

# BOA SIGN REVIEW COVERSHEET

**CASE:** C16-2022-0011

**BOA DATE:** November 14<sup>th</sup>, 2022

**ADDRESS:** 7309 Lazy Creek Dr

**COUNCIL DISTRICT:** 1

**OWNER:** AISD –Michael Mann (rep)

**AGENT:** Ezzi Signs –Belem Macedo

**ZONING:** SF-3

**LEGAL DESCRIPTION:** ABS 22 SUR 29 TANNEHILL J C ACR 42.345

**VARIANCE REQUEST:** a) exceed sign area of 12 square feet to 80 square feet **and** b) exceed sign height of building façade, 30 feet to 36 feet

**SUMMARY:** attach a wall sign

**ISSUES:** location of school building

	<b>ZONING</b>	<b>LAND USES</b>
<i>Site</i>	SF-3	Single-Family
<i>North</i>	SF-3	Single-Family
<i>South</i>	SF-3	Single-Family
<i>East</i>	SF-3	Single-Family
<i>West</i>	SF-3	Single-Family

**NEIGHBORHOOD ORGANIZATIONS:**

Austin Independent School District  
 Austin Lost and Found Pets  
 Austin Neighborhoods Council  
 Colony Park/Lakeside Community Development Corp  
 Del Valle Community Coalition  
 Friends of Austin Neighborhoods  
 Friends of Northeast Austin  
 Homeless Neighborhood Association  
 LBJ Neighborhood Assn  
 Neighborhood Empowerment Foundation  
 Neighbors United for Progress  
 SELTexas  
 Sierra Club, Austin Regional Group



October 10, 2022

Ezzi Signs  
16611 West Little York Rd  
Houston, TX 77084

Property Description: ABS 22 SUR 29 TANNEHILL J C ACR 42.345

**Re: C16-2022-0011**

Dear Hussain,

Austin Energy (AE) has reviewed your application for the above referenced property, requesting that the Board of Adjustment consider a variance request from LDC Section 25-10-101(B)(1) at 7309 Lazy Creek Dr.

**Austin Energy does not oppose the request**, provided that any proposed or existing improvements follow Austin Energy's Clearance & Safety Criteria, the National Electric Safety Code, and OSHA requirements. Any removal or relocation of existing facilities will be at the owner's/applicant's expense.

Please use this link to be advised of our clearance and safety requirements which are additional conditions of the above review action:

[https://library.municode.com/tx/austin/codes/utilities\\_criteria\\_manual?nodeId=S1AUENDECR\\_1.10.0CLSARE](https://library.municode.com/tx/austin/codes/utilities_criteria_manual?nodeId=S1AUENDECR_1.10.0CLSARE)

If you require further information or have any questions regarding the above comments, please contact our office. Thank you for contacting Austin Energy.

**Cody Shook, Planner II**

Austin Energy  
Public Involvement | Real Estate Services  
2500 Montopolis Drive  
Austin, TX 78741  
(512) 322-6881  
[Cody.Shook@austinenenergy.com](mailto:Cody.Shook@austinenenergy.com)

## Board of Adjustment Sign Variance Application

**WARNING: Filing of this appeal stops all affected construction activity.**

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. All information is required (if applicable).

### For Office Use Only

Case # **C16-2022-0011** ROW # **13031480** Tax # **0222280201**

### Section 1: Applicant Statement

Street Address: 7309 Lazy Creek Dr

Subdivision Legal Description:

ABS 22 SUR 29 TANNEHILL J C ACR 42.345

Lot(s): \_\_\_\_\_ Block(s): \_\_\_\_\_

Outlot: \_\_\_\_\_ Division: \_\_\_\_\_

Zoning District: SF-3 Council District: **1**

Sign District: Low density residential

I/We Ezzi Signs on behalf of myself/ourselves as  
authorized agent for Samantha Cannon / Hussain Contractor affirm that on  
Month October, Day 6, Year 2022, hereby apply for a hearing before the  
Board of Adjustment for consideration to (select appropriate option below):

☐ Erect ☒ Attach ☐ Complete ☐ Remodel ☐ Maintain ☐ Other: \_\_\_\_\_

Type of Sign: Wall Sign

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

25-10-101 General On- Premise Signs of Article 5, Regulations Applicable To All Signs Districts, (B) (1) (c) (ii) & (B)(1)(b)

To exceed sign height of building facade (maximum allowed) from 30FT to 36 FT (requested) in order to attach a wall sign in a two story School building.

