

KILROY

100 FIRST STREET, SUITE 250
SAN FRANCISCO, CA 94105

Page Project No. 121070
HISTORIC REVIEW SUBMISSION
14 OCTOBER 2022



THE POST

210 West 6th Street
Austin, TX 78701

Page/

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Austin, TX 78701
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ARCHITECTURE / ENGINEERING / INTERIORS / PLANNING / CONSULTING
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512-382-3527

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MCKINNEY YORK ARCHITECTS
1301 E. 7TH ST
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512-476-0201

STRUCTURAL ENGINEER
THORNTON TOMASETTI
804 LAS CIMAS PKWY
SUITE 140
AUSTIN, TX 78746
512-580-1750

LIGHTING CONSULTANT
SEAN O'CONNOR LIGHTING
12955 W WASHINGTON BLVD
LOS ANGELES, CA 90066
310-659-5900

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IDIBRI
15508 WRIGHT BROTHERS DR
ADDISON, TX 75001
972-239-1505

MEP ENGINEER
BLUM CONSULTING
8144 WALNUT HILL LANE
SUITE 200
DALLAS, TX 75231
214-373-8222

TECHNOLOGY/SECURITY
4B TECHNOLOGY
390 GLENBOROUGH DR
HOUSTON TX 77067
832-249-9379

FOOD SERVICE CONSULTANT
CO'DESIGN
913 WEST ST
ANNAPOLIS, MD 21401
410-263-1200

AUDIOVISUAL CONSULTANT
DIMENSIONAL INNOVATIONS
3421 MERRIAM DR
OVERLAND PARK, KS 66203
913-384-3488

HISTORIC CONSULTANT
ARCHITEXAS
2900 S. CONGRESS AVE
SUITE 200
AUSTIN, TX 78704
512-444-4220

LANDSCAPE ARCHITECT
CO'DESIGN
1200 YAUPON VALLEY RD
AUSTIN, TX 78746
512-423-1298

SYMBOL		DESCRIPTION		SYMBOL		DESCRIPTION		SYMBOL		DESCRIPTION	
		MATCHLINE MATCH LINE SHEET REFERENCE				ROOM NAME ROOM NUMBER				WALL PROTECTION EXPANSION JOINT	
		KEYED NOTE				EQUIPMENT TAG				CORNER GUARD	
		PARTITION TAG REFER TO PARTITION SCHEDULE				TOILET ACCESSORY TAG				CASEWORK TYPE ABBREVIATION	
		BUILDING SECTION TAG				DATUM ELEVATION				HEIGHT WIDTH	
		WALL SECTION TAG				REVISION MARK				NOT IN CONTRACT (NIC) - UNO BY MECHANICAL, PLUMBING, ELECTRICAL, OR STRUCTURAL SHEETS	
		EXTERIOR ELEVATION TAG				DETAIL MARK AND ENLARGED PLAN REFERENCE				EXISTING TO NEW BOUNDARY	
		INTERIOR ELEVATION TAG				NEW DOOR WITH DOOR TAG REF DOOR SCH				NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS	
		PLAN REFERENCE TAG				NEW DOOR WITH DOOR TAG REF DOOR SCH				NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS	
		COLUMN GRID DESIGNATIONS				COLUMN GRID DESIGNATIONS				COLUMN GRID DESIGNATIONS	

A	ANCHOR BOLT	H	HIGH	R	RADIUS OR RISER
AB	ACOUSTICAL TILE	HB	HUGE BOBB	RA	RETURN AIR
ACT	AREA DRAIN	HC	HOLLOW CORE	REF	REFLECTED CEILING PLAN
AFE	ABOVE FINISH FLOOR	HD	HOLD	RF	ROOF DRAIN
ALT	ALTERNATE	HDB	HARDBOARD	REFR	REFER OR REFERENCE
ALUM	ALUMINUM	HCTL	HANDICAPPED ACCESSIBLE TOILET	REFL	REFLECTED
ARCH	ARCHITECTURAL	HDR	HEADER	REG	REGISTER
AU	AUSH IRIN	HDW	HARDWARE	REIN	REINFORCEMENT
AV	AUDIO VISUAL	HDWD	HARDWOOD	REQ	REQUIRED
		HM	HOLLOW METAL	RES	RESISTENT
B	BOARD	HOR	HORIZONTAL	REV	REVERSE
BKD	BUILDING	HPL	HIGH PRESSURE LAMINATE	RH	ROBE HOOK
BLK	BLOCKING	HR	HOUR	ROOM	ROOM
BN	BEAM OR BENCHMARK	HT	HEIGHT	RO	ROUGH OPENING
BNG	BEARING	HVAC	HEATING, VENTILATION & AIR CONDITIONING	ROW	RIGHT-OF-WAY
BOD	BOTTOM OF DECK			RSF	RESIDENT SHEET FLOORING
BOT	BOTTOM				
BR	BRACKER ROD	I	INSIDE	S	SOUTH
BRT	BRIDGING	IN	DIAMETER INCH	SA	SUPPLY AIR
BUR	BUILT-UP ROOFING	INCAN	INCANDESCENT	SAN	SANITARY
BW	BOTH WAYS	INS	INSULATION	SB	SPASH BLOCK
		INT	INTERIOR	SC	SOLID CORE OR SHOWER CURTAIN
				SCHD	SCHEDULED OR SCHEDULED
C	COURSE			SD	SOAP DISPENSER
CAB	CABINET	J	JUNCTION BOX	SECT	SECTION
CEM	CEMENT OR GEMENTIOUS	JB	JOINT	SF	SQUARE FOOT OR SQUARE FEET
CG	CORNER GUARD			SFP	SPRINKLED FIREPROOFING
CP	CAST-IN-PLACE	K	KNOCK DOWN	SPR	SPRINKLER HEAD
CR	CIRCLE	KD	KNOCKOUT	SHT	SHEET
CRF	CONTRACTOR FURNISHED/CONTRACTOR INSTALLED			SMT	SHIM
CRJ	CONTROL JOINT	L	LONG	SN	SHEATHING
CS	CEILING	LAM	LAMINATED	SKL	SKYLIGHT
CMU	CONCRETE MASONRY UNIT	LAV	LAVATORY	SND	SANITARY NAPKIN DISPOSAL
CCL	COLUMN	LB	LAG BOLT	SNT	SANITARY NAPKIN DISH
CC	CONCRETE	LF	LAG BOLT OR LINEAR FEET	SP	STAMPDIME
CCS	CONCRETE	LLH	LONG LEG HORIZONTAL	SPEC	SPECIFIED OR SPECIFICATIONS
CONT	CONSTRUCTION	LV	LONG LEG VERTICAL	SP3	SPEC 3-PY ROOFING
CONR	CONTINUOUS	LLV	LONG LEG VERTICAL	SQ	SQUARE
CONR	CORRIDOR	LT	LIGHT OR LIGHTING	SR	SHOWER
CP	CARPET			SS	SHOWER ROD SHOWER CURTAIN
CSK	COUNTERSINK	M	METER	SSS	STAINLESS STEEL
CT	CERAMIC TILE			ST	SOAP TRAY
				STAT	STATUE

1. DO NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS, THE CONSTRUCTION MANAGER SHALL NOTIFY THE ARCHITECT.
2. ALL DIMENSIONS ON PLANS ARE TO THE FACE OF MASONRY OR CONCRETE OR THE OUTSIDE FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.
3. ALL MASONRY DIMENSIONS ARE ACTUAL. UNLESS NOTED OTHERWISE, VERIFY ALL DIMENSIONS, CONDITIONS, EXISTING CONSTRUCTION AND GRADES AT JOB SITE. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS.
4. VERIFY SIZE, LOCATION AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE INSTALLED OR RELOCATED (WHETHER FURNISHED BY OWNER OR BY CONTRACTOR(S)). BEFORE ANY CONSTRUCTION PERTAINING TO TASK IS BEGUN, ERRORS AND OMISSIONS IN THE ROOM, DOOR, WINDOW OR EQUIPMENT SCHEDULES SHALL BE REPORTED TO THE CONTRACTORS FROM EXISTING WORK SHOWN ON DRAWINGS OR DESCRIBED IN THE SPECIFICATIONS.
5. VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS FOR STRUCTURAL, MECHANICAL AND ELECTRICAL WORK AND EQUIPMENT WITH ALL TRADES INVOLVED.
6. CEILING HEIGHTS INDICATED ON THE CONSTRUCTION DOCUMENTS ARE TAKEN FROM THE FINISH FLOOR ELEVATION. THE SIZE, LOCATION AND CHARACTERISTICS OF ALL MECHANICAL, ELECTRICAL AND STRUCTURAL ITEMS SHALL BE VERIFIED BEFORE CEILING CONSTRUCTION IS BEGUN.
7. COORDINATE WITH ALL TRADES IN ORDER TO MAINTAIN SCHEDULED CEILING HEIGHTS. VERIFY THAT REQUIRED OPERATION AND MAINTENANCE CLEARANCES ARE PROVIDED FOR ALL EQUIPMENT ITEMS.
8. DEMOLITION WORK IS ADDRESSED THROUGHOUT THE CONSTRUCTION DOCUMENTS AND IS NOT LIMITED TO THE DEMOLITION DRAWINGS. REMOVE ALL CONSTRUCTION ITEMS NOT REQUIRED FOR THE FINISHED NEW CONSTRUCTION, EVEN IF NOT INDIVIDUALLY ENUMERATED, MECHANICAL, INCLUDING BUT NOT LIMITED TO CLOSET, BOXES, PIPING, ETC., NOT REQUIRED FOR THE FINISH WORK SHALL BE REMOVED OR REROUTED, WORK REQUIRED FOR EXISTING MECHANICAL, ELECTRICAL, AND LIGHTING SHALL BE SAVED AND NOT LIMITED TO THE RENOVATION AREA, BUT MAY OCCUR OUTSIDE THE LIMITS OF WORK AS WELL AS THE FLOORS ABOVE AND BELOW THE WORK. INCLUDE ONLY IF APPLICABLE (ZERO SCORE).
9. ANY DAMAGE TO EXISTING SELL BUILDING WALLS / MATERIALS OR SURFACES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION. INCLUDE ONLY IF APPLICABLE (EXISTING BUILDING)
10. ALL PENETRATIONS: PIPING, CONDUIT, DUCTWORK, ETC.) THROUGH THE STRUCTURAL ROOF, CEILING, WALLS, OR FLOORS SHALL BE COMPLETELY SEALED.
11. INSTALL ALL ITEMS IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS, EXCEPT THAT THE SPECIFICATIONS HEREIN, WHERE THE MORE STRINGENT, SHALL BE COMPLIED WITH. NOTIFY THE ARCHITECT IN WRITING IF ANY CONFLICTS.

[illegible][illegible]

ITEM	CLASSIFICATION	REQUIREMENTS & LIMITATIONS	ALTERNATE METHOD OF COMPLIANCE WITH INDEED TOWER AT 200 WEST 6TH STREET (SEE BELOW)																													
OCCUPANCY CLASSIFICATION:																																
LEVEL 00 (CELLAR)	SECTION 303 - ASSEMBLY, 311 - STORAGE	A-2, A-3, S-2	<div style="text-align: center;"> DEVELOPMENT SERVICES DEPARTMENT 505 Barton Springs Road Austin, TX 78704 </div> <div style="text-align: center; border: 1px solid black; padding: 5px; margin-top: 10px;"> REQUEST FOR MODIFICATION OR ALTERNATE METHOD OF COMPLIANCE </div> <div> Address: 200 West 6th Street <div style="float: right;"> Use: B, S-1, S-2, A-2, A-3 </div> </div> <div> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">Suite #:</td> <td style="width: 25%;">Building #:</td> <td style="width: 25%;"># of Stories:</td> <td style="width: 25%;">Total Sq. Feet of Building:</td> </tr> <tr> <td></td> <td></td> <td></td> <td>1,449,163 +/-</td> </tr> </table> <div style="margin-top: 5px;"> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">Sq. Ft. of Project:</td> <td style="width: 75%;">Contact Person: Melissa Hawthorne</td> </tr> </table> </div> </div> <div> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Name of Building:</td> <td style="width: 50%;">Date:</td> </tr> <tr> <td></td> <td></td> </tr> </table> </div> <div> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">BUILDING OWNER:</td> <td style="width: 50%;">MAILING ADDRESS: Austin Permit Service, Inc.</td> </tr> <tr> <td></td> <td>1304 East 7th Street</td> </tr> <tr> <td></td> <td>Austin, TX 78702</td> </tr> <tr> <td colspan="2">E-mail Address: melissa@austinpermit.com</td> </tr> </table> </div> <div> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;"><input checked="" type="checkbox"/> Check One →</td> <td style="width: 25%;"><input type="checkbox"/> Building</td> <td style="width: 25%;"><input type="checkbox"/> Electrical</td> <td style="width: 25%;"><input type="checkbox"/> Mechanical</td> <td style="width: 25%;"><input type="checkbox"/> Plumbing</td> <td style="width: 25%;"><input type="checkbox"/> Energy</td> <td style="width: 25%;"><input type="checkbox"/> Fire</td> </tr> </table> </div> <p>Proposal Description: (Print or Type) Explain how it is equivalent or what the hardship is. Attach documentation or use back of this form if needed.</p> <p>I am writing to request a modification in accordance with IBC 2015 104.10. The existing Claudia Taylor Johnson Hall (CTJ) building is to be included as a portion of the project building. To do this, CTJ must meet the requirements of Type IA construction for this approach to be valid per ABC. Sections 602.1 and the 2015 Edition of the International Existing Building Code (IEBC) 1101.1. In reviewing the 1912 construction drawings of the CTJ, the building appears to demonstrate an appropriate equivalence to the definition of Type IA construction. See attached Exhibit 1.</p> <p>In other than the CTJ roof system, the building appears to conform with Type IA construction. Because of the robustness of the building and the inclusion of quick response sprinklers in the proposed tower and existing building, JENSEN HUGHES requests that the CTJ Building, and the proposed tower, be considered a single building, and require no separation between the existing and new construction.</p> <p>Thank you for your consideration.</p> <p><i>CTJ is a historic structure and at grade will be incorporated into the new high rise.</i> <i>CTJ is already protected by an automatic sprinkler system that satisfies IEBC section 1203.2 and a report satisfying IEBC section 1201.6 is attached.</i> <i>Request is for a modification under IEBC section 104.10.</i></p>	Suite #:	Building #:	# of Stories:	Total Sq. Feet of Building:				1,449,163 +/-	Sq. Ft. of Project:	Contact Person: Melissa Hawthorne	Name of Building:	Date:			BUILDING OWNER:	MAILING ADDRESS: Austin Permit Service, Inc.		1304 East 7th Street		Austin, TX 78702	E-mail Address: melissa@austinpermit.com		<input checked="" type="checkbox"/> Check One →	<input type="checkbox"/> Building	<input type="checkbox"/> Electrical	<input type="checkbox"/> Mechanical	<input type="checkbox"/> Plumbing	<input type="checkbox"/> Energy	<input type="checkbox"/> Fire
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CONSTRUCTION TYPE:																																
HEIGHT AND AREA LIMITS:	TABLE 601	TYPE IA CONSTRUCTION																														
FIRE RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS																																
STRUCTURAL FRAME																																
COLUMNS: SUPPORTING MORE THAN ONE FLOOR	TABLE 601 FIRE RESISTANCE RATING	3 HOURS																														
COLUMNS: SUPPORTING ONE FLOOR ONLY	TABLE 601 FIRE RESISTANCE RATING	3 HOURS																														
COLUMNS: SUPPORTING ROOF ONLY	TABLE 601 FIRE RESISTANCE RATING	2 HOURS (NOTE A)																														
BEAMS, GIRDERS, TRUSSES: SUPPORTING MORE THAN ONE FLOOR	TABLE 601 FIRE RESISTANCE RATING	3 HOURS																														
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SUPPORTING ROOF ONLY	TABLE 601 FIRE RESISTANCE RATING	2 HOURS																														
NON-BEARING WALLS & PARTITIONS																																
EXTERIOR																																
LESS THAN 5'	TABLE 705.5 FIRE RESISTANCE/SEPARATION	1 HOUR																														
EQUAL TO OR GREATER THAN 5'	TABLE 705.5 FIRE RESISTANCE/SEPARATION	1 HOUR																														
EQUAL TO OR GREATER THAN 10'	TABLE 705.5 FIRE RESISTANCE/SEPARATION	1 HOUR																														
EQUAL TO OR GREATER THAN 30'	TABLE 705.5 FIRE RESISTANCE/SEPARATION	0 HOUR																														
FLOOR CONSTRUCTION & ASSOCIATED SECONDARY STRUCTURAL MEMBERS																																
	TABLE 601 FIRE RESISTANCE RATING TABLE 722.2.1 CALCULATED FIRE RESISTANCE	2 HOURS MIN 5" CONC SLAB THICKNESS																														
ROOF CONSTRUCTION																																
INCLUDING BEAMS, GIRDERS, TRUSSES	TABLE 601 FIRE RESISTANCE RATING	1 1/2 HOURS, NOT REQD FOR ROOF CONSTRUCTION MORE THAN 20' ABOVE FLOOR LEVEL BELOW																														
ROOF-CEILING ASSEMBLIES	TABLE 601 FIRE RESISTANCE RATING	1 1/2 HOURS																														
VERTICAL OPENINGS																																
STAIRWAYS/ELEVATORS (LESS THAN 4 STORIES)	1023.2 INTERIOR EXIT STAIRWAYS	2 HOURS (1 HOUR WHERE CONNECTING 4 STORIES, BUT NOT																														

 <div style="display: inline-block; vertical-align: middle;"> 501 W. 10th Street Austin, TX 78704 </div>			
REQUEST FOR MODIFICATION OR ALTERNATE METHOD OF COMPLIANCE			
Address: 200 West 6th Street		Use: B, S-1, S-2, A-2, A-3	Type of Const: 1A
Suite #:	Building #:	# of Stories: Sprinkler YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	Total Sq. Feet of Building: 1,449,163 +/-
Name of Building:		Date:	Sq. Ft. of Project:
		Permit:	Contact Person: Melissa Hawthorne
BUILDING OWNER:		MAILING ADDRESS: Austin Permit Service, Inc.	
		1304 East 7 th Street	
		Austin, TX 78702	
		E-mail address: melissa@austinpermit.com	
<input checked="" type="checkbox"/> Check One →	<input type="checkbox"/> Building	<input type="checkbox"/> Electrical	<input type="checkbox"/> Mechanical
		<input type="checkbox"/> Plumbing	<input type="checkbox"/> Energy
			<input type="checkbox"/> Fire

Proposal Description: (Print or Type) Explain how it is equivalent or what the hardship is. Attach documentation or use back of this form if needed.

