

TABLE 5 - TWB (T-TYPE) WALL BRACING **Previously Denied BOA case C15-2020-0020**

MODEL NO.	BRACE LENGTH (L) (FEET-INCHES)	WALL HEIGHT (FEET)	REQUIRED INSTALLATION ANGLE OF THE TWB (T-TYPE) BRACE FROM THE HORIZONTAL (DEGREE)	FASTENERS (QUANTITY-TYPE)	TOP AND BOTTOM PLATES	EACH AND STUD PLATES
TWB10	9'-9"	8	55°		2-10d	1-8d
TWB12	11'-4"	8	45°		2-10d	1-8d
TWB14	14'-2"	10	45°		2-10d	1-8d

FOR SR: 1 INCH = 25.4MM, 1LBS = 4.45N

¹THE TWB WALL BRACING STRAP IS NOT RECOGNIZED TO REPLACE OR BE USED AS AN ALTERNATIVE TO BRACED WALL CONSTRUCTION METHODS DESCRIBED IN THE CODE.

²THE ALLOWABLE IN-PLANE RACKING SHEAR LOAD OF WALL BRACED WITH THE TWB12 OR TWB14 STRAP INSTALLED IN ACCORDANCE WITH THIS TABLE IS 180LBS. THE TWB STRAPS RESIST TENSION AND COMPRESSION LOADS, AND MUST NOT BE COMBINED WITH OTHER SHEAR RESISTING ELEMENTS OR COMPONENTS. THE ALLOWABLE RACKING SHEAR LOAD MUST NOT BE INCREASED FOR SHORT TERM LOADING. SUMMING SHEAR CAPACITIES OF THE TWB WALL BRACE WITH DISSIMILAR MATERIALS APPLIED TO EITHER SIDE OF THE SAME WALL IS NOT ALLOWED.

³THE WALL STUDS MUST BE SPACED 16 INCHES ON CENTER, MAXIMUM.

⁴THE TWB WALL BRACING STRAP MUST BE INSTALLED AT THE INSTALLATION ANGLE SPECIFIED IN THE TABLE

(OPTIONAL WHERE FEASIBLE)

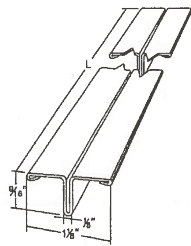


FIGURE 5A-TWB (T-TYPE) BRACE DIMENSIONS

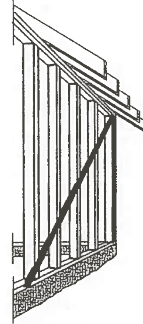
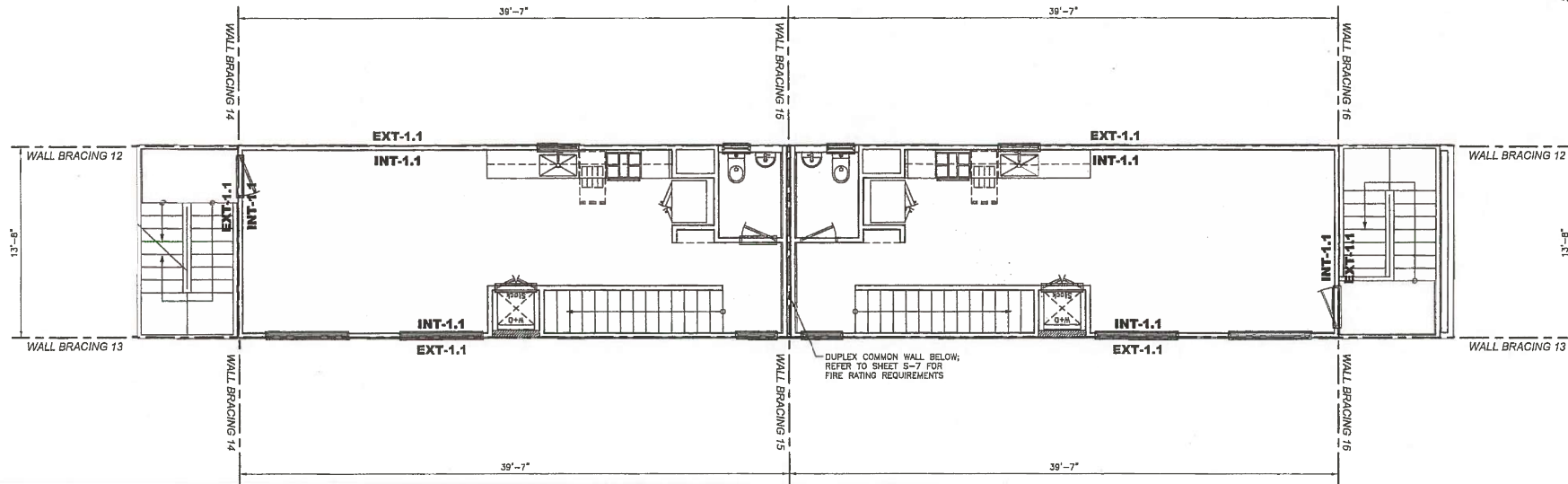


FIGURE 5B-TYPICAL TWB (T-TYPE) EXTERIOR WALL BRACE INSTALLATION (MAXIMUM 5/8-INCH DEEP SAW KERF IN STUDS)

OPTIONAL: INSTALL TWB STRAPS AT ALL CORNERS WHERE FEASIBLE (BOTH DIRECTIONS)

**LEVEL 2 WALL BRACING PLAN**

FULL SIZE: 1/4" = 1'-0" (24x36)
HALF SIZE: 1/8" = 1'-0" (11x17)

WALL BRACING LEGEND**DESIGNED BY GENESIS 1 ENGINEERING**

EXT-1.1	Continuous wood structural panel sheathing: Solid sheath entire building in 1/2" wood paneling and fasten with 8d common nails at 6" on center at supported edges and 12" on center at the intermediate supports or 16 ga. 1/4" staples at 3" on center at supported edges and 6" on center at the intermediate supports. Horizontal block all wood panes.
INT-1.1	Gypsum board: Minimum thickness: 1/2" Connection criteria: 13 gage, 1-3/8" long, 19/64 head; 0.098" diameter, 1-1/4" long, annular-rings; 8d cooler nail, 0.088" diameter, 1-5/8" long, 15/64" head; or gypsum board nail, 0.098" diameter, 1-5/8" long, 9/32" head. Spacing: Nails, @ 5" o.c.; Screws, @ 10" o.c.
INT-1.2	Gypsum board: Minimum thickness: 5/8" w/ ceiling roof support @ 16" o.c. Connection criteria: 13 gage, 1-5/8" long, 19/64 head; 0.098" diameter, 1-3/8" long, annular-rings; 8d cooler nail, 0.092" diameter, 1-7/8" long, 1/4" head; or gypsum board nail, 0.0915" diameter, 1-7/8" long, 15/64" head. Spacing: Nails, @ 7" o.c.; Screws, @ 12" o.c.

Approved Plans Correction Notes:

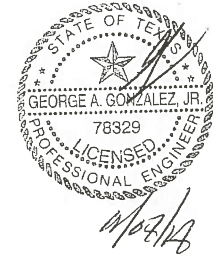
- Client or Designated Agents are not allowed to make changes to approved plans without prior written approval from the Design Engineer and concurrence from the Reviewing Authorities, otherwise Client, or Designated Agent, shall incur all liabilities associated with the changes and will hold Genesis 1 Engineering harmless of such incurred liability.
- Client, or Designated Agent shall submit in writing to the Design Engineer field corrections required by the Local Authority having Jurisdiction in order for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval, where required.

WALL BRACING NOTES

- The design of the wall bracing for this new project is based on the 2015 edition of the International Residential Code (IRC 2015)
- Method of wall bracing shall be of the Continuous Structural Sheathing in accordance Chapter 6, Section R602.10.4 and Methods found in Table R602.10.4
- If construction method deviates from the prescribed method in these drawings, contractor shall notify the design Engineer and designated City of Austin Inspector for approval of alternative method

DIMENSION NOTE:

- Wall bracing dimension presented only for City of Austin plan review purposes.
- For framing dimensions refer to Architectural floor plans



PROJECT NO. 1401 E. 3RD STREET AUSTIN, TEXAS ARCHITECT WILLIAM HODGE	
Genesis 1 Engineering Company Commercial • Residential 6104 South First St. Austin, TX 78745 Phone: 512.897.2246 Fax: 512.897.2238 T.E.P. # Registered Firm #7-256	LEVEL 2 WALL BRACING PLAN SINGLE-FAMILY DUPLEX
PROJECT NAME: AU-17-73 VERSION: 2.0 DRAWN BY: FVGAG / GG DATE:	SCALE: AS NOTED SHEET: 5-5 OF 7

City of Austin
REVIEWED FOR CODE COMPLIANCE

Previously Denied BOA case C15-2020-0020

TYPICAL WALL SECTIONS - WOOD FRAMING

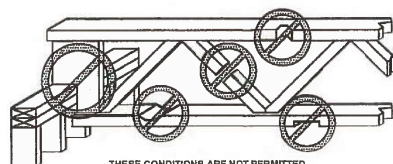
WALL	STUDS	SHEATHING		INSULATION
		SIDE 1	SIDE 2	
EXTERIOR 4"	2x4 @ 16" O.C.	3/4" OSB	3/4" GWS	R-12
EXTERIOR 6"	2x6 @ 16" O.C.	3/4" OSB	3/4" GWS	R-20
INTERIOR 4"	2x4 @ 16" O.C.	3/4" GWS	3/4" GWS	SOUND
INTERIOR 6"	2x6 @ 16" O.C.	3/4" GWS	3/4" GWS	SOUND
EXT. SHEAR 4"	2x4 @ 16" O.C.	STR 1 1/2"	3/4" GWS	R-12
EXT. SHEAR 6"	2x6 @ 16" O.C.	STR 1 1/2"	3/4" GWS	R-20
INT. SHEAR 4"	2x4 @ 16" O.C.	STR 1 1/2"	3/4" GWS	SOUND
INT. SHEAR 6"	2x6 @ 16" O.C.	STR 1 1/2"	3/4" GWS	SOUND

OSB = APA RATED ORIENTED STRAND BOARD / GWS = GYPSUM WALL BOARD /
STR = APA RATED STRUCTURAL SHEATHING

SHEATHING FASTENING SCHEDULE - WOOD FRAMING

NAME	PANEL	ORIENTATION TO FRAMING	MAX. FASTENER SPACING		
			SIZE	EDGES	INTERM.
SHEAR WALL	3/4" OSB	⊥ OR	8d	4"	12"
ROOF SHEATHING	3/4" PLYWOOD	⊥	10d	4"	8"
INTERIOR WALL	3/4" GWS	⊥	8d	12"	12"

