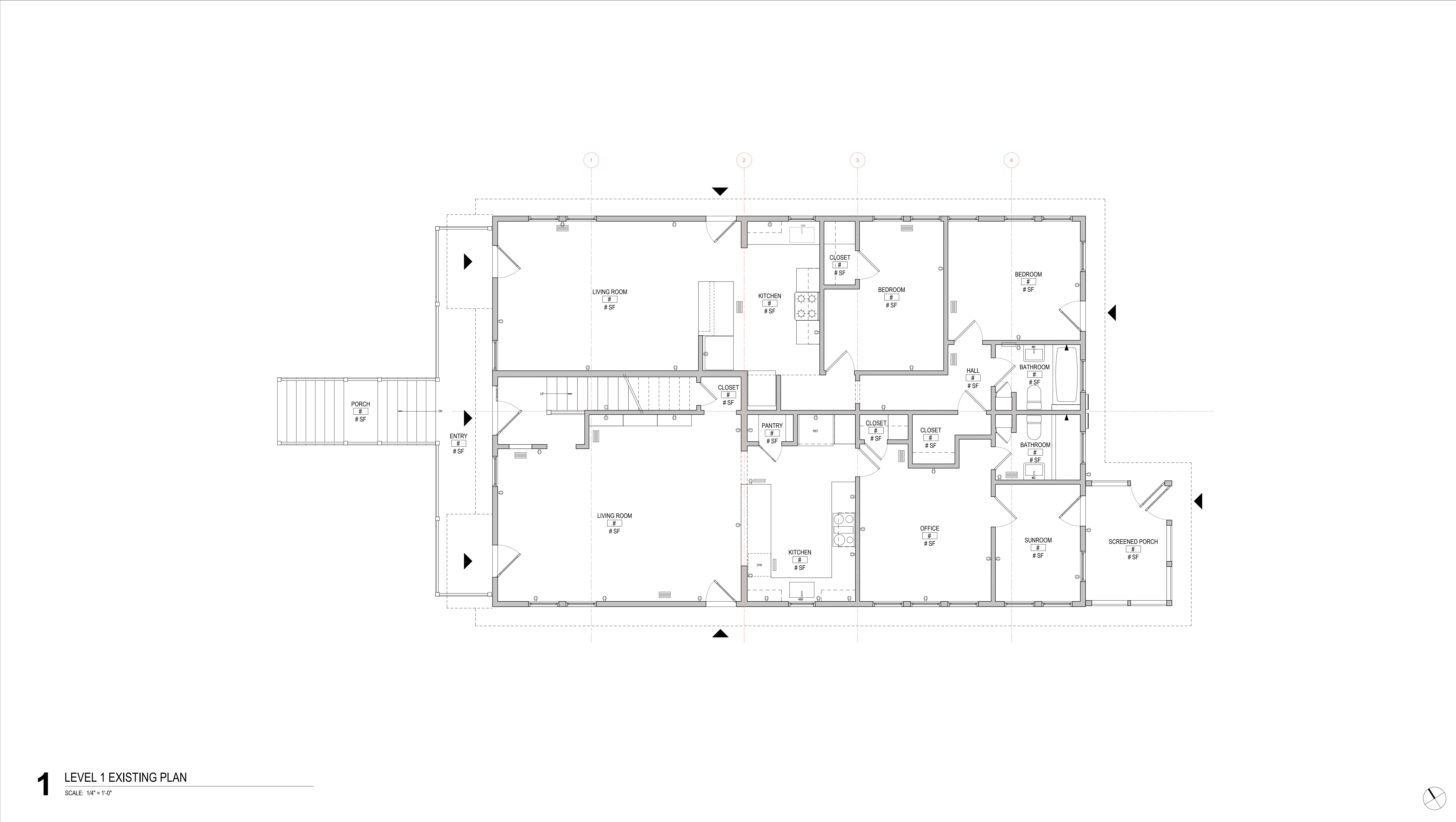


RENOVATION
1407 W ALTA VISTA AVE
AUSTIN, TX 78704

PROJECT #220415

NOTES

KEY INDEX EXISTING WALLS TO REMAIN EXISTING ELEMENT TO BE REMOVED OR ALTERED NEW WALLS	REFER NOTES 100. TOP GABLE ROOF TO BE REMOVED AND REPLACED WITH SHED ROOF MATCHING EXISTING MAIN FLOOR BUILDING HEIGHT. GABLE TOPPED ROOF. TRIM OR EXTEND WALLS AS REQUIRED TO SUPPORT ROOF. FEATHER STRUCTURE OR FLUSH OUT INTERIOR WALLS TO INCREASE HEIGHT. TO BE REVIEWED BY STRUCTURAL CONSULTANT. 101. NEW FRONT ROOF SURFACE TO BE ADDED OVER EXISTING ROOF AT PITCH TO COVER FRONT PORCH. REMOVE EXISTING GABLE. CUT BACK EXISTING ROOFING TO ALLOW NEW ROOF STRUCTURE TO REST ON EXISTING TOP PLATE. SEE DETAIL FOR PROPOSED NEW ROOF FRAMING. TO BE REVIEWED BY STRUCTURAL CONSULTANT. 102. PROVIDE MOISTURE MITIGATION IN CRAWLSPACE AS RECOMMENDED BY MEP CONSULTANT. 103. PROVIDE ACoustical INSULATION AT OFFICE WALLS. PROVIDE DOOR SWEEP ON FRONT OFFICE DOOR ENTRY DOOR. 104. STAIR SCREENING AND HANDRAIL TO BE DESIGNED. PROVIDE BLOCKING IN CEILING. 