

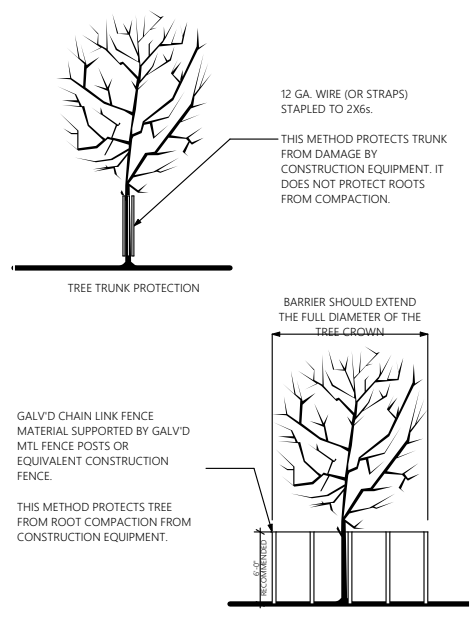




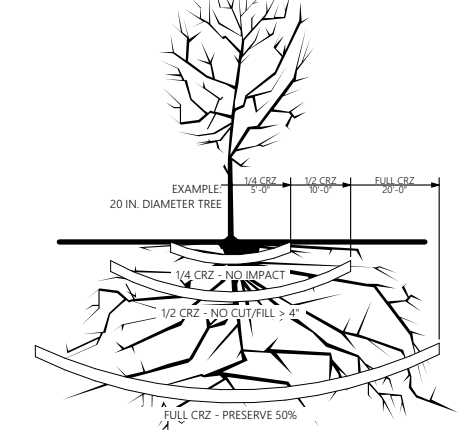


| ID     | NAME     |
|--------|----------|
| OBJ-01 | LIVE OAK |
| OBJ-01 | LIVE OAK |
| OBJ-01 | LIVE OAK |
| OBJ-01 | LIVE OAK |

