

SUBDIVISION REVIEW SHEET**CASE NO.:** C8J-2021-0048.1A**ZAP DATE:** December 6, 2022**SUBDIVISION NAME:** Quad Park 3B-3a Final Plat**AREA:** 26.52 acres**LOT(S):** 63**OWNER/APPLICANT:** Carma Easton , LLC
(Matthew McCafferty)**AGENT:** Carlson, Brigrance, and Doering, Inc
(Brett Pasquarella)**ADDRESS OF SUBDIVISION:** Apogee and Skytex**GRIDS:** K11**COUNTY:** Travis**WATERSHED:** N. Fork & S. Fork Dry Creek**JURISDICTION:** Limited Purpose**EXISTING ZONING:** Planned Unit Development (PUD)**MUD PLAN:** Pilot Knob MUD**PROPOSED LAND USE:** Mixed Residential, greenbelt/open space/drainage easement lots, and public ROW**VARIANCES:** None**SIDEWALKS:** Sidewalks will be provided along all internal streets and the boundary street.

DEPARTMENT COMMENTS: The request is for the approval of the Quad Park 3B-3a Final Plat out of an approved Preliminary Plan. The plan is comprised of 63 lots on 26.52 acres, proposing 61 residential lots, and 2 greenbelt lots, and approximately 3,790 linear feet of right-of-way/streets. Sidewalks are proposed on all streets. The proposed lots comply with the PUD zoning requirements for use and lot size. Parkland will be in compliance with the PUD. Water and wastewater will be provided by the City of Austin.

Staff recommends approval of the final plat, subject to the conditions listed in the attached comment report. After the conditions are met, the plan will comply with LDC 30-2-84. The conditions include remove or update notes, review street names, update engineer's report and provide information as required in the report. These are administrative actions that require no discretionary review. An application that has been approved with conditions may be updated to address those conditions until the application expires and the plan does not need to be heard before the Commission again.

STAFF RECOMMENDATION: Staff recommends approval of the preliminary plan, subject to the conditions listed in the comment report dated November 30, 2022 and attached as Exhibit C.

CASE MANAGER: Sue Welch, Travis County Single Office
Email address: Sue.Welch@traviscountytexas.gov

PHONE: 512-854-7637

Exhibit A: Quad Park 3B-3a Final Plat,

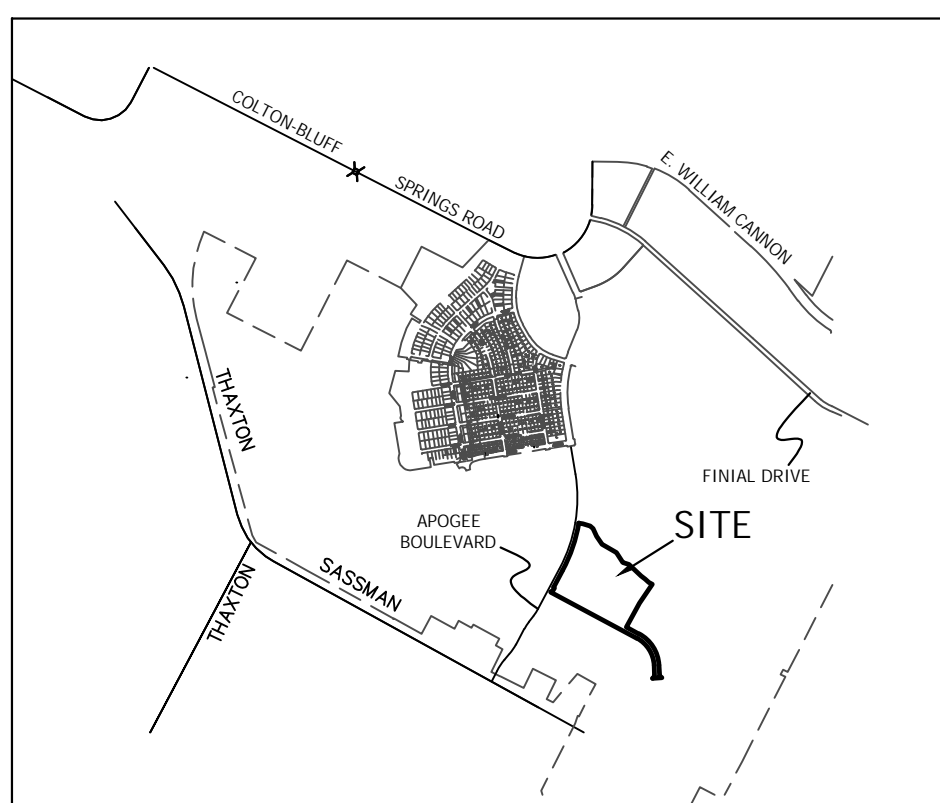
Exhibit B: Quad Park 3B-3a Location Map

Exhibit C: Quad Park 3B-3a Final Plat Comment Report

QUAD PARK 3B-3a

CONSUMER PROTECTION NOTICE FOR HOMEBUYERS

IF YOU ARE BUYING A LOT IN THIS SUBDIVISION, YOU SHOULD DETERMINE WHETHER THE SUBDIVISION AND THE LAND AROUND IT ARE INSIDE OR OUTSIDE THE CITY LIMITS. THIS CAN AFFECT THE ENJOYMENT AND VALUE OF YOUR HOME. DEPENDING ON STATE LAW AND OTHER FACTORS, LAND OUTSIDE THE CITY LIMITS MAY BE SUBJECT TO FEWER LOCAL GOVERNMENT CONTROLS OVER THE DEVELOPMENT AND USE OF LAND THAN INSIDE THE CITY LIMITS. THE SUBDIVISION'S RESTRICTIVE COVENANTS MAY CREATE PRIVATELY ENFORCEABLE RESTRICTIONS AGAINST INCOMPATIBLE LAND USES WITHIN THE SUBDIVISION, WHETHER IT IS INSIDE OR OUTSIDE THE CITY LIMITS. DEPENDING ON STATE LAW AND OTHER FACTORS, HOWEVER, OUTSIDE THE CITY LIMITS NEITHER PRIVATE NOR GOVERNMENTAL RESTRICTIONS MAY BE AVAILABLE TO (1) RESTRICT EITHER THE NATURE OR EXTENT OF DEVELOPMENT NEAR THE SUBDIVISION, OR (2) PROHIBIT LAND USES NEAR THE SUBDIVISION THAT ARE INCOMPATIBLE WITH A RESIDENTIAL NEIGHBORHOOD.



CASE NO. C8J-2022-0152.1A

SHEET NO. 1 OF 5



J: \AC3D\5326\Survey\PLAT - QUAD PARK 3B-3a

QUAD PARK 3B-3a

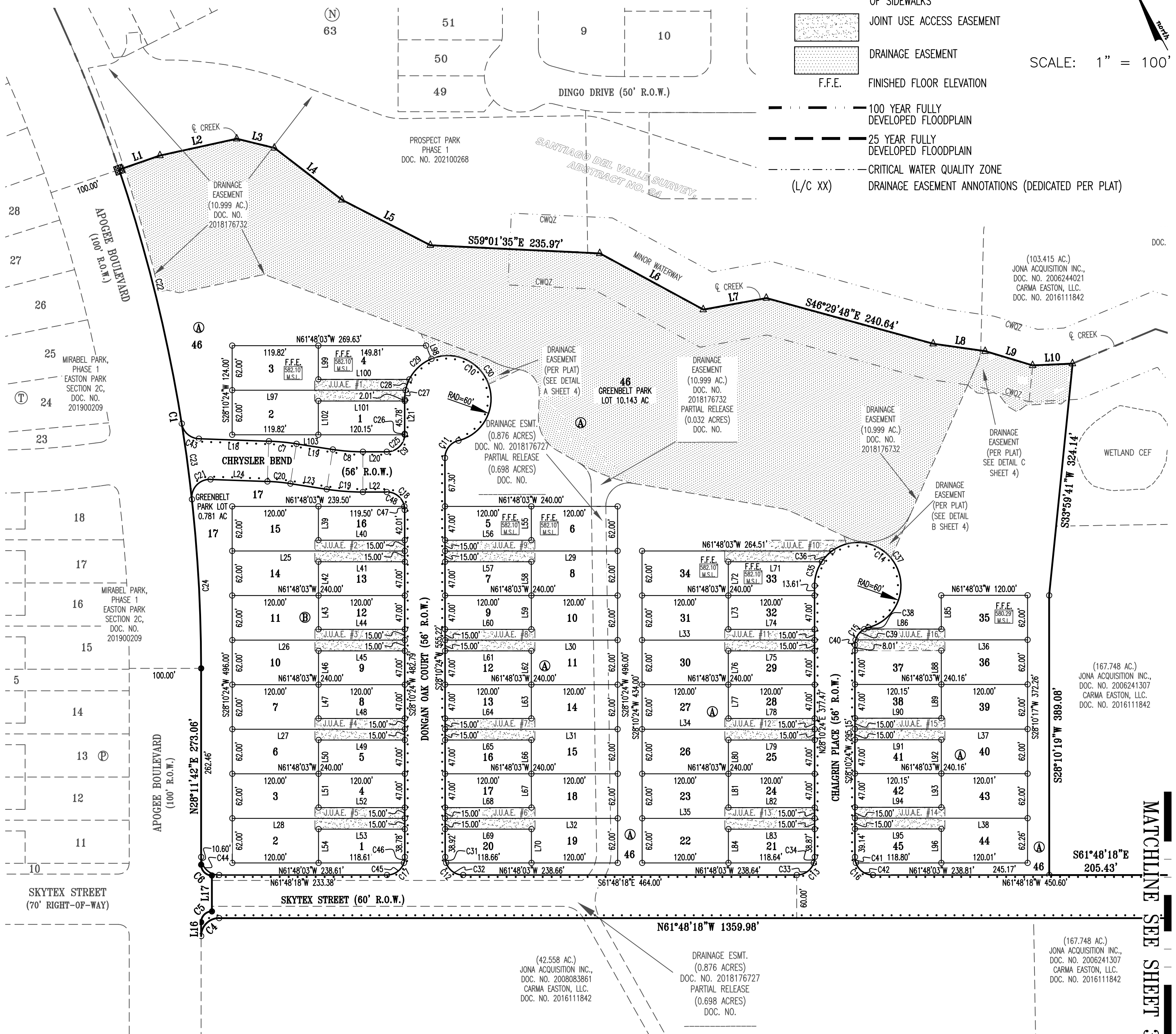
LEGEND

- CONCRETE MONUMENT
- CAPPED IRON ROD SET
- CAPPED IRON ROD FOUND (UNLESS OTHERWISE NOTED)
- △ CALCULATED POINT
- J.U.A.E. JOINT USE ACCESS EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- S.W.E. SIDEWALK EASEMENT
- C.W.Q.Z. CRITICAL WATER QUALITY ZONE
- L.S.E. LANDSCAPE EASEMENT
- LOT NUMBER
- ⑫ BLOCK DESIGNATION
- APPROXIMATE LOCATION OF SIDEWALKS