Exceed maximum sign area of 12 square feet (maximum allowed) to 80 (requested) to allow the wall sign to be visible.

## Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. In order to grant your request for a variance, the Board must first make one or more of the findings described under 1, 2, and 3 below; the Board must then make the finding described in item 4 below. If the Board cannot make the required findings, it cannot approve a sign variance.

Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

I contend that my entitlement to the requested variance is based on the following findings:

1. The variance is necessary because strict enforcement of the Article prohibits any reasonable opportunity to provide adequate signs on the site, considering the unique features of the site such as dimensions, landscaping, or topography, because:

Due to the location of the building being on a low density residential area, an indicator is needed to identify the type of establishment it's proposing to be.

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—OR—

2. The granting of this variance will not have a substantially adverse impact upon neighboring properties, because:

The sign will be mounted on the wall while also being at a height that will not be reached by any pedestrians .

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—OR—

3. The granting of this variance will not substantially conflict with the stated purposes of this sign ordinance, because:

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AND,

4. Granting a variance would not provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated, because:

It will be as an identification factor for an AISD School

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**Section 3: Applicant Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature:  Date: 10/06/22

Applicant Name (typed or printed): Ezzi Signs

Applicant Mailing Address: 16611 West Little York Rd

City: Houston State: TX Zip: 77084

Phone (will be public information): 713-232-0771 EXT:105

Email (optional – will be public information): 

**Section 4: Owner Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature:  Date: 10/5/2022

Owner Name (typed or printed): Michael Mann

Owner Mailing Address: 4000 S. IH 35 Frontage Road

City: Austin State: TX Zip: 78704

Phone (will be public information): (512) 414-8940

Email (optional – will be public information):

**Section 5: Agent Information**

Agent Name: Samantha Cannon / Hussain Contractor

Agent Mailing Address: 16611 West Little York Rd

City: Houston State: TX Zip: 77084

Phone (will be public information): 713-232-0771 EXT:105

Email (optional – will be public information): 



310 Comal St, STE 100  
Austin, TX 78702  
1512.997.5260  
perkinswill.com

CONSULTANTS

CIVIL  
Garza EMC  
9442 N Capital of Texas Hwy, Plaza 1, STE 315, Austin,  
TX, 78759

STRUCTURAL  
Structures  
6923 N Lamar Blvd, Austin, TX 78752

MEP  
Entztech  
8500 Bluffstone Cv, STE B103, Austin, TX 78759

TECHNOLOGY  
True North Consulting Group  
13284 Pond Springs Rd, STE 304, Austin, TX 78729

ROOF CONSULTANT  
Engineered Exteriors, LLC  
13740 Research BLVD, STE C2, Austin, TX 78750

OWNER  
Austin Independent School District  
4000 S IH 35 Frontage Rd, 4th Floor, Austin, TX 78704

PROGRAM MANAGER  
AECOM  
9400 Amberglens Blvd, Austin, TX 78729

OWNER CxA  
ACR Engineering, Inc.  
3001 S Lamar Blvd, STE 210, Austin, TX 78704

CONTRACTOR  
Vaughn Construction  
6604 N Lamar Blvd, Austin, TX 78752



PROJECT

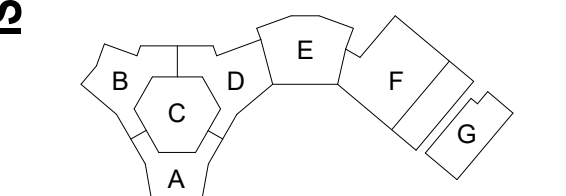
LBJ EARLY COLLEGE HIGH SCHOOL  
4000 S IH 35 Frontage Road, Austin, TX 78704