H-CLIPS OR SOLID BLOCKING REQ'D AT ALL WOOD PANEL EDGES



MWT TRUSS MODIFICATION LIMITATIONS
NOT TO SCALE

MANUFACTURED WOOD TRUSSES

- Manufactured wood trusses shall be metal plate connected wood trusses designed and fabricated in accordance with the National Design Standard for Metal Plate Connected Wood Truss Construction (ANSI/TPI 1-1995).
- Trusses shall be designed by a Professional Engineer licensed in Texas (truss designer).
- Lumber shall be kiln-dried and shall have a moisture content at time of manufacture between 7% and 15% by weight.
- Connector plates shall be manufactured by a Wood Truss Council of America member plate supplier. Connector plates shall be 0.038-inch thickness minimum and shall conform to ASTM A653/A653M steel, grade 33 minimum. All plates shall be G60 galvanized in accordance with ASTM A653/A653M.
- Truss erection shall be in accordance with Commentary And Recommendations For Handling, Installing And Bracing Metal Plate Connected Wood Trusses (TPI HB-41).
- All trusses are bottom chord bearing U.N.D.
- Trusses with multiple point loads shall be designed for unbalanced loading.
- Field verify span dimensions.
- Truss configurations shown are schematic. Truss designer shall determine true configuration.
- Center opening of trusses are to remain clear of diagonal members to allow clearance for HVAC ductwork.
- Cutting or altering of trusses is not permitted.
- Coordinate with mechanical for duct chase sizes & locations.
- Detection criteria:

Floor Trusses	
Live-load deflection:	sps/500
Total-load deflection:	sps/450 or 1/4" max.
Roof Trusses	
Live-load deflection:	sps/440
Total-load deflection:	sps/500

Wood Framing

Unless noted otherwise, the following materials are typical:

Framing lumber:	#2 southern pine, kiln dried 15% MC
Studs:	#2 spf, kiln dried 15% MC
Plywood:	APA-rated exterior exposure, thickness as noted.
Sheathing:	APA-rated panels, thickness or span-rating as noted.
Rimboard:	APA EVS 1" rim board.
LVL:	2950 F20 EDE, APA certified
Bolts:	ASTM A307, U.N.D., drill holes 1/16" larger than bolt dia., use ASTM F844 standard washers at both ends (outside diameter of the washer shall be at least 2.5 times the bolt diameter).
Connectors:	Simpson Strong-Tie or approved substitute
Glue:	PL-400 construction adhesive, exterior exposure, or approved substitute
Pressure-treated:	ACQ treated to per AWPA treatment standards, designated as (P.T.) on the drawings, kiln-dried after treatment (KDAT) where noted. Use Simpson Strong-Tie (S165) connectors or approved substitute.
2. All framing shall be done in accordance with nationally-recognized framing standards, as reference in International Residential Code 2015	
3. Headers shall be as shown on the drawings. If not shown on drawings, headers shall be as specified in Table R602.7.1 of the International Residential Code. Contact Engineer for headers not shown on the drawings and not specified in Table R602.7.1	

- All stud walls shall be framed with a single plate at the bottom and a double plate at the top. Splices in top-plates shall be staggered by more than 48-inches and nailed with (8) 16d common nails on both sides of the splices.
- Plates in contact with concrete or masonry shall be pressure-treated.
- Exterior sill plates shall be bolted to the foundation with 1/2-inch anchor bolts at 72-inches (48-inches if two or more stories) on center with minimum embedment of 7-inches. 3 square, 3 gage bearing plate washers shall be provided and installed at every sill anchor.
- All wood stud walls shall be full height between floors without intermediate plate line, unless noted otherwise.
- Provide double studs at all wall corners and on each side of all openings.
- Wall studs shall be tripled at beam supports.
- Roof sheathing shall be exterior grade, APA rated plywood. Sheathing shall be nailed with 8d common nails at 6-inches on center at panel edges and 12-inches on center at intermediate supports. Sheathing shall be laid with the face grain perpendicular to the rafters, continuous over three or more supports, with joints staggered. H-clips are required at all unsupported edges.
- Shear wall (braced wall) and exterior wall sheathing shall be exterior grade, APA rated plywood, nailed with 8d common nails at 6-inches on center at panel edges and 12-inches on center at intermediate supports. Edges shall be fully blocked with 2x solid wood blocking.
- Hold downs shall be provided at both ends of every shear wall (braced wall). Hold downs shall be through-bolted through double 2x studs (hold-downs with screws or nails are not acceptable) and anchored into the concrete foundation. Acceptable hold down is Simpson Strong-Tie HDB3B. -OR- Hold-downs shall be located and installed as shown on the drawings. Hold-downs shall be hot-dipped galvanized, 1 stainless steel

- Solid wood 2x blocking shall be provided between joists over supports and at ends of cantilevered joists.
- Joist bridging shall be provided in rows not exceeding 8'-0" on center where joist depth exceeds 8" or where one side of the joist is not supported continuously by plywood or wood sheathing.
- Provide double joists under all interior partitions oriented parallel to joists.
- All framing members framing into the side of a header shall be attached using metal joist hangers sized to support the full design loads and installed in accordance with the joist hanger manufacturer's recommendations.
- Special pre-framing inspection shall be conducted prior to installation of insulation.
- Contractor shall contact the Design Engineer for clarifications to discrepancies found on the field.
- All exterior and interior walls shall have 2 x 4 wood studs at 16" o.c. unless notes otherwise.
- All wood beams and other wood structural members shall be supplied by a qualified manufacturer.
- Framing contractors to install temporary wind bracing while main structure frame is being constructed.
- Contractor to use 2 x 6 strong backs for roof rafter pulls, set a top load bearing walls beneath.
- Contractor to install 2 x 6 wall blocking at accessible bathroom walls for accessible grab bars.
- Contractor to install 2 x 6 wall blocking @ upper kitchen cabinet areas.
- Refer to the architectural drawings for other required wood framing.

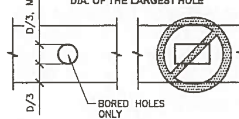
HEADER SCHEDULE

(FOR SAWN LUMBER HEADERS NOT OTHERWISE SPECIFIED)

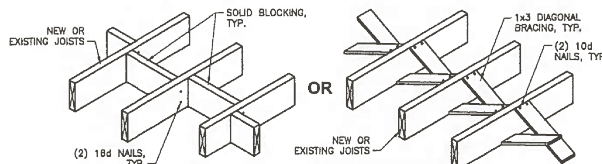
MAX. ALLOWABLE SPAN, FT.		
HEADER SIZE	NON-STRUCTURAL SHEATHING	STRUCTURAL SHEATHING
DBL 2x4	2'-6"	3'-6"
DBL 2x6	3'-6"	4'-6"
DBL 2x8	4'-6"	5'-6"
DBL 2x10	5'-6"	6'-6"
DBL 2x12	6'-6"	7'-8"

ALL SAWN LUMBER HEADERS SHALL BE NO. 2 SOUTHERN PINE, UNLESS NOTED OTHERWISE

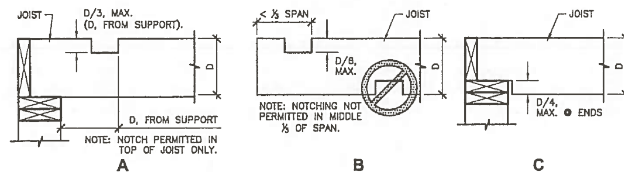
BORED HOLES ALLOWED ONLY ON INTERIOR 1/2 OF BEAM. SPACE A MINIMUM OF 2x THE DIA. OF THE LARGEST HOLE



JOIST PENETRATION LIMITATIONS
NOT TO SCALE



TYPICAL LUMBER BLOCKING OR BRIDGING
NOT TO SCALE



JOIST NOTCHING LIMITATIONS
NOT TO SCALE

Approved Plans Correction Notes:

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JOIST HANGER SCHEDULE (NOT OTHERWISE SPECIFIED)

MEMBER	HANGER #	FACE FASTENER	JOIST FASTENER
2x4	HU24	(4) 10d	(2) 10d x 1.5
2x6	HU26	(6) 10d	(4) 10d x 1.5
2x8	HU28	(6) 10d	(4) 10d x 1.5
2x10	HU210	(10) 10d	(8) 10d x 1.5
2x12	HU212	(10) 10d	(8) 10d x 1.5
2x14	HU214	(12) 10d	(8) 10d x 1.5
DBL 2x4	HU24-2	(4) 10d	(2) 10d
DBL 2x6	HU26-2	(6) 10d	(4) 10d
DBL 2x8	HU28-2	(6) 10d	(4) 10d
DBL 2x10	HU210-2	(14) 10d	(6) 10d
DBL 2x12	HU212-2	(14) 10d	(6) 10d
DBL 2x14	HU214-2	(14) 10d	(6) 10d

NOTES:

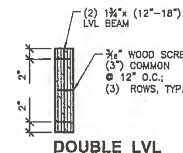
- Based on Simpson Strong-Tie.
- Hangers shown are for nominal dimensional lumber, (1 1/2" thick). For rough sawn lumber use Simpson TUS" or "UT" series hangers, or approved substitute.
- Use all available fastener holes.
- Use only manufacturer's approved fasteners.
- Hangers and fasteners in exterior conditions must be H.D. Galv.

CEILING JOIST MAXIMUM SPAN TABLE (FOR SOUTHERN PINE #2 LUMBER NOT OTHERWISE SPECIFIED)

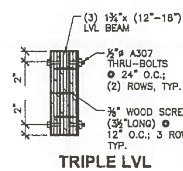
MEMBER	SPACING (IN.)	MAX. ALLOWABLE SPAN (FT.)
2x4	@ 16" O.C.	10'-8"
	@ 24" O.C.	9'-3"
2x6	@ 16" O.C.	16'-11"
	@ 24" O.C.	13'-11"
2x8	@ 16" O.C.	21'-7"
	@ 24" O.C.	17'-7"
2x10	@ 16" O.C.	25'-7"
	@ 24" O.C.	20'-11"

Based on International Residential Code Table R802.4(1) (L=10 paf; D=5 paf L/S=240)

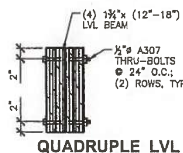
FOR ANY OTHER LUMBER SPECIES REFERENCE THE 2015 IRC CODE OR CONSULT WITH DESIGN ENGINEER



DOUBLE LVL

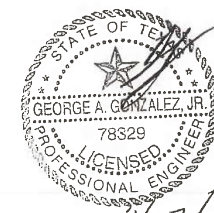


TRIPLE LVL



QUADRUPLE LVL

MULTIPLE LVL FASTENING DETAIL
NOT TO SCALE



City of Austin

REVIEWED FOR CODE COMPLIANCE

THIS SET OF DRAWINGS SHALL BE A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH, EACH CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING TO THEM. 2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALE THE DRAWINGS TO VERIFY OR OBTAIN DISCREPANCIES NOT RECOMMENDED.