- JOINT USE ACCESS EASEMENT
- DRAINAGE EASEMENT
- F.F.E. FINISHED FLOOR ELEVATION

- 100 YEAR FULLY DEVELOPED FLOODPLAIN
- 25 YEAR FULLY DEVELOPED FLOODPLAIN
- CRITICAL WATER QUALITY ZONE
- (L/C XX) DRAINAGE EASEMENT ANNOTATIONS (DEDICATED PER PLAT)

SCALE: 1" = 100'



DATE: JUNE 30, 2022

OWNER:
CARMA EASTON, LLC.
11501 ALTERRA PARKWAY, SUITE 100
AUSTIN, TEXAS 78758
PHONE: 512-391-1330
FAX: 512-391-1333

ENGINEER AND SURVEYOR:
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON DRIVE
AUSTIN, TEXAS 78749
PHONE: 512-280-5160
FAX: 512-280-5165

TOTAL ACREAGE: 26.520 ACRES
SURVEY: SANTIAGO DEL VALLE SURVEY,
ABSTRACT NO. 24
F.E.M.A. MAP NO. 48453C0614K
TRAVIS COUNTY, TEXAS
DATED: JANUARY 22, 2020

TOTAL OF LOTS :	63	ACREAGE
NO. OF SINGLE FAMILY LOTS:	61	10.496 ACRES
NO. OF GREENBELT AND PARK LOTS:	2	10.924 ACRES
NO. OF BLOCKS:	2	

TBM 1:
MAGNETIC NAIL WITH SHINER FOUND IN CONCRETE IN THE SOUTHWEST RIGHT OF WAY LINE OF COLTON BLUFF ROAD, +\ - 3600 FEET SOUTHEAST OF THE INTERSECTION OF MCKINNEY FALLS PARKWAY AND COLTON BLUFF ROAD, SAME BEING N18°48'00"W, A DISTANCE OF 1099.5 FEET FROM THE CONCRETE MONUMENT SET AT THE NORTHEAST CORNER OF LOT 18, BLOCK 9, OF EASTON PARK, SECTION 2B, PHASE 2, HAVING GRID COORDINATES OF N = 10029427.18, E = 3123005.56, ELEVATION = 602.61'

TBM 2:
MAGNETIC NAIL WITH SHINER SET IN THE TOP OF THE EAST END OF A CONCRETE HEADWALL ON THE SOUTH SIDE OF SASSMAN ROAD, BEING 77 FEET WEST OF A DRIVEWAY TO THE NORTH, BEING APPROX. 2600 FEET EAST OF THE INTERSECTION OF SASSMAN ROAD AND THAXTON ROAD, HAVING GRID COORDINATES OF N = 10,023,838.51, E = 3,121,948.38, ELEVATION = 614.69'

RIGHT-OF-WAY LINEAR FOOTAGE		
SKYTEX STREET	60' R.O.W.	2,264'
DONGAN OAK COURT	56' R.O.W.	728'
CHRYSLER BEND	56' R.O.W.	330'
CHALGRIN PLACE	56' R.O.W.	468'
TOTAL	5.530 ACRES	3,790'

SHEET NO. 2 OF 5

Carlson, Brigance & Doering, Inc.
FIRM ID #F3791 REG. # 10024900

Civil Engineering
5501 West William Cannon
Phone No. (512) 280-5160

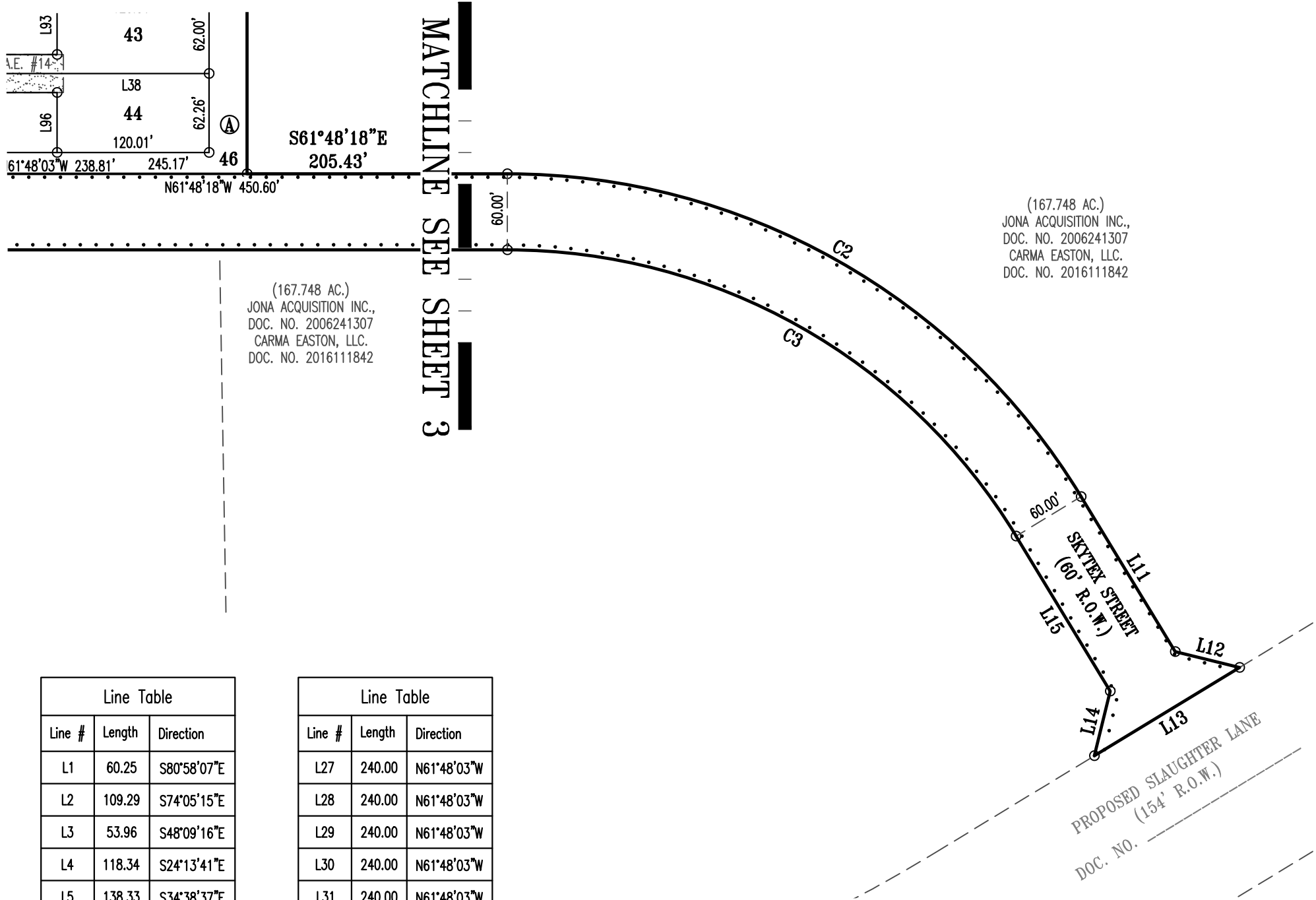
Surveying
Austin, Texas 78749
Fax No. (512) 280-5165

CASE NO. C8J-2022-0152.1A

J: \AC3D\5326\SURVEY\PLAT - QUAD PARK 3B-3a

MATCHLINE SEE SHEET 3

QUAD PARK 3B-3a



LEGEND

- CONCRETE MONUMENT
- CAPPED IRON ROD SET
- CAPPED IRON ROD FOUND (UNLESS OTHERWISE NOTED)
- CALCULATED POINT
- J.U.A.E. JOINT USE ACCESS EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- S.W.E. SIDEWALK EASEMENT
- C.W.Q.Z. CRITICAL WATER QUALITY ZONE
- L.S.E. LANDSCAPE EASEMENT
- LOT NUMBER
- 12 BLOCK DESIGNATION
- APPROXIMATE LOCATION OF SIDEWALKS
- JOINT USE ACCESS EASEMENT
- DRAINAGE EASEMENT
- F.F.E. FINISHED FLOOR ELEVATION
- 100 YEAR FULLY DEVELOPED FLOODPLAIN
- 25 YEAR FULLY DEVELOPED FLOODPLAIN
- CRITICAL WATER QUALITY ZONE
- (L/C XX) DRAINAGE EASEMENT ANNOTATIONS (DEDICATED PER PLAT)

SCALE: 1" = 100'

Line Table		
Line #	Length	Direction
L1	60.25	S80°58'07"E
L2	109.29	S74°05'15"E
L3	53.96	S48°09'16"E
L4	118.34	S24°13'41"E
L5	138.33	S34°38'37"E
L6	163.83	S33°19'37"E
L7	89.02	S72°08'18"E
L8	73.15	S53°39'41"E
L9	68.82	S45°06'44"E
L10	55.51	S64°26'36"E
L11	143.17	S03°05'41"E
L12	52.40	S48°05'41"E
L13	134.16	S86°52'56"W
L14	52.48	N41°54'19"E
L15	143.17	N03°05'41"W
L16	19.40	N28°11'42"E
L17	50.00	N28°11'42"E
L18	97.33	N59°44'57"W
L19	51.09	N52°58'29"W
L20	33.21	N61°48'03"W
L21	47.78	N28°10'24"E
L22	33.26	S61°48'03"E
L23	51.09	N52°58'29"W
L24	79.23	N59°44'57"W
L25	240.00	N61°48'03"W
L26	240.00	N61°48'03"W

Line Table		
Line #	Length	Direction
L27	240.00	N61°48'03"W
L28	240.00	N61°48'03"W
L29	240.00	N61°48'03"W
L30	240.00	N61°48'03"W
L31	240.00	N61°48'03"W
L32	240.00	N61°48'03"W
L33	240.00	N61°48'03"W
L34	240.00	N61°48'03"W
L35	240.00	N61°48'03"W
L36	239.16	N61°48'03"W
L37	240.16	N61°48'03"W
L38	240.16	N61°48'03"W
L39	47.00	S28°10'24"W
L40	120.00	N61°48'03"W
L41	120.00	N61°48'03"W
L42	47.00	S28°10'24"W
L43	47.00	S28°10'24"W
L44	120.00	N61°48'03"W
L45	120.00	N61°48'03"W
L46	47.00	S28°10'24"W
L47	47.00	S28°10'24"W
L48	120.00	N61°48'03"W
L49	120.00	N61°48'03"W
L50	47.00	S28°10'24"W
L51	47.00	S28°10'24"W
L52	120.00	N61°48'03"W