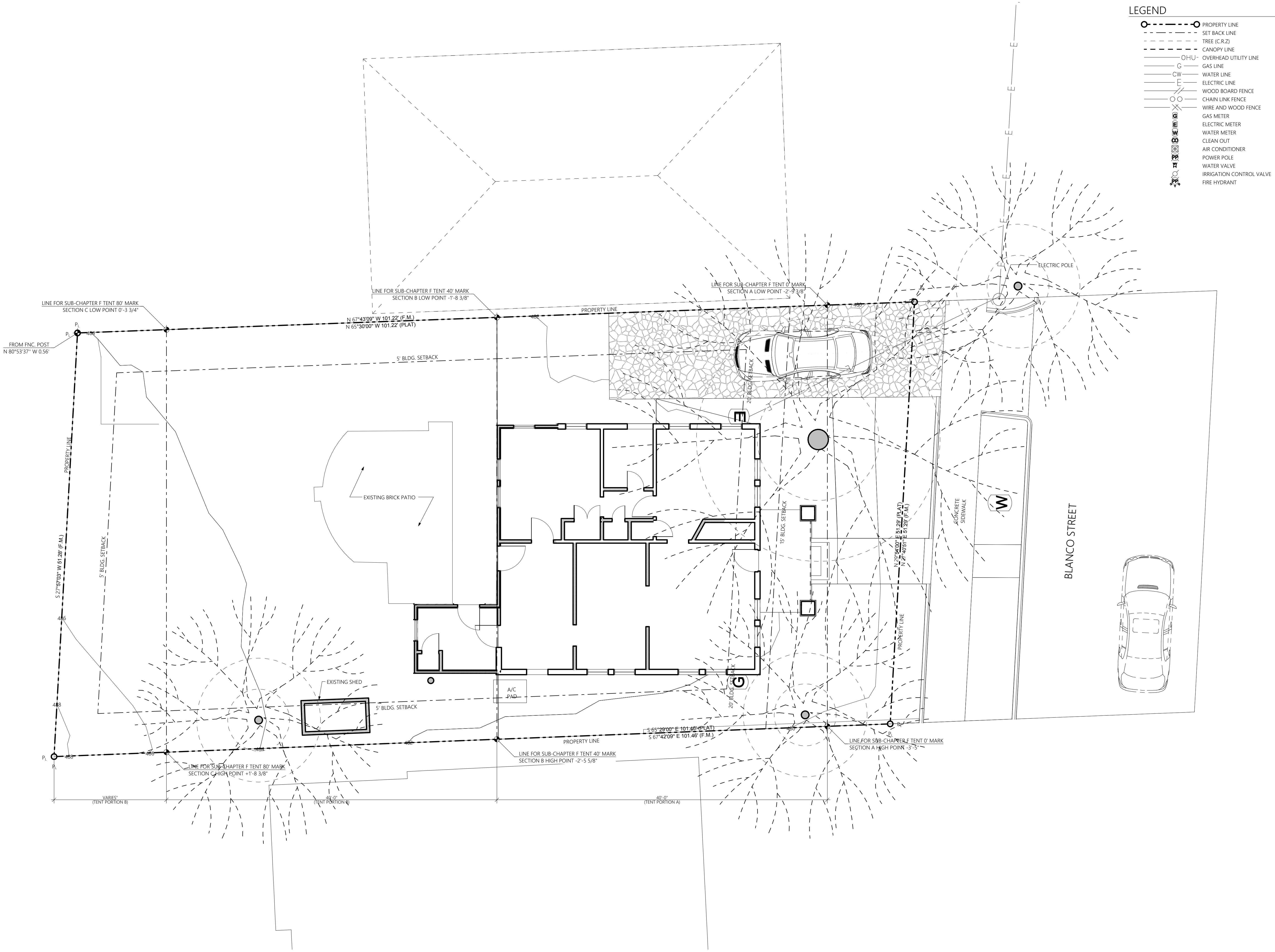
TREE PROTECTION NOTE



IT IS THE ARCHITECT'S AND OWNER'S INTENT TO PROTECT ALL TREES IN PROXIMITY TO CONSTRUCTION AREA FROM DAMAGE OR INJURY DUE TO CONSTRUCTION. THE SUGGESTION FOR TREE PROTECTION METHODS ABOVE ARE OFFERED FOR YOUR REVIEW AND APPROVAL. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE EFFECTIVENESS OF THE PROTECTION METHODS SUGGESTED. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE EFFECTIVENESS OF THE PROTECTION METHODS SUGGESTED. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE EFFECTIVENESS OF THE PROTECTION METHODS SUGGESTED.



CITY CODE REQUIRES THAT PROPOSED DEVELOPMENTS DEMONSTRATE THAT TREES ARE PROTECTED TO THE MAXIMUM EXTENT POSSIBLE AND THAT TREE PRESERVATION IS EFFECTIVELY DEMONSTRATED AS A POST SYSTEM PRESERVATION. A 20' DIAMETER TREE IS EFFECTIVELY DEMONSTRATED AS A POST SYSTEM PRESERVATION. A 20' DIAMETER TREE IS EFFECTIVELY DEMONSTRATED AS A POST SYSTEM PRESERVATION. A 20' DIAMETER TREE IS EFFECTIVELY DEMONSTRATED AS A POST SYSTEM PRESERVATION.



LEGEND

- PROPERTY LINE
- SET BACK LINE
- TREE (C.R.Z.)
- CANOPY LINE
- OVERHEAD UTILITY LINE
- OHU
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- WOOD BOARD FENCE
- CHAIN LINK FENCE
- WIRE AND WOOD FENCE
- GAS METER
- ELECTRIC METER
- WATER METER
- CLEAN OUT
- AIR CONDITIONER
- POWER POLE
- WATER VALVE
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT

NOT FOR  
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CONSTRUCTION

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ARCHITECTURE  
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 1220 Lavaca Street  
 Austin, Texas 78701  
 Fax 512.236.1039