LBJ Early College High School  
7309 LAZY CREEK DRIVE  
AUSTIN, TX 78724

AUSTIN  
Independent School District

AUSTIN ISD  
4000 S IH 35 FRONTAGE RD,  
4TH FLOOR, AUSTIN, TX 78704

KEYPLAN



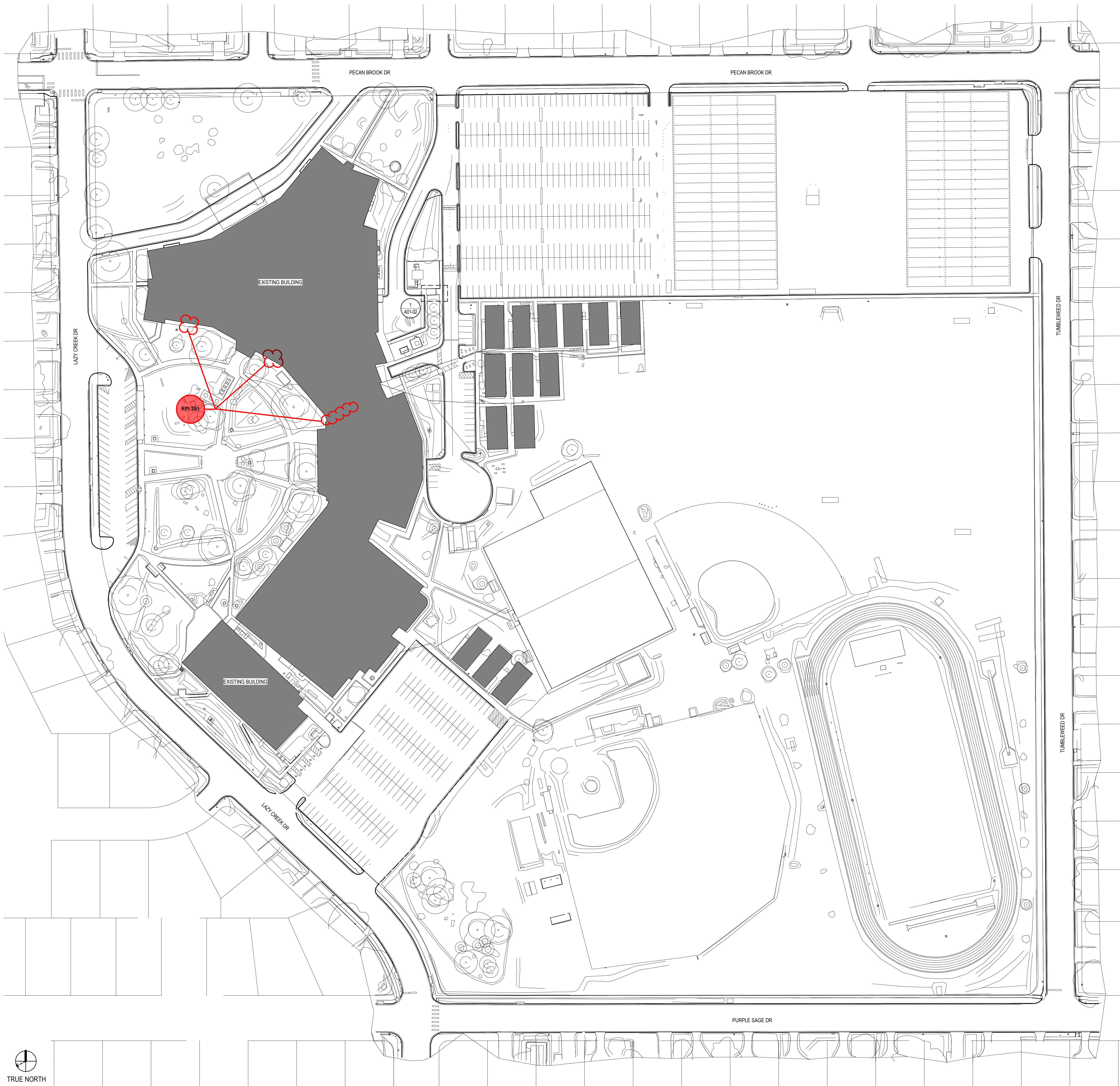
ISSUE CHART

MARK	ISSUE	DATE
Job Number	213007.000	TITLE

SITE PLAN

SHEET NUMBER

A01-01



1 ARCHITECTURAL SITE PLAN (FOR REFERENCE ONLY)  
1/64" = 1'-0"





# LBJ EARLY COLLEGE

L B J   E A R L Y   C O L L E G E   H S  
E S 0 8 6 7 -   S I G N   P R E S E N T A T I O N

7 3 0 9   L A Z Y   C R E E K   D R  
A U S T I N   T X   7 8 7 2 4



**PROJECT:**  
AISD LBJ Early College  
High School Renovations  
**ADDRESS:**  
7309 Lazy Creek Dr  
Austin TX 78724

**DATE:** 02/23/22

**PROJECT NUMBER:**  
ES0867

**DESIGNER:**  
MAURICIO

**REVISIONS**  
**R1:** 00/00/2021  
DESIGN UPDATE  
**R2:** 00/00/2021  
DESIGN UPDATE  
**R3:** 00/00/2021  
DESIGN UPDATE