Easement Line Table		
Line #	Length	Direction
(L104)	37.90	N05°52'13"E
(L105)	99.46	S41°04'38"E
(L106)	47.45	N87°20'35"W
(L107)	5.10	N36°50'34"W
(L108)	11.81	S11°05'27"W
(L109)	67.52	N52°09'41"E
(L110)	6.53	S53°39'41"E
(L111)	33.19	N52°09'41"E
(L112)	8.80	N16°08'33"W
(L113)	7.98	N26°34'00"W
(L114)	12.51	N54°23'00"W

Easement Line Table		
Line #	Length	Direction
(L115)	10.62	N72°42'25"W
(L116)	8.89	N38°23'05"W
(L117)	19.88	N09°12'21"W
(L118)	14.91	N31°11'57"W
(L119)	15.68	S81°15'35"W
(L120)	15.15	N64°20'09"W
(L121)	22.40	N66°54'33"W
(L122)	11.32	N55°54'26"W
(L123)	9.70	S79°53'11"W
(L124)	7.77	S57°51'46"W
(L125)	43.71	S33°59'41"W

Curve Table						
Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C1	706.24	2168.00	N18°51'46"E	703.12	356.28	18°39'52"
C2	543.08	530.00	S32°26'59"E	519.63	298.09	58°42'37"
C3	481.60	470.00	N32°26'59"W	460.81	264.35	58°42'37"
C4	39.27	25.00	S73°11'42"W	35.36	25.00	90°00'00"
C5	23.56	15.00	N73°11'42"E	21.21	15.00	90°00'00"
C6	23.56	15.00	N16°48'18"W	21.21	15.00	90°00'00"
C7	38.78	328.00	N56°21'43"W	38.76	19.41	6°46'28"
C8	41.90	272.00	S57°23'16"E	41.86	20.99	8°49'34"
C9	39.28	25.00	N73°11'11"E	35.36	25.01	90°01'33"
C10	268.73	60.00	N24°26'33"W	94.16	75.95	256°36'49"
C11	33.03	25.00	S66°01'08"W	30.68	19.42	75°41'28"
C12	39.26	25.00	S16°48'55"E	35.35	24.99	89°58'37"
C13	39.28	25.00	N73°11'03"E	35.36	25.01	90°01'19"
C14	267.77	60.00	N23°58'44"W	94.76	77.22	255°41'51"
C15	33.03	25.00	S66°01'18"W	30.68	19.43	75°41'47"
C16	39.26	25.00	S16°48'57"E	35.35	24.99	89°58'42"
C17	39.28	25.00	N73°11'03"E	35.36	25.01	90°01'18"
C18	39.26	25.00	N16°48'49"W	35.35	24.99	89°58'27"
C19	50.53	328.00	S57°23'16"E	50.48	25.31	8°49'34"
C20	32.16	272.00	N56°21'43"W	32.14	16.10	6°46'28"
C21	42.89	25.00	S71°06'29"W	37.82	28.90	98°17'07"
C22	364.20	2168.00	N14°20'35"E	363.77	182.53	9°37'30"
C23	106.32	2168.00	N20°33'38"E	106.31	53.17	2°48'35"
C24	235.72	2168.00	N25°04'49"E	235.61	117.98	6°13'47"

Easement Curve Table						
Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
(C49)	97.14	60.00	N37°44'51"W	86.88	62.97	92°45'53"
(C50)	46.28	116.00	S43°00'21"E	45.97	23.45	22°51'26"
(C51)	104.83	66.00	N82°20'26"W	94.15	67.16	91°00'04"
(C52)	18.18	52.00	N42°08'28"E	18.09	9.19	20°02'08"
(C53)	68.57	60.00	N44°17'07"W	64.90	38.58	65°28'41"

Curve Table						
Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C25	38.06	25.00	N74°35'22"E	34.49	23.82	87°13'09"
C26	1.22	25.00	N29°34'36"E	1.22	0.61	2°48'24"
C27	13.08	60.00	S33°29'39"W	13.05	6.56	12°29'13"
C28	15.92	60.00	S47°20'27"W	15.88	8.01	15°12'25"
C29	42.86	60.00	S75°24'26"W	41.95	22.39	40°55'33"
C30	196.87	60.00	N09°52'02"E	119.71	858.66	187°59'39"
C31	8.23	25.00	S18°44'50"W	8.19	4.15	18°51'09"
C32	31.03	25.00	S26°14'29"E	29.08	17.87	71°07'29"
C33	31.00	25.00	N82°40'37"E	29.05	17.84	71°02'10"
C34	8.28	25.00	N37°39'58"E	8.25	4.18	18°59'09"
C35	35.41	60.00	S45°04'39"W	34.89	18.24	33°48'36"
C36	20.87	60.00	S71°56'49"W	20.76	10.54	19°55'43"
C37	211.49	60.00	N02°53'26"E	117.80	309.27	201°57'31"
C38	6.17	25.00	N83°11'58"W	6.15	3.10	14°08'19"
C39	19.78	25.00	S67°04'05"W	19.27	10.44	45°19'36"
C40	7.08	25.00	S36°17'21"W	7.06	3.57	16°13'53"
C41	8.27	25.00	S18°41'49"W	8.23	4.17	18°57'09"
C42	30.99	25.00	S26°17'32"E	29.04	17.84	71°01'33"
C43	34.43	25.00	S20°17'49"E	31.77	20.57	78°54'16"
C44	39.27	25.00	S16°48'18"E	35.36	25.00	90°00'00"
C45	30.90	25.00	N82°47'09"E	28.97	17.77	70°49'06"
C46	8.38	25.00	N37°46'30"E	8.34	4.23	19°12'13"
C47	5.02	25.00	N22°25'04"E	5.01	2.52	11°30'40"
C48	34.24	25.00	N22°34'09"W	31.62	20.41	78°27'47"

Line Table		
Line #	Length	Direction
L53	120.00	N61°48'03"W
L54	47.00	S28°10'24"W
L55	47.00	S28°10'24"W
L56	120.00	S61°48'03"E
L57	120.00	S61°48'03"E
L58	47.00	S28°10'24"W
L59	47.00	S28°10'24"W
L60	120.00	S61°48'03"E
L61	120.00	S61°48'03"E
L62	47.00	S28°10'24"W
L63	47.00	S28°10'24"W
L64	120.00	S61°48'03"E
L65	120.00	S61°48'03"E
L66	47.00	S28°10'24"W
L67	47.00	S28°10'24"W
L68	120.00	S61°48'03"E
L69	120.00	S61°48'03"E
L70	47.00	S28°10'24"W
L71	130.15	N61°48'03"W
L72	47.00	S28°10'24"W
L73	47.00	S28°10'24"W
L74	120.00	N61°48'03"W
L75	120.00	N61°48'03"W
L76	47.00	S28°10'24"W
L77	47.00	S28°10'24"W
L78	120.00	N61°48'03"W

Line Table		
Line #	Length	Direction
L79	120.00	N61°48'03"W
L80	47.00	S28°10'24"W
L81	47.00	S28°10'24"W
L82	120.00	N61°48'03"W
L83	120.00	N61°48'03"W
L84	47.00	S28°10'24"W
L85	47.00	S28°10'24"W
L86	107.06	S61°48'03"E
L88	47.00	S28°10'24"W
L89	47.00	S28°10'24"W
L90	120.15	S61°48'03"E
L91	120.15	S61°48'03"E
L92	47.00	S28°10'24"W
L93	47.00	S28°10'24"W
L94	120.15	S61°48'03"E
L95	120.15	S61°48'03"E
L96	47.26	S28°10'24"W
L97	241.21	N61°48'03"W
L98	20.00	S05°52'13"W
L99	47.00	S28°10'24"W
L100	126.60	N61°48'03"W
L101	120.18	N61°48'03"W
L102	47.00	S28°10'24"W
L103	239.97	N61°48'03"W

JOINT USE ACCESS EASEMENTS				
NUMBER	STREET NAME	LOTS SERVED	BLOCK	DOCUMENT NUMBER
1	DONGAN OAK COURT	1-4	A	
2	DONGAN OAK COURT	13-16	B	
3	DONGAN OAK COURT	9-12	B	
4	DONGAN OAK COURT	5-8	B	
5	DONGAN OAK COURT	1-4	B	
6	DONGAN OAK COURT	17-20	A	
7	DONGAN OAK COURT	13-16	A	
8	DONGAN OAK COURT	9-12	A	
9	DONGAN OAK COURT	5-8	A	
10	CHALGRIN PARK	33-34	A	
11	CHALGRIN PARK	29-32	A	
12	CHALGRIN PARK	25-28	A	
13	CHALGRIN PARK	21-24	A	
14	CHALGRIN PARK	42-45	A	
15	CHALGRIN PARK	38-41	A	
16	CHALGRIN PARK	35-37	A	

SHEET NO. 3 OF 5



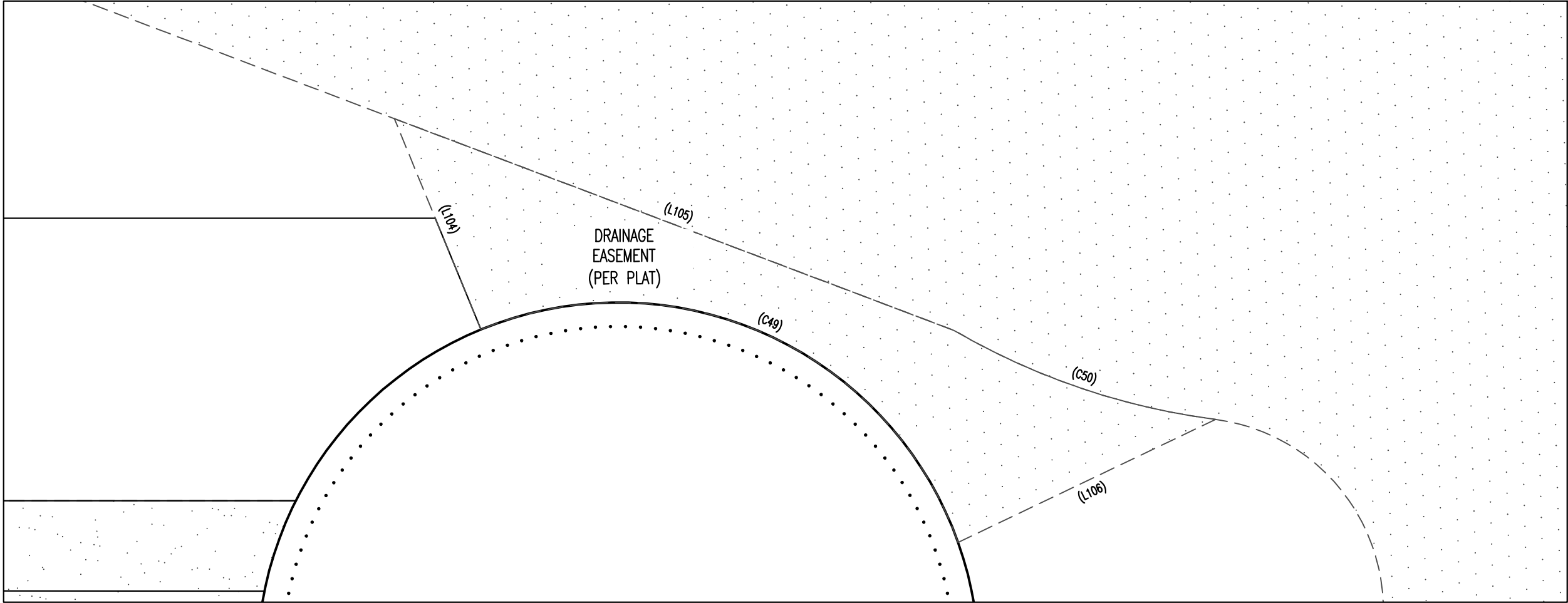
Carlson, Brigrance & Doering, Inc.