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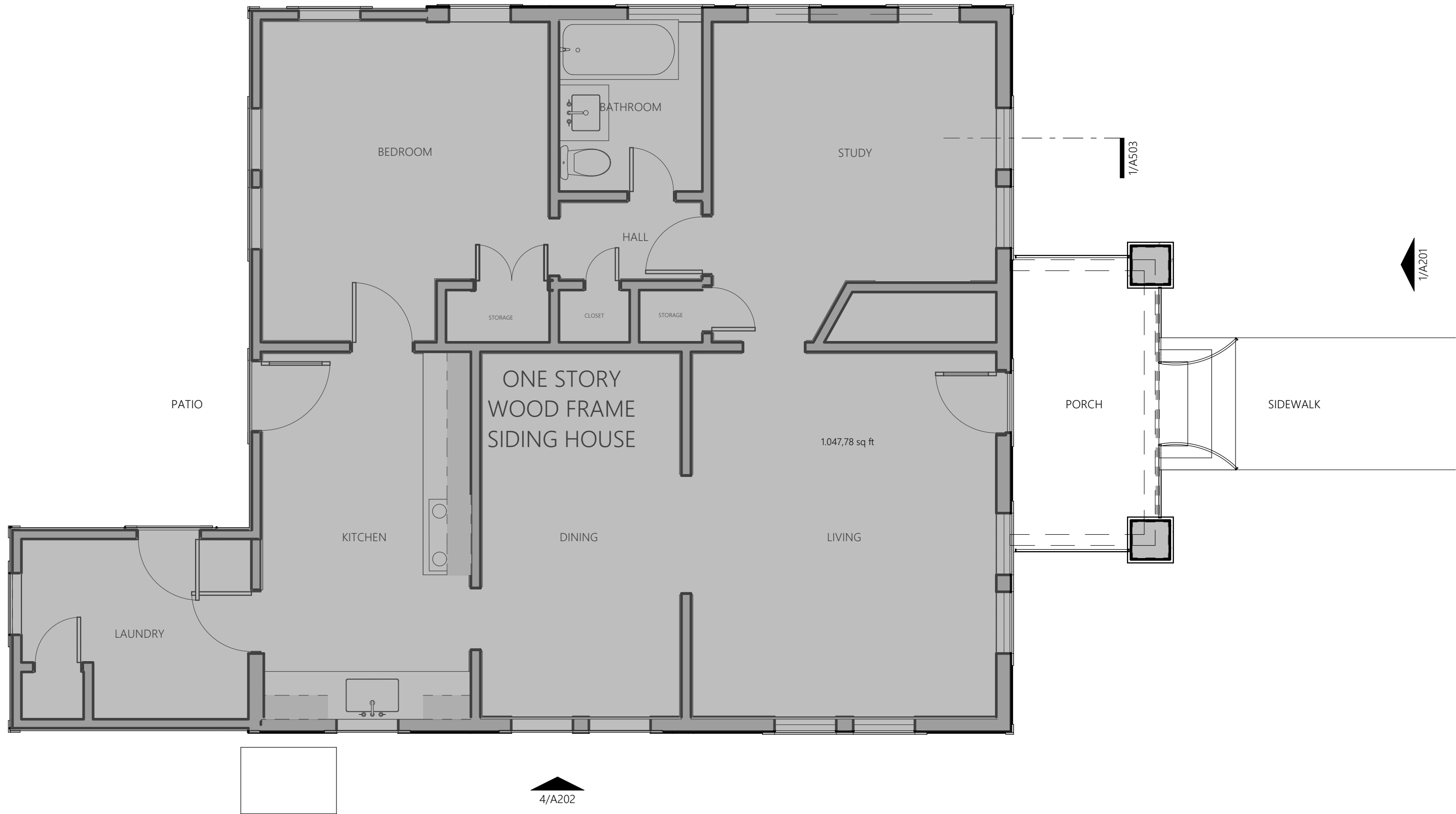
**A100**  
 EXISTING SITE PLAN

EXISTING SITE PLAN  
 SCALE: 3/16" = 1'-0"