1401 E. 3RD STREET
AUSTIN, TEXAS
ARCHITECT WILLIAM HODGE

Genesis 1 Engineering Company
Commercial • Residential
608 South 7th St., Ste. 105
Austin, TX 78704
Office: 512.899.2266
Fax: 512.899.2266
T.S.P.E. Registered Firm #F-2565

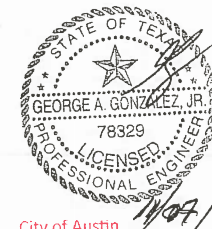
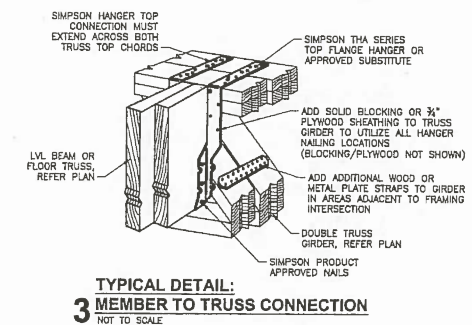
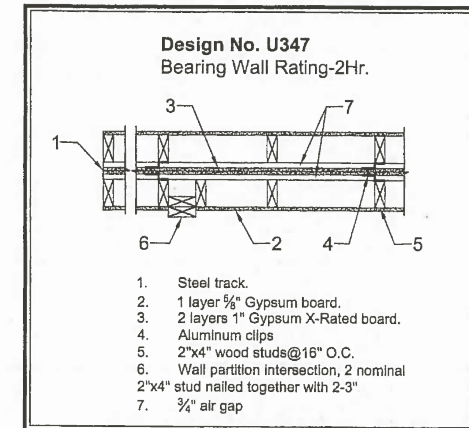
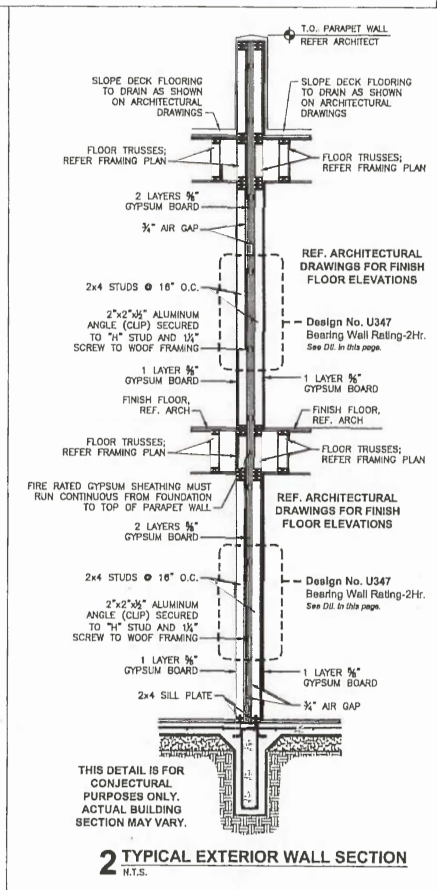
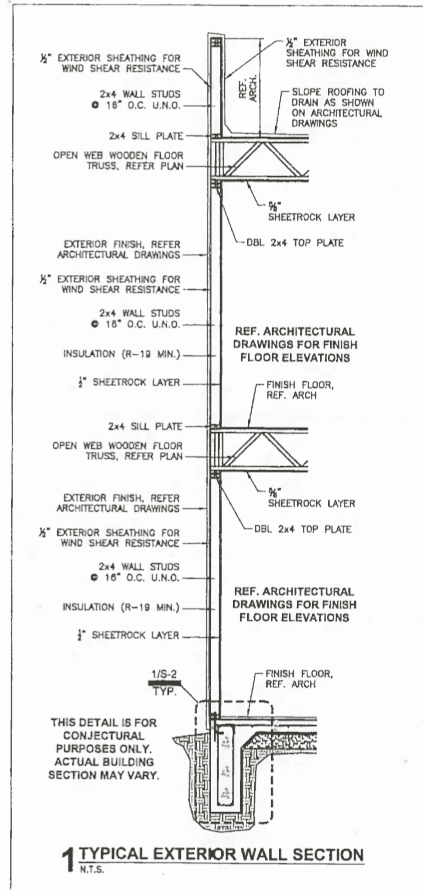
TYPICAL FRAMING DETAILS
SINGLE-FAMILY DUPLEX

PROJECT NUMBER: AU-17-73
VERSION 2.0
DRAWN BY: RVIGAG / APPROVED BY: GG
DATE: 10/07/18
AS NOTED
S-6
8 of 7

Previously Denied BOA case C15-2020-0020

Approved Plans Correction Notes:

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City of Austin
REVIEWED FOR CODE COMPLIANCE

THESE PLANS WERE PREPARED BY GENESIS 1 ENGINEERING, INC. (G1E) FOR THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH, EACH PARTY ACCEPTS THE RESPONSIBILITY OF EACH CONTRACTOR WORKING IN ACCORDANCE WITH THE PLANS AND THE PERMIT TO THEIR RESPECTIVE DISCIPLINE.

3. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SQUARE THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

PROJECT NO. 1401 E. 3RD STREET
AUSTIN, TEXAS
ARCHITECT WILLIAM HODGE

Genesis 1 Engineering Company
Commercial/Residential
604 South First St., Ste. 105
Austin, TX 78701
Office: 512.492.2246
Fax: 512.492.2246
T.B.P. is Registered Firm #F-265

TYPICAL FRAMING DETAILS
SINGLE-FAMILY DUPLEX

PROJECT NUMBER: AU-17-73
VERSION: 2.0
DRAWN BY: FVIGAG / APPROVED BY: GG
DATE: 10/2/17
SHEET: AS NOTED
S-7
7 of 7

Previously Denied BOA case C15-2020-0020

From: [REDACTED]
To: [Ramirez, Elaine](#)
Subject: FW: 1401 East Third
Date: Monday, May 11, 2020 2:34:48 PM

My original email to City staff questioning the construction at 1401 E 3rd.

From: [REDACTED]
Sent: Wednesday, January 24, 2018 1:02 PM
To: [DSD Help](#)
Cc: [REDACTED]
Subject: 1401 East Third

This message is from Jeff Thompson. [bc-jeffrey.thompson@austintexas.gov]

I sit on the Planning Commission and one of the residents in my district asked me about a new house going up at 1401 E 3rd Street, 78702.

It appears to have approved plans for less than the required set back, but there was never a BOA hearing or other variance. Can you please explain how they are allowed to build so close to another house and within the set back?

Jeffrey Thompson
Boards and Commissions

Scheduled Meeting Disclosure Information: Written disclosure is required by visitors when attending a scheduled meeting with a City Official regarding a municipal question for compensation on behalf of another person. Anyone scheduling or accepting a meeting invitation with a City Official must either acknowledge that the disclosure requirement does not apply or respond to the following survey: <https://www.surveymonkey.com/r/BCVisitorLog>

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From: [REDACTED]
Subject: FW: 1401 E 3rd Street
Date: Monday, May 11, 2020 2:42:25 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[D5619B4E5E1648509A9623C8BE4D07E6.png](#)
[8FF5708083434FEA868AB1891DEEC906.png](#)

Several weeks later I'm still chasing the issue. You can see from the pictures that the development is still in early stages. The response is : inspector will notice.

To be told now that the inspector didn't raise the issue early enough is frustrating.

From: [REDACTED]
Sent: Friday, March 2, 2018 4:13 PM
To: [REDACTED]
Subject: Fwd: 1401 E 3rd Street

Jeff Thompson
Planning Commission D3

Begin forwarded message:

From: "Johns, Renee" <Renee.Johns@austintexas.gov>
Date: March 2, 2018 at 3:00:04 PM CST
To: "Thompson, Jeffrey - BC" <bc-Jeffrey.Thompson@austintexas.gov>, "Olsen, Dillon" <Dillon.Olsen@austintexas.gov>
Subject: RE: 1401 E 3rd Street

Jeffrey,

Two things:

1. If it is too close, this will be called out by the inspector associated with this project-DeeAnn Afra
2. Fences are not always the determination of a lot line. Again, this inspector will look for this.

Renee Johns

Planner Senior – Expedited Review

[City of Austin Development Services Department](#)

One Texas Center, 505 Barton Springs Road, 7th Floor

Office: 512.974.2260



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We want to hear from you! Please take a few minutes to complete our [online customer survey](#).
Nos gustaría escuchar de usted. Por favor, tome un momento para [completar nuestra encuesta](#).

Scheduled Meeting Disclosure Information:

In accordance with City of Austin Ordinance 20160922-005, responsibility of written disclosure is required by visitors when attending a scheduled meeting with a City Official regarding a municipal question as defined within City Code 4-8-2 for compensation on behalf of another person. Development Services Department has elected to implement an electronic survey as the methodology to provide the opportunity to record information as required of the department under Section 4-8-8 (E) of the City Code. Individuals scheduling or accepting a meeting invitation with a City Official are requested to provide responses to the questions included in the department survey available at the following link: [DSD Survey](#). Please note that all information provided is subject to public disclosure via DSD's open data portal. For more information please visit: [Click here to view City of Austin Ordinance 2016-0922-005](#) | [City Clerk's website](#) | [City Clerk's FAQ's](#)

From: Thompson, Jeffrey - BC
Sent: Friday, March 02, 2018 9:59 AM
To: Johns, Renee <Renee.Johns@austintexas.gov>; Olsen, Dillon
<Dillon.Olsen@austintexas.gov>
Subject: Re: 1401 E 3rd Street

But the foundation is easily less than 5 ft from the property line. Here is a picture of the actual building.