FIRM ID #F3791 ♦ REG. # 10024900

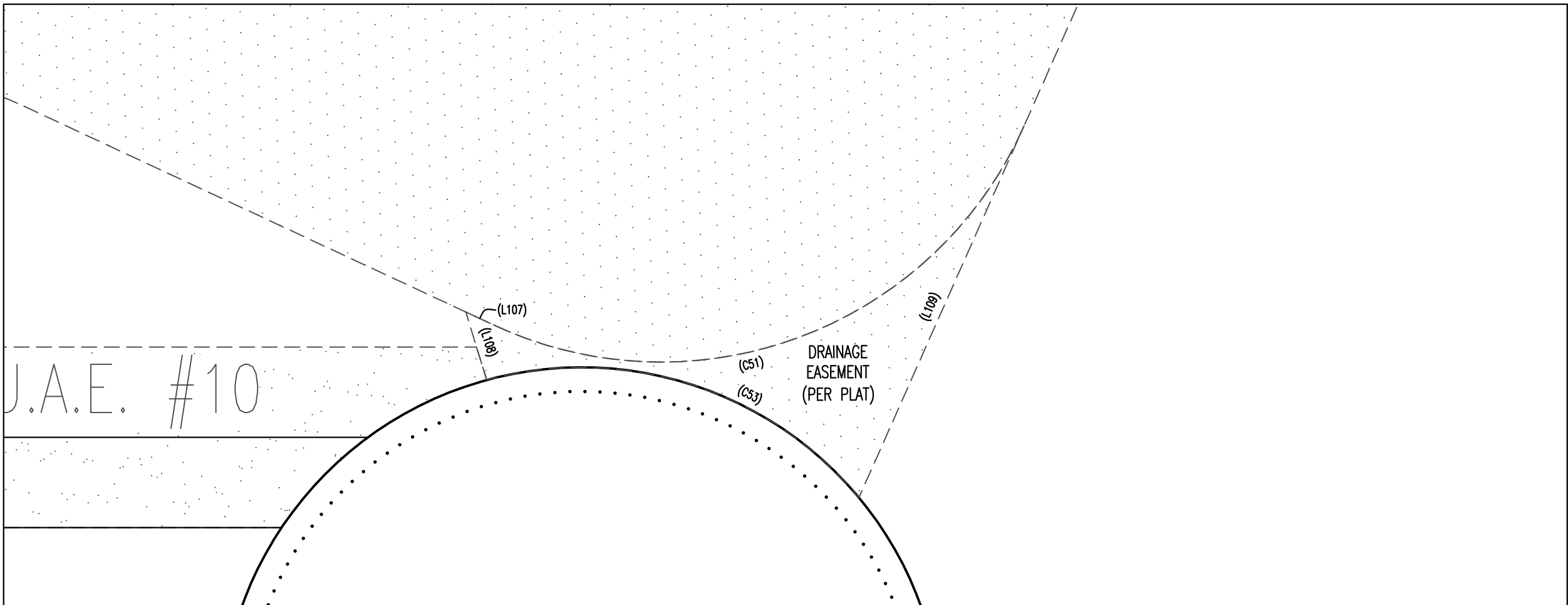
Civil Engineering ♦ Surveying
5501 West William Cannon ♦ Austin, Texas 78749
Phone No. (512) 280-5160 ♦ Fax No. (512) 280-5165

QUAD PARK 3B-3a

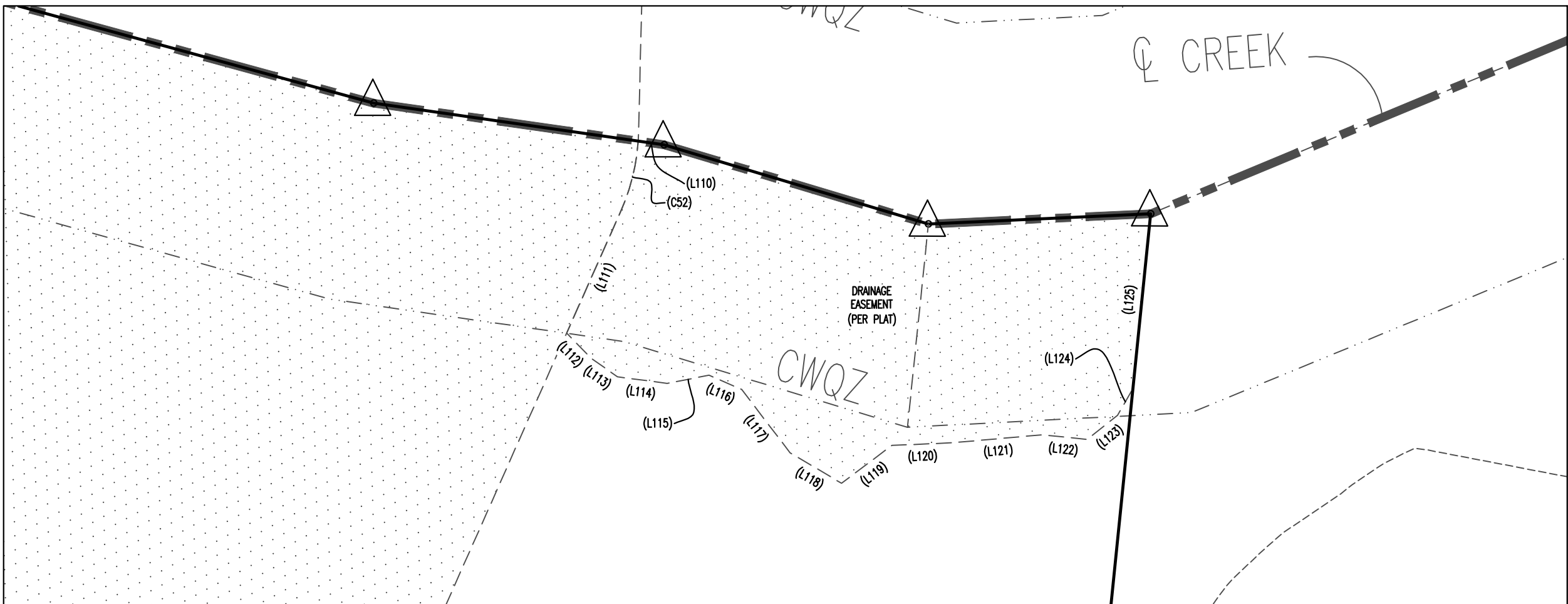
DETAIL "A"
SCALE: 1"=20'



DETAIL "B"
SCALE: 1"=20'



DETAIL "C"
SCALE: 1"=30'



SHEET NO. 4 OF 5

CASE NO. C8J-2022-0152.1A



Carlson, Brigrance & Doering, Inc.

FIRM ID #F3791 REG. # 10024900

Civil Engineering Surveying
5501 West William Cannon Austin, Texas 78749
Phone No. (512) 280-5160 Fax No. (512) 280-5165

QUAD PARK 3B-3a

THE STATE OF TEXAS :
COUNTY OF TRAVIS : KNOW ALL MEN BY THESE PRESENTS

THAT CARMA EASTON LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING BY AND THROUGH CHAD MATHESON AND BRAD CHELTON, BEING THE OWNERS OF A 26.520 ACRE TRACT OF LAND LOCATED IN THE SANTIAGO DEL VALLE GRANT, ABSTRACT NO. 24, TRAVIS COUNTY, TEXAS, SAME BEING A PORTION OF A CALLED 198.302 ACRE TRACT OF LAND CONVEYED TO JONA ACQUISITION, INC. (AKA CARMA EASTON) IN DOCUMENT NO. 2006244772, O.P.R.T.C.T., A PORTION OF A CALLED 103.415 ACRE TRACT OF LAND CONVEYED TO JONA ACQUISITION, INC. (AKA CARMA EASTON) DOCUMENT NO. 2006244021, O.P.R.T.C.T., A PORTION OF THAT CALLED 167.748 ACRE TRACT OF LAND CONVEYED TO JONA ACQUISITION, INC. (AKA CARMA EASTON) IN DOCUMENT NO. 2006241307, O.P.R.T.C.T., ,

DO HEREBY SUBDIVIDE 26.520 ACRES PURSUANT TO TITLE 30 OF THE AUSTIN CITY CODE AND CHAPTER 212 OF THE TEXAS LOCAL GOVERNMENTS CODE AND IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT, TO BE KNOWN AS:

"QUAD PARK 3B-3a"

SUBJECT TO THE COVENANTS AND RESTRICTIONS SHOWN HEREON, AND WE DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENTS AS SHOWN HEREON, UNLESS OTHERWISE INDICATED, SUBJECT TO ANY RESTRICTIONS AND/OR EASEMENTS HERETOFORE GRANTED AND NOT RELEASED.

CARMA EASTON LLC,
A TEXAS LIMITED LIABILITY COMPANY

BY: _____
CHAD MATHESON
CHIEF FINANCIAL OFFICER
C/O BROOKFIELD RESIDENTIAL
11501 ALTERRA PARKWAY, SUITE 100
AUSTIN, TEXAS 78758

THE STATE OF _____ :
COUNTY OF _____ :

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHAD MATHESON, KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OF WRITING, AND ACKNOWLEDGED TO ME THAT (S)HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY HEREIN STATED.

GIVEN UNDER MY NAME AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE _____ COUNTY, _____.

PRINT OR STAMP NAME HERE MY COMMISSION EXPIRES

CARMA EASTON LLC,
A TEXAS LIMITED LIABILITY COMPANY

BY: _____
BRAD CHELTON, PRESIDENT
C/O BROOKFIELD RESIDENTIAL
11501 ALTERRA PARKWAY, SUITE 100
AUSTIN, TEXAS 78758

THE STATE OF _____ :
COUNTY OF _____ :

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRAD CHELTON, PRESIDENT OF CARMA EASTON LLC, A TEXAS LIMITED LIABILITY COMPANY, KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OF WRITING, AND ACKNOWLEDGED TO ME THAT (S)HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY HEREIN STATED.

GIVEN UNDER MY NAME AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE _____ COUNTY, _____.