105. REPAIR/FURNACE EXHAUST INTERNALLY THROUGH EXISTING MECHANICAL CLOSET AT 2ND FLOOR EXISTING CHIMNEY. SE EXTERIOR ON NORTH AND SOUTH ELEVATIONS. MEP CONSULTANT TO ADVISE. 106. SHOWER DOORS AT POWDER ROOM TO BE EQUIPPED AT 6'6". 107. NEW FRONT PORCH TO BE INSTALLED OVER EXISTING. REMOVE ONLY PORTIONS OF EXISTING REQUIRED TO INSTALL NEW PORCH. PROVIDE ADDITIONAL PORCH STRUCTURE AND FOOTING AS REQUIRED. 108. REMOVE EXISTING JOIST/STAIR PORCH AND ROOF EXTENSION. PROVIDE DETAIL ROOFING. COORDINATE WITH ELECTRICAL SERVICE AND EXISTING POWER POLE LOCATION.	SHEET NOTES 1. OUTLET AND HVAC LOCATIONS APPROXIMATE	
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1 LEVEL 1 EXISTING PLAN

SCALE: 1/4" = 1'-0"

NOTES

GENERAL NOTES 1. TBD	KEY NOTES 100. TBD	SHEET NOTES 1. OUTLET AND HVAC LOCATIONS APPROXIMATE	
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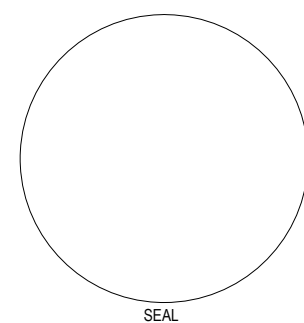
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STRUCTURAL CONSULTANT:
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MEP CONSULTANT:
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CERTIFICATION AND SEAL:



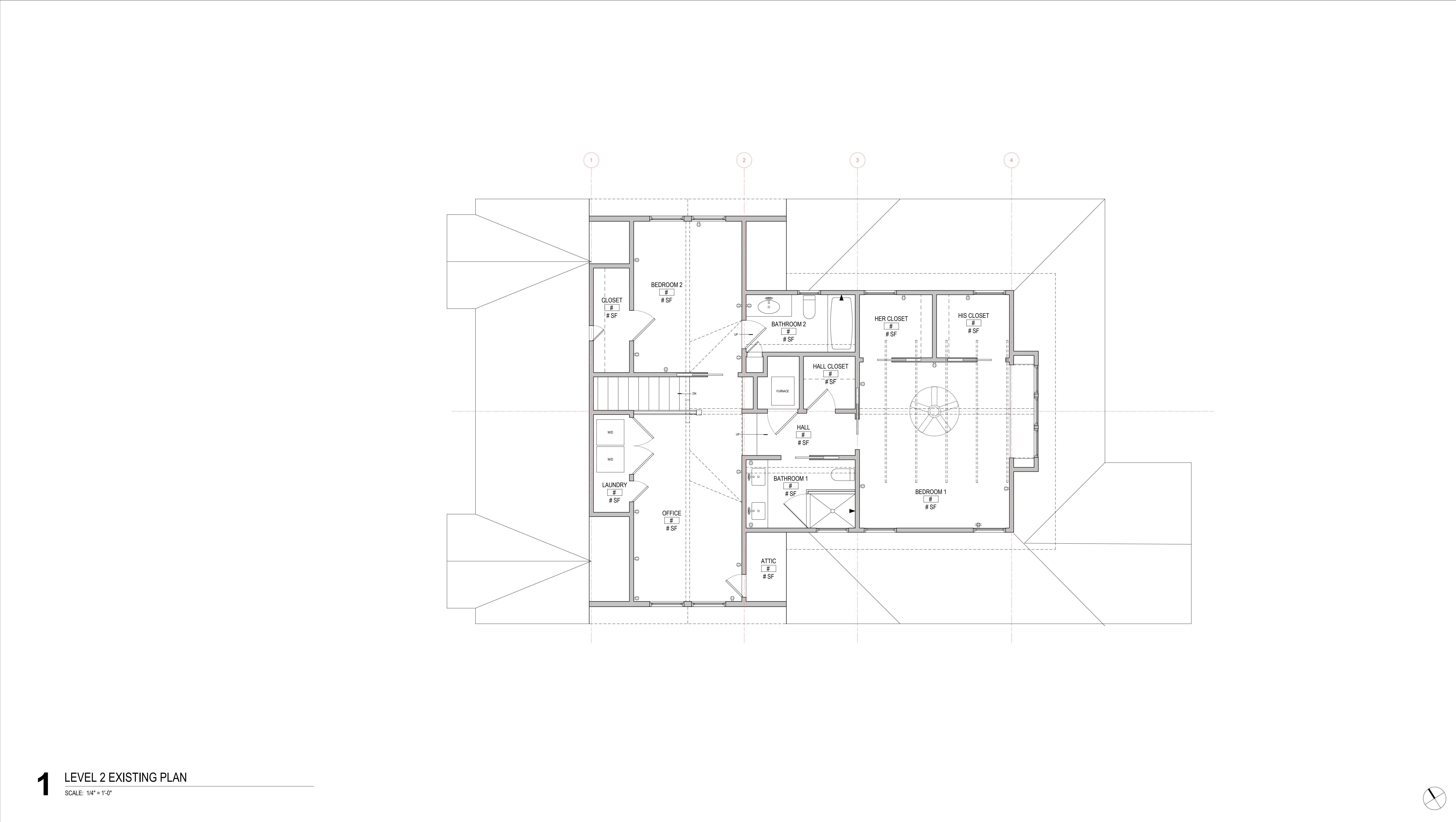
RENOVATION
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PROJECT #220415

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HISTORIC REVIEW	10/12/2022

LEVEL 1 EXISTING PLANS

A-001



1 LEVEL 2 EXISTING PLAN

SCALE: 1/4" = 1'-0"

NOTES

GENERAL NOTES 1. TBD	KEY NOTES 100. TBD	SHEET NOTES 1. OUTLET AND HVAC LOCATIONS APPROXIMATE	

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MEP CONSULTANT:
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CERTIFICATION AND SEAL:

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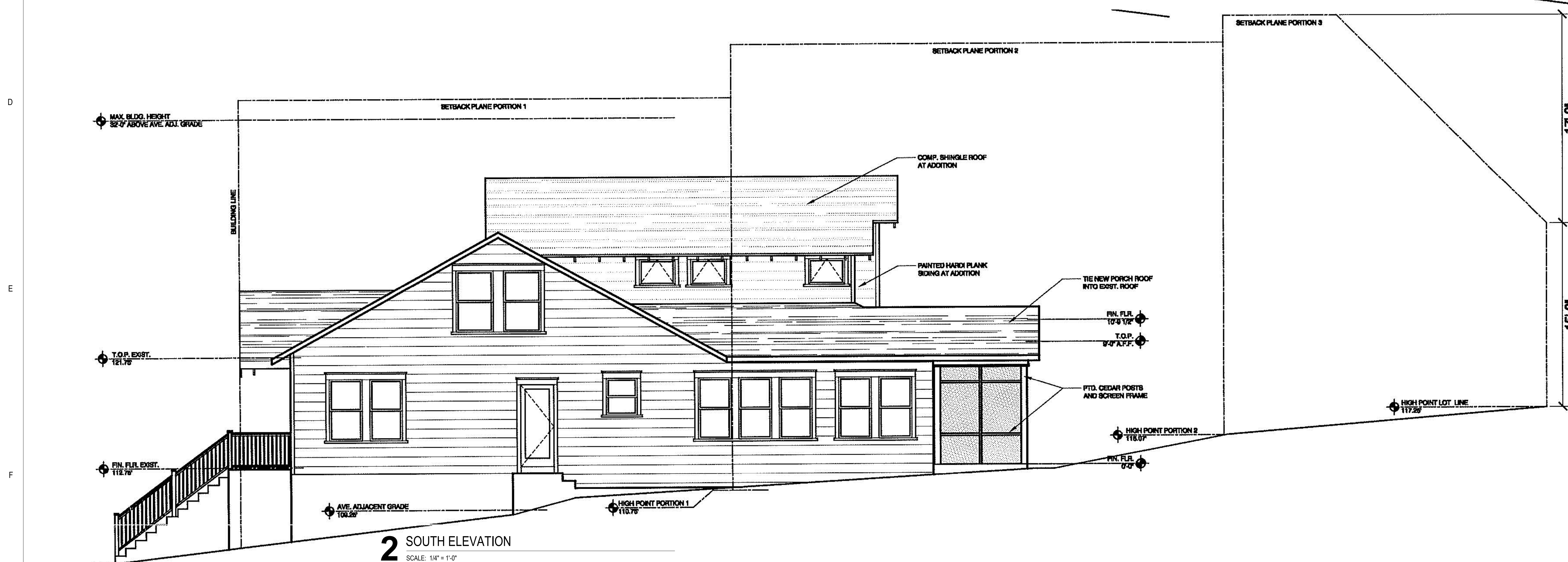
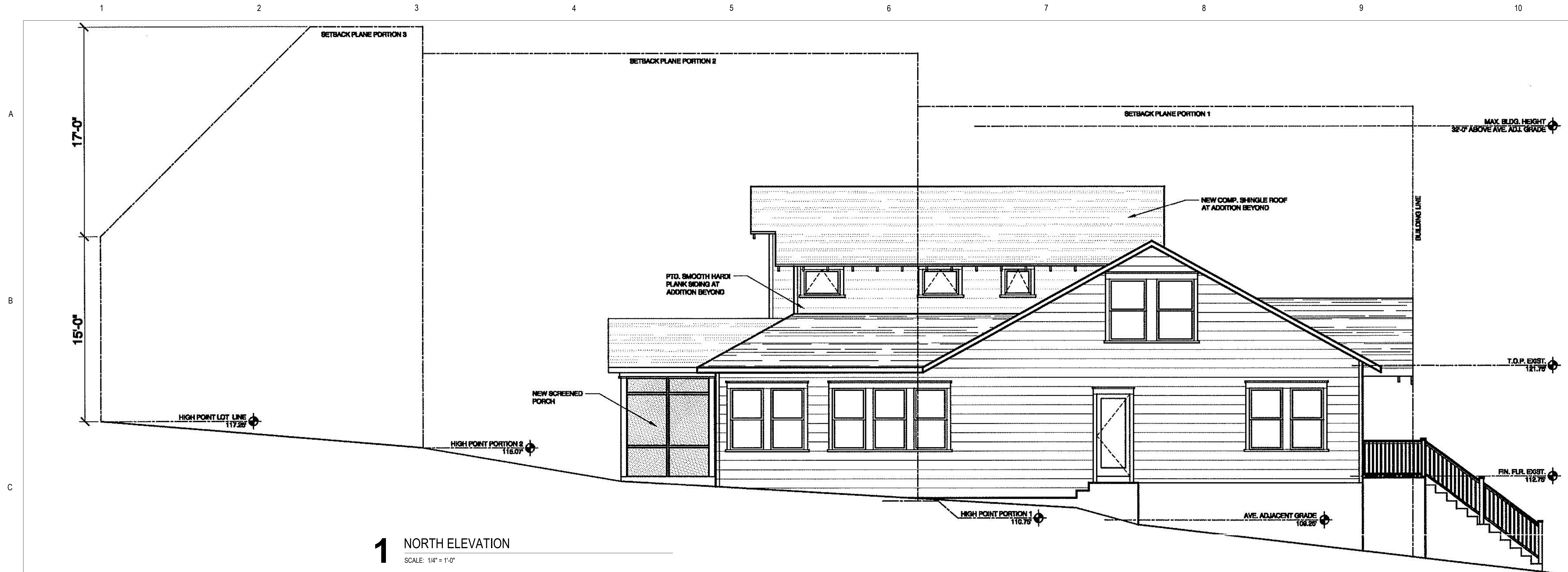
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LEVEL 2 EXISTING PLAN

A-011



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STRUCTURAL CONSULTANT:

TBD

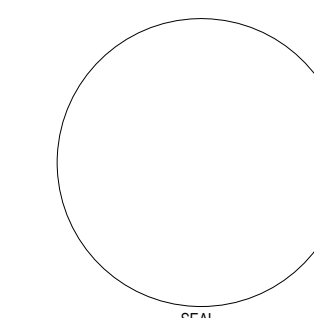
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TBD