Jeff Thompson
District 3
Planning Commissioner

Office: 512-314-1830

From: Johns, Renee
Sent: Thursday, March 1, 2018 3:41:33 PM
To: Thompson, Jeffrey - BC; Olsen, Dillon
Subject: RE: 1401 E 3rd Street

Jeffrey,

This is an approved plan and there is a projection into the 5 foot setback. This is a common concern, but the code does allow for eaves and other incidentals to project 2 ft. into any setback, LDC 25-2-513 B. If you look at sheet A201, you can see the elevation view of the proposed residence. On this elevation, you can see the footprint of the building stops at the 5 ft. setback and the eaves project into the setback. Again this is an allowed and common design.

I hope this answers your question.

Renee Johns

Planner Senior – Expedited Review

City of Austin Development Services Department

One Texas Center, 505 Barton Springs Road, 7th Floor

Office: 512.974.2260



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We want to hear from you! Please take a few minutes to complete our [online customer survey](#).

Nos gustaría escuchar de usted. Por favor, tome un momento para [completar nuestra encuesta](#).

Scheduled Meeting Disclosure Information:

In accordance with City of Austin Ordinance 20160922-005, responsibility of written disclosure is required by visitors when attending a scheduled meeting with a City Official regarding a municipal question as defined within City Code 4-8-2 for compensation on behalf of another person. Development Services Department has elected to implement an electronic survey as the methodology to provide the opportunity to record information as required of the department under Section 4-8-8 (E) of the City Code. Individuals scheduling or accepting a meeting invitation with a City Official are requested to provide responses to the questions included in the department survey available at the following link: [DSD Survey](#). Please note that all information provided is subject to public disclosure via DSD's open data portal. For more information please visit: [Click here to view City of Austin Ordinance 2016-0922-005](#) | [City Clerk's website](#) | [City Clerk's FAQ's](#)

From: Thompson, Jeffrey - BC

Sent: Thursday, March 01, 2018 3:08 PM

To: Johns, Renee <Renee.Johns@austintexas.gov>; Olsen, Dillon
<Dillon.Olsen@austintexas.gov>

Subject: 1401 E 3rd Street

Hi Dillon,

I'm looking into a case on behalf of a district 3 constituent. She is concerned that

the house being built at 1401 E 3rd does not have a 5 foot side setback.

Looking at the plan (2017-043148 PR), it clearly shows that the house encroaches on the 5 foot set back line.

Can you tell me if this is in fact an approved plan and if so can you please explain why?

Thank you so much for your time.

Jeff Thompson
District 3
Planning Commissioner

Office: 512-314-1830

Jeffrey Thompson
Boards and Commissions

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Jeffrey Thompson
Boards and Commissions

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Jeffrey Thompson
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Previously Denied BOA case C15-2020-0020

From: Ron Thrower
To: [Ramirez, Elaine](#)
Subject: RE: BOA Case C15-2020-0020
Date: Monday, May 11, 2020 5:04:38 PM
Attachments: [image001.png](#)

*** External Email - Exercise Caution ***

Elaine,

Making sure the below got to BOA Membnrs for this case on for tonight. Let me know please.

Be smart. Be safe. Be kind.

Ron Thrower



510 South Congress, Suite 207

Mail: P.O. Box 41957

Austin, Texas 78704

512-476-4456 office

512-731-2524 cell



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From: Ron Thrower
Sent: Monday, May 11, 2020 12:55 PM
To: Ramirez, Elaine <Elaine.Ramirez@austintexas.gov>
Subject: BOA Case C15-2020-0020

Elaine,

Can you please forward this to all Board Members –

Previously Denied BOA case C15-2020-0020

Board of Adjustment members,

For full disclosure, I am a registered Lobbyist with the City of Austin. I am not working for any paying client on this case, and none of my questions or comments are meant to be taken as lobbying. My questions and comments are only to gain clarity to the situation.

We were asked to review the materials for the above referenced case. While this does appear to be a surveying error, it would be helpful to understand a few items for this case:

1. Has the survey for which the error occurred been made public?
2. The new survey finds the property to be wider at the alley by 0.44' (33.97' from Building Permit set vs 34.41' from updated survey). The new survey only reflects the encroachments to the side setback but does not reflect distances to Navasota Street Right-of-way. In theory, with the building designed at 13'-10" in width coupled with the 2.77' setback of the building on the east property line, the distance to the Navasota Street Right-of-way on the southern end of the building should be +/-17.81'. Can this be verified?
3. Does the decreased setback create a fire hazard? Are non-combustible materials used along the eastern property line? Is the house sprinkled?
4. The building plans reflects two 36" doors opening outward on the east side of the proposed house. Did no one notice that the door did not open completely or was too close to the fence (assuming it is on the property line. No documentation appears to exist in the records showing the location of the fence.)

Again, this appears to be a surveyor error and it is unfortunate that it has reached this point. While it would be nice to have answers to the questions herein, we support any decision the BOA may reach for this case.

Be smart. Be safe. Be kind.

Ron Thrower

510 South Congress, Suite 207

Mail: P.O. Box 41957

Austin, Texas 78704

512-476-4456 office

512-731-2524 cell



Previously Denied BOA case C15-2020-0020

From: Susan Benz
To: [Ramirez, Elaine](#)
Cc: [REDACTED]
Subject: Fwd: BOA Case # C15-2020-0020 - I object
Date: Tuesday, May 12, 2020 9:28:33 AM

*** External Email - Exercise Caution ***

Elaine,

Good morning. I've just read the email from Jeff Thompson (below) who served many years on our neighborhood plan contact team. The fact that he pointed out the error in the layout of the foundation to the City early on and several times and no action was taken by Code Enforcement or Building Inspection is extremely unfortunate. My personal belief is that this case should be investigated as to where the failure to enforce the code took place so that it can be avoided again.

Please convey the message to the Board of Adjustment that the East Cesar Chavez Neighborhood Plan Contact Team is even more strongly opposed to any variance or waiver given to this project.

Most sincerely,

Susan Benz
Business Rep and Treasurer
East Cesar Chavez Neighborhood Plan Contact Team

Susan Benz | [Benz Resource Group](#)
1101 - B E 6th St - Medina Street Entrance
Austin, TX 78702
512-220-9542
[REDACTED]

Keep Calm and Carry On ... and wash your hands!

----- Forwarded message -----

From: Amy Thompson <[REDACTED]>
Date: Mon, May 11, 2020 at 11:24 PM
Subject: Fwd: BOA Case # C15-2020-0020 - I object
To: David Brearley <[REDACTED]>, Susan Benz
<[b\[REDACTED\]](#)>, Pamela Colloff <[REDACTED]>

----- Forwarded message -----

From: Thompson, Jeffrey - BC [REDACTED]
Date: Mon, May 11, 2020 at 1:22 PM
Subject: BOA Case # C15-2020-0020 - I object
To: Ramirez, Elaine <Elaine.Ramirez@austintexas.gov>
Cc: Amy Thompson <[REDACTED]>

Previously Denied BOA case C15-2020-0020

I would like to strongly state my objection to the request for relief from set back requirements at 1401 E. 3rd. My neighbor Amy Thompson (no relation) pointed out the property to me early in its construction. It was clear from viewing the property that the builders were not abiding by the standard setback.

I wrote to City staff alerting them of the situation in January 2018 when the project was simply a foundation on the ground. Over the next weeks I sent several emails including photos of setback infringement. Each time I was assured by staff that if there were errors they would be caught at inspection.

I support changes to City code that will allow more and denser housing, especially in our City Core. I have also supported changes that allow streamlining of approval to make development easier. But I have never supported relaxation of laws that were intended to ensure the safety of our residents. To waive those requirements now would simply be allowing the creation of substandard housing because the developer and City made mistakes and do not want to pay the price for them.

Jeff Thompson

1408 Willow Street

Austin, TX 78702

Jeffrey Thompson
Boards and Commissions

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ITEM 6/114

Previously Denied BOA case C15-2020-0020

From: Pamela Colloff
To: [Ramirez, Elaine](#)
Cc: [REDACTED]
Subject: opposition to request in BOA Case # C15-2020-0020
Date: Monday, May 11, 2020 11:49:08 AM

*** External Email - Exercise Caution ***

Dear Ms. Ramirez:

I would like to express my strenuous opposition to the request for a setback variance in BOA Case # C15-2020-0020. My primary residence is located within 500 feet of 1401 E. 3rd Street, which is the property in question.

The structure at 1401 E. 3rd virtually abuts the neighboring property. The foundation is clearly FAR less than 5 feet from the property line.

This is an obvious fire hazard. It is not hard to imagine how a small fire could quickly consume multiple structures given their current proximity to each other. Allowing such a set back variance would be a clear danger to public safety, both for residents and first responders.

I would encourage you to look at this property in person, since it will immediately become clear to you--in ways that words and measurements cannot--why this is a hazard to our entire neighborhood.

I urge you to reject the request for a setback variance in BOA Case # C15-2020-0020. Thanks very much for considering this request.