PRINT OR STAMP NAME HERE MY COMMISSION EXPIRES

THE STATE OF TEXAS :
COUNTY OF TRAVIS :

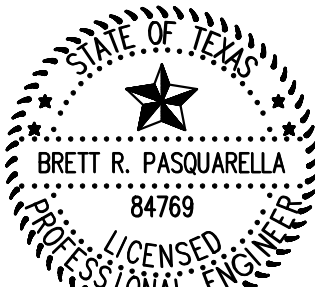
I, BRETT R. PASQUARELLA, P.E., AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING RELATED STANDPOINT, IS COMPLETE AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF TITLE 30 OF THE CITY OF AUSTIN CITY CODE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

THE 100-YEAR FLOOD PLAIN IS CONTAINED WITHIN THE DRAINAGE EASEMENT AS SHOWN HEREON. NO PORTION OF THIS TRACT IS WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) # 48453C0614K, TRAVIS COUNTY, TEXAS, DATED JANUARY 22, 2020.

MINIMUM FINISHED FLOOR ELEVATION FOR ALL AFFECTED STRUCTURES SHALL BE TWO (2) FOOT ABOVE THE ELEVATION OF THE 100-YEAR FLOOD PLAIN AS SHOWN HEREON: XXX' M.S.L.

CERTIFIED TO THIS THE _____ DAY OF _____, 20____, A.D.

BRETT R. PASQUARELLA
REGISTERED PROFESSIONAL ENGINEER
NO. 84769 – STATE OF TEXAS
CARLSON, BRIGANCE & DOERING, INC.
TX FIRM NO. F-3791
5501 W. WILLIAM CANNON BLVD.
AUSTIN, TEXAS 78749
PHONE: (512) 280-5160



CARLSON, BRIGANCE & DOERING, INC.
ID# F3791

THIS FLOOD STATEMENT, AS DETERMINED BY A H.U.D.-F.I.A. FLOOD INSURANCE RATE MAP, DOES NOT IMPLY THAT THE PROPERTY OR THE IMPROVEMENTS THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR, AND FLOOD HEIGHTS MAY INCREASE BY MAN-MADE OR NATURAL CAUSES.

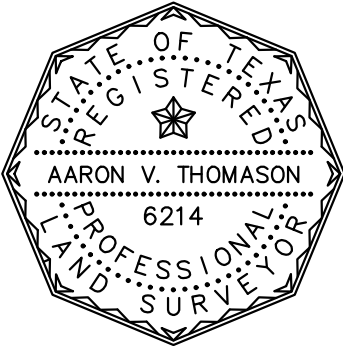
THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF ENGINEER OR SURVEYOR.

THE STATE OF TEXAS :
COUNTY OF TRAVIS :

I, AARON V. THOMASON, A REGISTERED PROFESSIONAL LAND SURVEYOR, AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF LAND SURVEYING, DO HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEY RELATED PORTIONS OF TITLE 30 OF THE CITY OF AUSTIN CODE AND IS TRUE AND CORRECT TO THE BEST OF MY BELIEF AND WAS PREPARED FROM AN ON THE GROUND SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION.

CERTIFIED TO THIS THE _____ DAY OF _____, 20____, A.D.

AARON V. THOMASON, RPLS
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6214 – STATE OF TEXAS
CARLSON, BRIGANCE & DOERING, INC.
5501 W. WILLIAM CANNON BLVD
AUSTIN, TEXAS 78749
PHONE: (512) 280-5160



COMMISSIONERS COURT RESOLUTION

IN APPROVING THIS PLAT, THE COMMISSIONERS COURT OF TRAVIS COUNTY, TEXAS, ASSUMES NO OBLIGATION TO BUILD THE STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT OR ANY BRIDGES OR CULVERTS IN CONNECTION HERewith. THE BUILDING OF ALL STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT, AND ALL BRIDGES AND CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IN SUCH STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES OR IN CONNECTION THEREWITH, IS THE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER OF THE TRACT OF LAND COVERED BY THIS PLAT IN ACCORDANCE WITH PLANS AND SPECIFICATIONS PRESCRIBED BY THE COMMISSIONERS COURT OF TRAVIS COUNTY, TEXAS.

THE OWNER(S) OF THE SUBDIVISION SHALL CONSTRUCT THE SUBDIVISION'S STREET AND DRAINAGE IMPROVEMENTS (THE "IMPROVEMENTS") TO COUNTY STANDARDS IN ORDER FOR THE COUNTY TO ACCEPT THE PUBLIC IMPROVEMENTS FOR MAINTENANCE OR TO RELEASE FISCAL SECURITY POSTED TO SECURE PRIVATE IMPROVEMENTS. TO SECURE THIS OBLIGATION, THE OWNER(S) MUST POST FISCAL SECURITY WITH THE COUNTY IN THE AMOUNT OF THE ESTIMATED COST OF THE IMPROVEMENTS. THE OWNER(S)' OBLIGATION TO CONSTRUCT THE IMPROVEMENTS TO COUNTY STANDARDS AND TO POST THE FISCAL SECURITY TO SECURE SUCH CONSTRUCTION IS A CONTINUING OBLIGATION BINDING ON THE OWNERS AND THEIR SUCCESSORS AND ASSIGNS UNTIL THE PUBLIC IMPROVEMENTS HAVE BEEN ACCEPTED FOR MAINTENANCE BY THE COUNTY, OR THE PRIVATE IMPROVEMENTS HAVE BEEN CONSTRUCTED AND ARE PERFORMING TO COUNTY STANDARDS.

THE AUTHORIZATION OF THIS PLAT BY THE COMMISSIONERS COURT FOR FILING OR THE SUBSEQUENT ACCEPTANCE FOR MAINTENANCE BY TRAVIS COUNTY, TEXAS, OF ROADS AND STREETS IN THE SUBDIVISION DOES NOT OBLIGATE THE COUNTY TO INSTALL STREET NAME SIGNS OR ERECT TRAFFIC CONTROL SIGNS, SUCH AS SPEED LIMIT, STOP SIGNS, AND YIELD SIGNS, WHICH IS CONSIDERED TO BE A PART OF THE DEVELOPER'S CONSTRUCTION.

THE STATE OF TEXAS:
COUNTY OF TRAVIS:

I, REBECCA GUERRERO, CLERK OF THE COUNTY COURT OF TRAVIS COUNTY, TEXAS DO HEREBY CERTIFY THAT ON THE _____ DAY OF _____, 20____, A.D., THE COMMISSIONERS' COURT OF TRAVIS COUNTY, TEXAS, PASSED AN ORDER AUTHORIZING THE FILING FOR RECORD OF THIS PLAT, AND THAT SAID ORDER WAS DULY ENTERED IN THE MINUTES OF SAID COURT.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY COURT OF SAID COUNTY, THE _____ DAY OF _____, 20____, A.D.

REBECCA GUERRERO, COUNTY CLERK, TRAVIS COUNTY, TEXAS

DEPUTY

THE STATE OF TEXAS:
COUNTY OF TRAVIS:

I, REBECCA GUERRERO, CLERK OF TRAVIS COUNTY, TEXAS DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____, 20____, AT _____ O'CLOCK _____ M., AND DULY RECORDED ON THE _____ DAY OF _____, 20____, A.D., AT _____ O'CLOCK _____ M., OFFICIAL PUBLIC RECORDS OF SAID COUNTY AND STATE IN DOCUMENT # _____, WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS _____ DAY OF _____, 20____, A.D.

REBECCA GUERRERO, COUNTY CLERK, TRAVIS COUNTY, TEXAS

DEPUTY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING COMMISSION OF THE CITY OF AUSTIN, TEXAS, THIS THE _____ DAY OF _____, 20____.

CHAIRPERSON SECRETARY

APPROVED, ACCEPTED AND AUTHORIZED FOR RECORD BY THE DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT, CITY OF AUSTIN, COUNTY OF TRAVIS. THIS THE _____ DAY OF _____, 20____.

JUAN ENRIQUEZ FOR:
DENISE LUCAS, DIRECTOR
DEVELOPMENT SERVICES DEPARTMENT

THIS SUBDIVISION PLAT IS LOCATED WITHIN THE LIMITED PURPOSE JURISDICTION OF THE CITY OF AUSTIN ON THIS THE _____ DAY OF _____, 20____.

PLAT NOTES

1. A TRAVIS COUNTY SITE DEVELOPMENT PERMIT IS REQUIRED PRIOR TO ANY SITE DEVELOPMENT.
2. ALL STREETS, DRAINAGE, AND SIDEWALKS SHALL BE CONSTRUCTED AND INSTALLED TO APPLICABLE STANDARDS INCLUDING TRAVIS COUNTY AND CITY OF AUSTIN.
3. WATER AND WASTEWATER LINES AND EROSION CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO THE CITY OF AUSTIN STANDARDS.
4. OFF-STREET LOADING AND UNLOADING FACILITIES SHALL BE PROVIDED ON ALL COMMERCIAL AND INDUSTRIAL LOTS.
5. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT IS RESPONSIBLE FOR PROVIDING THE SUBDIVISION INFRASTRUCTURES, INCLUDING WATER AND WASTEWATER IMPROVEMENTS AND SYSTEM UPGRADES.
6. WATER AND WASTEWATER SERVICE SHALL BE PROVIDED BY THE CITY OF AUSTIN. NO LOT SHALL BE OCCUPIED UNTIL THE STRUCTURE IS CONNECTED TO THE CITY OF AUSTIN WATER AND WASTEWATER SYSTEM.
7. THE WATER AND WASTEWATER UTILITY SYSTEM SERVING THIS SUBDIVISION MUST BE IN ACCORDANCE WITH THE CITY OF AUSTIN UTILITY DESIGN CRITERIA. THE WATER AND WASTEWATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY THE AUSTIN WATER UTILITY. ALL WATER AND WASTEWATER CONSTRUCTION MUST BE INSPECTED BY THE CITY OF AUSTIN. THE LANDOWNER MUST PAY THE CITY INSPECTION FEE WITH THE UTILITY CONSTRUCTION.
8. THE UTILITY PROVIDERS OF THIS SUBDIVISION ARE AS FOLLOWS:
ELECTRIC SERVICE – BLUEBONNET ELECTRIC COOPERATIVE, INC.
WATER AND WASTEWATER – CITY OF AUSTIN
GAS – TEXAS GAS
9. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF AUSTIN AND TRAVIS COUNTY. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
10. NO OBJECTS, INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, OR LANDSCAPING SHALL BE ALLOWED IN A DRAINAGE EASEMENT EXCEPT AS APPROVED BY TRAVIS COUNTY AND THE CITY OF AUSTIN.
11. PROPERTY OWNER AND/OR HIS/HER ASSIGNEES SHALL PROVIDE FOR ACCESS TO THE DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY TRAVIS COUNTY AND THE CITY OF AUSTIN FOR INSPECTION OR MAINTENANCE OF SAID EASEMENTS.
12. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE OWNER AND/OR HIS/HER ASSIGNS.
13. BY APPROVING THIS PLAT, THE CITY OF AUSTIN ASSUMES NO OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION. ANY SUBDIVISION INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF LOTS IN THIS SUBDIVISION IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR OWNERS OF THE LOTS BEING OCCUPIED. FAILURE TO CONSTRUCT ANY REQUIRED INFRASTRUCTURE TO CITY STANDARDS MAY BE JUST CAUSE FOR THE CITY TO DENY APPLICATIONS FOR CERTAIN DEVELOPMENT PERMITS INCLUDING BUILDING PERMITS, SITE PLAN APPROVALS, AND/OR CERTIFICATES OF OCCUPANCY.