BUILDING ENVELOPE COMPONENTS	REFERENCE	REQUIREMENTS
CLIMATE ZONE	302.1 (11) IECC - 2000	2A
WINDOW / WALL RATIO (WWR)	C402.4.1 IECC - 2021	30% MAX, OR 40% MAX WITH DAYLIGHT RESPONSIVE CONTROLS, MIN 50% NF FLOOR AREA WITHIN DAYLIGHT ZONE, VT GREATER THAN 1:1 SHGC
SKYLIGHTS (U-VALUE)	TABLE C402.4 IECC - 2021	U-FACTOR = 0.05 MAXIMUM, SHGC = 0.30 MAXIMUM EXCEPT PER C402.4.3.1, SHGC = 0.60 MAXIMUM WHERE LOCATED ABOVE DAYLIGHT ZONES PROVIDED WITH DAYLIGHT RESPONSIVE CONTROLS
SLAB ON GRADE (R-VALUE)	TABLE C402.1.3 IECC - 2021	NR
FENESTRATION (WINDOWS, GLASS, & DOORS)		
U-FACTOR	TABLE C402.4 IECC - 2021	0.45 FIXED FENESTRATION, 0.60 OPERABLE FENESTRATION, 0.77 ENTRANCE DOORS
OVERHEAD PROJECTION FACTOR PF < 0.25	TABLE C402.4 IECC - 2021	SHGC = 0.25 FIXED, 0.23 OPERABLE
OVERHEAD PROJECTION FACTOR 0.25 < PF < 0.50	TABLE C402.4 IECC - 2021	SHGC = 0.30 FIXED, 0.28 OPERABLE
OVERHEAD PROJECTION FACTOR PF > 0.50	TABLE C402.4 IECC - 2021	SHGC = 0.40 FIXED, 0.37 OPERABLE
ROOF ASSEMBLIES	TABLE C402.1.3 IECC - 2021	R-25w INSULATION ENTIRELY ABOVE ROOF DECK
CONCRETE SLAB OR DECK CONTINUOUS INSULATION	TABLE C402.1.3 IECC - 2021	R-6.3w
FLOORS OVER UNCONDITIONED SPACE	TABLE C402.1.3 IECC - 2021	R-30
ABOVE-GRADE WALLS		
MASONRY WALLS	TABLE C402.1.3 IECC - 2021	R-6.7w
FRAME (METAL FRAMING)	TABLE C402.1.3 IECC - 2021	R-13 + R-5w

LEVEL	OCCUPANCY CLASSIFICATION	POPULATION		WATER CLOSETS		LAVATORIES		SHOWERS (LEED)	DRINKING FOUNTAINS	REMARKS
		MALE	FEMALE	MALE	FEMALE	MALE	FEMALE			
0	A2 - ASSEMBLY	38	38	1	1	1	1	0	0	2
0.1	A3 - ASSEMBLY	221	221	2	4	2	2	0	1 HILO FOUNTAIN	1, 2
0.1, 2, 3	B - BUSINESS	71	71	3	3	2	2	1	1 HILO FOUNTAIN	2

1. 1 ACCESSIBLE SINGLE-USER RESTROOM REQUIRED FOR ASSEMBLY OCCUPANCY PER 2021 IRC 1102.2.1 WHERE AN AGGREGATE OF SIX OR MORE MALE AND FEMALE WATER CLOSETS IS REQUIRED.

2. 1 SERVICE SINK REQUIRED FOR THIS OCCUPANCY.

DESIGN ARCHITECT ROCKWELL GROUP 4000 W. CENTRALE WEST SUITE 500 212-463-0334	ARCHITECT OF RECORD PAGE SOUTHERLAND PAGE 4000 W. CENTRALE WEST SUITE 500 212-365-3937
STRUCTURAL ENGINEER THORNDYKE TOMASEK 804 LAS CIMAS PKWY SUITE 140 AUSTIN, TX 78746 512-690-1750	MEP ENGINEER WILLIAMS ENGINEERING 8144 WALNUT HILL LANE SUITE 100 AUSTIN, TX 78731 214-733-8222
LIGHTING CONSULTANT SEAN O'CONNOR LIGHTING 12855 W. WASHINGTON BLVD LOS ANGELES, CA 90066 213-659-5000	TECHNOLOGY/SECURITY 480 GLENBOUGH 390 GLENBOUGH RD HOUSTON, TX 77067 282-248-5778
ACCUOUSAL CONSULTANT WRIGHT BROTHERS ADDITION, TX 75001 972-239-1050	FOOD SERVICE DESIGN 933 WEST STREET ANNAPOLIS, MD 21401 410-263-1200
AUDIOVISUAL CONSULTANT IMAGES & INNOVATIONS 3241 MERRIAM PARK OVERLAND PARK, KS 66203 913-384-3488	LANDSCAPE ARCHITECT NEST LANDSCAPE 1200 YALON VALLEY RD AUSTIN, TX 78746 512-423-1298
HISTORIC CONSULTANT ARCHITECT 1900 S. CONGRESS AVE SUITE 200 AUSTIN, TX 78704 512-446-4444	ARCHITECTURAL SUPPORT McKINNEY VORP ARCHITECT 1301 E. 17TH AUSTIN TX 78702 512-476-0201

**KILROY
THE POST**
2210 West 6th Street
Austin, TX 78701

[illegible]

REVISION	DESCRIPTION	DATE
	PROFESSIONAL SEALS	

INDEX SHEET

DRAWN BY Author	CHECKED BY Checker
PROJECT NUMBER 121070	PROJECT ABBREVIATION KPO
ORIGINAL ISSUE HISTORIC REVIEW SUBMISSION	DATE 10/14/2022

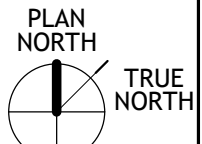
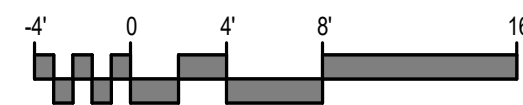
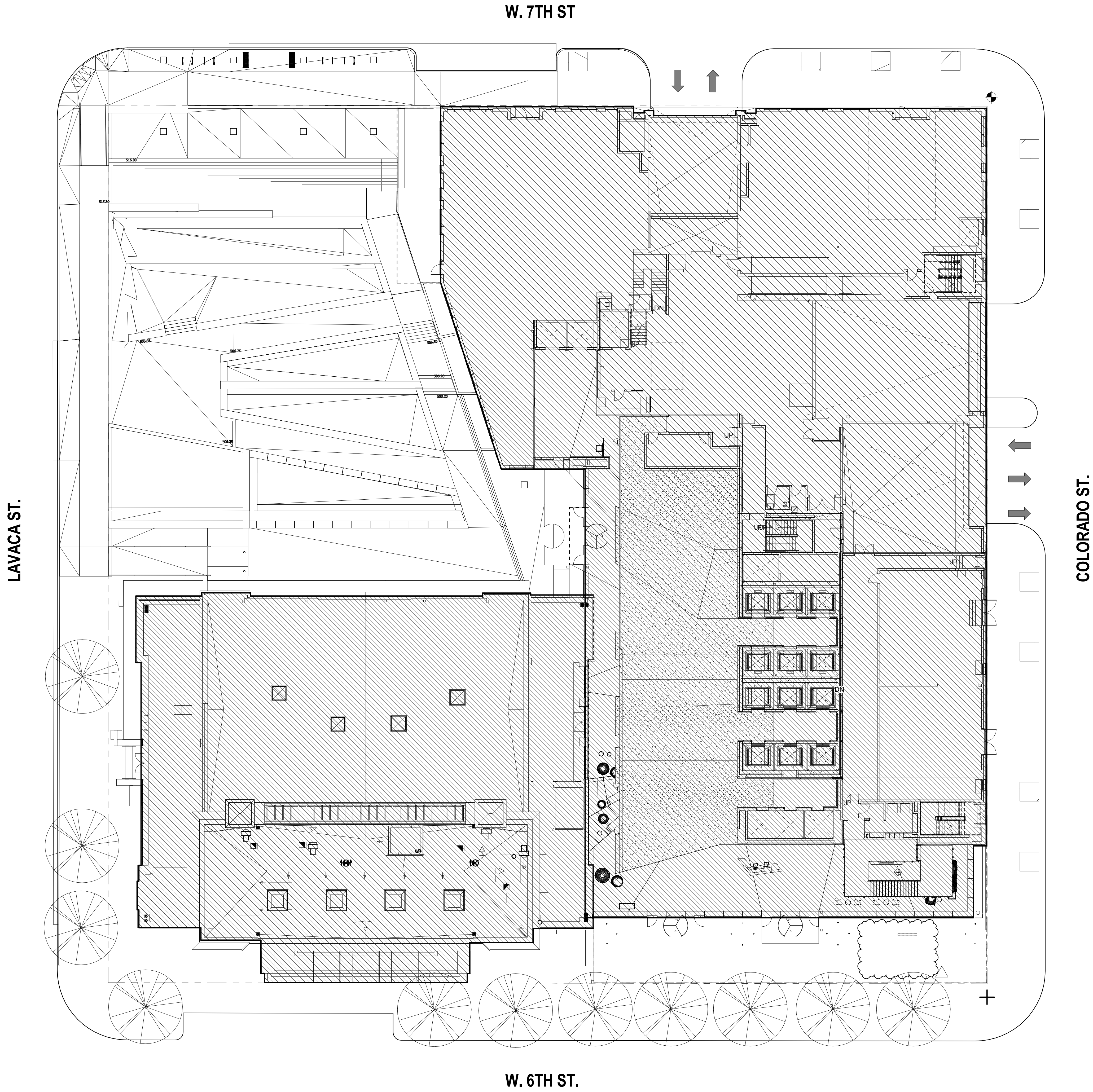
G-002P
SHEET NUMBER

ARCHITECTURAL - INDEX OF DRAWINGS PERMIT SET	
SHEET NO	SHEET TITLE
GENERAL	
G-000	COVER SHEET
G-001	PROJECT INFORMATION & CODE REVIEW
G-002P	INDEX SHEET
G-012	ACCESSIBILITY INFORMATION
G-021	UL ASSEMBLIES
GL-100	LIFE SAFETY PLAN - CELLAR
GL-101	LIFE SAFETY PLAN - LEVEL 01
GL-102	LIFE SAFETY PLAN - LEVEL 02
GL-103	LIFE SAFETY PLAN - LEVEL 03
ARCHITECTURAL	
AS-101	ARCHITECTURAL SITE PLAN
AD-100	DEMOLITION PLAN - CELLAR
AD-101	DEMOLITION PLAN - LEVEL 01
AD-102	DEMOLITION PLAN - LEVEL 02
AD-103	DEMOLITION PLAN - LEVEL 03
AD-104	DEMOLITION PLAN - ROOF
ADG-100	DEMOLITION RCP - CELLAR
ADG-101	DEMOLITION RCP - LEVEL 01
ADG-102	DEMOLITION RCP - LEVEL 02
ADG-103	DEMOLITION RCP - LEVEL 03
AD-201	DEMOLITION EXTERIOR ELEVATIONS
AD-202	DEMOLITION EXTERIOR ELEVATIONS
AD-211	DEMOLITION INTERIOR ELEVATION
A-100	FLOOR PLAN - CELLAR
A-101	FLOOR PLAN - LEVEL 01
A-102	FLOOR PLAN - LEVEL 02
A-103	FLOOR PLAN - LEVEL 03
A-104	ROOF PLAN
AC-100	REFLECTED CEILING PLAN - CELLAR
AC-101	REFLECTED CEILING PLAN - LEVEL 01
AC-102	REFLECTED CEILING PLAN - LEVEL 02
AC-103	REFLECTED CEILING PLAN - LEVEL 03
AC-401	ENLARGED RCPS
AC-402	ENLARGED RCPS
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-225	ROOF DETAILS
A-301	BUILDING SECTIONS
A-302	BUILDING SECTIONS
A-311	WALL SECTIONS
A-312	WALL SECTIONS
A-212	INTERIOR ELEVATIONS - CELLAR
A-213	INTERIOR ELEVATIONS - CELLAR
A-401	ENLARGED PLAN A ELEVATIONS - FUTURE COFFEE SHOP, PANTRY
A-404	ENLARGED PLAN A SECTIONS - AMPHITHEATER
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A-408	ENLARGED PLAN A ELEVATIONS
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USER NAME: Office/121070A-KPO-R22-CENTRAL.rvt
DATE/TIME: 10/13/2022 11:48:20

1 Architectural Site Plan
SCALE: 1/16" = 1'-0"



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DESIGN ARCHITECT ROCKWELL GROUP 5 UNION SQUARE WEST NEW YORK, NY 10003 212-463-0334	ARCHITECT OF RECORD PAGE SOUTHERLAND PAGE 400 W CESAR CHAVEZ ST SUITE 500 AUSTIN, TX 78701 512-382-3527
STRUCTURAL ENGINEER THORNTON TOMASETTI 804 LAS CIMAS PKWY SUITE 140 AUSTIN, TX 78746 512-580-1750	MEP ENGINEER BLUM CONSULTING 8144 WALNUT HILL LANE SUITE 200 DALLAS, TX 75231 214-373-6222
LIGHTING CONSULTANT SEAN O'CONNOR LIGHTING 12955 W. WASHINGTON BLVD LOS ANGELES, CA 90066 310-659-6900	TECHNOLOGY/SECURITY 4B TECHNOLOGY 390 GLENBOROUGH DR HOUSTON, TX 77067 832-249-9379
ACOUSTICAL CONSULTANT JDBRI 15508 WRIGHT BROTHERS DR ADDISON, TX 75001 972-239-1505	FOOD SERVICE CONSULTANT NEXT STEP DESIGN 913 WEST ST ANNAPOLIS, MD 21401 410-263-1200
AUDIOVISUAL CONSULTANT DIMENSIONAL INNOVATIONS 3421 MERRIAM DR OVERLAND PARK, KS 66203 913-384-3488	LANDSCAPE ARCHITECT CO'DESIGN 1200 YALPORN VALLEY RD AUSTIN, TX 78746 512-423-1298
HISTORIC CONSULTANT ARCHITEXAS 2900 S. CONGRESS AVE SUITE 200 AUSTIN, TX 78704 512-444-4220	ARCHITECTURAL SUPPORT MCKINNEY YORK ARCHITECTS 1301 E. 7TH ST AUSTIN, TX 78702 512-476-0201

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THE POST
210 West 6th Street
Austin, TX 78701

REVISION HISTORY

REVISION	DESCRIPTION	DATE
PROFESSIONAL SEALS		

ARCHITECTURAL SITE PLAN

DRAWN BY NT	CHECKED BY PROJECT	NT
PROJECT NUMBER 121070	ABBREVIATION KPO	
ORIGINAL ISSUE HISTORIC REVIEW SUBMISSION	DATE 10/14/2022	

AS-101

SHEET NUMBER

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STRUCTURAL ENGINEER	MEP ENGINEER
THORNTON TOMASETTI	BLUM CONSULTING
804 LAS CIMAS PKWY	8144 WALNUT HILL LANE
SUITE 140	SUITE 200
AUSTIN, TX 78746	DALLAS, TX 75231
512-580-1750	214-373-8222

LIGHTING CONSULTANT	TECHNOLOGY/SECURITY
SEAN O'CONNOR LIGHTING	4B TECHNOLOGY
12955 W. WASHINGTON BLVD	390 GLENBOROUGH DR
LOS ANGELES, CA 90066	HOUSTON, TX 77067
310-659-5900	832-249-9379

ACOUSTICAL CONSULTANT	FOOD SERVICE CONSULTANT
IDIBRI	NEXT STEP DESIGN
15508 WRIGHT BROTHERS DR	913 WEST ST
ADDISON, TX 75001	ANNAPOLIS, MD 21401
972-238-1505	410-263-1200

AUDIOVISUAL CONSULTANT	LANDSCAPE ARCHITECT
DIMENSIONAL INNOVATIONS	CO'DESIGN
3421 MERRIAM DR	1200 YAUPON VALLEY RD
OVERLAND PARK, KS 66203	AUSTIN, TX 78746
913-384-3488	512-423-1298

HISTORIC CONSULTANT ARCHITEXAS 2900 S. CONGRESS AVE SUITE 200 AUSTIN, TX 78704 512-444-4220	ARCHITECTURAL SUPPORT MCKINNEY YORK ARCHITECT 1301 E. 7TH ST AUSTIN TX 78702 512-476-0201
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REVISION HISTORY

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REVISION	DESCRIPTION	DATE
PROFESSIONAL SEALS		

DEMOLITION PLAN - CELLAR

DRAWN BY MS	CHECKED BY NT
PROJECT NUMBER 121070	PROJECT ABBREVIATION KPO
ORIGINAL ISSUE HISTORIC REVIEW SUBMISSION	DATE 10/14/2022

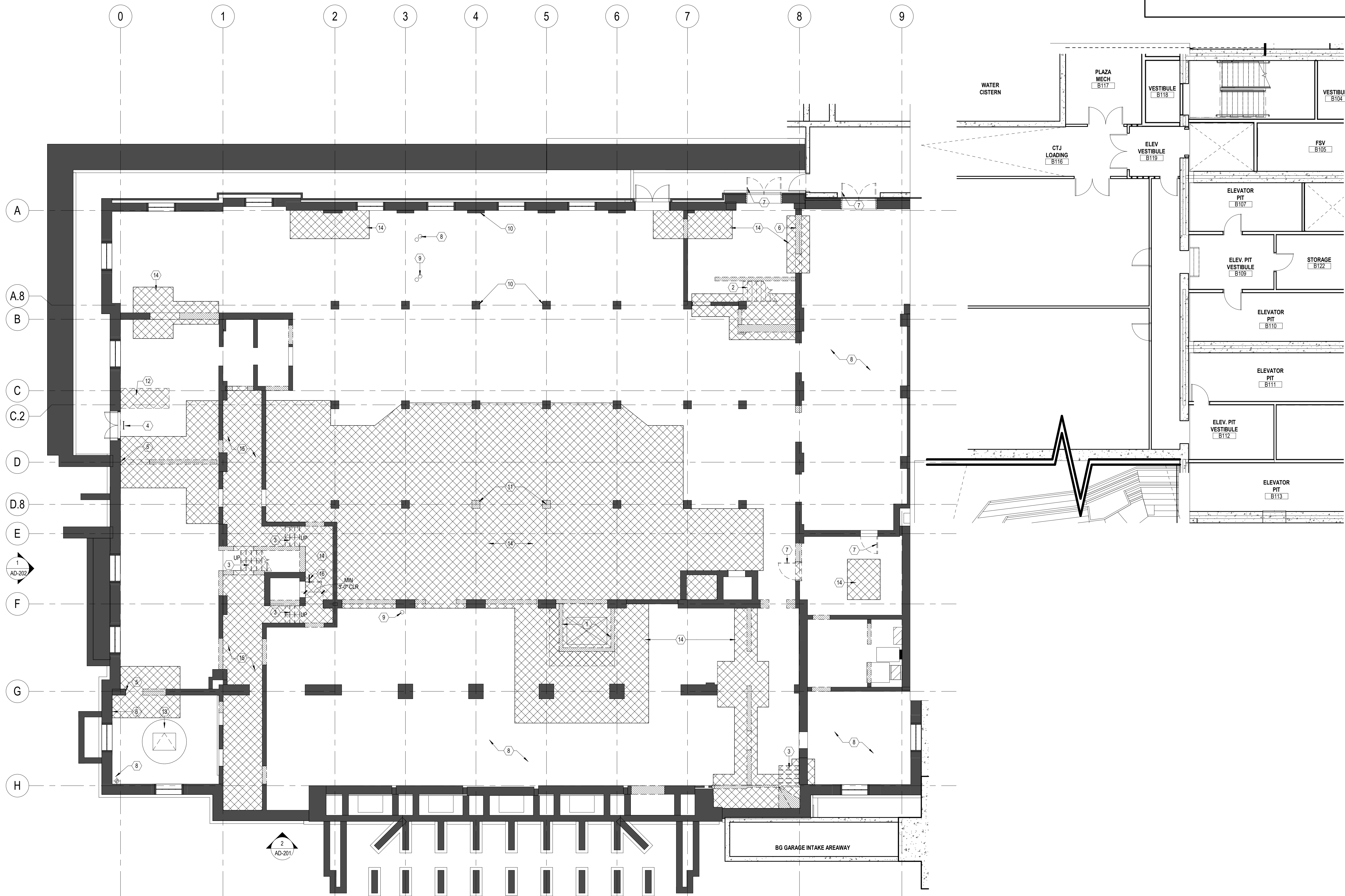
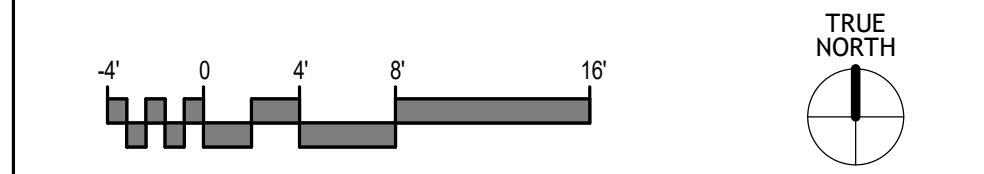
AD-100

