

ORDINANCE NO. _____

AN ORDINANCE REZONING AND CHANGING THE ZONING MAP FOR THE PROPERTY LOCATED AT 1108 AND 1110 SOUTH 1ST STREET, IN THE BOULDIN CREEK NEIGHBORHOOD PLAN AREA FROM COMMUNITY COMMERCIAL-MIXED USE-VERTICAL MIXED USE BUILDING-CONDITIONAL OVERLAY-NEIGHBORHOOD PLAN (GR-MU-V-CO-NP) COMBINING DISTRICT TO GENERAL COMMERCIAL SERVICES-MIXED USE-VERTICAL MIXED USE BUILDING-CONDITIONAL OVERLAY-NEIGHBORHOOD PLAN (CS-MU-V-CO-NP) COMBINING DISTRICT.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. The zoning map established by Section 25-2-191 of the City Code is amended to change the base district from community commercial-mixed use-vertical mixed use building-conditional overlay-neighborhood plan (GR-MU-V-CO-NP) combining district to general commercial services-mixed use-vertical mixed use building-conditional overlay-neighborhood plan (CS-MU-V-CO-NP) combining district on the property described in Zoning Case No. C14-2022-0081, on file at the Housing and Planning Department, as follows:

Being 1.76 acres of land out of the I. DECKER SURVEY, Abstract No. 8, Travis County, Texas, and being all of Tract 1, Tract 2, Tract 3, Tract 5, Tract 6, and Tract 7, recorded in Document No. 2021053479, Deed Records of Travis County, Texas, said 1.76 acres of land being more particularly described by metes and bounds in **Exhibit “A”** incorporated into this ordinance (the “Property”),

locally known as 1108 and 1110 South 1st Street in the City of Austin, Travis County, Texas, generally identified in the map attached as **Exhibit “B”**.

PART 2. The Property within the boundaries of the conditional overlay combining district established by this ordinance is subject to the following conditions:

(A) The following uses are conditional uses on the Property:

A general retail sales (general) use that exceeds 20,000 square feet of gross floor area.

(B) The following uses are prohibited uses on the Property:

Alternative financial services

Automotive rentals

Automotive repair services
Automotive washing (of any
type)
Communications services
Drive-In services as an
accessory use to commercial
uses
Exterminating services
Limited warehousing and
distribution
Service station

Automotive sales
Commercial off-street parking
Convenience storage
Drop-off recycling collection facility
Funeral services
Pawn shop services
Vehicle storage

(C) Parking is prohibited in a required front yard setback.

PART 3. Except as specifically restricted under this ordinance, the Property may be developed and used in accordance with the regulations established for the general commercial services (CS) base district, mixed use (MU) combining district, and other applicable requirements of the City Code.

PART 4. Except as specifically modified by this ordinance, the Property is subject to Ordinance No. 020523-33 that established zoning for the Bouldin Creek Neighborhood Plan.

PART 5. This ordinance takes effect on _____, 2022.

PASSED AND APPROVED

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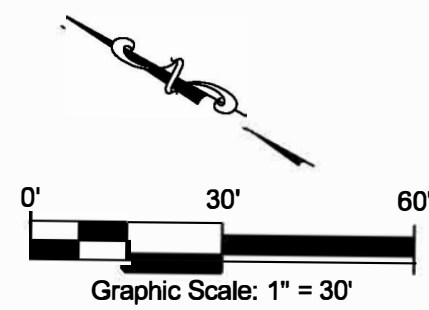
_____, 2022 § _____

Steve Adler
Mayor

APPROVED: _____ **ATTEST:** _____

Anne L. Morgan
City Attorney

Myrna Rios
City Clerk



- Notes:
- 1) Surveyor makes no expressed or implied warranties as to the fee ownership of the property shown.
 - 2) No subsurface utility investigation was performed by ATS for the benefit of this survey.
 - 3) Directional control is based on the Texas State Plane Coordinate System, Central Zone (4203).
 - 4) Coordinate shown herein are grid coordinates.