14. PUBLIC SIDEWALKS, BUILT TO TRAVIS COUNTY, CITY OF AUSTIN, AND PUD STANDARDS, ARE REQUIRED ALONG THE FOLLOWING STREETS, AS SHOWN BY A DOTTED LINE ON THE FACE OF THE PLAT: CHALGRIN PLACE, CHRYSLER BEND, DONGAN OAK COURT, AND SKYTEX STREET. SIDEWALKS SHALL BE IN PLACE PRIOR TO THE LOTS BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY, TITLE 30-3-191.

15. THE SUBDIVISION PLAT WAS APPROVED AND RECORDED BEFORE THE CONSTRUCTION AND ACCEPTANCE OF STREETS AND OTHER SUBDIVISION IMPROVEMENTS PURSUANT TO THE TERMS OF A SUBDIVISION CONSTRUCTION AGREEMENT BETWEEN THE SUBDIVIDER AND TRAVIS COUNTY AND THE CITY OF AUSTIN, DATED _____. THE SUBDIVIDER IS RESPONSIBLE FOR THE CONSTRUCTION OF ALL IMPROVEMENTS NEEDED TO SERVE THE LOTS WITHIN THE SUBDIVISION. THE RESPONSIBILITY MAY BE ASSIGNED IN ACCORDANCE WITH THE TERMS OF THAT AGREEMENT FOR THE SUBDIVISION CONSTRUCTION AGREEMENT PERTAINING TO THE SUBDIVISION BY SEPARATE INSTRUMENT RECORDED IN DOCUMENT NO. _____ IN THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

16. A 10 FOOT PUBLIC UTILITY EASEMENT IS PROVIDED ALONG ALL RIGHT-OF-WAY LINES UNLESS NOTED OTHERWISE.

17. THE OWNER OR ESTABLISHED HOMEOWNERS ASSOCIATION OF THIS SUBDIVISION SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PAYMENTS OF TAXES FOR LOTS 67-69, BLOCK A, LOT 26, BLOCK C, LOT 19, BLOCK F, LOT 35, BLOCK G, LOT 33, BLOCK H, LOTS 83-84, BLOCK J, LOT 11, BLOCK L, LOT 37, BLOCK M, LOT 63, BLOCK N, LOT 17, BLOCK O, LOT 25, BLOCK P, LOT 20, BLOCK Q, LOT 33, BLOCK V, LOT 45, BLOCK W, LOT 19, BLOCK X, LOT 63, BLOCK AA, LOT 1, BLOCK CC, LOT 1, BLOCK DD, AND LOT 1, BLOCK EE. THESE LOTS ARE RESTRICTED TO NON-RESIDENTIAL USES.

18. TELECOMMUNICATIONS SERVICE WILL BE PROVIDED BY AT&T (OR EQUAL).

19. DRAINAGE EASEMENTS TO THE LIMITS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE PUBLIC FOR THE CONSTRUCTION, MAINTENANCE, AND THE RIGHT TO PLACE EARTHEN FILL FOR DRAINAGE FOR PUBLIC ROADWAYS ON THIS PLAT. PROPERTY OWNERS MAY USE THEIR PROPERTY WITHIN THESE EASEMENTS ONLY IN THOSE WAYS THAT ARE CONSISTENT WITH THE CONSTRUCTION, INSTALLATION, AND MAINTENANCE OF THE DRAINAGE EASEMENTS DEDICATED HEREIN. PROPERTY OWNERS MAY DO NOTHING THAT WOULD IMPAIR, DAMAGE, OR DESTROY THE DRAINAGE EASEMENTS. TRAVIS COUNTY AND ITS SUCCESSORS AND ASSIGNS HAVE THE RIGHT TO USE SO MUCH OF THE SURFACE OF THE PROPERTY WITHIN THE EASEMENTS AS MAY BE REASONABLY NECESSARY TO CONSTRUCT, INSTALL AND MAINTAIN DRAINAGE FACILITIES WITHIN THE EASEMENTS.

20. THIS PLAT MUST COMPLY WITH THE APPROVED PUD, ORDINANCE NUMBER(S) 20161110-032, AND 20170302-014.

21. A MINIMUM OF THREE OFF-STREET PARKING SPACES IS REQUIRED FOR EACH UNIT. THE DRIVEWAY MAY BE COUNTED AS ONE OF THE TWO SPACES REQUIRED FOR EACH UNIT. FOR ANY LOT WITH 6 OR MORE BEDROOMS, THE MINIMUM PARKING REQUIREMENT IS ONE SPACE PER BEDROOM.

22. MAINTENANCE OF A JOINT USE DRIVEWAY SHALL BE THE RESPONSIBILITY OF THE LOT OWNERS SERVED BY THE JOINT USE DRIVEWAY. ACCESS TO COMMON LOTS SHALL BE PROVIDED FROM ALL LOTS LISTED IN THE JOINT USE ACCESS EASEMENT TABLE BY MEANS OF A COMMON DRIVEWAY SITUATED WITHIN A 30' JOINT USE ACCESS EASEMENT AS SHOWN ON THE FACE OF THE PLAT. SEE JOINT USE ACCESS EASEMENT TABLE ON SHEET 14.

23. PARKLAND DEDICATION FOR 61 RESIDENTIAL UNITS IS SATISFIED PER ORDINANCE NO(S) 20151217-080, 20161110-032, AND 20170302-014, BY THE PARKLAND DEDICATION OF LAND. THE AREA TO BE DEDICATED AS PARKLAND IS SHOWN ON THIS PLAT AS LOT 46, BLOCK A, AND LOT 17, BLOCK B.

24. PRIOR TO ANY DEVELOPMENT A CITY OF AUSTIN PERMIT WILL BE REQUIRED.

25. DRAINAGE PLANS SHALL BE SUBMITTED TO TRAVIS COUNTY FOR REVIEW PRIOR TO SITE DEVELOPMENT. RAINFALL AMOUNTS SHALL BE HELD TO THE AMOUNT EXISTING AT UNDEVELOPED STATUS BY PONDING OR OTHER APPROVED METHODS.

26. A WAIVER FROM A REQUIREMENT TO THE APPROVED PUD ORDINANCE NUMBER(S) 20161110-032, AND 20170302-014 THAT NO BLOCK SHOULD BE GREATER THAN 1200 FEET IN LENGTH HAS BEEN GRANTED ADMINISTRATIVELY WITH THE PRELIMINARY PLAN.

27. THE COVENANT CONDITIONS AND RESTRICTIONS FOR THE EASTON PARK PROPERTY ARE RECORDED IN DOCUMENT NO. 2015030792, AND AMENDED IN DOC. NO.'S 2015192016 AND 2016027307 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

28. THE COVENANTS, CONDITIONS, AND RESTRICTIONS AND HOMEOWNER'S ASSOCIATION BYLAWS FOR THE EASTON PARK 3B-3A PROPERTY ARE RECORDED IN THE HOME OWNER'S ASSOCIATION ANNEXATION DOCUMENT NUMBER _____ OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

29. THE DRIVEWAYS ALONG CHALGRIN PLACE, CHRYSLER BEND, AND DONGAN OAK COURT WILL BE CLUSTERED AS APPROVED PER AFD TO FACILITATE AFD OPERATIONAL AREA. THE APPROVED LOCATIONS WILL BE SCHEMATICALLY SHOWN ON THE CONSTRUCTION PLANS, CITY FILE #C8J-2021-0048.1A.

30. RESIDENTIAL USE OF ANY KIND IS PROHIBITED ON ALL NON-RESIDENTIAL LOTS.

31. THERE WILL BE NO DRIVEWAYS ON ANY LOT WITH A SLOPE GREATER THAN 15%.

32. THE ESTABLISHED HOMEOWNERS ASSOCIATION OF THIS SUBDIVISION OR THE PILOT KNOB MUNICIPAL DISTRICT NO.2 IS REQUIRED TO MOW AND MAINTAIN LANDSCAPING IN THE OPEN CHANNELS, DETENTION AND WATER QUALITY AREAS.

33. FLOOD INSURANCE IS MANDATORY FOR BUILDINGS IN FEMA-IDENTIFIED HIGH-RISK FLOOD AREAS, WHICH ARE DESIGNATED FLOOD HAZARD AREAS (FHAS). THIS REQUIREMENT APPLIES TO BUILDINGS LOCATED IN FHAS ON FEMA'S FLOOD MAPS INCLUDING LOANS FOR MANUFACTURED (MOBILE) HOMES AND COMMERCIAL BUILDINGS. WHENEVER FEDERALLY BACKED LENDERS MAKE, INCREASE, EXTEND, OR RENEW A MORTGAGE, HOME EQUITY, HOME IMPROVEMENT, COMMERCIAL, OR FARM CREDIT LOAN IN AN FHA, THE LENDER MUST REQUIRE FLOOD INSURANCE.

34. APPROVAL OF THIS PLAT IN NO WAY GRANDFATHERS OR EXEMPTS DEVELOPMENT REQUIREMENTS ON THIS SITE FOR FLOODPLAIN COMPLIANCE. DEVELOPMENT PERMIT APPLICATIONS ARE GOVERNED BY THE REGULATIONS THAT ARE IN PLACE AT THE TIME THE PERMIT IS APPLIED FOR, NOT NECESSARILY THOSE IN PLACE AT THE TIME OF SUBDIVISION APPROVAL.

35. THIS PLAT IS SUBJECT TO A TRAFFIC IMPACT ANALYSIS (TIA). THE TRAFFIC IMPACT ANALYSIS SUBMITTED FOR THE LOTS IN THIS PLAT, MADE LAND USE ASSUMPTIONS FOR PURPOSE OF EVALUATING THE DEVELOPMENT'S IMPACT ON THE ADJACENT STREETS AND INTERSECTIONS. AN EVALUATION OF THE LAND USES PROPOSED AT THE TIME OF THE SITE DEVELOPMENT APPLICATION VERSUS THOSE USED IN THE TRAFFIC IMPACT ANALYSIS WILL BE PREPARED BY THE DEVELOPER FOR REVIEW AND APPROVAL BY TRAVIS COUNTY AND SUBMITTED WITH THE SITE PLAN OR CONSTRUCTION PLANS. TRAVIS COUNTY (UNTIL FULLY ANNEXED) WILL HAVE SOLE DISCRETION TO DETERMINE IF THE ASSUMPTIONS MADE IN THE TIA ARE STILL VALID OR IF REEVALUATION IS NEED. HIGHER ROADWAY CLASSIFICATIONS AND ADDITIONAL IMPROVEMENTS MAY BE REQUIRED.