SHEET NUMBER

NUMBER	DESCRIPTION
1	REMOVE EXIST ELEVATOR CAR, HOISTWAY, PIT, & ALL ASSOCIATED ELEVATOR EQUIPMENT
2	REMOVE EXIST STL STAIRS W CONC FILLED TREADS
3	REMOVE EXIST CONC STAIRS
4	EXIST LADDER TO REMAIN
5	REMOVE EXIST WD DOOR FRAME
6	EXIST ELEC PANELS/SWITCHES TO BE RELOCATED - REF ELEC
7	REMOVE EXIST DOORS
8	REF MEP FOR EXIST DRAINS, VENTS, CONDUTITS, FIRE ALARM, FIRE SUPPRESSION SYSTEMS & ASSOCIATED SUPPORTS TO BE DEMOLISHED. THIS ROOM
9	REPLACE EXIST STUB-UPS W/ FLUSH CAP
10	REMOVE EXIST PAINT FROM ALL EXPOSED BRICK SURFACES; CLEAN ALL EXPOSED MASONRY SURFACES OF ANY STAINS, REMOVE MISC FASTENERS & MORTAR RESIDUE
11	REMOVE EXIST COLUMN - REF STRUCT
12	EXIST EQUIP PAD TO BE DEMOLISHED
13	EXIST SUMPP PUMP & HOT WATER RADIATOR
14	DEMO EXIST CONC SLAB - REF STRUCT
15	DEMO EXIST RAISED CONC SLAB - REF STRUCT
16	REMOVE EXIST LADDER

1. COORDINATE ALL DEMOLITION WITH THE INFORMATION PROVIDED IN THIS SET OF CONTRACT DOCUMENTS.
2. ALL MATERIAL TO BE DEMOLISHED AND REMOVED SHALL BE DISPOSED OF AS APPROVED BY LOCAL ORDINANCE AND CODES.
3. THE EXISTING AREAS TO REMAIN SHALL BE PROTECTED. ALL DAMAGE RESULTING FROM WORK IN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE. CAREFULLY DISMANTLE AND REMOVE MATERIALS SHOWN ON PLANS TO BE DEMOLISHED. DO NOT ARCHITECT PREPARE TO CONSTRUCTION OF ANY DEMOLITION WORK THAT MAY DAMAGE THE INTEGRITY OF ANY MATERIALS WHICH ARE TO REMAIN AS EXISTING.
4. PARTS OF THIS BUILDING WILL BE ACTIVE. THE CONTRACTOR SHALL COORDINATE ALL SYSTEM SHUT DOWNS WITH THE FACILITY MANAGER. THE CONTRACTOR SHALL INFORM THE FACILITY MANAGER OF SCHEDULE, DURATION AND AREAS AFFECTED AND SHALL RECEIVE OWNER APPROVAL, PRIOR TO SHUT DOWN COMMENCEMENT.
5. THE PREMISES IN WHICH WORK IS BEING PERFORMED SHALL BE KEPT CLEAN AT ALL TIMES.
6. EXISTING CONCRETE SLABS INTENDED TO REMAIN SHALL BE REPAIRED AND FLOATED LEVE WITH SURROUNDING SLABS AND PREPARED TO RECEIVE NEW FINISH.
7. DOORS, FRAMES, HANGERS, PLUMBING AND ELECTRICAL DEVICES AND FIXTURES, ETC. NOT REUSED SHALL BE DELIVERED TO OWNER, COORDINATE THIS WITH THE OWNER.
8. REMOVE ALL CONDUCTORS, CONDUIT AND BOXES BACK TO PANEL IN RENOVATED AREA REMOVE ALL RELATED STRAPS AND HANGERS - RE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
9. REMOVE ALL PLUMBING FROM RENOVATED AREA TO NEAREST JUNCTION WHERE THE LINE IS USED AND IS NOT TO NOTIFY THE OWNER ARCHITECT AND CIVIL ENGINEER. REMOVE ALL RELATED STRAPS AND HANGERS - RE PLUMBING DRAWINGS FOR MORE INFORMATION. PLUMBING LINE SERVING OTHER AREAS SHALL BE KEPT. CONTRACTOR IS TO VERIFY PLUMBING LINES PRIOR TO DEMOLITION. RE: PLUMBING DRAWINGS FOR MORE INFORMATION.
10. REMOVE ALL HVAC DUCTWORK IN RENOVATED AREA TO NEAREST JUNCTION WHERE THE LINE IS USED AND IS NOT TO NOTIFY THE OWNER ARCHITECT AND CIVIL ENGINEER. REMOVE ALL RELATED STRAPS AND HANGERS - RE MECHANICAL DRAWINGS FOR MORE INFORMATION.
11. DURING CONSTRUCTION MAINTAIN NEAREST AIR PRESSURE ON CONSTRUCTION ZONE. WHILE MAINTAINING POSITIVE PRESSURE ON THE NON-CONSTRUCTION ZONE.
12. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE. IDENTIFY AND PROTECT AGAINST DAMAGE DURING DEMOLITION. THE CONTRACTOR IS TO REFERENCE THE CIVIL DESIGN AND TO NOTIFY THE OWNER ARCHITECT AND CIVIL ENGINEER IF ANY UTILITIES ARE UNCOVERED DURING THE DEMOLITION PHASE THAT ARE NOT IDENTIFIED IN THE DOCUMENTS PROVIDED.
13. RELOCATE ROOF DRAINS ALONG THE DEMOLITION LINE. RELOCATE AND RESLOPE ROOF TO NEW DRAIN LOCATIONS.
14. ANY AND ALL FIRE PROOFING LOSS FROM DEMOLITION WORK MUST BE REPAID AS REQUIRED FOR CODE RELATED RATINGS.
15. PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN INSTALLATION OF NEW CONSTRUCTION SO AS TO ASSURE THAT NO WATER LEAKAGE OR DAMAGE TO THE STRUCTURE OR INTERIOR AREAS OF THE EXISTING BUILDING. REMOVE TEMPORARY PROTECTIONS AT COMPLETION OF WORK.
16. REMOVE EXISTING CEILING AND CEILING SUPPORT SYSTEM WHERE NEW CEILINGS ARE INDICATED, UNLESS NOTED OTHERWISE.
17. REMOVE EXISTING FINISHES AS REQUIRED AS PER FINISH MANUFACTURER'S PRINTED INSTRUCTIONS. SEE FINISH SCHEDULE FOR NEW FINISHES.
18. PROTECT EXISTING FIRE PROOFING OR FIRE ASSEMBLIES INDICATED TO REMAIN. DAMAGE DURING DEMOLITION SHALL BE REPAIRED TO CONFORM TO ORIGINAL FIRE PROTECTION REQUIREMENTS.
19. AREA OR OBJECTS IDENTIFIED AS "EXISTING TO REMAIN" OR "NOT IN CONTRACT - N.I.C." SHALL BE PROTECTED. ALL DAMAGE TO THESE AREAS RESULTING FROM DEMOLITION WORK WITHIN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE.
20. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN DRAWINGS DEPICTING EXISTING CONDITIONS AND THE ACTUAL EXISTING CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT. IN WRITING, OF THE CONDITIONS IN QUESTION BEFORE PROCEEDING WITH THE WORK IN THAT AREA.
21. COORDINATE ALL DEMOLITION FROM ALL DISCIPLINES WITH THE INFORMATION PROVIDED ON CONTRACT DOCUMENTS.
22. COORDINATE OWNER WALK THROUGH TO IDENTIFY ALL ITEMS TO BE SALVAGED FOR THE RE-USE OR RE-USE. ALL BUT NOT LIMITED TO MEDICAL EQUIPMENT, FRAMED DOCUMENTS, SIGNGRAPHIC ART, HISTORICAL COLLECTIBLES, ETC. REMOVE ITEMS THIS IDENTIFIED AND GIVE TO THE OWNER, OR STORE FOR RE-USE AT PER OWNER DIRECTION.
23. THIS CONTRACT IS BEING ISSUED FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN BETTER UNDERSTANDING THE PROJECT SCOPE. THIS SHALL BEAN THE CONTRACTOR RESPONSIBILITY TO VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS.
24. REFER TO ELECTRICAL DWGS FOR LIGHTING PROTECTION.

SYMBOL	DESCRIPTION
	CONSTRUCTION SEPARATION (CONTRACTOR TO COORDINATE WITH INDEED TOWER FACILITY MGR)
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING FINISH FLOORING, CONCRETE TOPPING SLAB, AND STRUCTURAL SLAB TO BE DEMOLISHED
	REMOVE WOOD FLOORING
	REMOVE FINISH FLOORING & CONCRETE TOPPING SLAB TO RECEIVE NEW FINISH FLOOR, DEPTH AS NOTED ON DRAWINGS
	REMOVE STONE OR CERAMIC TILE
	REMOVE TERRAZO FLOORING
	REMOVE CARPET



1 Demo Plan - Cellar
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

DESIGN ARCHITECT ROCKWELL GROUP 400 MARKET STREET NEW YORK, NY 10003 212-463-0334	ARCHITECT OF RECORD PAGE SOUTHERLAND PAGE 400 MARKET STREET SUITE 500 AUSTIN, TX 78701 512-396-3527
STRUCTURAL ENGINEER THORNTON TOMASETTI 804 LAS CAMAS PKWY SUITE 140 AUSTIN, TX 78746 512-580-1750	MEP ENGINEER BLISS ENGINEERING 8144 WALNUT HILL LANE SUITE 100 AUSTIN, TX 78731 512-743-8222
LIGHTING CONSULTANT SEAN O'CONNOR LIGHTING 12565 W. WASHINGTON BLVD LOS ANGELES, CA 90066 310-669-5200	TECHNOLOGY/SECURITY 4B TECHNOLOGY 300 GLENBROUUGH DR HOUSTON, TX 77067 281-499-6270
ACOUSICAL CONSULTANT 15508 WRIGHT BROTHERS DR ADDISON, TX 75001 972-238-1050	FOOD SERVICE DESIGN NEST CONSULTING 913 WEST ST ANNAPOLIS, MD 21401 410-263-1200
AUDIOVISUAL CONSULTANT EMERSON CONSULTING 3241 MERIAM DR OVERLAND PARK, KS 66203 913-384-3488	LANDSCAPE ARCHITECT NEST CONSULTING 1200 YAUPOLE AVENUE AUSTIN, TX 78746 512-423-1298
ARCHITECTURAL 1900 S CONGRESS AVE SUITE 200 AUSTIN, TX 78704 512-444-4444	ARCHITECTURAL SUPPORT MCNEHNEY YOUNG ARCHITECT 1901 E ST AUSTIN TX 78702 512-476-6201

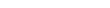
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PROJECT NUMBER 121070	PROJECT ABBREVIATION KPO
ORIGINAL ISSUE HISTORIC REVIEW SUBMISSION	DATE 10/14/2022

SHEET NUMBER

NUMBER	DESCRIPTION
1	REF MEP FOR EXIST DRAINS, VENTS, CONDUITS, FIRE ALARM, FIRE SUPPRESSION SYSTEMS & ASSOCIATED SUPPORTS TO BE DEMOLISHED, THIS ROOM
2	DEMO EXIST GLAZING SYSTEM/WINDOWS
3	REMOVE EXIST CONC STAIRS
4	SALVAGE STONE WAINSCOT BETWEEN GRIDLINES C & D
5	REVIEW EXST BEAM BEARING CONDITION WITH ARCHITECT & ENGINEER PRIOR TO PARTIAL DEMO OF PIER
6	REMOVE EXIST STONE PAVING

1. COORDINATE ALL DEMOLITION WITH THE INFORMATION PROVIDED IN THIS SET OF CONTRACT DOCUMENTS.
2. ALL MATERIAL TO BE DEMOLISHED AND REMOVED SHALL BE DISPOSED OF AS APPROVED BY LOCAL ORDINANCE AND CODES.
3. THE EXISTING AREAS TO REMAIN SHALL BE PROTECTED. ALL DAMAGE RESULTING FROM WORK IN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE. CAREFULLY EXAMINE ALL EXISTING MATERIALS SHOWN ON PLANS TO BE DEMOLISHED. NOTARY ARCHITECT PRIOR TO CONSTRUCTION OF ANY DEMOLITION WORK THAT MAY DAMAGE THE INTEGRITY OF ANY MATERIALS WHICH ARE TO REMAIN AS EXISTING.
4. PARTS OF THIS BUILDING WILL BE ACTIVE. THE CONTRACTOR SHALL COORDINATE ALL SYSTEM SHUT DOWNS WITH THE FACILITY MANAGER. THE CONTRACTOR SHALL INFORM THE FACILITY MANAGER OF SCHEDULE, DURATION AND AREAS AFFECTED AND SHALL RECEIVE OWNER APPROVAL PRIOR TO SHUT DOWN COMMENCEMENT.
5. THE PREMISES IN WHICH WORK IS BEING PERFORMED SHALL BE KEPT CLEAN AT ALL TIMES.
6. EXISTING CONCRETE SLABS INTENDED TO REMAIN SHALL BE REPAIRED AND FLOATED LEVEL W/ SURROUNDING SLABS AND PREPARED TO RECEIVE NEW FINISH.
7. DOORS, FRAAMES, HARDWARE, PLUMBING AND ELECTRICAL, DEVICES AND FIXTURES, ETC. NOT REUSED SHALL BE DELIVERED TO OWNER. COORDINATE THIS WITH THE OWNER.
8. REMOVE ALL COMPONENTS, CONDUIT AND BOXES BACK TO PANEL IN RENOVATED AREA REMOVE ALL RELATED STAIRS AND HANGERS - RE: ELECTRICAL. DRAWINGS FOR MORE INFORMATION.
9. REMOVE ALL PLUMBING FROM RENOVATED AREA TO NEAREST JUNCTURE WHERE THE LINE IS STILL USED AND CAP. REMOVE RELATED UNUSED STAIRS AND HANGERS. PROVIDE DRAWINGS FOR MORE INFORMATION. PLUMBING LINE SERVING OTHER AREAS SHALL BE CAP. CONTRACTOR IS TO VERIFY PLUMBING LINES REMOVE ALL HVAC DUCTWORK IN RENOVATED AREA TO NEAREST JUNCTURE WHERE THE LINE IS STILL IN USE AND CAP AS REQUIRED. REMOVE ALL RELATED STAIRS AND HANGERS. RE: MECHANICAL DRAWINGS FOR MORE INFORMATION.
11. DURING CONSTRUCTION, MAINTAIN NEGATIVE AIR PRESSURE ON CONSTRUCTION ZONE. WHILE MAINTAINING POSITIVE PRESSURE ON THE NON-CONSTRUCTION ZONE.
12. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE. IDENTIFY AND PROTECT AGAINST DAMAGE DURING DEMOLITION. THE CONTRACTOR IS TO REFERENCE THE CIVIL DOCUMENTS AND TO NOTIFY THE OWNER, ARCHITECT, AND CIVIL ENGINEER IF ANY UTILITIES ARE UNCOVERED DURING THE DEMOLITION PHASE THAT ARE NOT IDENTIFIED IN THE DOCUMENTS PROVIDED.
13. RELOCATE ROOF DRAINS ALONG THE DEMOLITION LINE. RELOCATE AND RESLOPE ROOF TO NEW DRAIN LOCATIONS.
14. ANY AND ALL FIRE PROOFING LOST FROM DEMOLITION WORK MUST BE REPAID AS REQUIRED FOR CODE RELATED RATINGS.
15. PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN INSTALLATION OF NEW CONSTRUCTION SO AS TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO THE STRUCTURE OR INTERIOR AREAS OF THE EXISTING BUILDING. REMOVE TEMPORARY PROTECTIONS AT COMPLETION OF WORK.
16. REMOVE EXISTING CEILING AND CEILING SUPPORT SYSTEM WHERE NEW CEILING ARE INDICATED. UNLESS NOTED OTHERWISE.
17. REMOVE EXISTING FINISHES AS REQUIRED AS PER FINISH MANUFACTURER'S PRINTED INSTRUCTIONS, SEE FINISH SCHEDULE FOR NEW FINISHES.
18. PROTECT EXISTING FIRE PROOFING OR FIRE ASSEMBLIES INDICATED TO REMAIN, DAMAGE DURING DEMOLITION SHALL BE REPAIRED TO CONFORM TO ORIGINAL FIRE PROTECTION REQUIREMENTS.
19. AREA OR OBJECTS IDENTIFIED AS "EXISTING TO REMAIN" OR "NOT IN CONTRACT" - "N.I.C." SHALL BE PROTECTED. ALL DAMAGE TO THESE AREAS RESULTING FROM DEMOLITION WORK WITHIN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE.
20. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED INFORMATION AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF WORK SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT. IN WRITING, OF THE CONDITIONS IN QUESTION BEFORE PROCEEDING WITH THE WORK IN THAT AREA.
21. COORDINATE ALL DEMOLITION FROM ALL DISCIPLINES WITH THE INFORMATION PROVIDED ON CONTRACT DOCUMENTS.
22. COORDINATE OWNER WALK THROUGH TO IDENTIFY IT ALL ITEMS TO BE SALVAGED FOR THE OWNER'S REUSE, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT, FRAMED PARTS, SIGNAGE, ART, FURNITURE, COLLECTIBLES, ETC. REMOVE ITEMS THIS IDENTIFIED AND GIVE TO THE OWNER, OR STORE FOR RE-USE AT PER PERSONS DIRECTION.
23. THIS PLAN IS BEING ISSUED FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN BETTER UNDERSTANDING THE PROJECT SCOPE. IT SHALL REMAIN THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS.
24. REFER TO ELECTRICAL DWGS FOR LIGHTING PROTECTION.