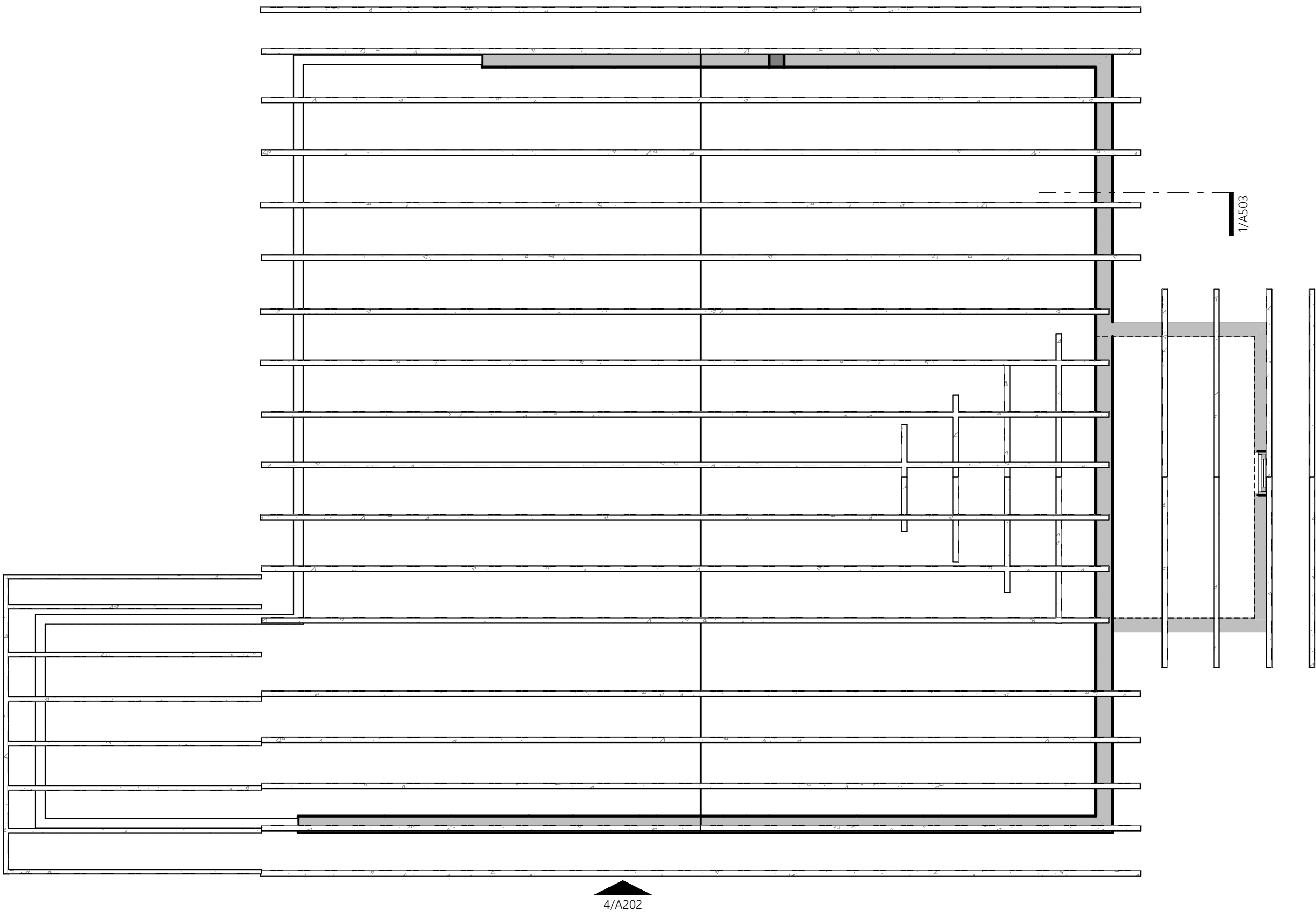
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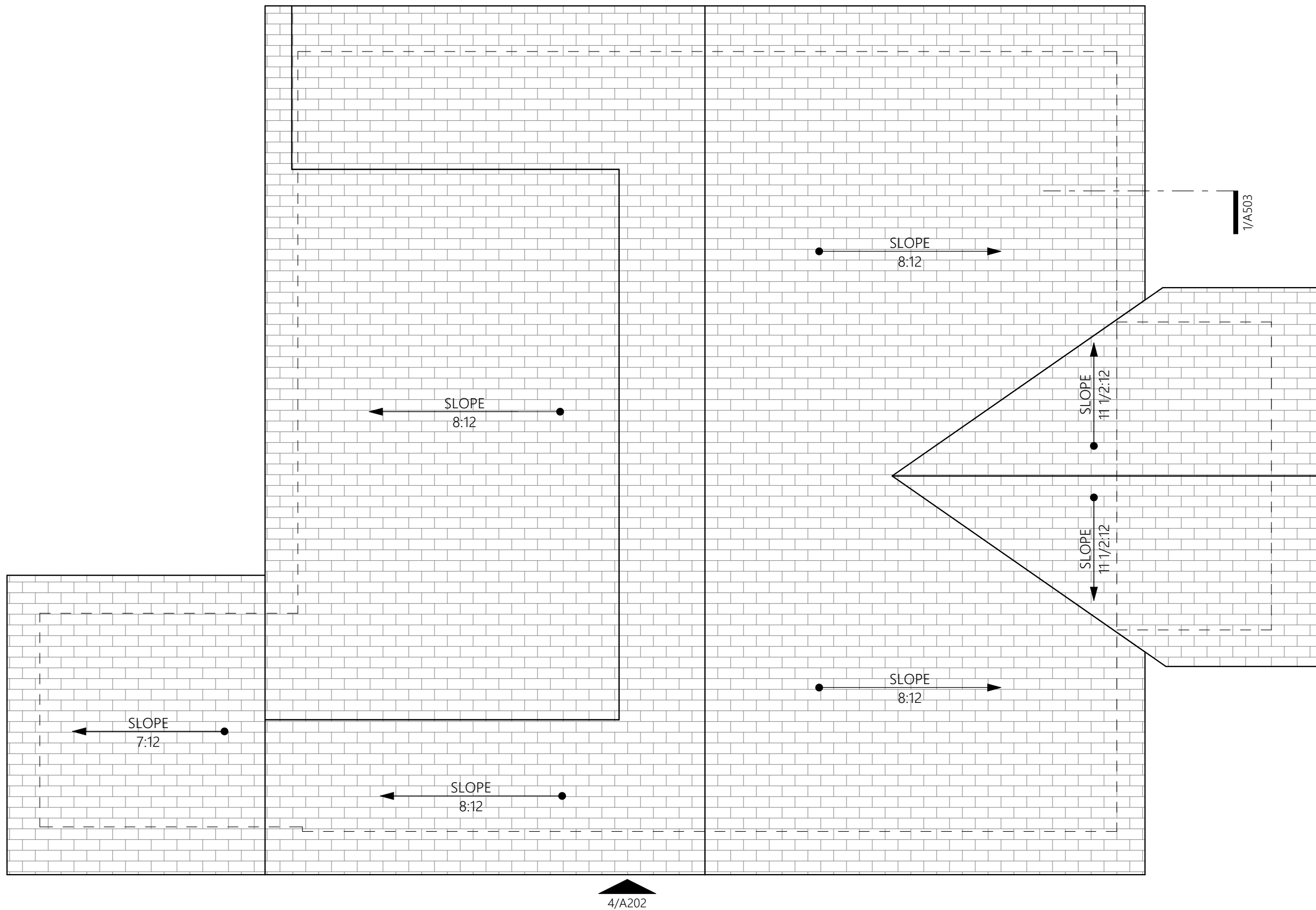
A1 FLOOR PLAN : FIRST LEVEL