Ownership Note:

The entity SB-George, LLC has changed its name to SB-Frank South, LLC, according to a CERTIFICATE OF AMENDMENT TO THE CERTIFICATE OF FORMATION OF SB-GEORGE, LLC Secretary of State File No. 803854590.

BOUNDARY SURVEY

TRACTS 1 through 7 conveyed to SB-George, LLC, recorded, on March 12, 2021, in/under Document No. 2021053479, of the Official Public Records of Travis County, Texas;

TRACTS I through VIII conveyed to SB-George, LLC, recorded, on March 12, 2021, in/under Document No. 2021053478, of the Official Public Records of Travis County, Texas;

The west 81' of Lots 8 and 9, Block 1 of Oak Cliff Addition, recorded in Volume 3, Page 81 of the Plat Records of Travis County, Texas, conveyed to Thomas Esparza, Jr. and Janice Marie Gammill, recorded in/under Volume 9483, Page 63, of the Real Property Records of Travis County, Texas;

Lot 6, Block 1 of Oak Cliff Addition, recorded in Volume 3, Page 81 of the Plat Records of Travis County, Texas, conveyed to Darrell J. Stamp, recorded in/under Volume 7531, Page 495, of the Real Property Records of Travis County, Texas; and,

The entirety of a 12 foot Alley, traversing Block 1 of the Plat of Record, Oak Cliff Addition, recorded in Volume 3, Page 81 of the Plat Records of Travis County, Texas.

EXHIBIT A

METES AND BOUNDS DESCRIPTION
OF A
1.76 ACRE TRACT

A 1.76 ACRE TRACT OF LAND LYING WITHIN THE I. DECKER SURVEY, ABSTRACT NO. 8, AND BEING ALL OF TRACT 1, TRACT 2, TRACT 3, TRACT 5, TRACT 6 AND TRACT 7, RECORDED IN DOCUMENT NUMBER 2021053479, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A FOUND 1/2 INCH IRON ROD (N 10,065,446.89; E 3,110,884.64) ON THE SOUTHWEST RIGHT-OF-WAY LINE OF COPELAND STREET, SAME BEING THE SOUTHEAST RIGHT-OF-WAY LINE OF SECOND STREET, FOR THE NORTH CORNER OF SAID TRACT 1 AND THE NORTH CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE WITH THE SOUTHWEST RIGHT-OF-WAY LINE OF COPELAND STREET, S 60°40'52" E, 61.41 FEET (RECORD=59°18' E, 61.50 FEET) TO A FOUND IRON ROD AT THE EAST CORNER OF SAID TRACT 1, SAME BEING THE NORTHEAST CORNER OF TRACT 2;

THENCE CONTINUING WITH THE SOUTHWEST RIGHT-OF-WAY LINE OF COPELAND STREET S 61°46'40" E, 61.60 FEET (RECORD=59°18' E, 61.50 FEET) TO A FOUND 1/2 INCH IRON PIPE FOR AN ANGLE POINT OF THIS HEREIN DESCRIBED TRACT;

THENCE CONTINUING WITH THE SOUTHWEST RIGHT-OF-WAY LINE OF COPELAND STREET S 63°24'40" E, AT 6.00 FEET, PASS A CALCULATED CORNER BEING THE EAST CORNER OF SAID TRACT 2, SAME BEING THE NORTH CORNER OF SAID TRACT 3, AND CONTINUING IN ALL A DISTANCE OF 11.99 FEET TO A FOUND 1/2 INCH IRON PIPE FOR AN ANGLE POINT OF THIS HEREIN DESCRIBED TRACT;

THENCE CONTINUING WITH THE SOUTHWEST RIGHT-OF-WAY LINE OF COPELAND STREET S 61°29'56" E, A DISTANCE OF 122.73 FEET (RECORD = 123.00 FEET) TO A SET 1/2 INCH IRON ROD WITH CAP STAMPED "ATS ENGINEERS" ON THE NORTHWEST RIGHT-OF-WAY LINE OF FIRST STREET, BEING THE EAST CORNER OF SAID TRACT 3, FOR THE EAST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE WITH THE NORTHWEST RIGHT-OF-WAY LINE OF FIRST STREET, S 28°50'00" W, A DISTANCE OF 52.37 FEET (RECORD = 52.7 FEET) TO A FOUND 1/2 INCH IRON PIPE FOR AN ANGLE POINT OF THIS HEREIN DESCRIBED TRACT;