SYMBOL	DESCRIPTION
	CONSTRUCTION SEPARATION (CONTRACTOR TO COORDINATE WITH INDEED TOWER FACILITY MGR)
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING FINISH FLOORING, CONCRETE TOPPING SLAB, AND STRUCTURAL SLAB TO BE DEMOLISHED
	REMOVE WOOD FLOORING
	REMOVE FINISH FLOORING & CONCRETE TOPPING SLAB TO RECEIVE NEW FINISH FLOOR, DEPTH AS NOTED ON DRAWINGS
	REMOVE STONE OR CERAMIC TILE
	REMOVE TERRAZZO FLOORING
	REMOVE CARPET



FILE NAME: Autodesk Docs://121070-Kilroy Post
USER NAME: Office/121070A-KPO-R22-CENTRAL.rvt
DATE STAMP: 10/13/2022 11:47:34

Demo Level 01
SCALE: 1/8" = 1'-0"

DESIGN ARCHITECT ROCKWELL GROUP 400 MARKET STREET NEW YORK, NY 10003 212-463-0334	ARCHITECT OF RECORD PAGE SOUTHERLAND PAGE 400 MARKET STREET SUITE 500 AUSTIN, TX 78701 512-396-3527
STRUCTURAL ENGINEER THORNTON TOMASETTI 804 LAS CAMAS PKWY SUITE 140 AUSTIN, TX 78746 512-580-1750	MEP ENGINEER BLISS ENGINEERING 8144 WALNUT HILL LANE SUITE 100 AUSTIN, TX 78721 214-733-8222
LIGHTING CONSULTANT SEAN O'CONNOR LIGHTING 12855 W. WASHINGTON BLVD LOS ANGELES, CA 90066 310-669-5000	TECHNOLOGY/SECURITY 4B TECHNOLOGY 300 GLENBROUUGH DR HOUSTON, TX 77067 281-499-6270
ACOUSICAL CONSULTANT 15508 WRIGHT BROTHERS DR ADDISON, TX 75001 972-238-1050	FOOD SERVICE DESIGN NEST CONSULTING 913 WEST ST ANNAPOLIS, MD 21401 410-263-1200
AUDIOVISUAL CONSULTANT EMERSON CONSULTING 3241 MERIAM DR OVERLAND PARK, KS 66203 913-384-3488	LANDSCAPE ARCHITECT NEST CONSULTING 1200 YAUPOLE AVE AUSTIN, TX 78746 512-423-1298
ARCHITECTURAL 1900 S CONGRESS AVE SUITE 200 AUSTIN, TX 78704 512-444-4444	ARCHITECTURAL SUPPORT MCNEEN YOUNG ARCHITECT 1901 E ST AUSTIN TX 78702 512-476-6201

**KILROY
THE POST**
210 West 6th Street
Austin, TX 78701

REVISION HISTORY

[illegible]

REVISION	DESCRIPTION	DATE
PROFESSIONAL SEALS		

DEMOLITION PLAN - LEVEL 02

DRAWN BY MS	CHECKED BY NT
PROJECT NUMBER 121070	PROJECT ABBREVIATION KPO
ORIGINAL ISSUE HISTORIC REVIEW SUBMISSION	DATE 10/14/2022

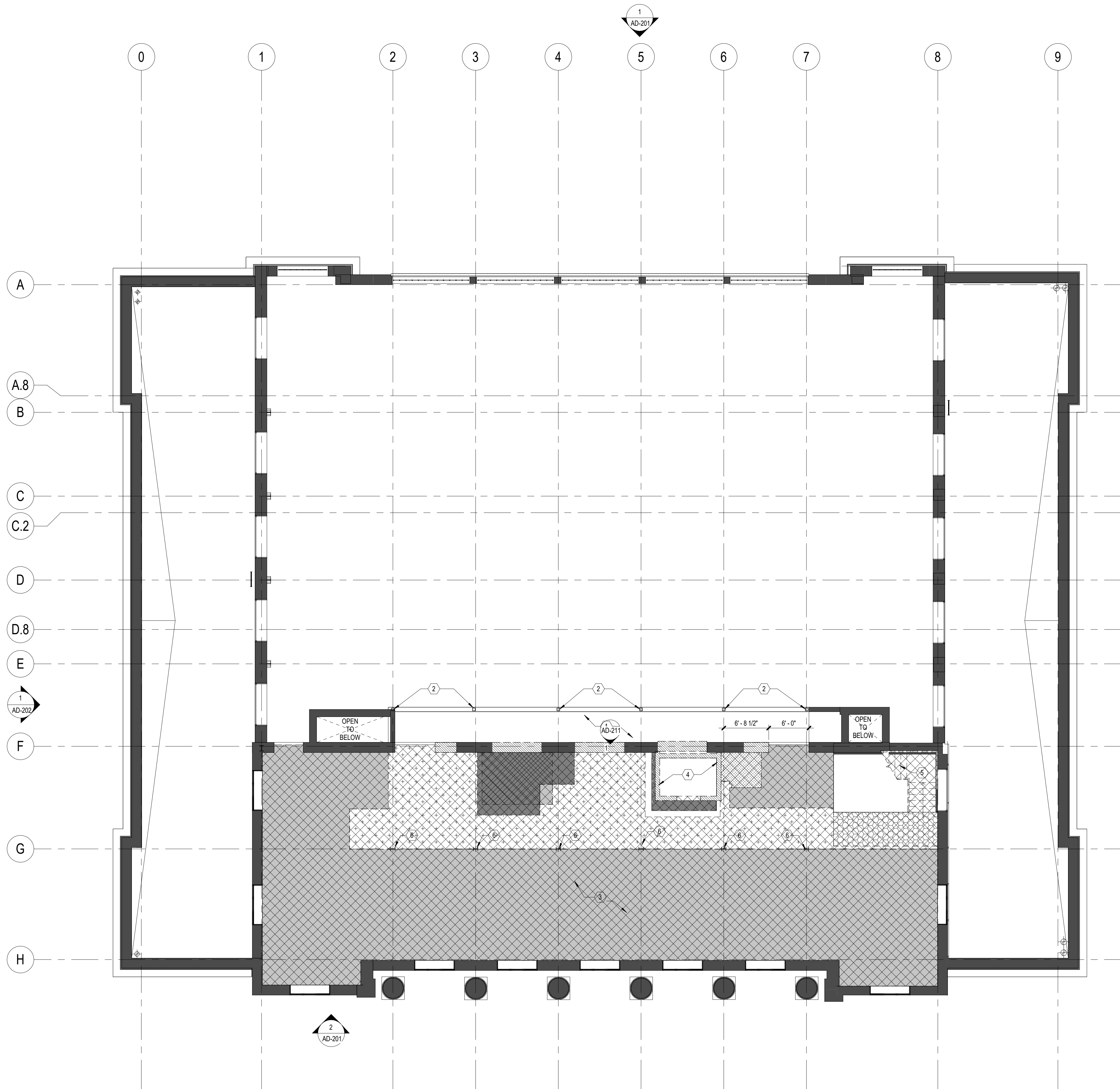
AD-102

SHEET NUMBER

NUMBER	DESCRIPTION
1	EXIST BALCONY TO BE DEMOLISHED - REF STRUCT
2	EXIST COLUMNS & STEEL SUPPORTS TO BE DEMOLISHED - REF STRUCT
3	REF MEP FOR EXIST DRAINS, VENTS, CONDUITS, FIRE ALARM, FIRE SUPPRESSION SYSTEMS & ASSOCIATED SUPPORTS TO BE DEMOLISHED, THIS ROOM
4	REMOVE EXIST ELEVATOR CAR, HOISTWAY, PIT, & ALL ASSOCIATED ELEVATOR EQUIPMENT
5	REMOVE EXIST STL STAIRS W CONC FILLED TREADS
6	REMOVE EXIST STL SUPPORT BRACKETS (2 PER COLUMN); REPAIR INTUMESCENT COATING WHERE REMOVED

1. COORDINATE ALL DEMOLITION WITH THE INFORMATION PROVIDED IN THIS SET OF CONTRACT DOCUMENTS.
2. ALL MATERIAL TO BE DEMOLISHED AND REMOVED SHALL BE DISPOSED OF AS APPROVED BY LOCAL ORDINANCE AND CODES.
3. THE EXISTING AREAS TO REMAIN SHALL BE PROTECTED. ALL DAMAGE RESULTING FROM WORK IN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE. CAREFULLY DISMANTLE AND REMOVE MATERIALS SHOWN ON PLANS TO BE DEMOLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF WORK THAT MAY DAMAGE THE INTEGRITY OF ANY MATERIALS WHICH ARE TO REMAIN AS EXISTING.
4. PARTS OF THIS BUILDING WILL BE ACTIVE. THE CONTRACTOR SHALL COORDINATE ALL SYSTEM SHUT DOWNS WITH THE FACILITY MANAGER. THE CONTRACTOR SHALL INFORM THE FACILITY MANAGER OF SCHEDULE, DURATION AND AREAS AFFECTED AND SHALL RECEIVE OWNER APPROVAL, PRIOR TO SHUT DOWN COMMENCEMENT.
5. THE PREMISES IN WHICH WORK IS BEING PERFORMED SHALL BE KEPT CLEAN AT ALL TIMES.
6. EXISTING CONCRETE SLABS INTENDED TO REMAIN SHALL BE REPAIRED AND FLOATED LEVEL WITH SURROUNDING SLABS AND PREPARED TO RECEIVE NEW FINISH.
7. DOORS, FRAMES, HARDWARE, PLUMBING AND ELECTRICAL DEVICES AND FIXTURES, ETC. NOT REUSED SHALL BE DELIVERED TO OWNER, COORDINATE THIS WITH THE OWNER.
8. REMOVE ALL CONDUCTORS, CONDUIT AND BOXES BACK TO PANEL IN RENOVATED AREA REMOVE ALL RELATED STRAPS AND HANGERS - RE: ELECTRICAL DRAWINGS FOR MORE INFORMATION.
9. REMOVE ALL PLUMBING FROM RENOVATED AREA TO NEAREST JUNCTION WHERE THE LINE AND HANGERS CAN BE REMOVED. REMOVE ALL RELATED UNKED STRAPS AND HANGERS. RE: PLUMBING DRAWINGS FOR MORE INFORMATION. PLUMBING LINE SERVING OTHER AREAS SHALL BE KEPT. CONTRACTOR IS TO VERIFY PLUMBING LINES PRIOR TO DEMOLITION. RE: PLUMBING DRAWINGS FOR MORE INFORMATION.
10. REMOVE ALL HVAC DUCTWORK IN RENOVATED AREA TO NEAREST JUNCTION WHERE THE LINE AND HANGERS CAN BE REMOVED. REMOVE ALL RELATED UNKED STRAPS AND HANGERS. RE: MECHANICAL DRAWINGS FOR MORE INFORMATION.
11. DURING CONSTRUCTION, POSITIVE NEGATIVE AIR PRESSURE ON CONSTRUCTION ZONE WHILE MAINTAINING POSITIVE PRESSURE ON THE NON-CONSTRUCTION ZONE.
12. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE. IDENTIFY AND PROTECT AGAINST DAMAGE DURING DEMOLITION. THE CONTRACTOR IS TO REFERENCE THE CIVIL DOCUMENTS AND TO NOTIFY THE OWNER, ARCHITECT, AND ENGINEER IF ANY UTILITIES ARE UNCOVERED DURING THE DEMOLITION PHASE THAT ARE NOT IDENTIFIED IN THE DOCUMENTS PROVIDED.
13. RELOCATE ROOF DRAINS ALONG THE RELATED LINE. RELOCATE AND RESLOPE ROOF TO NEW DRAIN LOCATIONS.
14. ANY AND ALL FIRE PROOFING LOSS FROM DEMOLITION WORK MUST BE REPAID AS REQUIRED FOR CODE RELATED RATING.
15. PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN INSTALLATION OF NEW CONSTRUCTION SO AS TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO THE STRUCTURE OR INTERIOR AREAS OF THE EXISTING BUILDING. REMOVE TEMPORARY PROTECTIONS AT COMPLETION OF WORK.
16. REMOVE EXISTING CEILING AND CEILING SUPPORT SYSTEM WHERE NEW CEILING ARE INDICATED. UNLESS NOTED OTHERWISE.
17. REMOVE EXISTING FINISHES AS REQUIRED AS PER FINISH MANUFACTURER'S PRINTED INSTRUCTIONS. SEE FINISH SCHEDULE FOR NEW FINISHES.
18. PROTECT EXISTING FIRE PROOFING OR FIRE ASSEMBLIES INTENDED TO REMAIN. DAMAGE DURING DEMOLITION SHALL BE REPAIRED TO CONFORM TO ORIGINAL FIRE PROTECTION REQUIREMENTS.
19. AREA OR OBJECTS IDENTIFIED AS "EXISTING TO REMAIN" OR "NOT IN CONTRACT - N.I.C." SHALL BE PROTECTED. ALL DAMAGE TO THESE AREAS RESULTING FROM DEMOLITION WORK WITHIN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE.
20. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN DRAWINGS DEPENDING EXISTING CONDITIONS OR DISCOVERY OF UNKNOWN CONDITIONS DEPENDANTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT. IN WRITING, OF THE CONDITIONS IN QUESTION BEFORE PROCEEDING WITH THE WORK IN THAT AREA.
21. COORDINATE ALL DEMOLITION FROM ALL DISCIPLINES WITH THE INFORMATION PROVIDED IN THE CONTRACT DOCUMENTS.
22. COORDINATE OWNER WALK THROUGH TO IDENTIFY ALL ITEMS TO BE SALVAGED FOR THE OWNERS RE-USE. INCLUDING BUT NOT LIMITED TO MEDICAL EQUIPMENT, FRAMED DOCUMENTS, SIGNGRAPHIC ART, HISTORICAL COLLECTIBLES, ETC. REMOVE ITEMS THIS IDENTIFIED AND GIVE TO THE OWNER, OR STORE FOR RE-USE AT OWNER'S DISCRETION.
23. THIS CONTRACTOR IS BEING ISSUED FOR THE PURPOSE OF ASSISTING THE CONTRACTOR OR RETIREMENTS IN MANAGING THE PROJECT. WORK SHALL BE RUN BY THE CONTRACTOR RESPONSIBLE TO VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS.
24. REFER TO ELECTRICAL DWGS FOR LIGHTING PROTECTION.

SYMBOL	DESCRIPTION
	CONSTRUCTION SEPARATION (CONTRACTOR TO COORDINATE WITH INDEED TOWER FACILITY MGR)
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING FINISH FLOORING, CONCRETE TOPPING SLAB, AND STRUCTURAL SLAB TO BE DEMOLISHED
	REMOVE WOOD FLOORING
	REMOVE FINISH FLOORING & CONCRETE TOPPING SLAB TO RECEIVE NEW FINISH FLOOR, DEPTH AS NOTED ON DRAWINGS
	REMOVE STONE OR CERAMIC TILE
	REMOVE TERRAZO FLOORING
	REMOVE CARPET



1 Demo Level 02
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

DESIGN ARCHITECT ROCKWELL GROUP 400 SQUARE WEST NEW YORK, NY 10003 212-463-0334	ARCHITECT OF RECORD PAUL SOUTHERLAND PAE 400 SQUARE WEST SUITE 500 AUSTIN, TX 78701 512-395-3527
STRUCTURAL ENGINEER BOROMEO COMASTETTI 804 LAS CAMAS PKWY SUITE 140 DALLAS, TX 75244 972-580-1750	MEP ENGINEER BOYNTON 8144 WALNUT HILL SUITE 200 DALLAS, TX 75231 214-734-8222
LANDSCAPE CONSULTANT SEAN O'CONNOR ARCHITECT 12555 W. WASHINGTON BLVD LOS ANGELES, CA 90066 310-658-8900	TECHNOLOGY/SECURITY 48 TECHNOLOGY 390 GLENBROUUGH DR HOUSTON, TX 77067 832-249-8773
ACOUSICAL CONSULTANT DOBBS 15508 WRIGHT BROTHERS DR ADDISON, TX 75001 972-239-1505	FOOD SERVICE DESIGN NEXT DESIGN 913 WEST ST ANNAPOLIS, MD 21401 410-263-1200
AUDIOVISUAL CONSULTANT DIMENSIONAL INNOVATIONS 1221 HERMAN BLVD OVERLAND PARK, KS 66203 913-384-3488	LANDSCAPE ARCHITECT CODESIGN 10000 E. VALLEY RD SUITE 174 AUSTIN, TX 78746 512-423-1238
HISTORIC CONSULTANT ARCHITEXAS 200 N. CONGRESS AVE SUITE 200 AUSTIN, TX 78704 512-442-1100	ARCHITECTURAL SUPPORT MECKNEY VORP ARCHITECT 1301 E. 11TH SUITE A AUSTIN, TX 78702 512-476-2021

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Austin, TX 78701

REVISION HISTORY

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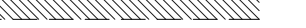






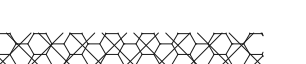

REVISION	DESCRIPTION	DATE
	PROFESSIONAL SEALS	

DEMOLITION PLAN - LEVEL 03

DRAWN BY MS	CHECKED BY NT
PROJECT NUMBER 121070	PROJECT ABBREVIATION KPO
ORIGINAL ISSUE HISTORIC REVIEW SUBMISSION	DATE 10/14/2022