SCALE: 1/4" = 1'-0"



A1 FLOOR PLAN : SECOND LEVEL

SCALE: 1/4" = 1'-0"



FLOOR PLAN : ROOF

SCALE: 1/4" = 1'-0"



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A101  
FLOOR PLAN :  
EXISTING FIRST LEVEL



BUILDING ELEVATION : EAST

SCALE: 1/4" = 1'-0"

1



BUILDING ELEVATION : NORTH

SCALE: 1/4" = 1'-0"

1

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A201  
BUILDING  
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BUILDING ELEVATION : WEST  
SCALE: 1/4" = 1'-0"

3



BUILDING ELEVATION : SOUTH  
SCALE: 1/4" = 1'-0"

4

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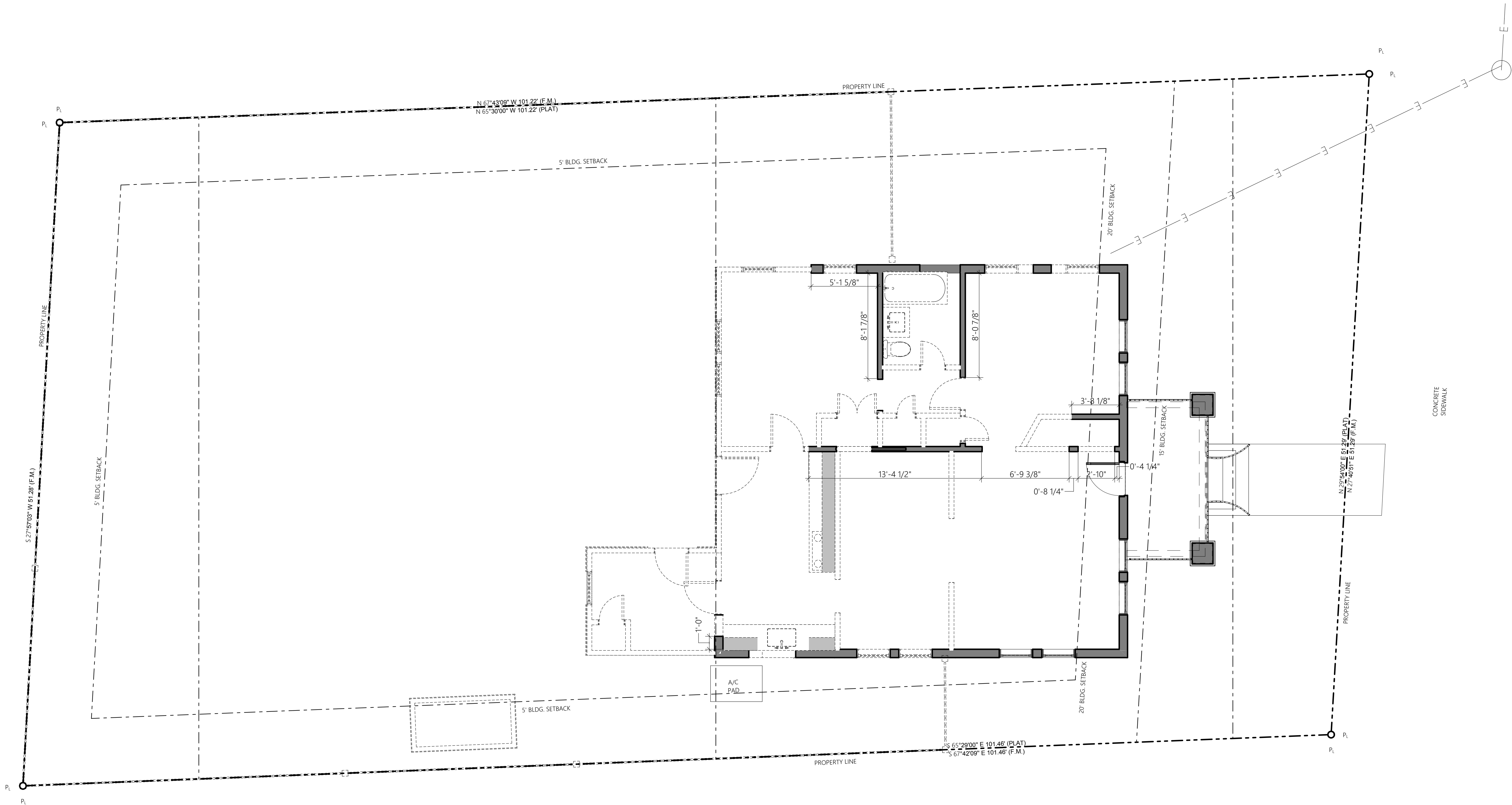
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A202  
BUILDING  
ELEVATIONS E-W