Best wishes,

Pamela Colloff
1305 E. 2nd Street
Austin TX 78702

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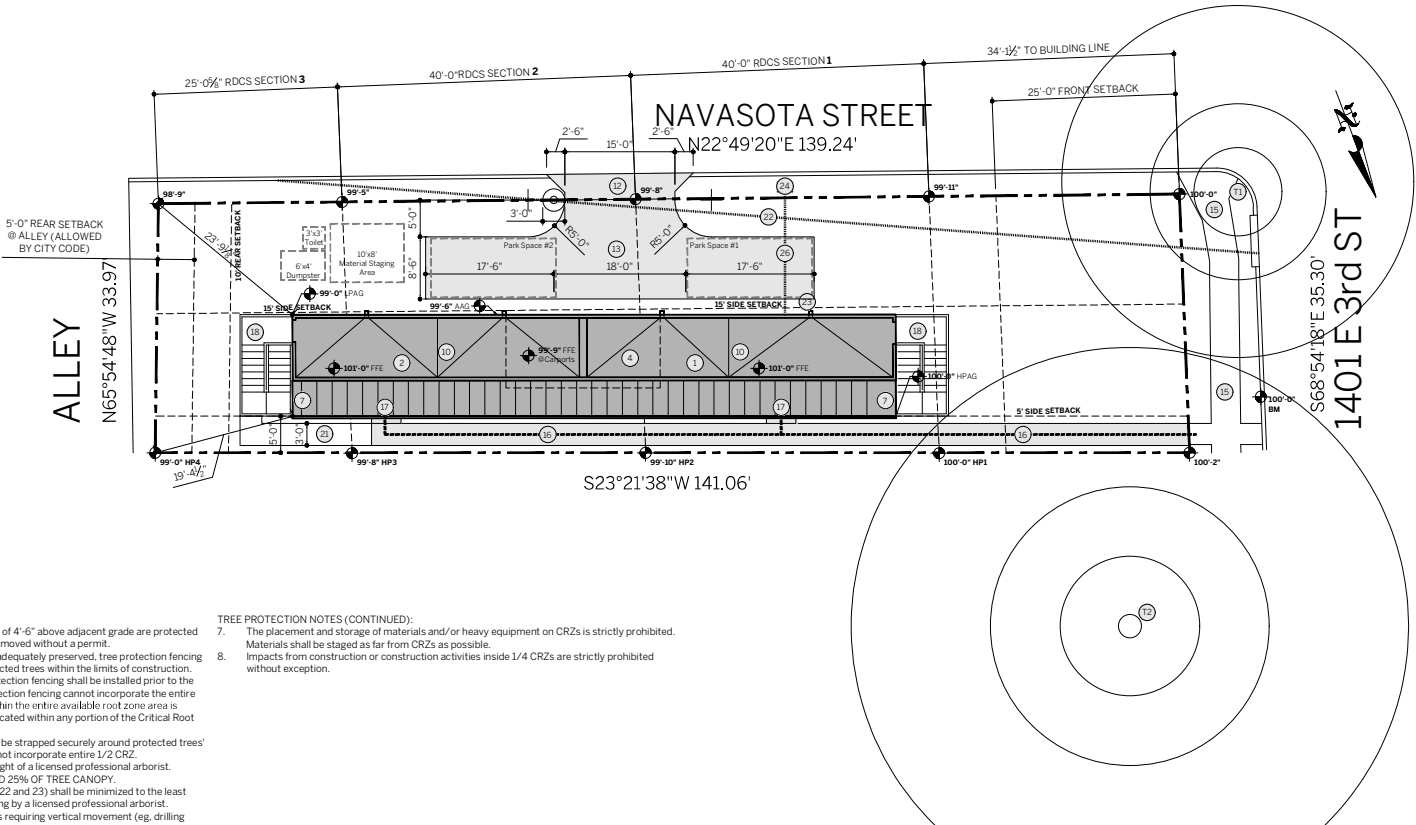
Previously Denied BOA case C15-2020-0020

1401 E 3RD STREET
AUSTIN, TX 78702

Case # C15-2020-0020

June 8, 2020

Previously Denied BOA case C15-2020-0020
SITE PLAN AS ORIGINALLY APPROVED



- TREE PROTECTION NOTES:**
1. All trees 19" in trunk diameter and greater at a height of 4'-6" above adjacent grade are protected by municipal ordinance. No protected tree shall be removed without a permit.
 2. In order to assure that the remaining root zones are adequately preserved, tree protection fencing per the details on sheet G007 is required for all protected trees within the limits of construction. Extents of fencing are shown on this sheet. Tree protection fencing shall be installed prior to the commencement of construction. When the tree protection fencing cannot incorporate the entire 1/4 Critical Root Zone, an eight inch layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the Critical Root Zone.
 3. 2x4 or greater size planks @ 6' minimum length shall be strapped securely around protected trees' trunks and root flares when protective fencing does not incorporate entire 1/2 CRZ.
 4. All pruning shall be conducted under the strict oversight of a licensed professional arborist. PRUNING FOR SUBJECT TREES SHALL NOT EXCEED 25% OF TREE CANOPY.
 5. Trenching for all utilities in CRZs (indicated by notes 22 and 23) shall be minimized to the least extent feasible and shall occur by means of air-spading by a licensed professional arborist.
 6. Care shall be taken during construction that activities requiring vertical movement (eg, drilling rigs) shall not disturb existing tree canopies.
- TREE PROTECTION NOTES (CONTINUED):**
7. The placement and storage of materials and/or heavy equipment on CRZs is strictly prohibited. Materials shall be staged as far from CRZs as possible.
 8. Impacts from construction or construction activities inside 1/4 CRZs are strictly prohibited without exception.

REFER TO SHEET G005 FOR DETAILS OF 2-HR-RATED DEMISING WALLS (UL U373).
REFER TO SHEET G007 FOR ENVIRONMENTAL AND TREE-PROTECTION DETAILS.

REFER TO SHEET G001 FOR PROJECT INFORMATION AND AREA CALCULATIONS.
STRUCTURES SHALL BE PLACED ON SITE BY LICENSED PROFESSIONAL SURVEYOR.

1 Site Plan
Scale 1/16" = 1'-0" @ 11x17
Scale 1/8" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)			CRITICAL ROOT ZONES AT PROTECTED TREES		TREE PROTECTION LEGEND	LIST OF PROTECTED TREES	DISCLAIMERS	SEAL OF ARCHITECT	SEAL OF MUNICIPAL APPROVAL					
01 New primary residence.	12 New wood deck, uncovered.	20 New electrical meter(s) for primary and secondary residences, as applicable.			Mulch (3" layer of mulch inside tree protection fence, 8" layer outside).	# TRUNK Ø SPECIES	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #25074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.		ISSUE DATE 21 May 2020					
02 New secondary residence.	13 New concrete patio, uncovered.	21 Location of water meter (ref: civil engineering for final location).												
03 New attached garage.	14 New concrete driveway.	22 New water supply line to residences, indicated thus:												
04 New detached carport.	15 New concrete driveway ribbon.	23 New sewer line from residences (ref: civil engineering for final location of sewer tap), indicated thus:												
05 New detached carport.	16 New concrete sidewalk.													
06 New covered porch w/ deck or habitable space above.	17 New Type I driveway (approach) per City of Austin standards.													
07 New covered porch w/o deck or habitable space above.	18 New sidewalk in right-of-way per City of Austin standards.													
08 New uncovered deck.	19 New overhead electric service, indicated thus: - - - - -													
09 New uncovered roof deck.														
10 New spiral stair to roof deck.														
11 New spiral stair to roof deck.														

WILLIAM LAWRENCE HODGE AIA ARCHITECT
1401 E 3rd St
AUSTIN, TX 78702
HODGEARCHITECT.COM

NEW PROJECT AT 1401 E 3rd ST
AUSTIN, TX 78702

ISSUE DATE
21 May 2020

SHEET TYPE
Site Plan

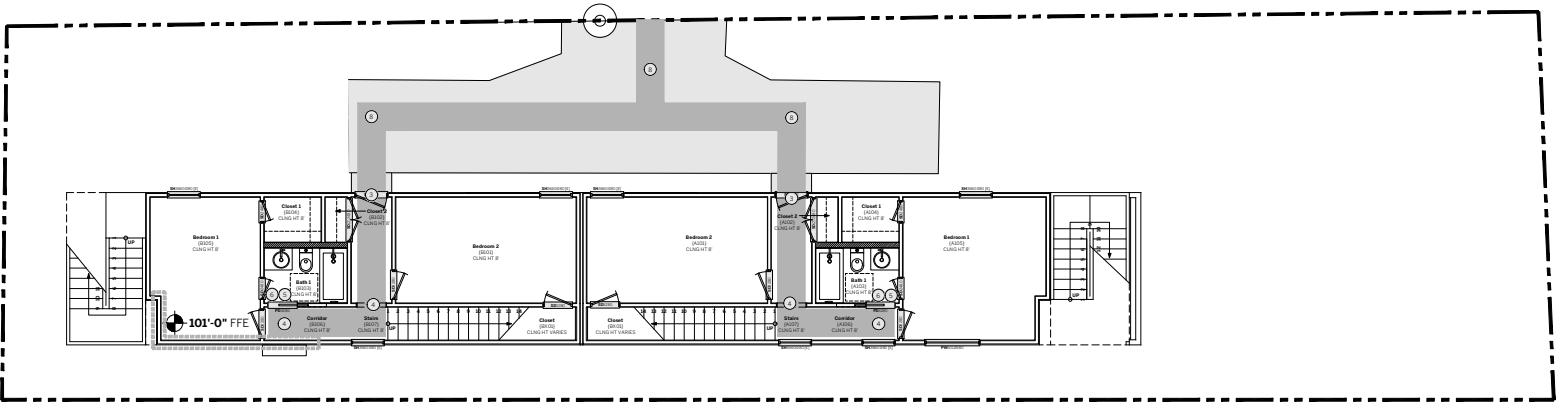
A000

[illegible]

Previously Denied BOA case C15-2020-0020

NAVASOTA STREET

1401 E 3rd ST



1 Visability Plan

Scale 3/32" = 1'-0" @ 11x17
Scale 3/16" = 1'-0" @ 24x36

KEYED NOTES.				THRESHOLD DETAIL		GENERAL NOTE.	DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
1	GENERAL NOTE:	4	32" clear visible route		<p>N.T.S REFER TO CODE INTERPRETATION CI2013-0002 FOR ADDITIONAL INFORMATION.</p>	Refer to sheet G002 for notes regarding VISIBILITY REQUIREMENTS	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #29074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.		
2	GENERAL NOTE:	5	2x6 blocking at all walls in bathrooms (except directly behind lavatories), centerline 34" above finished floor.						
3	GENERAL NOTE:	6	32" wide door to bathroom.						
		7	Door shall not impede required 30" x 30" clear space inside bathroom.						
		8	Exterior visible route via sidewalk.						
			Exterior visible route via driveway.						
					ISSUE DATE		21 May 2020		
					SHEET TYPE		Visability Plan.		
							NEW PROJECT AT 1401 E 3rd ST, AUSTIN, TX 78702		
							ISSUE DATE		
							21 May 2020		
							A100		

Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

RDCS SECTION 2



EXISTING ELEVATION - EAST FACING

Previously Denied BOA case C15-2020-0020

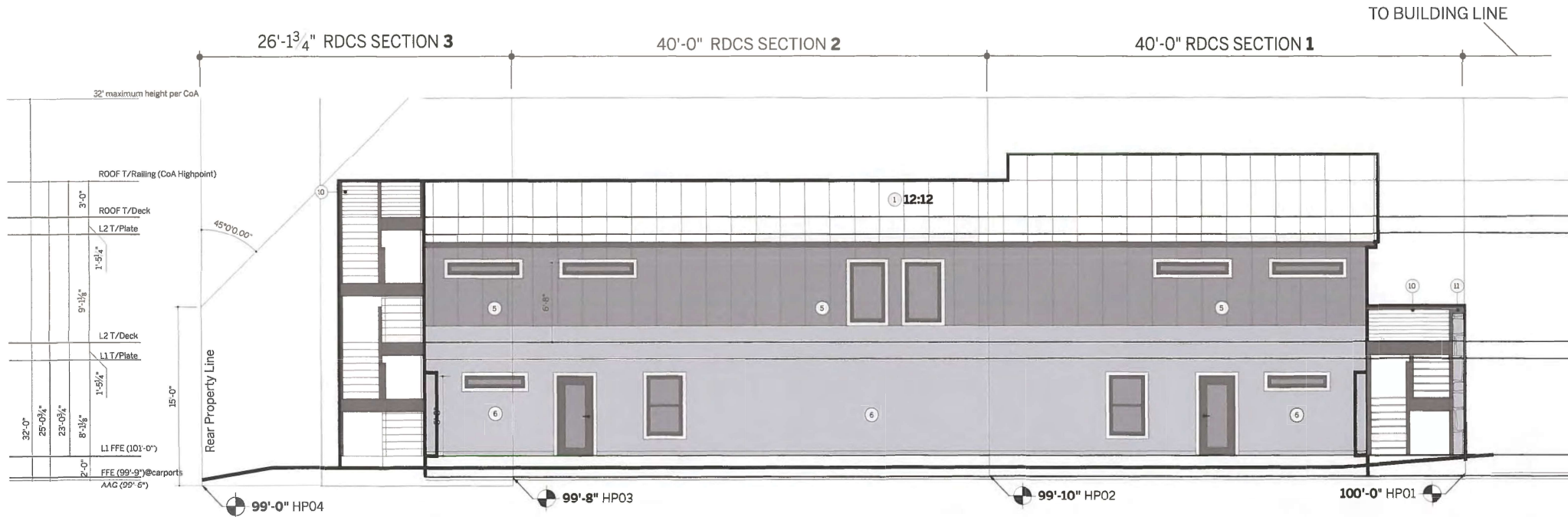
LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, F.4 h. (7).

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1

A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE. ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.



KEY NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

- | | | |
|--|--|--|
| 01 New standing-seam metal roof. | 06 New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric. | 11 New parapet at exterior porch or deck. Minimum height 36" above finish floor. |
| 02 New 30-year composition shingle roof. | 07 New 3.5"-thick stone masonry veneer, random-ashlar bond. | |
| 03 New horizontally-oriented cement-board siding. Exposure 6". | 08 New brick masonry veneer, common bond. | |
| 04 New horizontally-oriented cement-board siding. Exposure 12". | 09 New metal coping. Exposure 6". | |
| 05 New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens. | 10 New metal railing at exterior porch or deck. Minimum height 36" above finish floor. | |

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1 Elevation, Bldg 1, Left

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

SEAL OF ARCHITECT.



ISSUE DATE

02 Nov 2017.

GRAPHIC SCALE (in feet)
0 1 2 3 4 5 6 7 8

SEAL OF MUNICIPAL APPROVAL.

REVIEWED FOR CODE COMPLIANCE
City of Austin

OCHONA
Development & Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

ISSUE DATE 02 Nov 2017.

SHEET TYPE Elevations, Bldg 1.

A203

EXISTING ELEVATION - WEST FACING

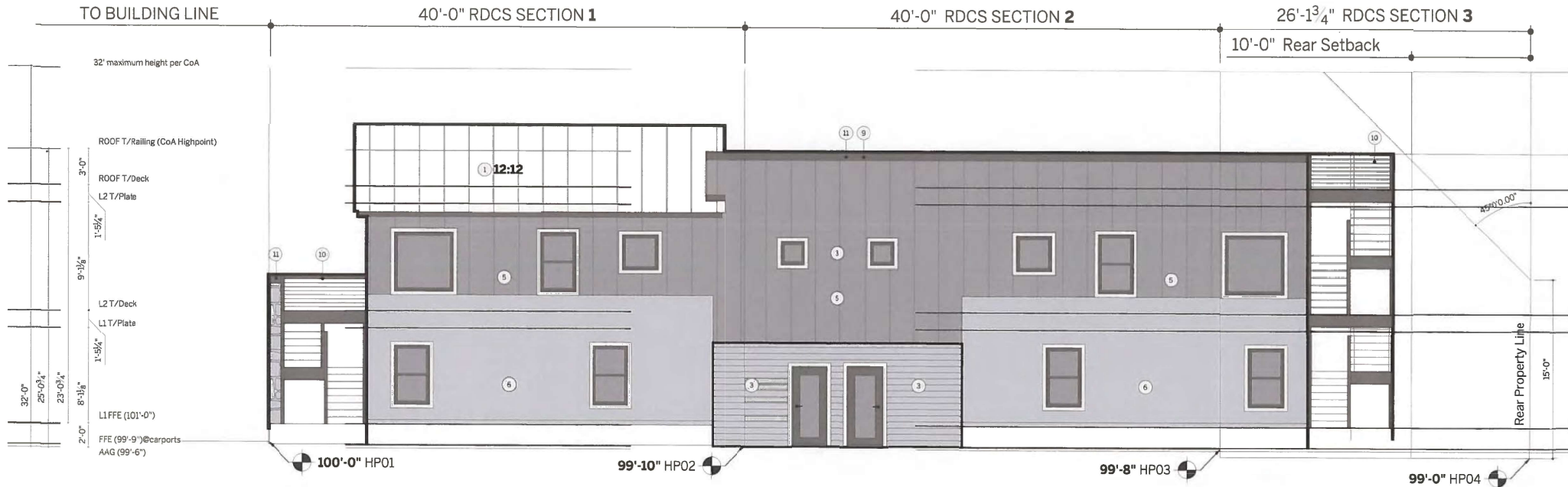
Previously Denied BOA case C15-2020-0020

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1

A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

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① Elevation, Bldg 1, Right

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

01 New standing-seam metal roof.	06 New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric.	11 New parapet at exterior porch or deck. Minimum height 36" above finish floor.
02 New 30-year composition shingle roof.	07 New 3.5"-thick stone masonry veneer, random-ashlar bond.	
03 New horizontally-oriented cement-board siding. Exposure 6".	08 New brick masonry veneer, common bond.	
04 New horizontally-oriented cement-board siding. Exposure 12".	09 New metal coping. Exposure 6".	
05 New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens.	10 New metal railing at exterior porch or deck. Minimum height 36" above finish floor.	

① Elevation, Bldg 1, Right

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

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SEAL OF ARCHITECT.



ISSUE DATE

02 Nov 2017.

GRAPHIC SCALE (in feet)

SEAL OF MUNICIPAL APPROVAL

REVIEWED FOR CODE COMPLIANCE
City of Austin

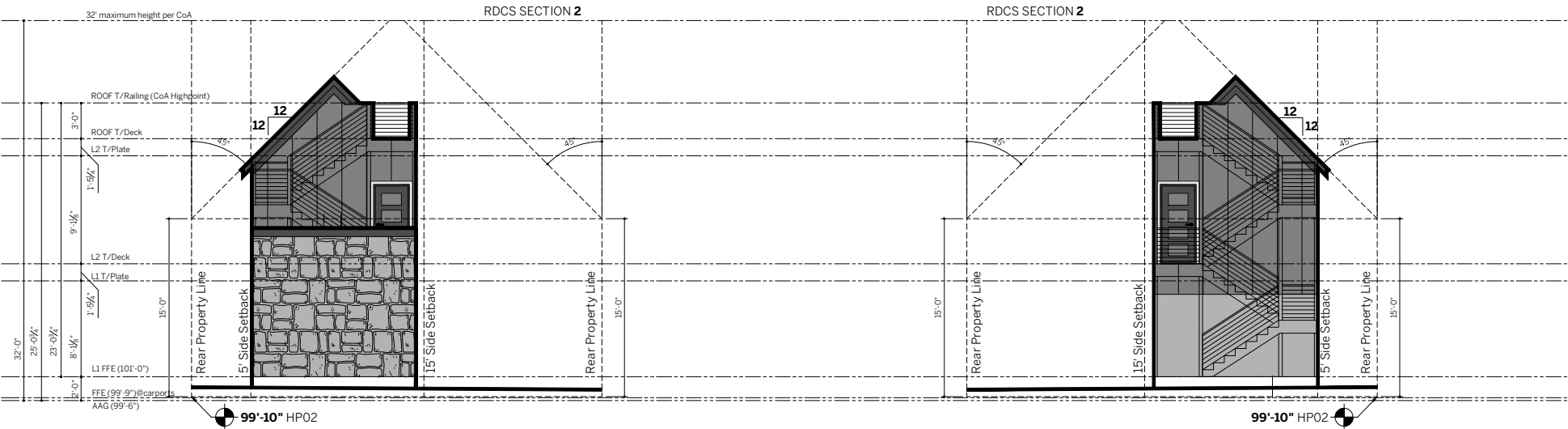
OCHONA
Development & Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

ISSUE DATE 02 Nov 2017.
SHEET TYPE Elevations, Bldg 1.