THENCE CONTINUING WITH THE NORTHWEST RIGHT-OF-WAY LINE OF FIRST STREET, S 27°38'59" W, A DISTANCE OF 52.74 FEET (RECORD = 52.7 FEET) TO A FOUND 1/2 INCH IRON PIPE FOR AN ANGLE POINT OF THIS HEREIN DESCRIBED TRACT;

THENCE CONTINUING WITH THE NORTHWEST RIGHT-OF-WAY LINE OF FIRST STREET, S 28°24'53" W, A DISTANCE OF 53.41 FEET (RECORD = 52.7 FEET) TO A FOUND 1/2 INCH IRON PIPE AT THE SOUTH CORNER OF SAID TRACT 3, SAME BEING THE EAST CORNER OF SAID TRACT 5, FOR AN ANGLE POINT OF THIS HEREIN DESCRIBED TRACT;

THENCE CONTINUING WITH THE NORTHWEST RIGHT-OF-WAY LINE OF FIRST STREET, S 28°18'42" W, A DISTANCE OF 48.89 FEET (RECORD = 50°50'07" W, 49.88 FEET) TO A SET 1/2 INCH IRON ROD WITH CAP STAMPED "ATS ENGINEERS" AT THE SOUTH CORNER OF SAID TRACT 5, SAME BEING THE EAST CORNER OF TRACT 6, FOR AN ANGLE POINT OF THIS HEREIN DESCRIBED TRACT;

THENCE CONTINUING WITH THE NORTHWEST RIGHT-OF-WAY LINE OF FIRST STREET, S 28°18'42" W, A DISTANCE OF 50.00 FEET (RECORD = 50°47'13" W, 50.00 FEET) TO A FOUND 1/2 INCH IRON ROD AT EAST MOST SOUTH CORNER OF SAID TRACT 6, SAME BEING THE EAST CORNER OF TRACT 7, FOR AN ANGLE POINT OF THIS HEREIN DESCRIBED TRACT;

THENCE CONTINUING WITH THE NORTHWEST RIGHT-OF-WAY LINE OF FIRST STREET, S 28°28'22" W, A DISTANCE OF 49.81 FEET (RECORD = 50°30'00" W, 49.93 FEET) TO A FOUND 1/2 INCH IRON ROD AT THE SOUTH CORNER OF SAID TRACT 7, FOR THE SOUTH CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE N 62°32'00" W, A DISTANCE OF 100.94 FEET (RECORD = N 60°34'20" W, 100.04 FEET) TO A FOUND 1/2 INCH IRON ROD AT THE WEST CORNER OF SAID TRACT 7, SAME BEING THE WESTERN SOUTH CORNER OF SAID TRACT 6, FOR AN ANGLE POINT OF THIS HEREIN DESCRIBED TRACT;

THENCE N 61°29'22" W, A DISTANCE OF 45.33 FEET (RECORD = N 59°41'24" W, 45.23 FEET), TO A SET 1/2 INCH IRON ROD WITH CAP STAMPED "ATS ENGINEERS" AT A POINT FOR CORNER OF SAID TRACT 6, BEING A POINT FOR CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE N 06°55'50" E, A DISTANCE OF 7.54 FEET (RECORD = N 08°42'00" E, 7.54 FEET), TO A FOUND NAIL FOR AN INTERIOR CORNER OF SAID TRACT 6, BEING AN INTERIOR CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE N 37°54'51" W, A DISTANCE OF 127.07 FEET (RECORD = N 30°08'21" W, 127.07 FEET), TO A SET 1/2 INCH IRON ROD WITH CAP STAMPED "ATS ENGINEERS" AT THE WEST CORNER OF SAID TRACT 6, BEING THE SOUTH CORNER OF TRACT 4, A 0.118 ACRE TRACT OF LAND, DESCRIBED BY DEED IN DOCUMENT NUMBER 2021053479, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, BEING THE WEST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE N 24°15'41" E, AT 36.65 FEET (RECORD = N 26°49'28" E, 38.11 FEET) PASS A FOUND 1/2 INCH IRON ROD AND CONTINUING IN ALL A DISTANCE OF 38.11 FEET TO A CALCULATED CORNER AT THE NORTH CORNER OF TRACT 5, SAME BEING THE WEST CORNER OF TRACT 4, FOR AN ANGLE POINT OF THIS HEREIN DESCRIBED TRACT;