AD-103

SHEET NUMBER

KEYED NOTES		DEMOLITION PLAN GENERAL NOTES	
NUMBER	DESCRIPTION		
1	EXIST FLAGPOLE TO REMAIN	1. COORDINATE ALL DEMOLITION WITH THE INFORMATION PROVIDED IN THIS SET OF CONTRACT DOCUMENTS.	
2	REMOVE EXIST MASONRY TO EXPOSE BUILT UP STL COLS. STL COLS TO REMAIN	2. ALL MATERIAL TO BE DEMOLISHED AND REMOVED SHALL BE DISPOSED OF AS APPROVED BY LOCAL ORDINANCE AND CODES.	
3	REMOVE EXIST DOOR & FRAME	3. THE EXISTING AREAS TO REMAIN SHALL BE PROTECTED. ALL DAMAGE RESULTING FROM WORK IN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE. CAREFULLY DISMANTLE AND REMOVE MATERIALS SHOWN ON PLANS TO BE DEMOLISHED. NOTIFY ARCHITECT PRIOR TO CONSTRUCTION OF ANY DEMOLITION WORK THAT MAY DAMAGE THE INTEGRITY OF ANY MATERIALS WHICH ARE TO REMAIN AS EXISTING.	
4	REMOVE EXIST STL STAIRS W CONC FILLED TREADS	4. PARTS OF THIS BUILDING WILL BE ACTIVE. THE CONTRACTOR SHALL COORDINATE ALL SYSTEM SHUT DOWNS WITH THE FACILITY MANAGER. THE CONTRACTOR SHALL INFORM THE FACILITY MANAGER OF SCHEDULE, DURATION AND AREAS AFFECTED AND SHALL RECEIVE OWNER APPROVAL PRIOR TO SHUT DOWN COMMENCEMENT.	
5	REMOVE EXIST SUSPENDED SOFFIT (PLASTER & LATH ON 2X FRAMING) AT PERIMETER OF ROOM, TYP	5. THE PREMISES IN WHICH WORK IS BEING PERFORMED SHALL BE KEPT CLEAN AT ALL TIMES.	
6	REMOVE EXIST WD BASEBOARD, TYP THIS ROOM	6. EXISTING CONCRETE SLABS INTENDED TO REMAIN SHALL BE REPAIRED AND FLOATED LEVEL W/ SURROUNDING SLABS AND PREPARED TO RECEIVE NEW FINISH.	
7	REMOVE EXIST ELEVATOR CAR, HOISTWAY, PIT, & ALL ASSOCIATED ELEVATOR EQUIPMENT	7. DOORS, FRAMES, HARDWARE, PLUMBING AND ELECTRICAL DEVICES AND FIXTURES, ETC. NOT REUSED SHALL BE DELIVERED TO OWNER. COORDINATE THIS WITH THE OWNER.	
8	REMOVE EXIST WD T&G FLOORING	8. REMOVE ALL CONDUCTORS, CONDUIT AND BOXES BACK TO PANEL. IN RENOVATED AREA REMOVE ALL RELATED STRAPS AND HANGERS. -RE: ELECTRICAL DRAWINGS FOR MORE INFORMATION.	
9	REMOVE TEMPORARY FALL PROTECTION (WD FRAMING)	9. REMOVE ALL PLUMBING FROM RENOVATED AREA TO NEAREST JUNCTURE WHERE THE LINE IS STILL USED AND CAP. REMOVE RELATED UNUSED STRAPS AND HANGERS. RE: PLUMBING DRAWINGS FOR MORE INFORMATION. PLUMBING LINE SERVING OTHER AREAS SHALL BE KEPT. CONTRACTOR IS TO VERIFY PLUMBING LINES PRIOR TO DEMOLITION. RE: PLUMBING DRAWINGS FOR MORE INFORMATION.	
10	CAREFULLY REMOVE EXIST CONCRETE COVER AT EXIST STEEL BEAMS: STEEL BEAMS TO REMAIN EXPOSED	10. REMOVE ALL HVAC DUCTWORK IN RENOVATED AREA TO NEAREST JUNCTURE WHERE THE DUCT IS STILL IN USE AND CAP AS REQUIRED. REMOVE ALL RELATED STRAPS AND HANGERS. RE: MECHANICAL DRAWINGS FOR MORE INFORMATION.	
11	REF MEP FOR EXIST DRAINS, VENTS, CONDUITS, FIRE ALARM, FIRE SUPPRESSION SYSTEMS & ASSOCIATED SUPPORTS TO BE DEMOLISHED, THIS ROOM	11. DURING CONSTRUCTION, MAINTAIN NEGATIVE AIR PRESSURE ON CONSTRUCTION ZONE. WHILE MAINTAINING POSITIVE PRESSURE ON THE NON-CONSTRUCTION ZONE.	
12	REMOVE EXIST FINISH FLR & CEMENTITIOUS TOPPING SLAB AS REQ'D FOR INSTALLATION OF NEW REINFORCED TOPPING - REF STRUCT	12. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE. IDENTIFY AND PROTECT AGAINST DAMAGE DURING DEMOLITION. THE CONTRACTOR IS TO REFERENCE THE CIVIL DOCUMENTS AND TO NOTIFY THE OWNER, ARCHITECT, AND CIVIL ENGINEER IF ANY UTILITIES ARE UNCOVERED DURING THE DEMOLITION PHASE THAT ARE NOT IDENTIFIED IN THE DOCUMENTS PROVIDED.	
		13. RELOCATE ROOF DRAINS ALONG THE DEMOLITION LINE. RELOCATE AND RESLOPE ROOF TO NEW DRAIN LOCATIONS.	
		14. ANY AND ALL FIRE PROOFING LOST FROM DEMOLITION WORK MUST BE REPAID AS REQUIRED FOR CODE RELATED RATINGS.	
		15. PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN INSTALLATION OF NEW CONSTRUCTION SO AS TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO THE STRUCTURE OR INTERIOR AREAS OF THE EXISTING BUILDING. REMOVE TEMPORARY PROTECTIONS AT COMPLETION OF WORK.	
		16. REMOVE EXISTING CEILINGS AND CEILING SUPPORT SYSTEM WHERE NEW CEILINGS ARE INDICATED. UNLESS NOTED OTHERWISE.	
		17. REMOVE EXISTING FINISHES AS REQUIRED AS PER FINISH MANUFACTURER'S PRINTED INSTRUCTIONS. SEE FINISH SCHEDULE FOR NEW FINISHES.	
		18. PROTECT EXISTING FIRE PROOFING OR FIRE ASSEMBLIES INDICATED TO REMAIN. DAMAGE DURING DEMOLITION SHALL BE REPAIRED TO CONFORM TO ORIGINAL FIRE PROTECTION REQUIREMENTS.	
		19. AREA OR OBJECTS IDENTIFIED AS "EXISTING TO REMAIN" OR "NOT IN CONTRACT" - "N.I.C." SHALL BE PROTECTED. ALL DAMAGE TO THESE AREAS RESULTING FROM DEMOLITION WORK WITHIN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE.	
		20. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT. IN WRITING, OF THE CONDITIONS IN QUESTION BEFORE PROCEEDING WITH THE WORK IN THAT AREA.	
		21. COORDINATE ALL DEMOLITION FROM ALL DISCIPLINES WITH THE INFORMATION PROVIDED ON CONTRACT DOCUMENTS.	
		22. COORDINATE OWNER WALK THROUGH TO IDENTIFY ALL ITEMS TO BE SALVAGED FOR THE OWNER'S RE-USE INCLUDING BUT NOT LIMITED TO MEDICAL EQUIPMENT, FRAMED DOCUMENTS, SIGNS/GRAPHIC ART, HISTORICAL COLLECTIBLES, ETC. REMOVE ITEMS THIS IDENTIFIED AND GIVE TO THE OWNER, OR STORE FOR RE-USE AT PER OWNERS DIRECTION.	
		23. THIS PLAN IS BEING ISSUED FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN BETTER UNDERSTANDING THE PROJECT SCOPE. IT SHALL REMAIN THE CONTRACTORS RESPONSIBILITY TO VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS.	
		24. REFER TO ELECTRICAL DWGS FOR LIGHTING PROTECTION.	
		DEMOLITION PLAN LEGEND	
SYMBOL	DESCRIPTION		
---	CONSTRUCTION SEPARATION (CONTRACTOR TO COORDINATE WITH INDEED TOWER FACILITY MGR)		
	EXISTING CONSTRUCTION TO REMAIN		
	EXISTING CONSTRUCTION TO BE DEMOLISHED		
	EXISTING CONSTRUCTION TO BE DEMOLISHED		
	EXISTING FINISH FLOORING, CONCRETE TOPPING SLAB, AND STRUCTURAL SLAB TO BE DEMOLISHED		
	REMOVE WOOD FLOORING		
	REMOVE FINISH FLOORING & CONCRETE TOPPING SLAB TO RECEIVE NEW FINISH FLOOR. DEPTH AS NOTED ON DRAWINGS		
	REMOVE STONE OR CERAMIC TILE		
	REMOVE TERRAZO FLOORING		
	REMOVE CARPET		
			

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USER NAME: Office/121070A-KPO-R22-CENTRAL.rvt
DATE STAMP: 10/13/2022 11:47:40

DESIGN ARCHITECT
ROCKWELL GROUP
 309 SQUARE WEST
 NEW YORK, NY 10003
 212-463-0334

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 THORNTON TOMASETTI
 804 LAS CUMAS PKWY
 SUITE 140
 LAGUNA BEACH, CA 92653
 949-761-7878
 949-580-1750

LIGHTING CONSULTANT
 SEAN O'CONNOR LIGHTING
 12955 W. WASHINGTON BLVD
 LOS ANGELES, CA 90066
 310-658-6900

ACQUISITIONAL CONSULTANT
 IDBB
 15508 WRIGHT BROTHERS DR
 ADDISON, TX 75001
 972-336-1105

AUDIOVISUAL CONSULTANT
 KIMBERLY K. HARRIS
 3221 MERRIAN DR
 OVERLAND PARK, KS 66203
 913-394-3488

HISTORIC CONSULTANT
 ARCHITEXAS
 205 S CONGRESS AVE
 SUITE 200
 AUSTIN, TX 78704
 512-466-1100

ARCHITECT OF RECORD
PAGE SOUTHERLAND PAGE
 4050 S. CALIFORNIA HWY
 SUITE 500
 AUSTIN, TX 78741
 512-395-3527

MEP ENGINEER
 HARRIS ASSOCIATES
 8144 WALNUT HILL LANE
 SUITE 100
 DALLAS, TX 75231
 214-734-8222

TECHNOLOGY/SECURITY
48 TECHNOLOGY
 390 GLENBROUGH DR
 HOUSTON, TX 77067
 281-499-6078

FOOD SERVICE CONSULTANT
 NEXT DESIGN
 913 WEST ST
 ANNAPOLIS, MD 21401
 410-265-1200

LANDSCAPE ARCHITECT
 CHARTERED
 12000 YAUPOON VALLEY RD
 SUITE 100
 AUSTIN, TX 78746
 512-423-1298

ARCHITECTURAL SUPPORT
McKENNEY VORP ARCHITECT
 1901 S. 1ST ST
 AUSTIN, TX 78702
 512-476-2011

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THE POST**
210 West 6th Street
Austin, TX 78701

REVISION HISTORY

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REVISION	DESCRIPTION	DATE
PROFESSIONAL SEALS		

DEMOLITION PLAN - ROOF

DRAWN BY MS	CHECKED BY NT
PROJECT NUMBER 121070	PROJECT ABBREVIATION KPO
ORIGINAL ISSUE HISTORIC REVIEW SUBMISSION	DATE 10/14/2022

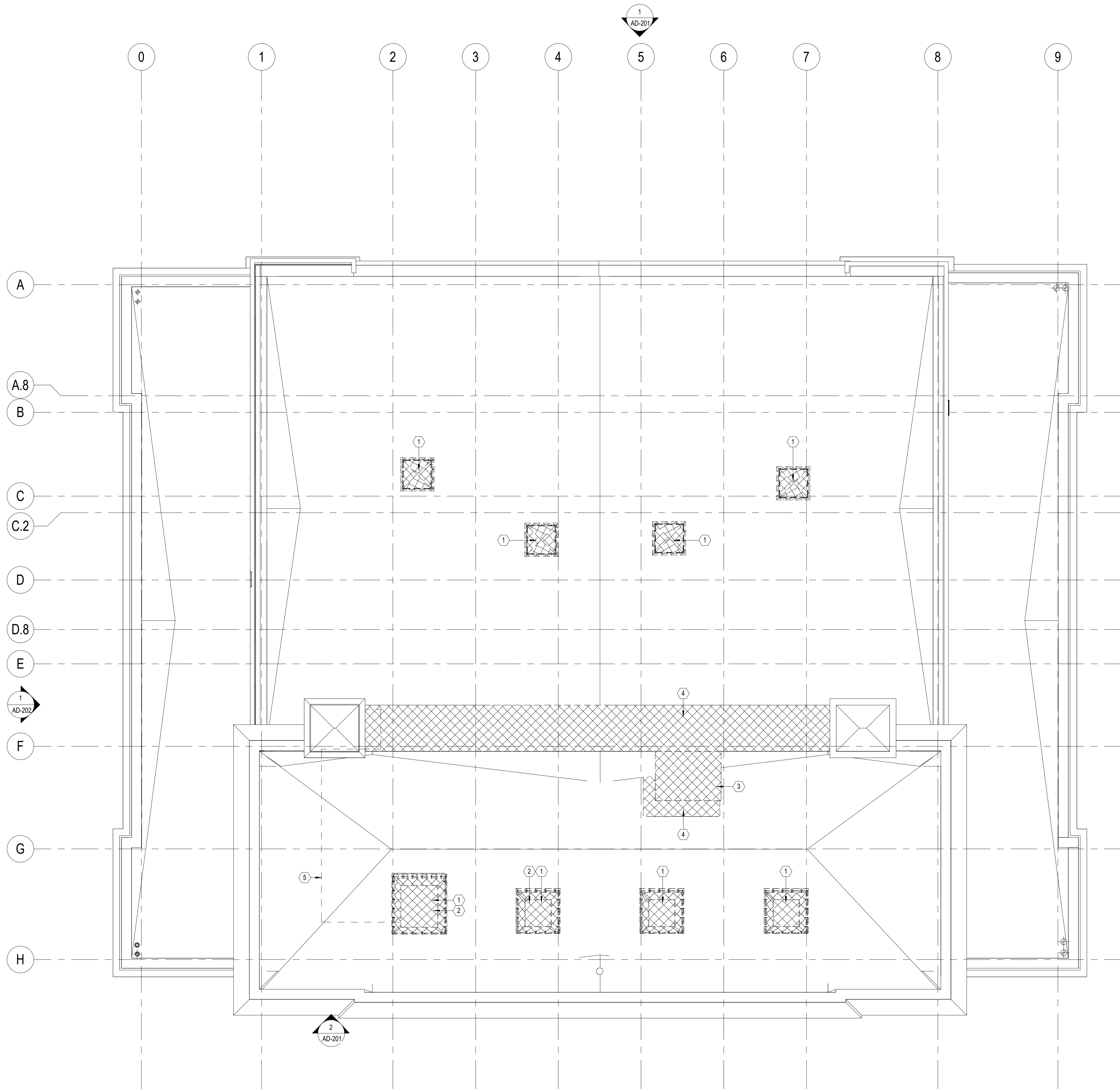
AD-104

SHEET NUMBER

NUMBER	DESCRIPTION
1	EXIST SKYLIGHTS TO BE DEMOLISHED
2	REMOVE EXIST MECHANICAL PENETRATION COVERS
3	REMOVE EXIST ELEV HOISTWAY
4	REMOVE EXIST ROOF ASSEMBLY & STRUCTURE
5	SALVAGE LIGHTNING PROTECTION SYSTEM FOR REINSTALLATION

1. COORDINATE ALL DEMOLITION WITH THE INFORMATION PROVIDED IN THIS SET OF CONTRACT DOCUMENTS.
2. ALL MATERIAL TO BE DEMOLISHED AND REMOVED SHALL BE DISPOSED OF AS APPROVED BY LOCAL ORDINANCE AND CODES.
3. THE EXISTING AREAS TO REMAIN SHALL BE PROTECTED. ALL DAMAGE RESULTING FROM WORK IN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE. CAREFULLY DISMANTLE AND REMOVE MATERIALS SHOWN ON PLANS TO BE DEMOLISHED. NO ARCHITECT PROTECT TO CONSTRUCTION OF ANY DEMOLITION WORK THAT MAY DAMAGE THE INTEGRITY OF ANY MATERIALS WHICH ARE TO REMAIN AS EXISTING.
4. PARTS OF THIS BUILDING WILL BE ACTIVE. THE CONTRACTOR SHALL COORDINATE ALL SYSTEM SHUT DOWNS WITH THE FACILITY MANAGER. THE CONTRACTOR SHALL INFORM THE FACILITY MANAGER OF SCHEDULE, DURATION AND AREAS AFFECTED AND SHALL RECEIVE OWNER APPROVAL, PRIOR TO SHUT DOWN COMMENCEMENT.
5. THE PREMISES IN WHICH WORK IS BEING PERFORMED SHALL BE KEPT CLEAN AT ALL TIMES.
6. EXISTING CONCRETE SLABS INTENDED TO REMAIN SHALL BE REPAIRED AND FLOATED LEVEL W/ SURROUNDING SLABS AND PREPARED TO RECEIVE NEW FINISH.
7. DOORS, FRAMES, HANGERS, PLUMBING AND ELECTRICAL DEVICES AND FIXTURES, ETC. NOT REUSED SHALL BE DELIVERED TO OWNER. COORDINATE THIS WITH THE OWNER.
8. REMOVE ALL CONDUCTORS, CONDUIT AND BOXES BACK TO PANEL IN RENOVATED AREA REMOVE ALL RELATED STRAPS AND HANGERS - RE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
9. REMOVE ALL PLUMBING FROM RENOVATED AREA TO NEAREST JUNCTION WHERE THE LINE IS USED AND REMOVE ALL RELATED REUSE STRAPS AND HANGERS. RE PLUMBING DRAWINGS FOR MORE INFORMATION. PLUMBING LINE SERVING OTHER AREAS SHALL BE KEPT. CONTRACTOR IS TO VERIFY PLUMBING LINES PRIOR TO DEMOLITION. RE PLUMBING DRAWINGS FOR MORE INFORMATION.
10. REMOVE ALL HVAC DUCTWORK IN RENOVATED AREA TO NEAREST JUNCTION WHERE THE LINE IS USED AND REMOVE ALL RELATED REUSE STRAPS AND HANGERS. RE MECHANICAL DRAWINGS FOR MORE INFORMATION.
11. DURING CONSTRUCTION MAINTAIN NEGATIVE AIR PRESSURE ON CONSTRUCTION ZONE. WHILE MAINTAINING POSITIVE PRESSURE ON THE NON-CONSTRUCTION ZONE.
12. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE. IDENTIFY AND PROTECT AGAINST DAMAGE DURING DEMOLITION. THE CONTRACTOR IS TO REFERENCE THE CIVIL DRAWING TO IDENTIFY THE OWNER, ARCHITECT, AND CIVIL ENGINEER. IF ANY UTILITIES ARE UNCOVERED DURING THE DEMOLITION PHASE THAT ARE NOT IDENTIFIED IN THE DOCUMENTS PROVIDED.
13. RELOCATE ROOF DRAINS ALONG THE DEMOLITION LINE. RELOCATE AND RESLOPE ROOF TO NEW DRAIN LOCATIONS.
14. ANY AND ALL FIRE PROOFING LOSS FROM DEMOLITION WORK MUST BE REPAID AS REQUIRED FOR CODE RELATED RATING.
15. PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN INSTALLATION OF NEW PROTECTION SO AS TO ASSURE THAT NO WATER LEAKAGE OR DAMAGE TO THE STRUCTURE OR INTERIOR AREAS OF THE EXISTING BUILDING. REMOVE TEMPORARY PROTECTION AT COMPLETION OF WORK.
16. REMOVE EXISTING CEILING AND CEILING SUPPORT SYSTEM WHERE NEW CEILINGS ARE INDICATED, UNLESS NOTED OTHERWISE.
17. REMOVE EXISTING FINISHES AS REQUIRED AS PER FINISH MANUFACTURER'S PRINTED INSTRUCTIONS. SEE FINISH SCHEDULE FOR NEW FINISHES.
18. PROTECT EXISTING FIRE PROOFING OR FIRE ASSEMBLIES INDICATED TO REMAIN. DAMAGE DURING DEMOLITION SHALL BE REPAIRED TO CONFORM TO ORIGINAL FIRE PROTECTION REQUIREMENTS.
19. AREA OR OBJECTS IDENTIFIED AS "EXISTING TO REMAIN" OR "NOT IN CONTRACT - N.I.C." SHALL BE PROTECTED. ALL DAMAGE TO THESE AREAS RESULTING FROM DEMOLITION WORK WITHIN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE.
20. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN DRAWINGS DEPICTING EXISTING CONDITIONS AND THE ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, OF THE CONDITIONS IN QUESTION BEFORE PROCEEDING WITH THE WORK IN THAT AREA.
21. COORDINATE ALL DEMOLITION FROM ALL DISCIPLINES WITH THE INFORMATION PROVIDED ON CONTRACT DOCUMENTS.
22. COORDINATE OWNER WALK THROUGH TO IDENTIFY ALL ITEMS TO BE SALVAGED FOR THE REUSE OR DISPOSE. ALL BUT NOT LIMITED TO MEDICAL EQUIPMENT, FRAMED DOCUMENTS, SIGNGRAPHIC ART, HISTORICAL COLLECTIBLES, ETC. REMOVE ITEMS THIS IDENTIFIED AND GIVE TO THE OWNER, OR STORE FOR RE-USE AT PER OWNER'S DISCRETION.
23. THIS PLAN IS BEING ISSUED FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN BETTER UNDERSTANDING THE PROJECT SCOPE. THIS SHALL BEAN THE CONTRACTOR RESPONSIBILITY TO VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS.
24. REFER TO ELECTRICAL DWGS FOR LIGHTING PROTECTION.