36. THIS PLAT IS SUBJECT TO THE TRAFFIC IMPACT ANALYSIS AND SECOND AMENDMENT TO PHASING AGREEMENT WITH TRAVIS COUNTY RECORDED IN DOCUMENT NUMBER 2022033806 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

37. INTERMEDIATE WATERWAY CRITICAL WATER QUALITY ZONE ADJACENT TO THIS PLAT IS SUBJECT TO RIPARIAN HEALTH ASSESSMENT AND RESTORATION PER THE PILOT KNOB PUD TO BE ASSESSED WITH THE SUBDIVISION CONSTRUCTION PLANS.

38. ALL RESIDENTIAL LOTS IN THIS SUBDIVISION MEET PILOT KNOB PUD SIZING REQUIREMENTS.

39. WILLIAM CANNON AND COLTON BLUFF SPRINGS ROAD INTERSECTION, A SIGNAL WARRANT ANALYSIS WILL BE PROVIDED NO LATER THAN NOVEMBER 1, 2021 FOR REVIEW. IF THIS IS NOT PROVIDED, THE PERMITS FOR CONSTRUCTION PLANS WILL NOT BE ISSUED FOR ANY FUTURE PHASE/PLAT.

40. WATERWAY SETBACKS AS DEFINED BY THE LAND DEVELOPMENT CODE MAY BE LOCATED ON THIS PROPERTY. DEVELOPMENT IS LIMITED WITHIN WATERWAY SETBACKS.

41. THE INTERMEDIATE CRITICAL WATER QUALITY ZONE LOCATED EAST OF LOT 1/BLK EE IS REQUIRED TO HAVE A RIPARIAN FUNCTIONAL ASSESSMENT PREPARED AND RIPARIAN RESTORATION PROVIDED AS REQUIRED BY THE PILOT KNOB PUD. RIPARIAN RESTORATION PLAN WILL BE REVIEWED, APPROVED, AND EXECUTED IN CONJUNCTION WITH THE SUBDIVISION CONSTRUCTION PLANS AND NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL THE RIPARIAN RESTORATION PLAN IS EXECUTED AND RELEASED BY ERM.

42. THE PRESENCE OF CEFS ON OR NEAR THE PROPERTY MAY AFFECT DEVELOPMENT. ALL ACTIVITIES WITHIN THE CEF AND CEF BUFFER MUST COMPLY WITH THE CITY OF AUSTIN CODE AND CRITERIA. THE NATURAL VEGETATIVE COVER MUST BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE; CONSTRUCTION IS PROHIBITED; AND WASTEWATER DISPOSAL OR IRRIGATION IS PROHIBITED. CEF SETBACKS WILL BE DETERMINED WITH THE SITE DEVELOPMENT PERMIT.

SHEET NO. 5 OF 5



Carlson, Brigance & Doering, Inc.

FIRM ID #F3791 ♦ REG. # 10024900

Civil Engineering ♦ Surveying
5501 West William Cannon ♦ Austin, Texas 78749
Phone No. (512) 280-5160 ♦ Fax No. (512) 280-5165

J: \AC3D\5326\Survey\PLAT – QUAD PARK 3B-3a

**CITY OF AUSTIN – TRAVIS COUNTY – SINGLE SUBDIVISION OFFICE
SUBDIVISION APPLICATION – MASTER COMMENT REPORT**



CASE NUMBER: C8J-2021-0048.1A
REVISION #: 00 UPDATE: U0
CASE MANAGER: Sue Welch PHONE #: 512-854-7637

PROJECT NAME: Quad Park 3B-3a Final Plat
LOCATION: 8408 APOGEE BLVD

SUBMITTAL DATE: November 7, 2022
REPORT DUE DATE: December 6, 2022
FINAL REPORT DATE: November 30, 2022



STAFF REPORT:

This report includes all staff comments received to date concerning your most recent subdivision application submittal. The comments may include requirements, recommendations, or information. The requirements in this report must be addressed by an updated submittal. The subdivision application will be approved when all requirements from each review discipline have been addressed.

If you have any questions, concerns or if you require additional information about this report, please contact your case manager at the phone number listed above or by using the contact information listed for each reviewer in this report.

Any change to the plan/plat shall not cause noncompliance with any applicable code or criteria. In addition, any change to the plat may trigger new comments.

UPDATE DEADLINE (LDC 30-2-56; 30-2-82):

All comments must be addressed by filing an updated submittal prior to the update deadline of (90 days from submittal) **February 6, 2023**. Otherwise, the application will expire. If this date falls on a weekend or City of Austin holiday, the next City of Austin workday will be the deadline.

Extension of Review Period, Extension of Update Deadline and Tolling of Application Period do not apply to applications for preliminary plan, plat or subdivision construction plans (LDC).

UPDATE SUBMITTAL INSTRUCTIONS (LDC 30-1-113):

1. Applicants must contact Intake Staff (974-1770) in order to submit an update.
2. Your update must include the following items:
 - a. The revised plat/plan in pdf format
 - b. A letter that addresses each comment in the master comment report
3. Updates must be submitted on an approved submittal date. Refer to the submittal calendar for a list of approved submittal dates.

REVIEWERS:

A formal update submittal is required. Please bring a copy of this report with you upon submittal to Intake. Updates may be submitted between the hours of 8:30 am and 4:00 pm. Updates submitted after 3 pm may be processed on the following business day.

REVIEWERS:

Planner 1: Chima Onyia
Environmental: Enrique Maiz-Torres
Site Plan Plumbing: Cory Harmon
Travis Co Sub: Sue Welch
Travis Co. Drainage: Christine Connor
Travis Co. Transportation: Christine Connor

911 Addressing: Janny Phung
Water Quality - Judy Anderson
Drainage Engineering Review - Judy Anderson
PARC: Robynne Heymans
Site Plan Plumbing - Cory Harmon
ATD: Dari Majd

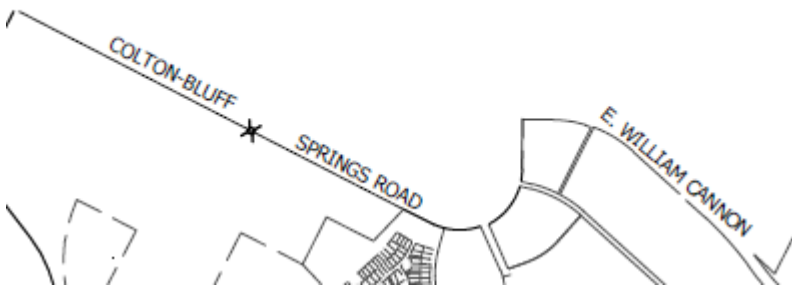
Electric Review - Andrea Katz - 512-322-6957

No Review Required. Out of Austin Energy service area, served by Bluebonnet Electric Cooperative, Inc.

911 Addressing Review - Janny Phung - janny.phung@austintexas.gov

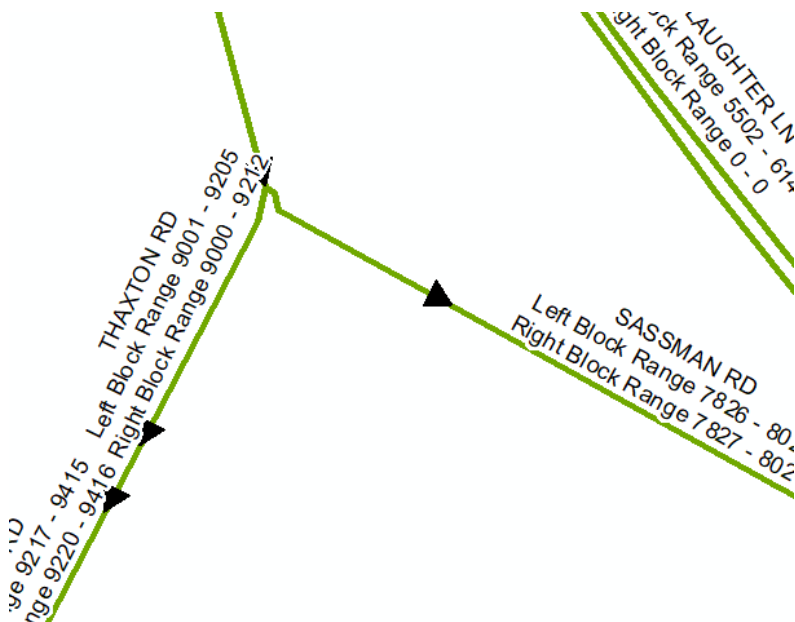
AD1: This plat review is rejected for the following:

AD2: Please remove the punctuation marks on all streets in the locator map



AD3: Please update label for **SASSMAN RD** the street type RD must be included

AD4: Please update label for **THAXTON RD** the street type RD must be included



AD5: **DONGAN DR** is the correct street name for this project

NOTE: DONGAN DR is incorrectly labeled as DONGAN OAK CRT on all sheets. OAK is on the DO NOT USE list and is an overused word. Court is also a street type designated by a cul-da-sac which this is not.