THENCE N 28°20'09" E, A DISTANCE OF 47.68 FEET (RECORD = N 27°51'48" E, 49.99 FEET) TO A FOUND NAIL AT THE NORTH CORNER OF SAID TRACT 5, BEING THE EAST CORNER OF SAID TRACT 4, FOR A POINT FOR CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE S 62°54'56" E, A DISTANCE OF 9.85 FEET (RECORD = S 60°17'38" E, 130.96 FEET), TO A FOUND 1/2 INCH IRON ROD ON THE SOUTHEAST RIGHT-OF-WAY LINE OF SECOND STREET, BEING THE WEST CORNER OF SAID TRACT 1, AND A POINT FOR CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE WITH THE SOUTHEAST RIGHT-OF-WAY LINE OF SECOND STREET, THE NORTHWEST BOUNDARY LINE OF SAID TRACT 1, N 28°27'08" E, A DISTANCE OF 165.80 FEET, TO THE POINT OF BEGINNING AND CONTINUING WITHIN THESE METES AND BOUNDS 1/2 ACRES OF LAND, MORE OR LESS.

TRACT 4
0.118 ACRES
(0.122 ACRES)
SB-GEORGE, LLC
DOCUMENT NO.
2021053479
O.P.R.T.C.T.

TRACT 5
0.298 ACRES
(0.304 ACRES)
SB-GEORGE, LLC
DOCUMENT NO.
2021053479
O.P.R.T.C.T.

TRACT 6
0.399 ACRES
(0.395 ACRES)
SB-GEORGE, LLC
DOCUMENT NO.
2021053479
O.P.R.T.C.T.

TRACT 7
0.115 ACRES
(0.111 ACRES)
SB-GEORGE, LLC
DOCUMENT NO.
2021053479
O.P.R.T.C.T.

TRACT 8
0.232 ACRES
SB-GEORGE, LLC
DOCUMENT NO.
2022029288
O.P.R.T.C.T.

TRACT 9
0.142 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 10
0.087 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 11
0.143 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 12
0.712 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 13
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 14
0.144 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 15
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 16
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 17
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 18
0.213 ACRES
SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 19
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SB-FRANK SOUTH, LLC
DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 20
0.213 ACRES
SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 21
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SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 22
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SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 23
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SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 24
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SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 25
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SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 26
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SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 27
0.213 ACRES
SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 28
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SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 29
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O.P.R.T.C.T.

TRACT 30
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SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 31
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O.P.R.T.C.T.

TRACT 32
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O.P.R.T.C.T.

TRACT 33
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O.P.R.T.C.T.

TRACT 34
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O.P.R.T.C.T.

TRACT 35
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O.P.R.T.C.T.

TRACT 36
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O.P.R.T.C.T.

TRACT 37
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O.P.R.T.C.T.

TRACT 38
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TRACT 39
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O.P.R.T.C.T.

TRACT 40
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O.P.R.T.C.T.

TRACT 41
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O.P.R.T.C.T.

TRACT 42
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O.P.R.T.C.T.

TRACT 43
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O.P.R.T.C.T.

TRACT 44
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O.P.R.T.C.T.

TRACT 45
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TRACT 46
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TRACT 47
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TRACT 48
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TRACT 49
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TRACT 50
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TRACT 51
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O.P.R.T.C.T.

TRACT 52
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O.P.R.T.C.T.

TRACT 53
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O.P.R.T.C.T.

TRACT 54
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O.P.R.T.C.T.

TRACT 55
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O.P.R.T.C.T.

TRACT 56
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O.P.R.T.C.T.