**APPROVALS / DATE**

**CLIENT:**

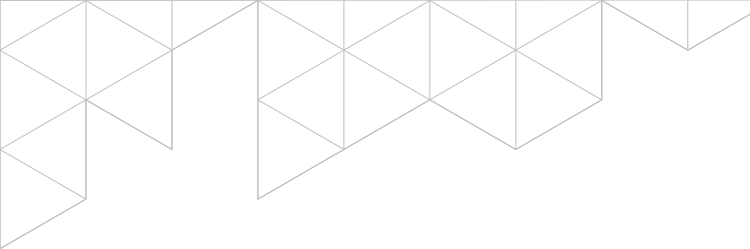
**LANDLORD:**



Ⓢ Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electric code and other applicable local codes. This includes proper grounding and bonding of the sign.

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39 1/2"

18"

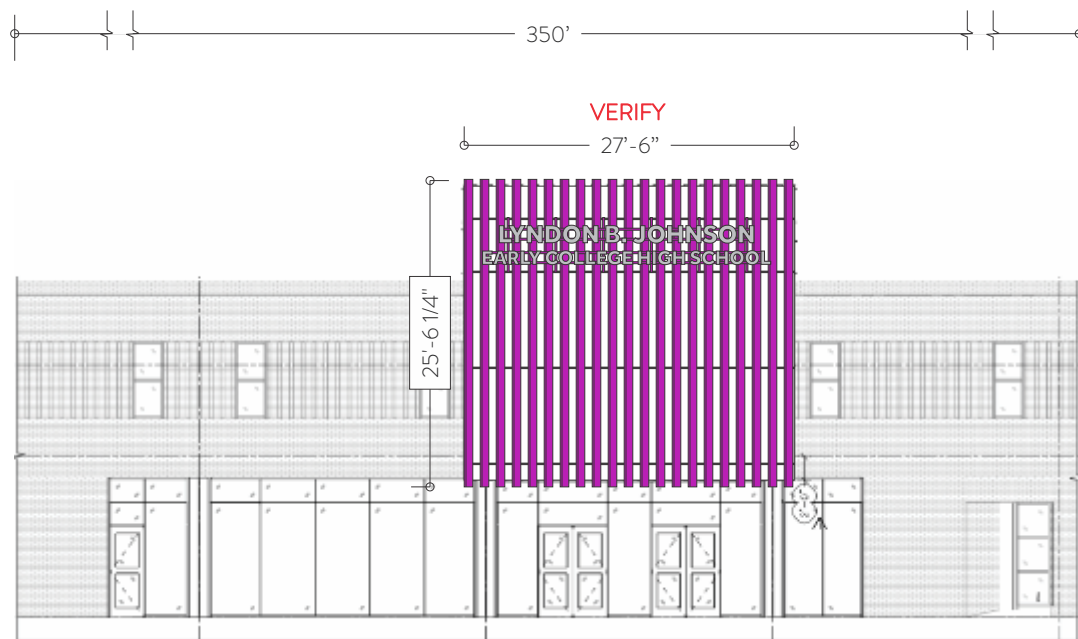
14"

24'-0"