SYMBOL	DESCRIPTION
	CONSTRUCTION SEPARATION (CONTRACTOR TO COORDINATE WITH INDEED TOWER FACILITY MGR)
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING FINISH FLOORING, CONCRETE TOPPING SLAB, AND STRUCTURAL SLAB TO BE DEMOLISHED
	REMOVE WOOD FLOORING
	REMOVE FINISH FLOORING & CONCRETE TOPPING SLAB TO RECEIVE NEW FINISH FLOOR, DEPTH AS NOTED ON DRAWINGS
	REMOVE STONE OR CERAMIC TILE
	REMOVE TERRAZZO FLOORING
	REMOVE CARPET



1 Demo Roof
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

KEYED NOTES

NUMBER DESCRIPTION

- 1 DEMO EXIST GLAZING SYSTEM/WINDOWS
- 2 EXIST WINDOWS TO RECEIVE NEW LOW-E GLAZING IN EXIST WINDOW FRAMES
- 3 EXIST DOORS TO RECEIVE NEW LOW-E GLAZING IN EXIST DOOR FRAMES

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512-480-1750

MEP ENGINEER BLUM CONSULTING

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SUITE 200
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214-373-6222

LIGHTING CONSULTANT SEAN O'CONNOR LIGHTING

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LOS ANGELES, CA 90068
310-459-9900

TECHNOLOGY/SECURITY 48 TECHNOLOGY

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972-238-1505

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913-384-3488

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512-444-1220

ARCHITECTURAL SUPPORT MCKINNEY YORK ARCHITECT

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AUSTIN TX 78702
512-476-0201

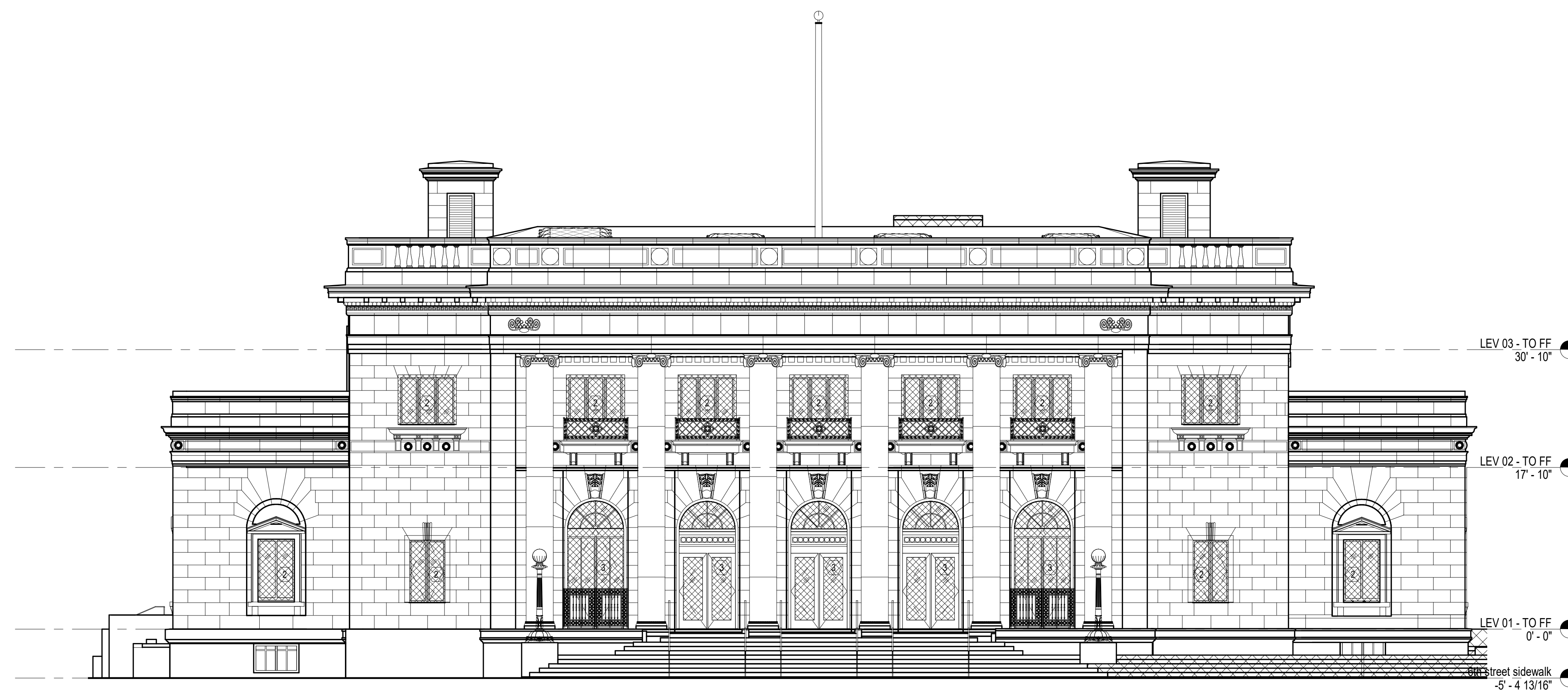
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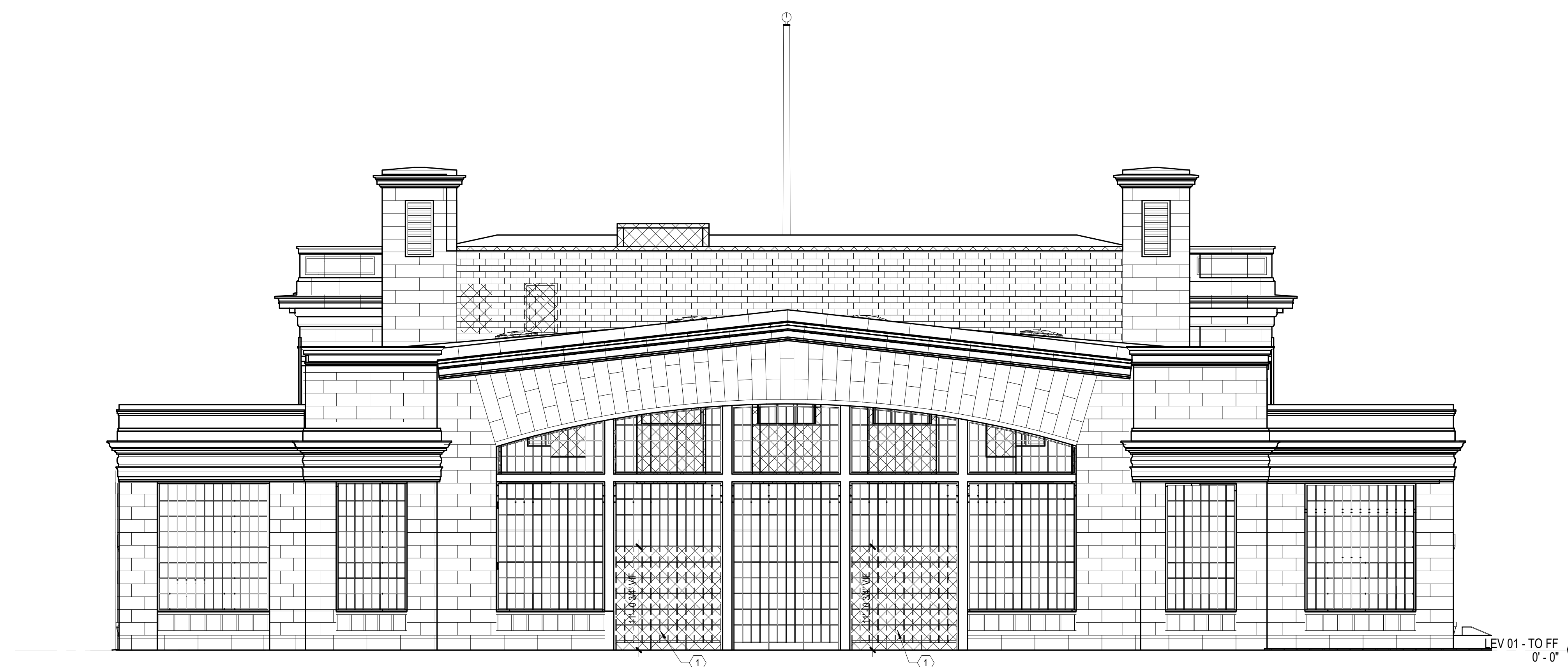
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ORIGINAL ISSUE CONSTRUCTION DOCUMENTS	DATE 10/14/2022

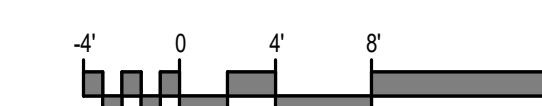
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2 DEMO SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 DEMO NORTH ELEVATION
SCALE: 1/8" = 1'-0"



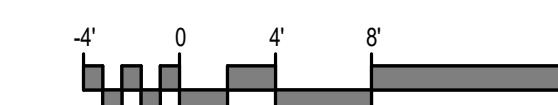
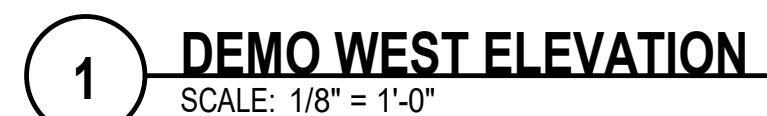
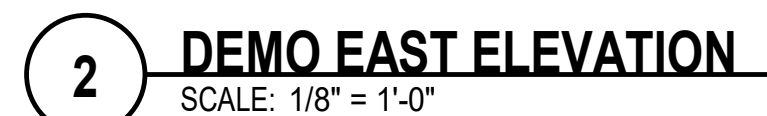
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 512-444-4220

1. ALL UNMARKED PARTITIONS ARE TYPE ____ ALL COLUMN FURNING TO BE PARTITION TYPE UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
5. REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS
6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXTERIOR WINDOW COVERS AT ALL VISIBLE BUILDING ELEVATION JOINTS. TOP COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PLAN DIMENSIONS ARE TAKEN TO THE CENTERLINE OF COLUMNS AND TO THE OUTERMOST SURFACE OF THE WALL (INCLUDING TILE, STONE, PLASTER, ETC. EXCLUDING TRIM) UNLESS NOTED OTHERWISE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES. COORDINATE BLOCKING LOCATIONS WITH FF1 PLAN & OWNER FOR ART LOCATIONS PRIOR TO CLOSING ALL ALTS.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLANNING DETAILS (AS SERIES A-552), AND WINDOW SCHEDULE LISTS (AS SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.
13. WHERE EXIST PIPING OR OTHER THROUGH-WALL OR THROUGH-FLOOR PENETRATIONS ARE REMOVED, PATCH ALL RESIDUAL OPENINGS WITH CONSTRUCTION TO MATCH ADJ WALL OR FLOOR FINISH. PATCH OPENINGS THROUGH FIRE RESISTANCE RATED CONSTRUCTION WITH MATERIAL TO MEET HOURLY RATING REQUIREMENT.

1. FINISHES FOR ALL BOH MECHANICAL AND ELECTRICAL SPACES, THIS FLOOR: POLISHED & SEALED CONCRETE SLAB, PAINT EXIST WALL & CEILING STRUCTURE.
2. FINISHES FOR BOH SERVICE CORRIDOR, THIS FLOOR: RESILIENT FLOORING & BASE, APPLY PTD PLASTER AT EXIST WALLS, PAINT EXIST EXPOSED STRUCTURE CLGS.
3. FINISHES FOR CATERING PANTRY SPACES, THIS FLOOR: RESILIENT FLOOR & BASE, PAINT GYP CEILING, FULL HEIGHT CERAMIC TILE AT ALL WALLS.

NUMBER	DESCRIPTION
1	STAINLESS STEEL WORK TABLES, TYP THIS ROOM.
2	EXIST AREAWAY
3	NEW AREAWAY, SIM TO EXIST AREAWAY ON EAST SIDE OF BLDG

SYMBOL	DESCRIPTION
 <p>MATCHLINE SEEX X/A104</p>	<p>MATCH LINE SHEET REFERENCE</p>
 	<p>KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET</p>
	<p>PARTITION TAG REFER TO PARTITION SCHEDULE</p>
	<p>BUILDING SECTION TAG WALL SECTION TAG</p>
	<p>EXTERIOR ELEVATION TAG</p>
	<p>INTERIOR ELEVATION TAG</p>
	<p>PLAN REFERENCE TAG</p>
<p>ROOM NAME 101</p>	<p>ROOM NAME ROOM NUMBER</p>
	<p>0/4OUR SMOKE BARRIER 1-HOUR FIRE PARTITION 1-HOUR FIRE/SMOKE PARTITION 2-HOUR FIRE PARTITION 2-HOUR FIRE/SMOKE PARTITION</p>
 <p>1002a</p>	<p>NEW DOOR WITH CROWN TAG REF DOOR SCHED</p>
 <p>1002b</p>	<p>NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS</p>
	<p>COLUMN GRID DESIGNATIONS</p>

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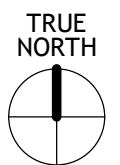
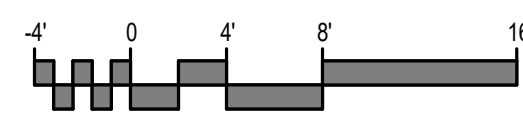
FLOOR PLAN - CELLAR

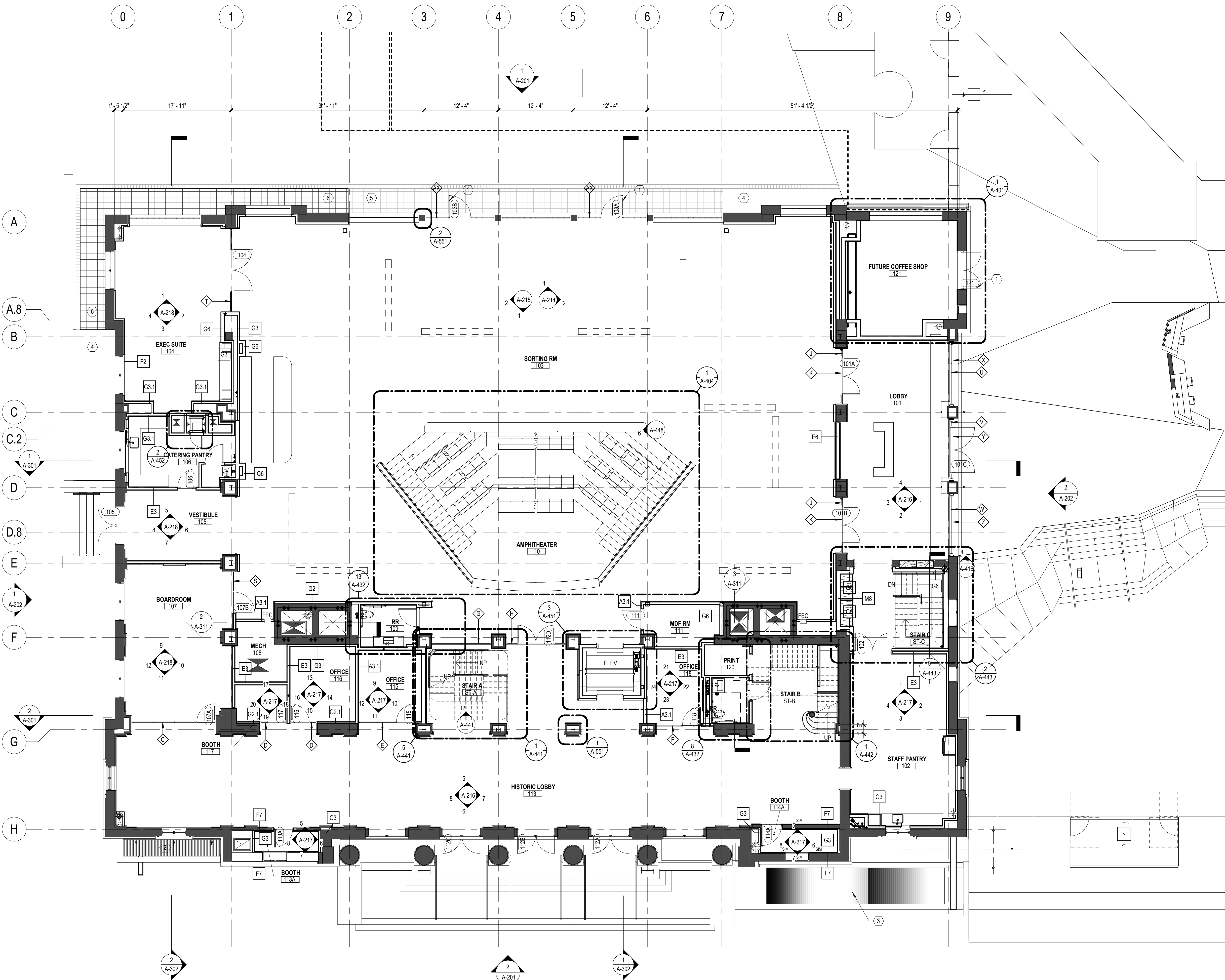
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HISTORIC REVIEW SUBMISSION	10/14/20

A-100
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1 FLOOR PLAN - CELLAR (Level 0)
SCALE: 1/8" = 1'-0"





1 FLOOR PLAN - LEVEL 01
SCALE: 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- ALL UNMARKED PARTITIONS ARE TYPE __, ALL COLUMN FURRING TO BE PARTITION TYPE __ UNLESS NOTED OTHERWISE.
- ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
- FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
- ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
- REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
- REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
- INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
- ALL PLAN DIMENSIONS ARE TAKEN TO THE CENTERLINE OF COLUMNS AND TO THE OUTERMOST SURFACE OF THE WALL (INCLUDING TILE, STONE, PLASTER, ETC. EXCLUDING TRIM) UNLESS NOTED OTHERWISE.
- INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES. COORDINATE BLOCKING LOCATIONS WITH FFE PLAN & OWNER FOR ART LOCATIONS PRIOR TO CLOSING ALL ALLS.
- AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
- REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (A4 SERIES SHEETS), AND WINDOW SCHEDULE/DETAILS (A6 SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.
- WHERE EXIST PIPING OR OTHER THROUGH-WALL OR THROUGH-FLOOR PENETRATIONS ARE REMOVED, PATCH ALL RESIDUAL OPENINGS WITH CONSTRUCTION TO MATCH ADJ WALL OR FLOOR TYPE. PATCH ALL OPENINGS THROUGH FIRE-RESISTANCE RATED CONSTRUCTION WITH MATERIAL TO MEET HOURLY RATING REQUIREMENT.