DEMOLITION FLOOR PLAN : FIRST LEVEL  
SCALE: 1/4" = 1'-0"



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A102  
DEMOLITION FLOOR  
PLAN : FIRST LEVEL

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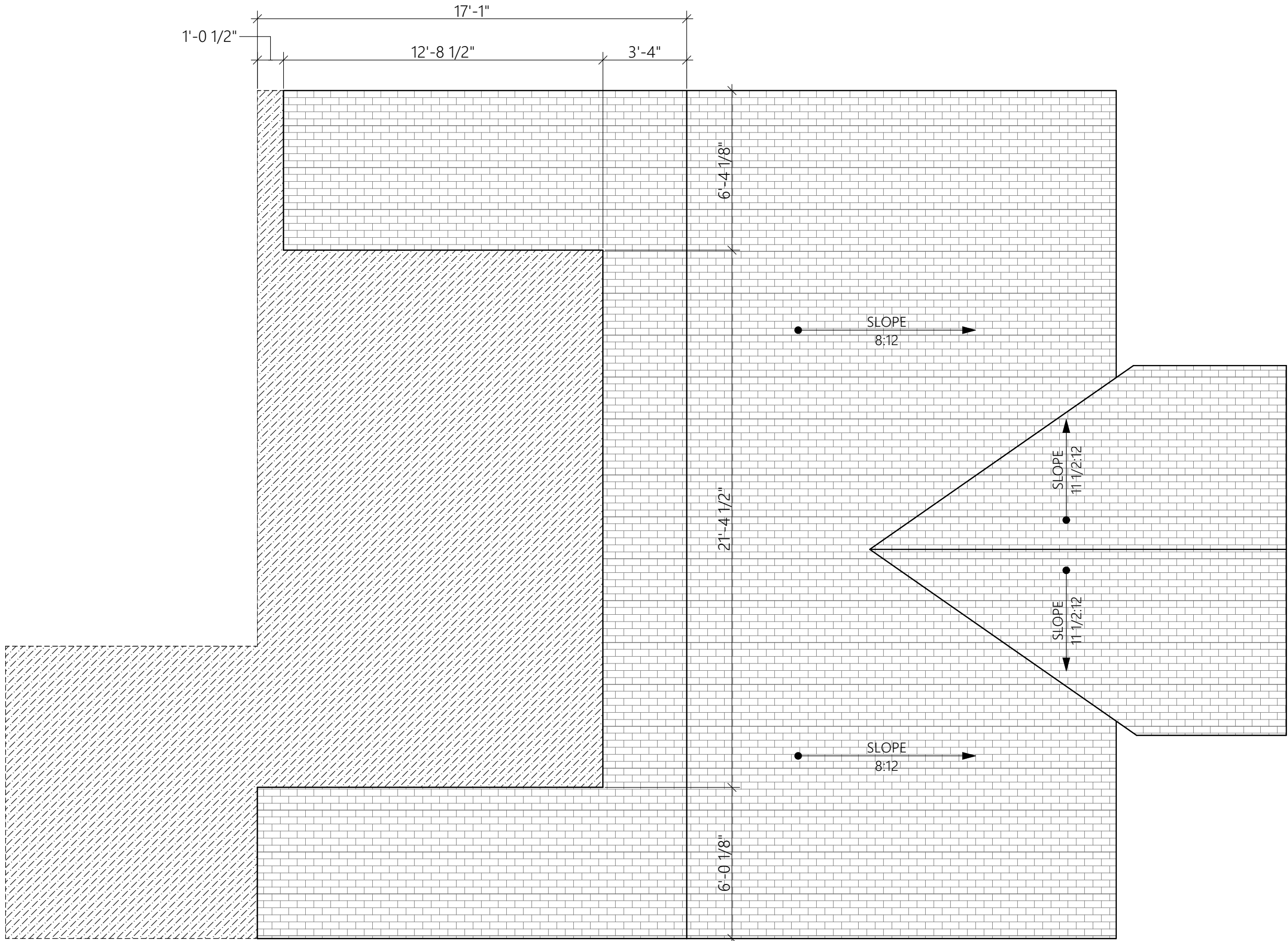
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A103