A204

Previously Denied BOA case C15-2020-0020
PROPOSED ELEVATIONS - FRONT



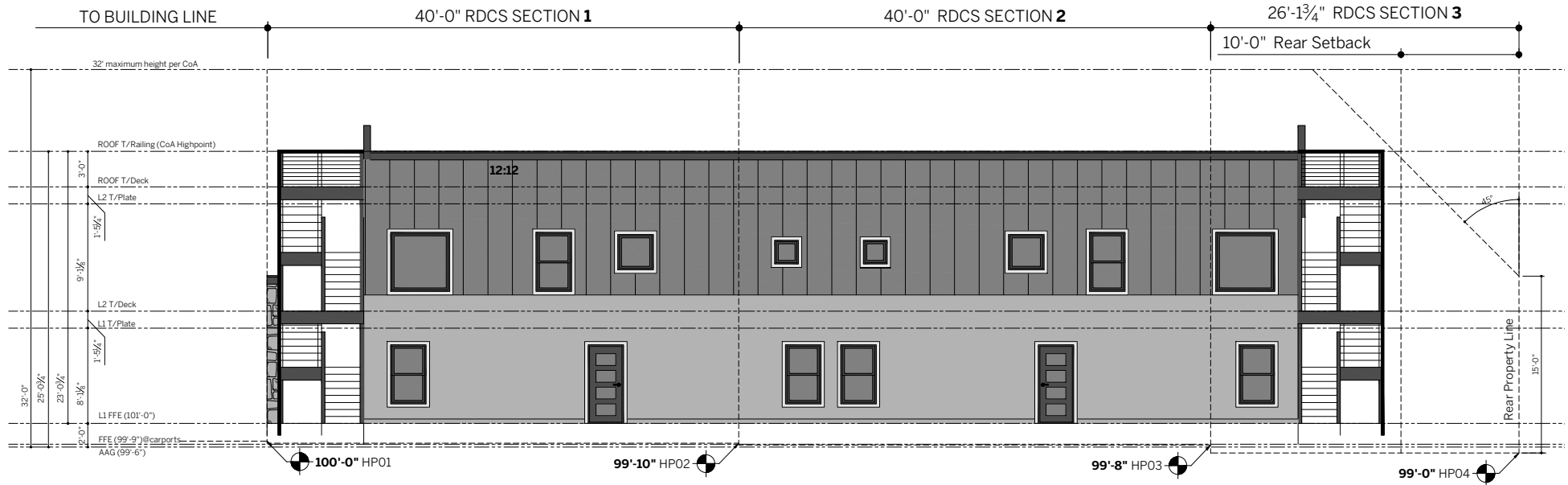
① Elevation, Bldg 1, Front

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES:	CODE REFERENCES (City of Austin RDCS area only):	MATERIALS LEGEND:	DISCLAIMERS:	SEAL OF ARCHITECT:	SEAL OF MUNICIPAL APPROVAL:
01 New metal coping. Exposure 6". 02 New metal flashing. Exposure 6" minimum. 03 New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5". 04 New parapet at exterior porch or deck. Minimum 36" above finish floor. 05 New through-wall scupper. 06 New metal downspout. 07 Steel column (ref. structural).	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E. 4, b. (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane. ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION. LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.	<div>Standing-seam metal roofing</div> <div>Cement-board or RealTrim fascia</div> <div>6" horizontal cement board</div> <div>6" horizontal stained wood</div> <div>24" vertical cement board</div> <div>Stone veneer (ashlar bond)</div>	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #95074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet applies to all sheets in this set by reference. The information in G001 through G009 (includes) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed therein, this set is incomplete and INVALID FOR CONSTRUCTION.	<div>WILLIAM LAWRENCE HODGE ARCHITECT</div> <div>REGISTERED ARCHITECT</div> <div>10071</div> <div>STATE OF TEXAS</div> <div>ISSUE DATE 21 May 2020</div>	<div>NEW PROJECT AT 1401 E. 3rd ST AUSTIN, TX 78702</div> <div>ISSUE DATE 21 May 2020</div> <div>SHEET TYPE Elevations.</div> <div>A201</div>

Previously Denied BOA case C15-2020-0020

PROPOSED ELEVATIONS- WEST FACING

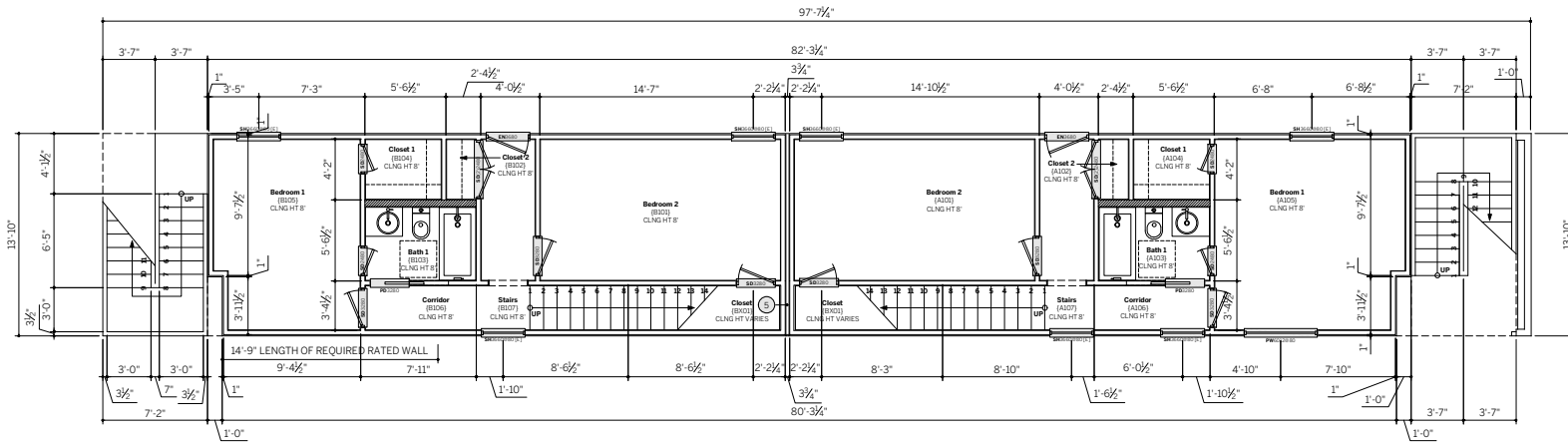


① Elevation, Bldg 1, Right

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36










KEYED NOTES:	CODE REFERENCES (City of Austin RDCS area only):	MATERIALS LEGEND:	DISCLAIMERS:	SEAL OF ARCHITECT:	SEAL OF MUNICIPAL APPROVAL:
01 New metal coping. Exposure 6". 02 New metal flashing. Exposure 6" minimum. 03 New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5". 04 New parapet at exterior porch or deck. Minimum 36" above finish floor. 05 New through-wall scupper. 06 New metal downspout. 07 Steel column (ref. structural).	LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E. 4, b. (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane. ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION. LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.	Standing-seam metal roofing Cement-board or RealTrim fascia 6" horizontal cement board 6" horizontal stained wood 24" vertical cement board Stone veneer (ashlar bond)	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #95074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet applies to all sheets in this set by reference. The information in G001 through G009 (includes) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed therein, this set is incomplete and INVALID FOR CONSTRUCTION.	WILLIAM LAWRENCE HODGE ARCHITECT REGISTERED ARCHITECT STATE OF TEXAS 10071 21 May 2020	NEW PROJECT AT 1401 E 3rd ST AUSTIN, TX 78702 ISSUE DATE: 21 May 2020 SHEET TYPE: Elevations. A202

FLOOR PLANS

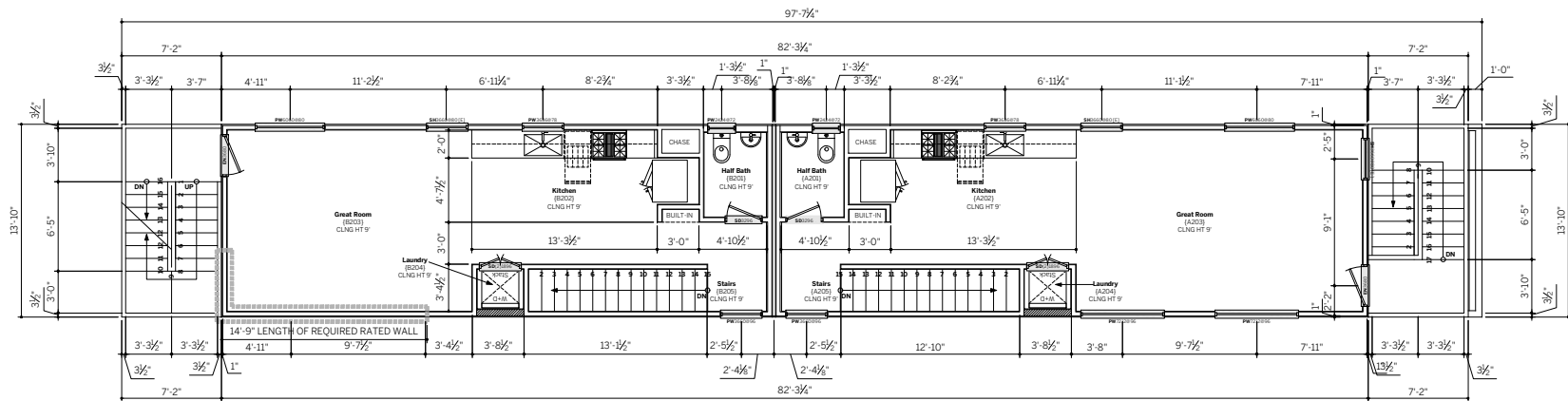


① Floor Plan, Bldg 1, Level 01

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36


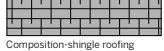





KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)						NOTES ON FRAMING		FRAMING AND ROOFING LEGEND		DISCLAIMERS		SEAL OF ARCHITECT		SEAL OF MUNICIPAL APPROVAL			
01	New 2-hr-rated decking wall between duplex units. Construction to comply with UL U373. REQUIRED: XX-XX* PROVIDED: XX-XX*	03	Railing or partial-height wall at interior. Minimum height 36" above finish floor. Maximum opening 3.5".	R1 R2 R3 R4 R5	New walkable-PVC roof deck. New metal coping. New metal scupper. New metal gutter. New metal downspout.	1.	Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.		Standing-seam metal roofing		Composition-shingle roofing	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #89314. This document is not for permitting regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, may be altered in another. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed therein, this set is incomplete and INVALID FOR CONSTRUCTION.		NEW PROJECT AT 1401 S 3rd St AUSTIN, TX 78703	ISSUE DATE	21 May 2020	
01a	NEW OR RETROFIT 1-HR RATED EXTERIOR WALL COMPLIANT WITH UL U505.	04	Open metal or wood railing at stair. Minimum height 36" above nosing of stair. Maximum opening 3.5".		2.	Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level.		2x4 wood framing		2x6 wood framing		2-hour rated firewall (per G005) COMPLIANT WITH UL ASSEMBLY U373	ISSUE DATE	21 May 2020	SHEET TYPE	Floor Plans, Level 01	
02	Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5".	05	Ceiling break level.	06	Linen closet (cabinetry).	3.	Power receptacles and data ports on all floors shall be located no less than 18" (if junction-box centerline) above finish floor level.										A111
		07	Pantry (cabinetry).	08	Access panel to AC.	4.	"No-step" entrance with a finished threshold of 1/2" or less.										
						5.	A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50.										