TRACT 57
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TRACT 58
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TRACT 59
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TRACT 60
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TRACT 61
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TRACT 62
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TRACT 63
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TRACT 64
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TRACT 65
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TRACT 66
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TRACT 67
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TRACT 68
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TRACT 69
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TRACT 70
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TRACT 71
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TRACT 72
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TRACT 73
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TRACT 74
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TRACT 75
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TRACT 76
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TRACT 77
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TRACT 78
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TRACT 79
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TRACT 80
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TRACT 81
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TRACT 82
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TRACT 83
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TRACT 84
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TRACT 85
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TRACT 86
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TRACT 87
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TRACT 88
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TRACT 89
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TRACT 90
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TRACT 91
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TRACT 92
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O.P.R.T.C.T.

TRACT 93
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SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 94
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SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 95
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 96
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 97
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 98
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 99
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SB-FRANK SOUTH, LLC
DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 100
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 101
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 102
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SB-FRANK SOUTH, LLC
DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 103
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SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 104
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 105
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 106
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 107
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DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 108
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DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 109
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O.P.R.T.C.T.

TRACT 110
0.213 ACRES
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TRACT 111
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 112
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 113
0.213 ACRES
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DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 114
0.213 ACRES
SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 115
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O.P.R.T.C.T.

TRACT 116
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TRACT 117
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TRACT 118
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TRACT 119
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TRACT 120
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O.P.R.T.C.T.

TRACT 121
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O.P.R.T.C.T.

TRACT 122
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TRACT 123
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O.P.R.T.C.T.

TRACT 124
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SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 125
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SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 126
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O.P.R.T.C.T.

TRACT 127
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O.P.R.T.C.T.

TRACT 128
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TRACT 129
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TRACT 130
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O.P.R.T.C.T.

TRACT 131
0.213 ACRES
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O.P.R.T.C.T.

TRACT 132
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O.P.R.T.C.T.

TRACT 133
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DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 134
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TRACT 135
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TRACT 136
0.213 ACRES
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O.P.R.T.C.T.

TRACT 137
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TRACT 138
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O.P.R.T.C.T.

TRACT 139
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TRACT 140
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 141
0.213 ACRES
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O.P.R.T.C.T.

TRACT 142
0.213 ACRES
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O.P.R.T.C.T.

TRACT 143
0.213 ACRES
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O.P.R.T.C.T.

TRACT 144
0.213 ACRES
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O.P.R.T.C.T.

TRACT 145
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O.P.R.T.C.T.

TRACT 146
0.213 ACRES
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O.P.R.T.C.T.

TRACT 147
0.213 ACRES
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TRACT 148
0.213 ACRES
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TRACT 149
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TRACT 150
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O.P.R.T.C.T.

TRACT 151
0.213 ACRES
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2021053478
O.P.R.T.C.T.

TRACT 152
0.213 ACRES
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O.P.R.T.C.T.

TRACT 153
0.213 ACRES
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O.P.R.T.C.T.

TRACT 154
0.213 ACRES
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TRACT 155
0.213 ACRES
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2021053478
O.P.R.T.C.T.

TRACT 156
0.213 ACRES
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DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 157
0.213 ACRES
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DOCUMENT NO.
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O.P.R.T.C.T.

TRACT 158
0.213 ACRES
SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 159
0.213 ACRES
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O.P.R.T.C.T.

TRACT 160
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TRACT 161
0.213 ACRES
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O.P.R.T.C.T.

TRACT 162
0.213 ACRES
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O.P.R.T.C.T.

TRACT 163
0.213 ACRES
SB-FRANK SOUTH, LLC
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TRACT 164
0.213 ACRES
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O.P.R.T.C.T.

TRACT 165
0.213 ACRES
SB-FRANK SOUTH, LLC
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O.P.R.T.C.T.

TRACT 166
0.213 ACRES
SB-FRANK SOUTH, LLC
DOCUMENT NO.
2021053478
O.P.R.T.C.T.

TRACT 167
0.213 ACRES


$$1'' = 400'$$

-  SUBJECT TRACT
 PENDING CASE
 ZONING BOUNDARY

ZONING

ZONING CASE#: C14-2022-0081

EXHIBIT B



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Housing and Planning Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or

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