DEMOLITION FLOOR  
PLAN : ROOF



DEMOLITION FLOOR PLAN : ROOF

SCALE: 1/4" = 1'-0"



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# A 100

## SITE PLAN



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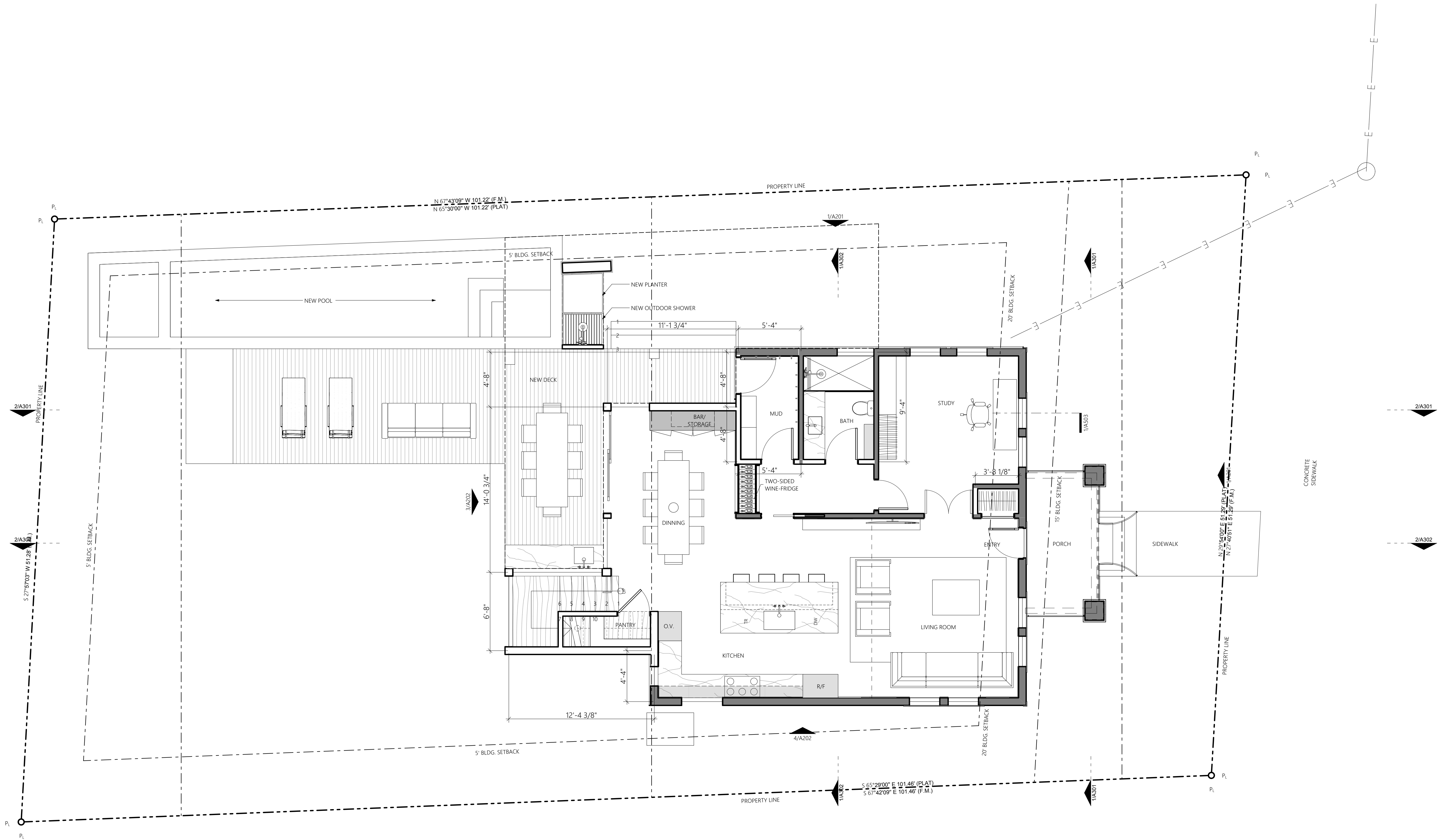
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A101  
FLOOR PLAN : FIRST  
LEVEL