GENERAL CONTRACTOR	
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TBD

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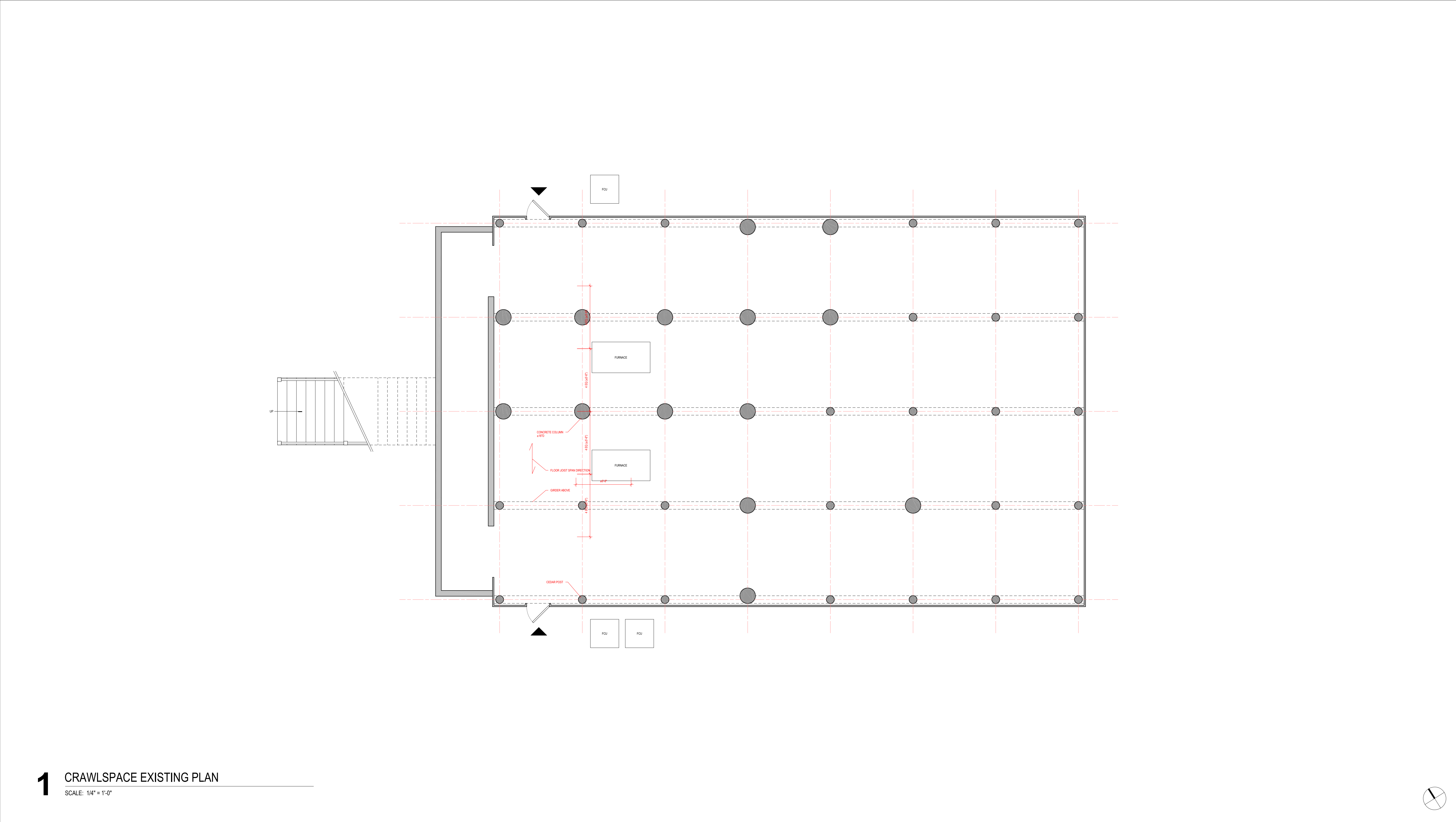
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NORTH AND SOUTH ELEVATIONS

A-052



1 CRAWLSPACE EXISTING PLAN

SCALE: 1/4" = 1'-0"

NOTES

GENERAL NOTES 1. TBD	KEY NOTES 100. TBD	SHEET NOTES 1.	
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GENERAL CONTRACTOR
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CRAWLSPACE EXISTING PLANS

A-021