SHEET NOTES

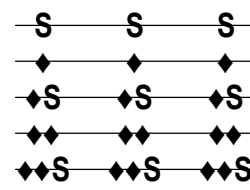
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- FINISHES FOR BOH SERVICE CORRIDOR, THIS FLOOR: RESILIENT FLOORING & BASE, APPLY FTD PLASTER AT EXIST WALLS, PAINT EXIST EXPOSED STRUCTURE GLGS.
- FINISHES FOR CATERING PANTRY SPACES, THIS FLOOR: RESILIENT FLOORING & BASE, PAINT GYP CEILING, FULL HEIGHT CERAMIC TILE AT ALL WALLS.

KEYED NOTES

NUMBER	DESCRIPTION
1	NEW DOOR
2	NEW AREAWAY, SIM TO EXIST AREAWAY ON EAST SIDE OF BLDG
3	EXIST AREAWAY
4	EXIST STONE PAVERS
5	EXIST GLASS BLOCK PAVERS
6	GLASS BLOCK PAVERS, MATCH EXIST

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	MATCH LINE
	SHEET REFERENCE
	KEYED NOTE
	PARTITION TAG
	BUILDING SECTION TAG
	WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME
	ROOM NUMBER
	0-HOUR SMOKE BARRIER
	1-HOUR FIRE PARTITION
	1-HOUR FIRE/SMOKE PARTITION
	2-HOUR FIRE PARTITION
	2-HOUR FIRE/SMOKE PARTITION
	NEW DOOR WITH DOOR TAG REF DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS



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FLOOR PLAN - LEVEL 01

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SUITE 140	SUITE 200
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KEAN O'CONNOR LIGHTING	4B TECHNOLOGY
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FLOOR PLAN - LEVEL 02

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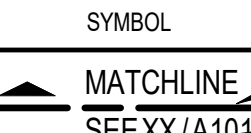
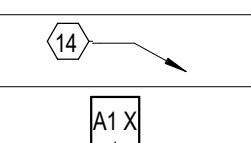
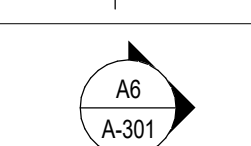
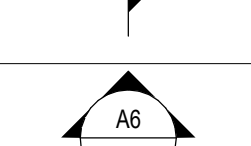
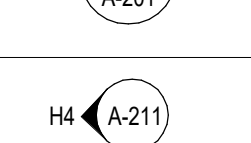
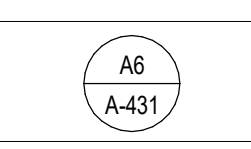
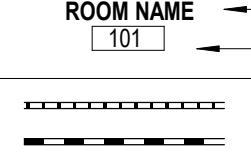
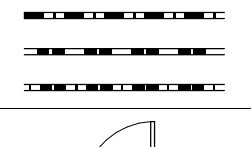
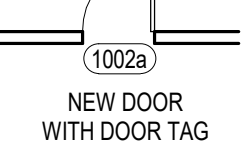
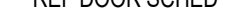

1. ALL UNMARKED PARTITIONS ARE TYPE __. ALL COLUMN FURRING TO BE PARTITION TYPE UNLESS NOTED OTHERWISE.



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2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO 01 DRAWINGS.
4. ROOF PLAN SHOWING FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
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7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP COVER OF FLOOR EXPANSION JOINT COVER TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PLAN DIMENSIONS ARE TAKEN TO THE CENTERLINE OF COLUMNS AND TO THE OUTERMOST SURFACE OF THE WALL (INCLUDING TILE, STONE, PLASTER, ETC. EXCLUDING TRIM) UNLESS NOTED OTHERWISE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES. COORDINATE BLOCKING LOCATIONS WITH FEE PLAN & OWNER FOR ARCH LOCATIONS PRIOR TO CLOSING ALL ALIS.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A4.10 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE REQUIRED OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSE, CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONFORMANT WITH ENLARGED ARCHITECTURAL PLANSET/CONCRETE FOUNDATION SHEETS) AND TO PROVIDE DIMENSIONS FOR REINFORCING CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILS FOR CLARIFICATION REQUIRED.
13. WHERE EXIST PIPES OR OTHER THROUGH-WALL OR THROUGH-FLOOR PENETRATIONS ARE REMOVED, PATCH ALL RESIDUAL OPENINGS WITH CONSTRUCTION TO MATCH ADJ WALL OR FLOOR. PATCH ALL RESIDUAL OPENINGS THROUGH FIRE-RESISTANCE RATED CONSTRUCTION WITH MATERIAL TO MEET HOURLY RATING REQUIREMENT.

1. FINISHES FOR ALL BOH MECHANICAL AND ELECTRICAL SPACES, THIS FLOOR: POLISHED & SEALED CONCRETE SLAB; PAINT EXIST WALL & CEILING STRUCTURE.
2. FINISHES FOR BOH SERVICE CORRIDOR, THIS FLOOR: RESILIENT FLOORING & BASE, APPLY PTD PLASTER AT EXIST WALLS, PAINT EXIST EXPOSED STRUCTURE CLGS.
3. FINISHES FOR CATERING PANTRY SPACES, THIS FLOOR: RESILIENT FLOOR & BASE, PAINT GYP CEILING, FULL HEIGHT CERAMIC TILE AT ALL WALLS.

NUMBER	DESCRIPTION
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SYMBOL	DESCRIPTION
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SYMBOL	DESCRIPTION
	MATCH LINE SHEET REFERENCE
	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET PARTITION TAG REFER TO PARTITION SCHEDULE
	BUILDING SECTION TAG WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME ROOM NUMBER
	0-HOUR SMOKE BARRIER 1-HOUR FIRE PARTITION 1-HOUR FIRE/SMOKE PARTITION 2-HOUR FIRE PARTITION 2-HOUR FIRE/SMOKE PARTITION
	NEW DOOR WITH WINDOW TAG REF DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS

 <p>NEW DOOR WITH DOOR TAG REF DOOR SCHED</p>	 <p>NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS</p>
--	---

COLUMN GRID
DESIGNATIONS

TRUE
NORTH

FILE NAME: Autodesk Docs://121070-Killroy Post
USER NAME: Office/121070A-KPO-R22-CENTRAL.rvt
DATE STAMP: 10/14/2022 12:07:54

FLOOR PLAN - LEVEL 02

SCALE: 1/8" = 1'-0"

DESIGN ARCHITECT ROCKWELL GROUP 5 UNION SQUARE WEST NEW YORK, NY 10003 212-463-0334	ARCHITECT OF RECORD PAGE SOUTHERLAND PAGE 400 W CESAR CHAVEZ ST SUITE 500 AUSTIN, TX 78701 512-382-3527
---	--

STRUCTURAL ENGINEER	MEP ENGINEER
THORNTON TOMASETTI	BLUM CONSULTING
804 LAS CIMAS PKWY	8144 WALNUT HILL LANE
SUITE 140	SUITE 200
AUSTIN, TX 78746	DALLAS, TX 75231
512-580-1750	214-373-8222

LIGHTING CONSULTANT	TECHNOLOGY/SECURITY
SEAN O'CONNOR LIGHTING	4B TECHNOLOGY
12955 W. WASHINGTON BLVD	390 GLENBOROUGH DR
LOS ANGELES, CA 90066	HOUSTON, TX 77067
310-659-5900	832-249-9379

ACOUSTICAL CONSULTANT	FOOD SERVICE CONSULTANT
IDIBRI	NEXT STEP DESIGN
15508 WRIGHT BROTHERS DR	913 WEST ST
ADDISON, TX 75001	ANNAPOLIS, MD 21401
972-239-1505	410-263-1200

AUDIOVISUAL CONSULTANT DIMENSIONAL INNOVATIONS 3421 MERRIAM DR OVERLAND PARK, KS 66203 913-384-3488	LANDSCAPE ARCHITECT CO'DESIGN 1200 YAUPON VALLEY RD AUSTIN, TX 78746 512-423-1298
---	---

HISTORIC CONSULTANT ARCHITEXAS 2900 S. CONGRESS AVE SUITE 200 AUSTIN, TX 78704 512-444-4220	ARCHITECTURAL SUPPORT MCKINNEY YORK ARCHITECT 1301 E. 7TH ST AUSTIN TX 78702 512-476-0201
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THE POST**
210 West 6th Street
Austin, TX 78701

1. ALL UNMARKED PARTITIONS ARE TYPE __. ALL COLUMN FURRING TO BE PARTITION TYPE UNLESS NOTED OTHERWISE.

1. ALL UNMARKED PARTITIONS ARE TYPE __, ALL COLUMN FURNISH TO BE PARTITION TYPE UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN FOLLOW FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR PARTS AND DIMENSIONS.
5. REFER TO S1 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS
6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PLAN DIMENSIONS ARE TAKEN TO THE CENTERLINE OF COLUMNS AND TO THE OUTERMOST SURFACE OF THE WALL (INCLUDING TILE, STONE, PLASTER, ETC. EXCLUDING TRIM) UNLESS NOTED OTHERWISE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES. COORDINATE HANGING LOCATIONS WITH FLOOR PLAN & OWNER FOR ART LOCATIONS PRIOR TO CLOSING ALL ALLS.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLANSECTION DETAILS (AS SERIES 1000) AND WINDOW SCHEDULES (AS SERIES 1000). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.
13. WHERE EXIST PEXING OR OTHER THROUGH-WALL OR THROUGH-FLOOR PENETRATIONS ARE REMOVED, PATCH ALL RESIDUAL OPENINGS WITH CONSTRUCTION TO MATCH ADJ WALL OR FLOOR TYPE. PATCH ALL OPENINGS THROUGH FIRE-RATED PARTITION OR RATED CONSTRUCTION WITH MATERIAL TO MEET HOURLY RATING REQUIREMENT.

1. FINISHES FOR ALL BOH MECHANICAL AND ELECTRICAL SPACES, THIS FLOOR: POLISHED & SEALED CONCRETE SLAB, PAINT EXIST WALL & CEILING STRUCTURE.
2. FINISHES FOR BOH SERVICE CORRIDOR, THIS FLOOR: RESILIENT FLOORING & BASE APPLY PTD PLASTER AT EXIST WALLS, PAINT EXIST EXPOSED STRUCTURE CLGS.
3. FINISHES FOR CATERING PANTRY SPACES, THIS FLOOR: RESILIENT FLOOR & BASE, PAINT GYP CEILING, FULL HEIGHT CERAMIC TILE AT ALL WALLS.

SYMBOL	DESCRIPTION
	MATCH LINE
	SHEET REFERENCE
	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET
	PARTITION TAG REFER TO PARTITION SCHEDULE
	BUILDING SECTION TAG WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME ROOM NUMBER
	0-HOUR SMOKE BARRIER
	1-HOUR FIRE PARTITION
	1-HOUR FIRE/SMOKE PARTITION
	2-HOUR FIRE PARTITION
	2-HOUR FIRE/SMOKE PARTITION
	NEW DOOR WITH LOCK TAG REF DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS

NEW DOOR
WITH DOOR TAG
REF DOOR SCHED

NEW WINDOW
WITH WINDOW MAR.
REF GLAZING ELEVATION

0
COLUMN GRID
DESIGNATIONS

TRUE
NORTH

A-103

FILE NAME: Autodesk Docs://121070-Kilroy Post
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STRUCTURAL ENGINEER	MEP ENGINEER
THORNTON TOMASETTI	BLUM CONSULTING
804 LAS CIMAS PKWY	8144 WALNUT HILL LANE
SUITE 140	SUITE 200
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512-580-1750	214-373-8222

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SEAN O'CONNOR LIGHTING	4B TECHNOLOGY
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310-659-5900	832-249-9379

ACOUSTICAL CONSULTANT	FOOD SERVICE CONSULTANT
IDIBRI	NEXT STEP DESIGN
15508 WRIGHT BROTHERS DR	913 WEST ST
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AUSTIN, TX 78704	512-476-0201
512-444-4220	

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ROOF PLAN

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PROJECT NUMBER 121070	PROJECT ABBREVIATION KPO
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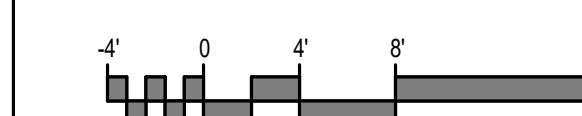
A-104

SHEET NUMBER

1. REFER TO SECTION 07540 OF THE PROJECT MANUAL FOR ROOF SYSTEM REQUIREMENTS.
2. INSTALL ROOF SYSTEM COMPONENTS IN STRICT ACCORDANCE MANUFACTURER'S REQUIREMENTS.
3. ALL COMPONENTS INTENDED FOR USE IN THE ROOF SYSTEM SHALL BE APPROVED BY MEMBRANE MANUFACTURER.
4. CRICKETS & SADDLES - WHERE INDICATED PROVIDE TAPERED, FASULTY-CUT, PRE PACKAGED ASSEMBLIES OF SAME MATERIAL AS UNDERLYING INSULATION. PROVIDE SLOPES REQUIRED TO ELIMINATE PONDING OF WATER TO NO MORE THAN 24 HOURS.
5. BITUMEN/EMULSIFIED ENVELOPES AND/OR METAL SHEETS ARE REQUIRED AT ALL PERIMETERS AND ROOF PENETRATIONS.
6. DO NOT ALLOW ROOFING WORK TO STAIN ROOF TOP PIPE, CONDUIT, BUILDING STRUCTURE AND/OR BUILDING ENVELOPE.
7. DO NOT ALLOW ROOF DRAINAGE TO DETERIOR DRAIN SYSTEM. INSPECT ROOF AND VERIFY UNRESTRICTED DRAINAGE EACH DAY AND END OF WORK.
8. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS OF ROOF AREAS, LOCATIONS OF ROOFTOP EQUIPMENT AND INCIDENTAL ITEMS OF WORK. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATED DESIGN INTENT AND NOT EXACT QUANTITIES.
9. THE ASSUMED OF INCREMENTAL ITEMS OF WORK ON THE CONTRACT DOCUMENTS DOES "NOT ALLEVATE" THE CONTRACTOR OF RESPONSIBILITY OF PROVIDING ALL WORK TO BE PROPERLY ROOF FLASH, AND MAKE WATER/WATER ALL ITEMS THAT CAN BE REASONABLY INFERRED AS BEING PART OF THE WORK.
10. REFER TO MANUFACTURER'S RECOMMENDED DETAILS OR IRCA STANDARD DETAILS, WHICH EVER IS MOST STRINGENT, FOR CONDITIONS NOT DETAILED.
11. ROOFING MATERIALS, BOTH STORED AND IN PLACE SHALL BE PROTECTION FROM WEATHER INCLUDING WIND AND MOISTURE. PROVIDE CUT OFFS ETC AT THE END OF EACH DAYS WORK. SET OR OTHERWISE COMPROMISED ROOF MATERIALS SHALL BE REMOVED FROM THE SITE AND REPLACED AT CONTRACTORS EXPENSE.
12. ROOF SLOPES SHOWN ON THE CONTRACT DOCUMENTS INDICATED DESIGN INTENT. PROVIDE ROOF SLOPES REQUIRED TO ELIMINATE PONDING OF WATER TO NO MORE THAN 24 HOURS.
13. METAL FLASHINGS - PROVIDE CONCEALED (INTERNAL) SLICE PLATES TYPICAL AT ALL METAL FLASHINGS AND COPINGS EXPOSED TO PUBLIC VIEW.
14. AT PERIMETER OF ALL ROOF PROVIDE FACTORY FABRICATED, CONTINUOUS 24" WIDE TAPERED PERLITE DEGREE STRIP BETWEEN THERMAL INSULATION AND RETRO BOARD. PROVIDE MIN. 1/2" FOOT SLOPE.
15. AT ALL ROOF TOP EQUIPMENT PROVIDE FACTORY PAINTED FINISH AT EXPOSED SURFACES. PROVIDE FACTORY PAINTED FINISH IS NOT AVAILABLE FIELD PAINT IN COLOR AS SPECIFIED BY ARCHITECT.
16. 15.00 SUP 48" X 48" TYPE 1 PAINT FA BRAN

NUMBER	DESCRIPTION
1	NEW SKYLIGHT IN EXIST OPENING. UNIT SKYLIGHTS BOD EQUAL TO VELUX ECOSKY3 W/ AEROGEL-FILLED LAYING
2	NEW MODULAR SKYLIGHT IN EXIST OPENING. LINEAR SKYLIGHT BOD EQUAL TO VELUX VMS LONGLIGHT, 5 DEGREE PITCH, CURB MOUNTED, FIXED TYPE
3	INFILL EXIST ROOF OPENING W/ STRUCTURE, DECKING, & ROOF ASSEMBLY TIME
4	MODIFY EXIST CRICKET AT NEW ELEVATOR SHAFT & OVERRUN
5	CRICKET
6	ROOF ASSEMBLY AT EXIST LIGHTWELL
7	EXIST ROOF DRAINS TO REMAIN
8	REINSTALL SALVAGED LIGHTNING PROTECTION SYSTEM IN SAME

SYMBOL	DESCRIPTION
	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET
	BUILDING SECTION TAG WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOF SLOPE
	SPOT ELEVATION



A compass rose with a vertical line pointing upwards, labeled "TRUE NORTH".