NOTE: Punctuation or diacritical marks cause confusion for first responders

NOTE: Street names that are already in use or Reserved for use can be found at:

<https://www.austintexas.gov/page/street-name-database>

The standards applied to all new street names in Travis County can be found at this link:

http://www.austintexas.gov/sites/default/files/files/Information_Technology/911Addressing/Street_Name_Standards.pdf

§30-2-155

End of Comment

Drainage Engineering Review - Judy Anderson - Judy.Anderson@austintexas.gov

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- DE 1. Fiscal arrangements are required for street, detention, sidewalk, drainage, restoration, erosion controls, water quality ponds. Remember to include fiscal for sidewalks located next to greenbelts, open spaces, landscape areas, drainage easements, etc. [LDC 30-1-132]
- DE 2. Please explain the origin of plat note 19 regarding drainage easements. The City may request a plat note that states, "All drainage easements are hereby dedicated to the City of Austin." Generally, Travis County does not want drainage easements dedicated to them. [LDC 30-4-151 and 152]
- DE 3. Please provide the following plat note, "Prior to construction, except detached single family on any lot in this subdivision, a site development permit must be obtained from the City of Austin." [LDC 30-4-61]
- DE 4. Please provide the following plat note, "All streets, drainage, sidewalks, erosion controls, and water and wastewater lines are required to be constructed and installed to City of Austin Standards". [LDC 30-2-38]
- DE 5. Please provide the following plat note, "No structure shall be occupied until the water quality control and detention facility have been constructed, inspected, and accepted by the City of Austin." [LDC 30-4-61]
- DE 6. Please provide the following plat note, "Prior to construction on lots in this subdivision, drainage plans will be submitted to the City of Austin for review. Rainfall run-off shall be held to the amount existing at undeveloped status by ponding or other approved methods." [LDC 30-4-61]
- DE 7. It appears that there are concentrated flows and/or floodplain through the property. A drainage easement is required to the limits of the 100 year fully developed flow elevation. A drainage easement is required. Please confirm this is addressed by existing easements, and provide the recorded documents. Otherwise, submit the proposed easement with exhibits to this reviewer for processing. [LDC 30-4-151 and 152].
- DE 8. Provide the recorded document for the proposed partially released drainage easement. A City of Austin Land Management Easement Release application may be required, if the existing easement is dedicated to the City. [LDC 30-4-151 and 152]

- DE 9. Demonstrate the existing detention pond accounts for the proposed subdivision. The proposed subdivision appears to modify the original detention pond design. However, the engineering report only includes the original design. Provide updated analysis and models in the engineering report. Although the engineering report is missing the existing and developed drainage area maps associated with the existing detention pond constructed under C8J-2016-0188.1B, the water quality drainage area map provided (Sheet 13 of 123) indicates that the drainage areas by CBD divert more area to the existing ponds than originally designed. A portion of residential lots and Skytex Street ROW appear to be diverted to the existing pond. [LDC 30-4-61]
- DE 10. Provide the drainage area map associated with the preliminary plan sheet documenting drainage area calculations by CBD. There are several drainage areas in the calculations that are not clear in the maps. [LDC 30-4-61]
- DE 11. Proposed improvements encroach on the Erosion Hazard Zone Buffer established by Watershed Protection Department. Conduct an analysis in accordance with City of Austin Drainage Criteria Manual Appendix E, Criteria For Establishing An Erosion Hazard Zone. [LDC 30-4-32]

Environmental Review - Enrique Maiz-Torres – Enrique.maiz-torres@austintexas.gov

Update 0 11/29/2022

ESC FISCAL SURETY [LDC 25-1, Article 5; ECM Appendix S-1]

- EV 0 Provide a conceptual erosion & sedimentation control plan along with the fiscal estimate for erosion/sedimentation controls and revegetation based on ECM Appendix S-1. A conceptual ESC plan is necessary to assess the accuracy of the ESC fiscal estimate. ESC fiscal surety must be posted with the City of Austin prior to Plat approval. Additional fiscal posting might be required at the time of subdivision construction plan ESC review.
- Sites with a limit of construction greater than one acre must include a \$3000 per acre LOC clean-up fee in the fiscal estimate. [LDC 25-8, Subchapter A, Article 5; ECM Appendix S-1]
 - The revegetation line item quantity must equal the entire LOC area less any existing impervious cover proposed to remain and less proposed public streets and sidewalks. This is necessary in the event that construction ceases after vegetation has been removed from within the LOC. [LDC 25-8, Subchapter A, Article 5; ECM Appendix S-1]

Flood Plain Review - Zach Kretsch - 512-974-3363

DATE REVIEWED: 11/16/2022
UPDATE # U0

General notes: The floodplain that lies to the north of the lot has been reviewed with case C8J-2020-0148PA. The floodplain is contained within drainage easements by separate instrument and via plat. All drainage easement notes are included on the final plat. No formal comments.

PARD / Planning & Design Review - Robynne Heymans - 512-974-9549

11/22/2022
 Update 0

PR 1: Please amend note 23 with the following note:

Parkland dedication for 61 residential units is satisfied per Ordinance No. 20151217-080 by the dedication of land. The area to be dedicated as parkland is shown on this plat as Lot 46 Block A and Lot 17, Block B. Fiscal surety was posted for the trails.

PR 2: Please label Lot 46 Block A as "Greenbelt Park"

PR 3: Please provide a trails exhibit to show how the trail will connect Easton Park trails north, west and east of the plat. Please provide a cost estimate to post fiscal surety for the trails.

PR 4: Contact a PARD reviewer or engineer's of prior plats to obtain the format for tracking tables for this final plat and update with correct number of units. Referenced as a Pilot Knob PUD Open Space Summary Table. Submit open space calculator and parkland and trails tracking sheets with next update.

AW Utility Development Services - Derek Tucker - 512-972-0077

AW1. Comments released.

Wetlands Biologist Review - Leslie Lilly - Leslie.lilly@austintexas.gov

No comments at this time.

Travis Co. Subdivision Review - Sue Welch - 512-854-7637

1. Add the correct case number to lower right hand corner of each page: C8J-2021-0148.1A 30-1-113
2. Update the Clerk's name to Dyana Limon-Mercado 30-1-113
3. Please correct the commission to the Zoning and Platting Commission. 30-1-113
4. Provide/upload a copy of the revised Drainage Maintenance Agreement - this is pending final review and approval by COA Legal with plat – 30-1-113
5. Provide/upload into this file the vacation/release of the drainage easement that crosses lots and under the ROW. This is pending final approval prior to recordation. 30-1-113
6. Provide/upload a copy of the CCR and the proposed "annexation" for the CCR. This is pending final review and approval by COA Legal. 30-1-113
7. Correct the note for the HOA maintained lots (note#17). 30-1-113
8. Provide/upload the joint access easements for this plat – they will need to be reviewed and approved by COA Legal. 30-1-113
9. Clearly show each JUA is 15 ft. (15 ft. needs to be darken in some locations). Correct the joint access note #22 to reflect the correct page (3) for the recorded JUA. 30-1-113
10. The plat that it is subject to the TIA Phasing Agreement with Travis County recorded in Doc # 2022033806. Please clarify the status of the requirements in the Phasing Agreement for Slaughter Lane, Colton Bluff/McKinney Falls Parkway and William Cannon prior to the submittal of the construction plans. Clarify note #39.

11. Provide a benchmark since the plat has streets. 30-2-131
12. Please verify or show/provide the sidewalks along Apogee. Update the sidewalk note. 30-1-113
13. Once all comments are cleared, provide the signatures, signed and sealed mylars. Please contact this reviewer. 30-1-113
14. Approval of the plat expires on the 90th day after the approval if the single office has not certified that the applicant has posted fiscal security. Clarify the status of the subdivision construction agreements for the City and the County. 30-2-84

Travis Co. Transportation Review - Christine Connor - 512-854-7215

- 1) According to the phasing agreement, either this project or 2C, Phase 4 can move forward at this point, but not both. Please clarify. 30-3-144
- 2) Provide proof of fiscal posting within 90 days of plat approval. 30-2-84
- 3) Note 39 is dated. Have the requirements been met? 30-3-144
- 4) A means of turning around at Slaughter will need to be provided and included within an easement. 30-2-152

Travis Co. Drainage Engineering Review - Christine Connor - 512-854-7215

- 1) A new RC/DMA is in process and must be approved/recorded prior to approval of this plat. 30-2-132
- 2) Drainage easements indicated as partially vacated must be vacated prior to plat recordation. Vacation will be contingent upon approval by COA and TC and will be evaluated when vacation requests have been submitted. 30-2-132

Site Plan Plumbing - Cory Harmon - 512-974-2882

- Pursuant to compliance with Sections 307.1, 609.6, and 721.1 of the 2021 Uniform Plumbing Code, add a plat note that conveys the following: **Each Lot within this subdivision shall have separate sewer taps, separate water meters, and their respective private water and sewer service lines shall be positioned or located in a manner that will not cross lot lines.**

ATD Engineering Review - Dari Majd - 512-974-4024

- ATD1. Please add the following note to the subdivision: Development of structures that require a building permit on this plat will be subject to the City of Austin Street Impact Fee as applicable prior to acquiring the building permit.
- ATD2. The Building Permits for this final plat are required to comply with the City's Street Impact Fee. The fee was adopted by City Council in December 2020 and is applicable to all Building Permits submitted on or after June 22, 2022. (For more information: <https://www.austintexas.gov/departments/street-impact-fee>). Please complete a copy of the SIF worksheet and submit it for review via the TDS KNACK Portal: <https://atd.knack.com/development-services/sif-worksheet-portal/>. Once the SIF estimator worksheet is finalized ATD staff will use the worksheet to generate a SIF Formal Calculation Memo to summarize potential future payments, including applicable reductions and Offset Agreements. LDC 25-6-662

- ATD3. The ASMP requires 64 feet of right-of-way for Apogee Boulevard. Dedicate 32 feet of right-of-way from the existing centerline in accordance with the ASMP (LDC 25-6-55).
- ATD4. The ASMP requires 64 feet of right-of-way for Skytex Street. Dedicate 32 feet of right-of-way from the existing centerline in accordance with the ASMP (LDC 25-6-55).

Water Quality Review - Judy Anderson - Judy.Anderson@austintexas.gov
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- WQ 1. Please add the plat note, "Water quality controls are required for all development pursuant to the Land Development Code." [LDC 30-5-211]
- WQ 2. Demonstrate the existing water quality pond accounts for the proposed subdivision. The proposed subdivision appears to modify the original water quality pond design. Please address the portion of residential lots and Skytex Street ROW that appear to be diverted to the existing pond, in excess of the original water quality drainage area map. Provide updated analysis for the pond modifications in the engineering report. [LDC 30-5-211]
- WQ 3. The engineering report is missing the original R-Table associated with the existing water quality pond constructed under C8J-2016-0188.1B. The revised R-Table provided by CBD in the engineering report indicates a discrepancy from the original R-Table in various fields, including the required WQV. Please address. [LDC 30-5-211]

End of Master Comment Report



8 Property Profile

Quad Park Final Plat Location

14 of 14

Legend

- Streets
- Street Labels
- Jurisdiction
 - FULL PURPOSE
 - LIMITED PURPOSE
 - EXTRATERRITORIAL JURISDICTION
 - 2 MILE ETJ AGRICULTURAL AGR
 - OTHER CITY LIMITS
 - OTHER CITIES ETJ
- Recorded Subdivision
 - Jurisdiction
 - FULL PURPOSE
 - LIMITED PURPOSE
 - EXTRATERRITORIAL JURISDICTION
 - 2 MILE ETJ AGRICULTURAL AGR
 - OTHER CITY LIMITS
 - OTHER CITIES ETJ
- Subdivision Cases- IN REVIEW
- Watershed
 - Barton Creek
 - Bear Creek
 - Bear Creek West
 - Bee Creek
 - Blunn Creek
 - Boggy Creek
 - Bohls Hollow
 - Brushy Creek
 - Bull Creek
 - Buttercup Creek
 - Buttermilk Branch
 - Carson Creek
 - Cedar Creek
 - Cedar Hollow



0.3 0 0.15 0.3 Miles

NAD_1983_StatePlane_Texas_Central_FIPS_4203_Feet

2-24-21

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Notes

QUAD PARK FINAL PLAT
Site Location
C8J-2021-0048.1A