Previously Denied BOA case C15-2020-0020



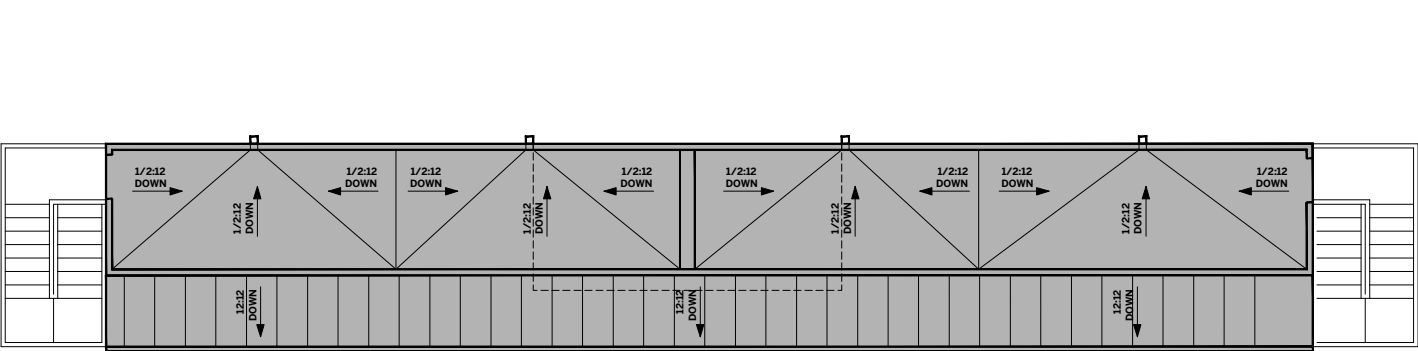
① Floor Plan, Bldg 1, Level 02

Scale 1/8" = 1'-0" @ 11x17

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)				NOTES ON FRAMING		FRAMING AND ROOFING LEGEND		DISCLAIMERS		SEAL OF ARCHITECT		SEAL OF MUNICIPAL APPROVAL		WILLIAM HODGE AIA ARCHITECT 4401 S. CONGRESS AVE. #100 AUSTIN, TX 78745 (512) 444-8844 WLLH@ARCHITECT.COM	
01a NEW OR RETROFIT 1-HR RATED EXTERIOR WALL COMPLIANT WITH UL U305.	01	New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373.	REQUIRED: XX'-XX" PROVIDED: XX'-XX"	R1	New walkable-PVC roof deck.	 Standing-seam metal roofing  Composition-shingle roofing  2x4 wood framing  2x6 wood framing  2-hour rated firewall (per G005) COMPLIANT WITH UL ASSEMBLY U373	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #25074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.	 WILLIAM LAWRENCE HODGE ARCHITECT 4401 S. CONGRESS AVE. #100 AUSTIN, TX 78745 (512) 444-8844 WLLH@ARCHITECT.COM	 NEW PROJECT AT 1401 E. 3rd ST AUSTIN, TX 78702 ISSUE DATE: 21 May 2020 SHEET TYPE: Floor Plans, Level 02						
	03	Railing or partial-height wall at interior. Minimum height 36" above finish floor. Maximum openness 3.5".	R2	New metal coping.											
	04	Open metal or wood railing at stair. Minimum height 36" above nosing of stair. Maximum openness 3.5".	R3	New metal scupper.											
	05	Ceiling break.	R4	New metal gutter.											
	06	Linen closet (cabinetry).	R5	New metal downspout.											
02	07	Pantry (cabinetry).			6.	A visible route shall be provided from public way to the no-step entrance of each dwelling unit. Said visible route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50.		21 May 2020							
	08	Access panel to AC.													

A102

Previously Denied BOA case C15-2020-0020



1 Roof Plan, Bldg 1
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)			NOTES ON FRAMING		FRAMING AND ROOFING LEGEND		DISCLAIMERS	SEAL OF ARCHITECT	SEAL OF MUNICIPAL APPROVAL
01	New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373.	R1	New walkable PVC roof deck.	1.	Standing-seam metal roofing	Composition-shingle roofing	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #9074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed therein, this set is incomplete and INVALID FOR CONSTRUCTION.		
02	Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Maximum openness 3.5".	R2	New metal coping.	2.	2x4 wood framing				
01a	NEW OR RETROFIT 1-HR RATED EXTERIOR WALL COMPLIANT WITH UL U305.	R3	New metal scupper.	3.	2x6 wood framing	2-hour rated firewall (per G005) COMPLIANT WITH UL ASSEMBLY U373		21 May 2020	
		R4	New metal gutter.	4.					
		R5	New metal downspout.	5.					
				6.					
03	Railing or partial-height wall at interior. Minimum height 36" above finish floor. Maximum openness 3.5".								
04	Open metal or wood railing at stair. Minimum height 36" above nosing of stair. Maximum openness 3.5".								
05	Ceiling break.								
06	Linen closet (cabinetry).								
07	Pantry (cabinetry).								
08	Access panel to AC.								

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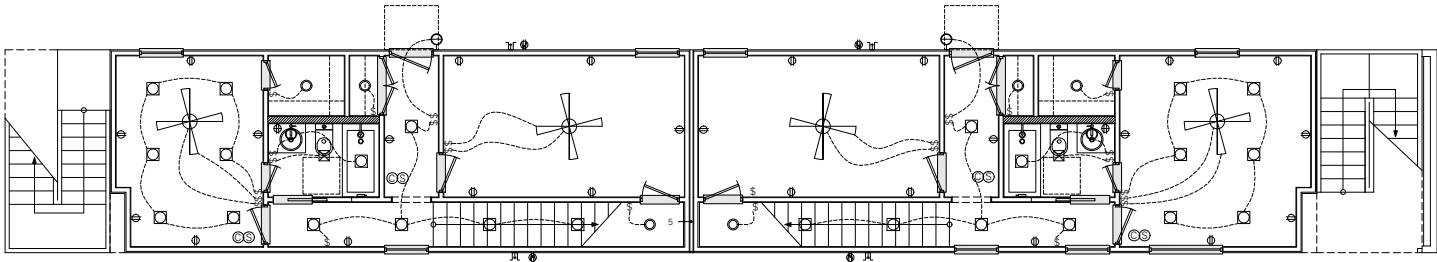
NEW PROJECT AT 1401 E. 3rd ST
AUSTIN, TX 78702

ISSUE DATE: 21 May 2020


























SHEET TYPE: Roof Plans

A104

Previously Denied BOA case C15-2020-0020



1 MEP Plan, Bldg 1, Level 01
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

FIXTURE LEGEND.				GENERAL MEP NOTES.				DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
				1. Switches and thermostats on all floors shall be located no greater than 45" (Ø junction-box centerline) above finish floor level.		<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #29074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed therein, this set is incomplete and INVALID FOR CONSTRUCTION.</p>				
			2. Power receptacles and data ports on all floors shall be located no less than 18" (Ø junction-box centerline) above finish floor level.							
			3. Final locations of lighting and outlets to be coordinated in field with Owner.							
			4. Final switching to be coordinated in field with Owner.							
										
										
										

NEW PROJECT AT 1401 E 3rd ST
AUSTIN, TX 78702

ISSUE DATE 21 May 2020

SHEET TYPE MEP Plans, Level 01

A105



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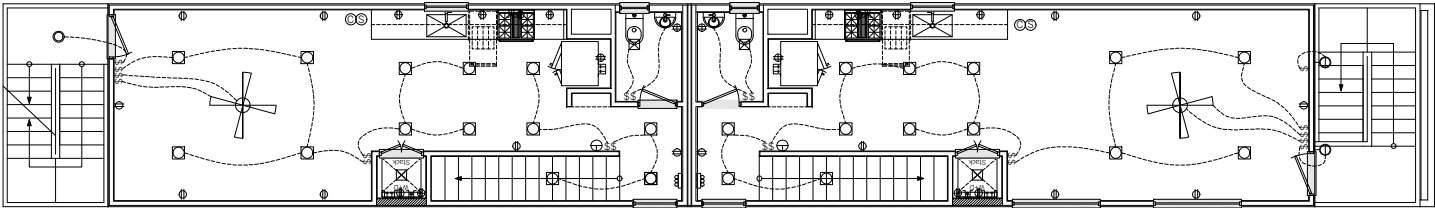
NEW PROJECT AT 1401 E. 3rd ST
AUSTIN, TX 78702

ISSUE DATE: 21 May 2020

























SHEET TYPE: MEP Plans, Level 01


A105

Previously Denied BOA case C15-2020-0020



1 MEP Plan, Bldg 1, Level 02
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

FIXTURE LEGEND				GENERAL MEP NOTES				DISCLAIMERS	SEAL OF ARCHITECT	SEAL OF MUNICIPAL APPROVAL
				<p>1. Switches and thermostats on all floors shall be located no greater than 45" (Ø junction-box centerline) above finish floor level.</p> <p>2. Power receptacles and data ports on all floors shall be located no less than 18" (Ø junction-box centerline) above finish floor level.</p> <p>3. Final locations of lighting and outlets to be coordinated in field with Owner.</p> <p>4. Final switching to be coordinated in field with Owner.</p>				<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #29074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed therein, this set is incomplete and INVALID FOR CONSTRUCTION.</p>		
										
										
										
										
								ISSUE DATE	21 May 2020	
										



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NEW PROJECT at 1402 E. 8th St
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ISSUE DATE21 May 2020

SHEET TYPEMEP Plans, Level 02

A106



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NEW PROJECT AT 1401 E. 3rd ST
AUSTIN, TX 78702

ISSUE DATE: 21 May 2020

SHEET TYPE: MEP Plans, Level 02

A106

Previously Denied BOA case C15-2020-0020

ENTRY STAIRS- SOUTH

ITEM 6/130



ENTRY DOORWAY #1 - NE

ITEM6/131

Previously Denied BOA case C15-2020-0020



SIDE VIEW - EAST



Previously Denied BOA case C15-2020-0020

SIDE VIEW - WEST

ITEM 6/133



Previously Denied BOA case C15-2020-0020

ITEM 6/134

ENTRY STARIS - NORTH



Previously Denied BOA case C15-2020-0020

ITEM6/135

ENTRY DOOR #2 - SE



Previously Denied BOA case C15-2020-0020

ITEM 6136

INTERIOR VIEW - 1ST FLOOR ENTRY

DOOR #1 - NE



Previously Denied BOA case C15-2020-0020

ITEM 6/137

INTERIOR VIEW - 1ST FLOOR ENTRY DOOR #1 - NE



EXTERIOR VIEW ENTRTY DOOR #2 SE

Previously Denied BOA case C15-2020-0020



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INTERIOR VIEW ENTRTY DOOR #2 SE