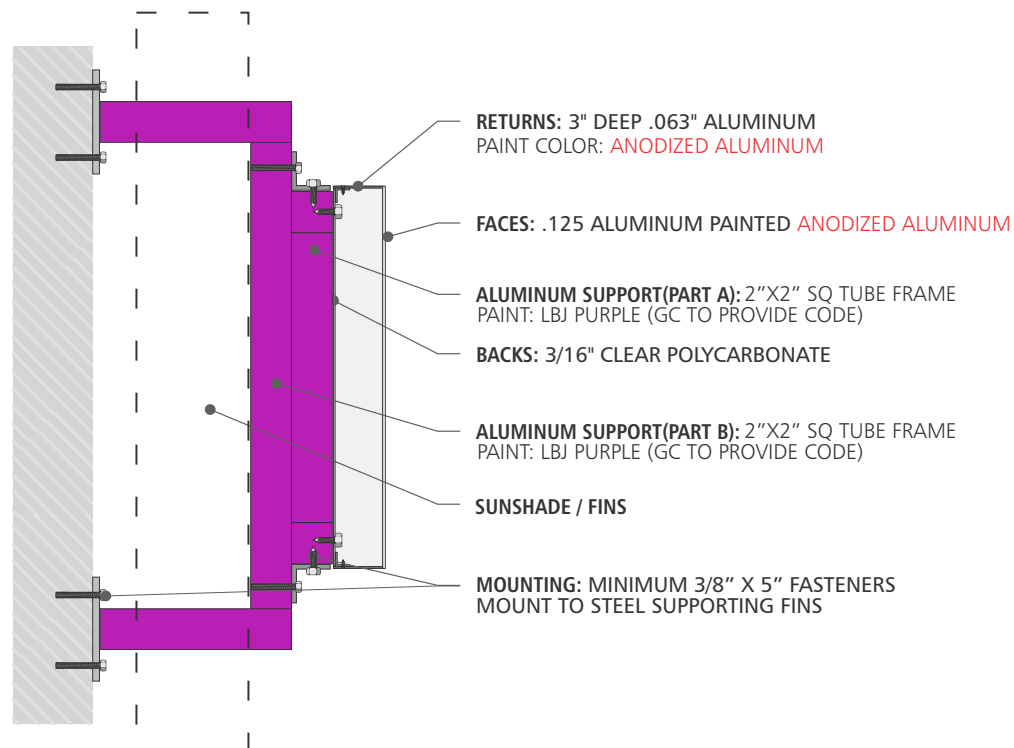
# LYNDON B. JOHNSON EARLY COLLEGE HIGH SCHOOL

FONT: EFFRA HEAVY

DESIGN  
SCALE: 1/2"=1'-00"



ELEVATION  
SCALE: 1/16"=1'-0"



REVERSE CHANNEL LETTERS  
SCALE: NTS

A

QTY : 1

80SF

ITEM3/9



**EZZI SIGNS**  
EST. 2005

16611 West Little York Rd  
Houston, Texas 77084  
[EZZISIGNS.COM](http://EZZISIGNS.COM)  
713-232-0771

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**ADDRESS:**  
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**R3:** 00/00/2021  
DESIGN UPDATE

**APPROVALS / DATE**

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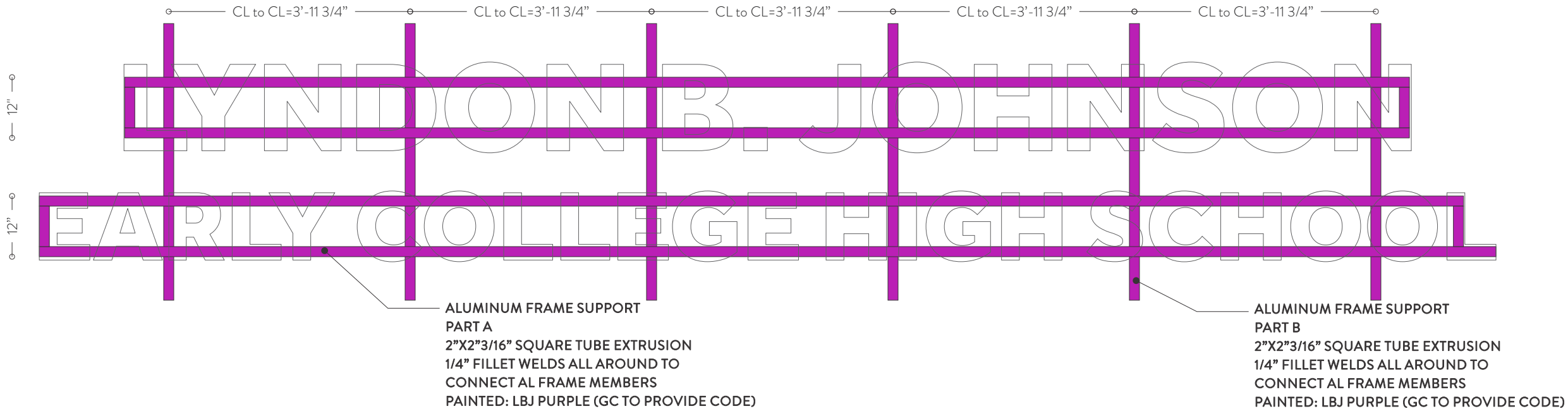
**LANDLORD:**