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1 Roof Plan
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

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NEW YORK, NY 10003
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OVERLAND PARK, KS 66203
913-384-3488

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ARCHITECTURAL SUPPORT
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AUSTIN, TX 78702
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EXTERIOR ELEVATIONS

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A-201
SHEET NUMBER

EXTERIOR GENERAL NOTES

1. TBD

KEYED NOTES

NUMBER	DESCRIPTION
1	EXIST DOORS TO RECEIVE NEW LOW-E GLAZING IN EXIST DOOR FRAMES
2	EXIST WINDOWS TO RECEIVE NEW LOW-E GLAZING IN EXIST WINDOW FRAMES
3	NEW DOOR

2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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ROCKWELL GROUP
 309 SQUARE WEST
 NEW YORK, NY 10003
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LIGHTING CONSULTANT
SEAN O'CONNOR ARCHITECT
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 15508 WRIGHT BROTHERS DR
 ADDISON, TX 75001
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AUDIOVISUAL CONSULTANT
THE BROWN GROUP
 3221 MERRIAM DR
 OVERLAND PARK, KS 66203
 913-394-3488

HISTORIC CONSULTANT
ARCHITEXAS
 205 S CONGRESS AVE
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 AUSTIN, TX 78704
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ARCHITECT OF RECORD
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 AUSTIN, TX 78701
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MEP ENGINEER
THE BROWN GROUP
 8144 WALNUT HILL LANE
 SUITE 100
 DALLAS, TX 75231
 214-734-8222

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48 TECHNOLOGY
 390 GLENBROUGH DR
 HOUSTON, TX 77067
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FOOD SERVICE CONSULTANT
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 913 WEST ST
 ANNAPOLIS, MD 21401
 410-265-1200

LANDSCAPE ARCHITECT
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 12000 YAUPON VALLEY RD
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 AUSTIN, TX 78746
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McKENNEY VORP ARCHITECT
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 AUSTIN TX 78702
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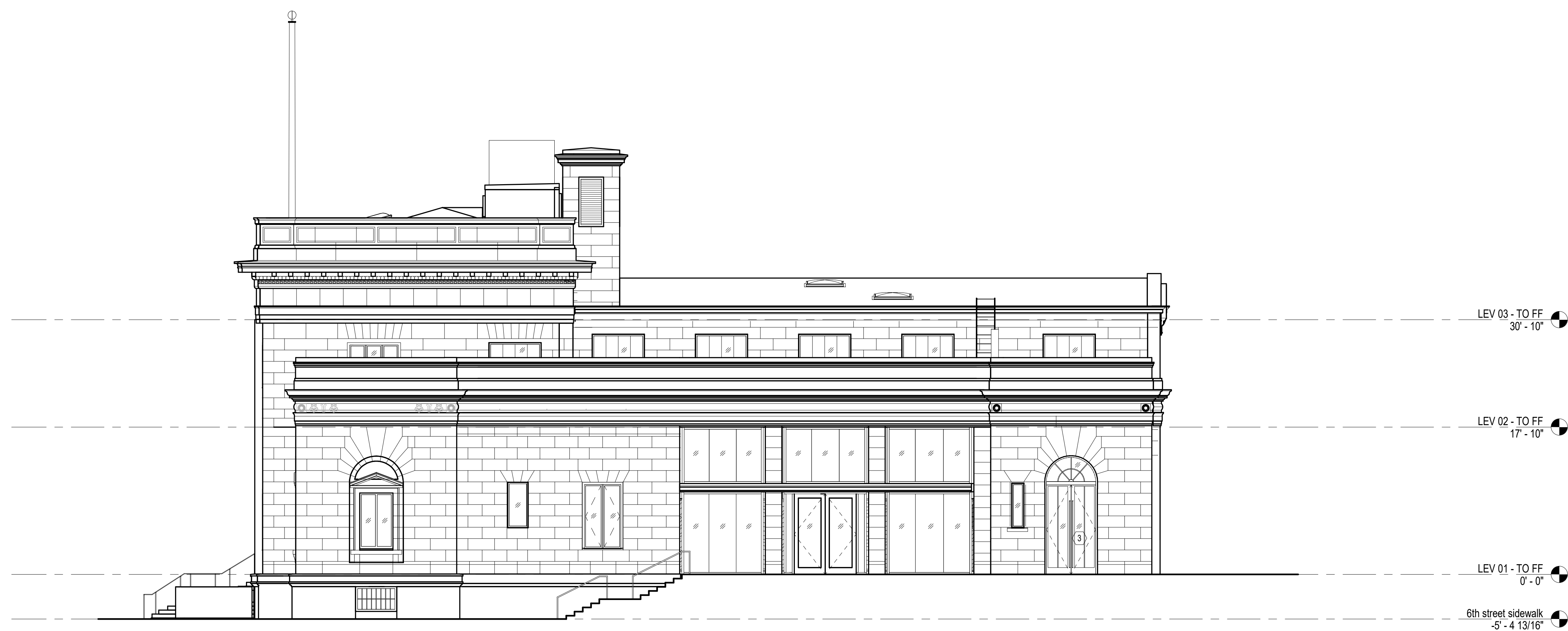
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REVISION	DESCRIPTION	DATE
	PROFESSIONAL SEALS	

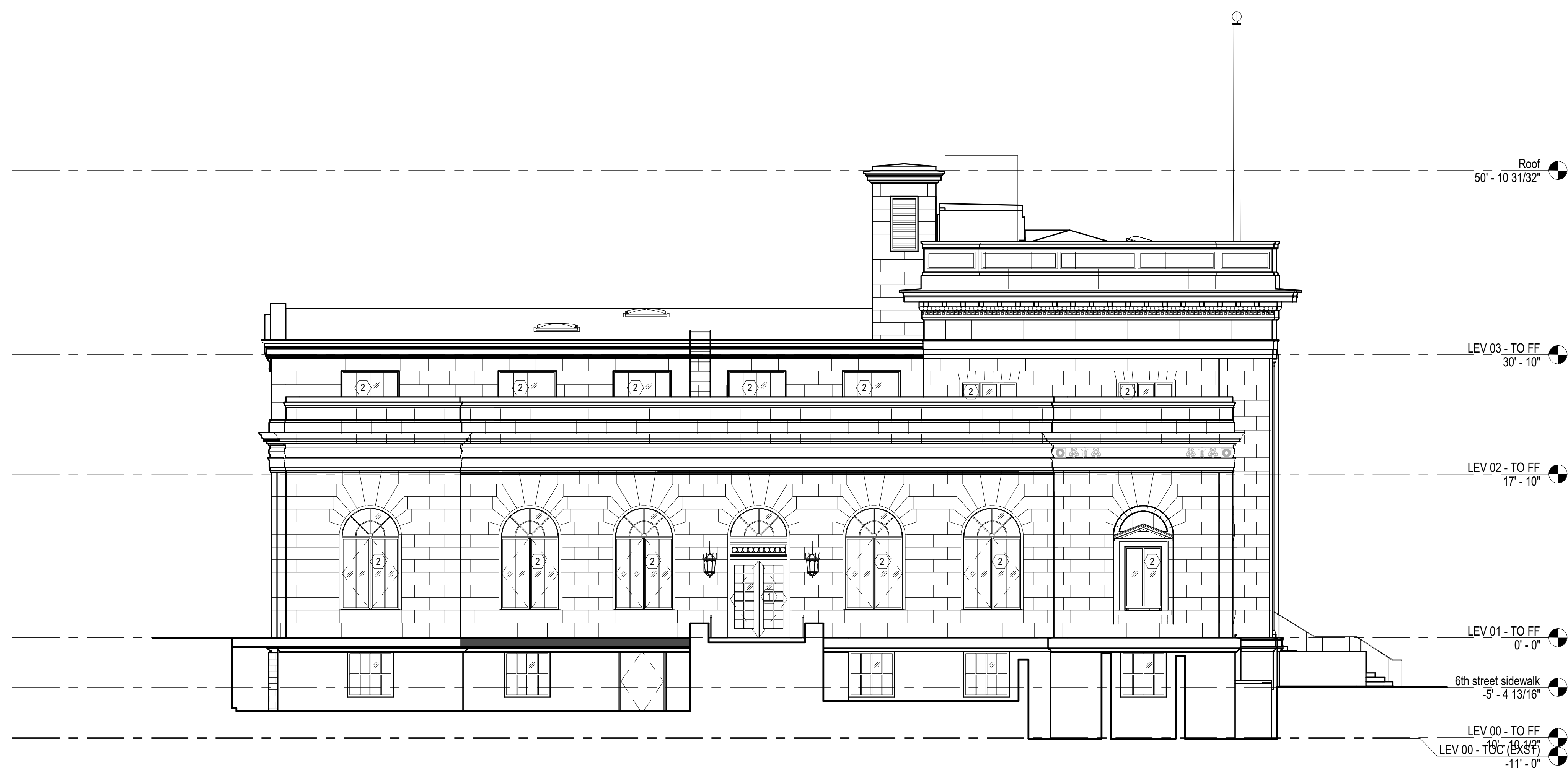
EXTERIOR ELEVATIONS

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A-202
SHEET NUMBER



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

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 12955 W. WASHINGTON, BLVD.
 HOUSTON, TEXAS, CA 90066
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 214-733-8222

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48 TECHNOLOGY
 300 GLENBROUGH DR
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 281-648-8379

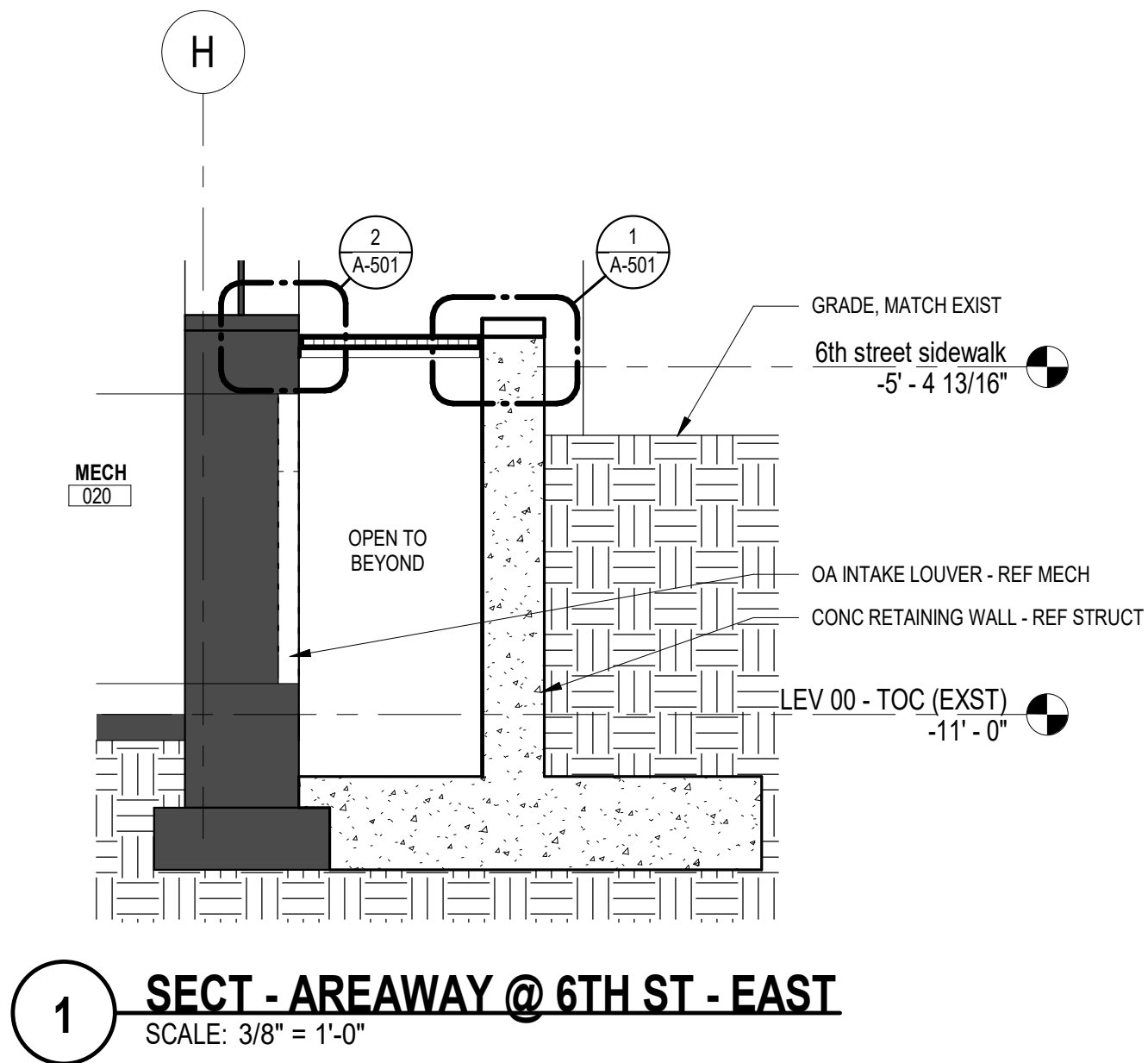
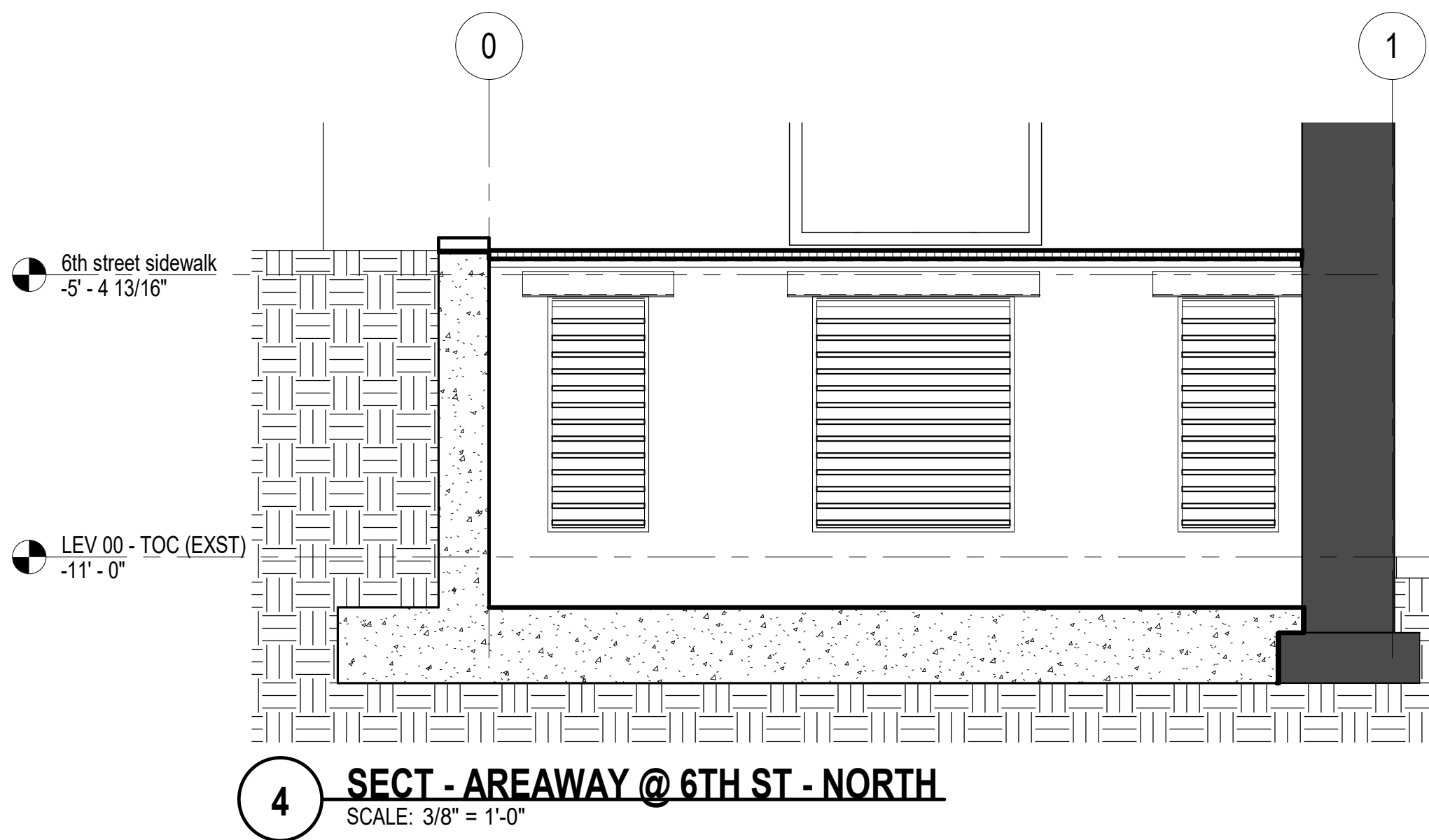
FOOD SERVICE CONSULTANT
NEXT STEP DESIGN
 ANNAPOLIS, MD 21401
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LANDSCAPE ARCHITECT
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McKENNEY YOUNG ARCHITECT
 1301 E. 11TH ST
 AUSTIN TX 78702
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12. ALL FERROUS MTL @ BLDG. EXTERIOR TO BE GALV. (ASTM G90)



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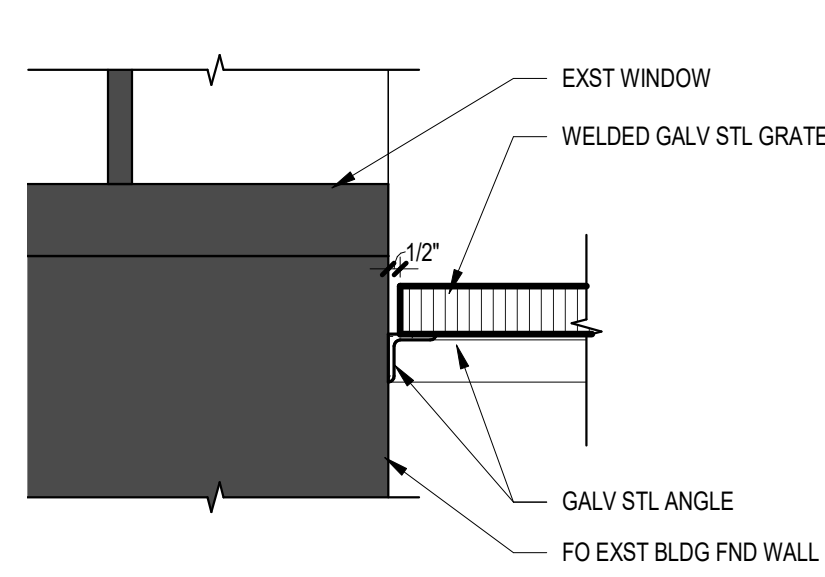
REVISION HISTORY

REVISION	DESCRIPTION	DATE
PROFESSIONAL SEALS		

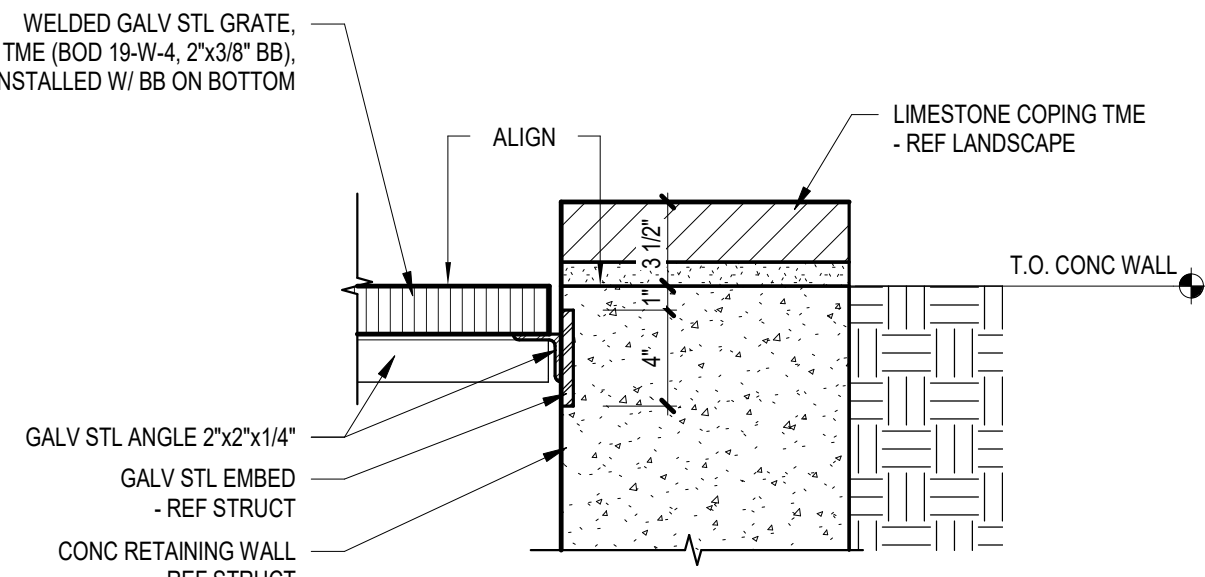
EXTERIOR SECTION DETAILS

DRAWN BY Author	CHECKED BY PROJECT CHECKER
PROJECT NUMBER 121070	ABBREVIATION KPO
ORIGINAL ISSUE HISTORIC REVIEW SUBMISSION	DATE 10/14/2022

A-501
SHEET NUMBER



2 DTL @ AREAWAY WINDOW
SCALE: 1 1/2" = 1'-0"



1 DTL @ AREAWAY GRATE
SCALE: 1 1/2" = 1'-0"