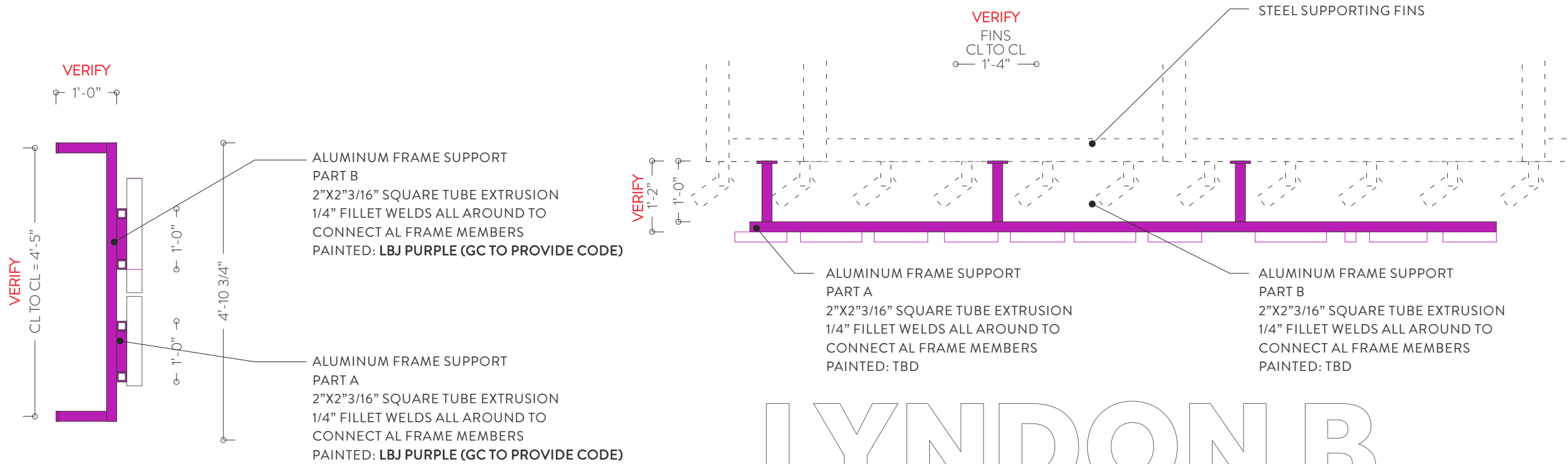
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DESIGN- 2 PART ALUMINUM FRAME SUPPORT - FRONT VIEW  
SCALE: 1/2"=1'-00"



DESIGN- 2 PART ALUMINUM FRAME SUPPORT - SIDE VIEW  
SCALE: 1/2"=1'-00"

DESIGN- 2 PART ALUMINUM FRAME SUPPORT - TOP VIEW  
SCALE: 1/2"=1'-00"

ITEM3/10



EZZI SIGNS

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DESIGN UPDATE  
**R3:** 00/00/2021  
DESIGN UPDATE

**APPROVALS / DATE**

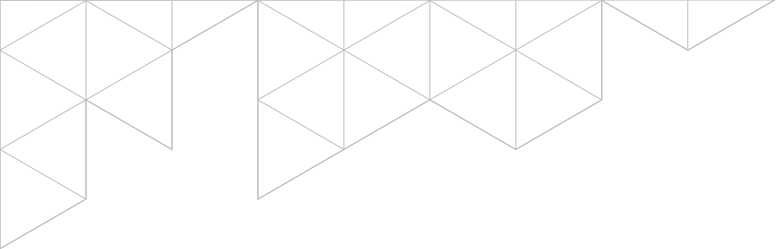
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**APPROVALS / DATE**

**CLIENT:**

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350'



36'-5"

**ELEVATION**  
SCALE: 1/8"=1'-0"







ITEM3/13





ITEM3/14





VERIFY  
ITEM 3/15  
27'-6"

LYNDON B. JOHNSON  
EARLY COLLEGE HIGH SCHOOL

25'-6 1/4"

38'-7"

30'-3.10"

2'-0"