AREA FIRST LEVEL: 1,083 SQFT  
AREA SECOND LEVEL: 739 SQFT  
AREA THIRD LEVEL: 477 SQFT  
AREA TOTAL: 2,299 SQFT

FLOOR PLAN : FIRST LEVEL  
SCALE: 1/4" = 1'-0"



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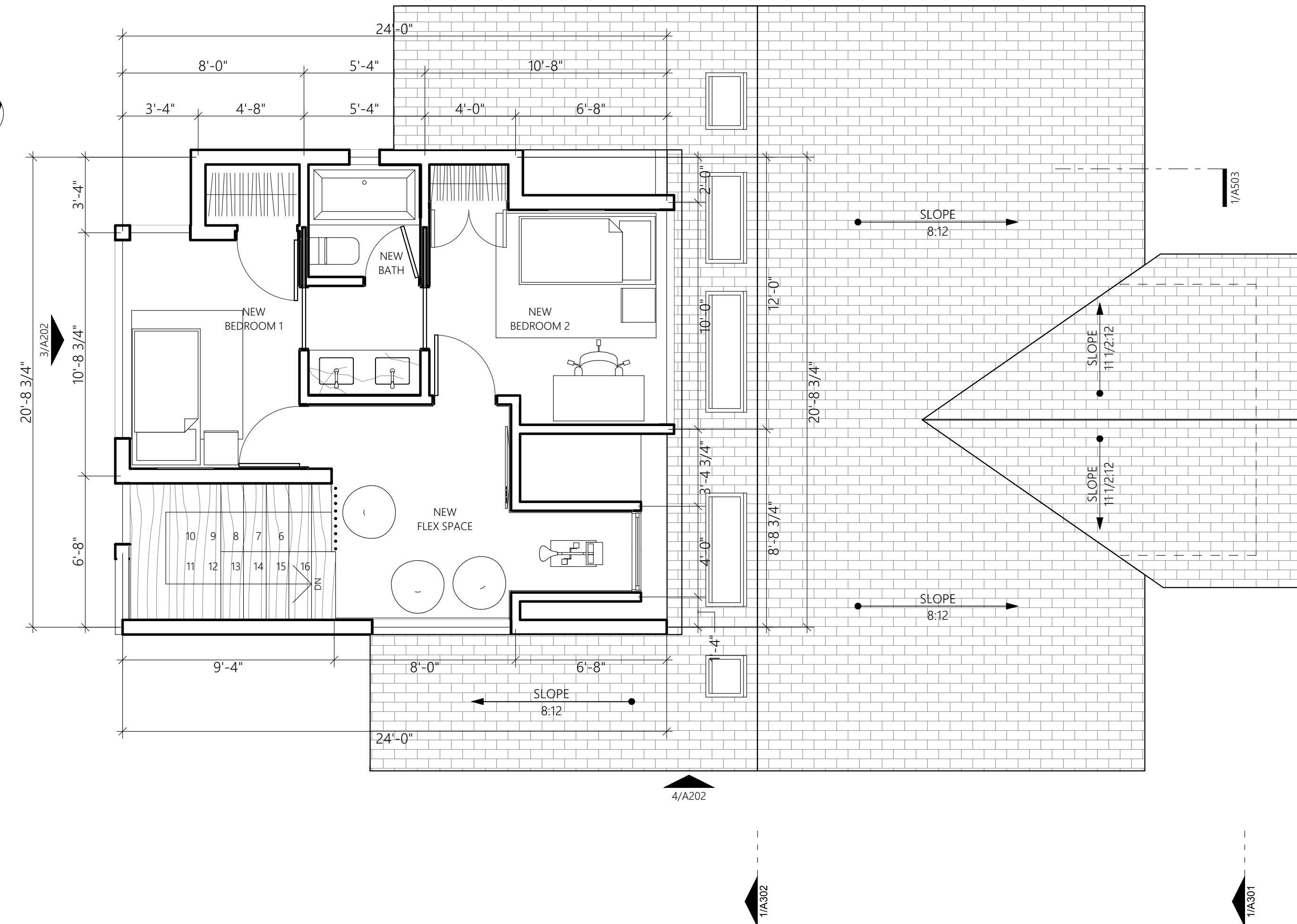
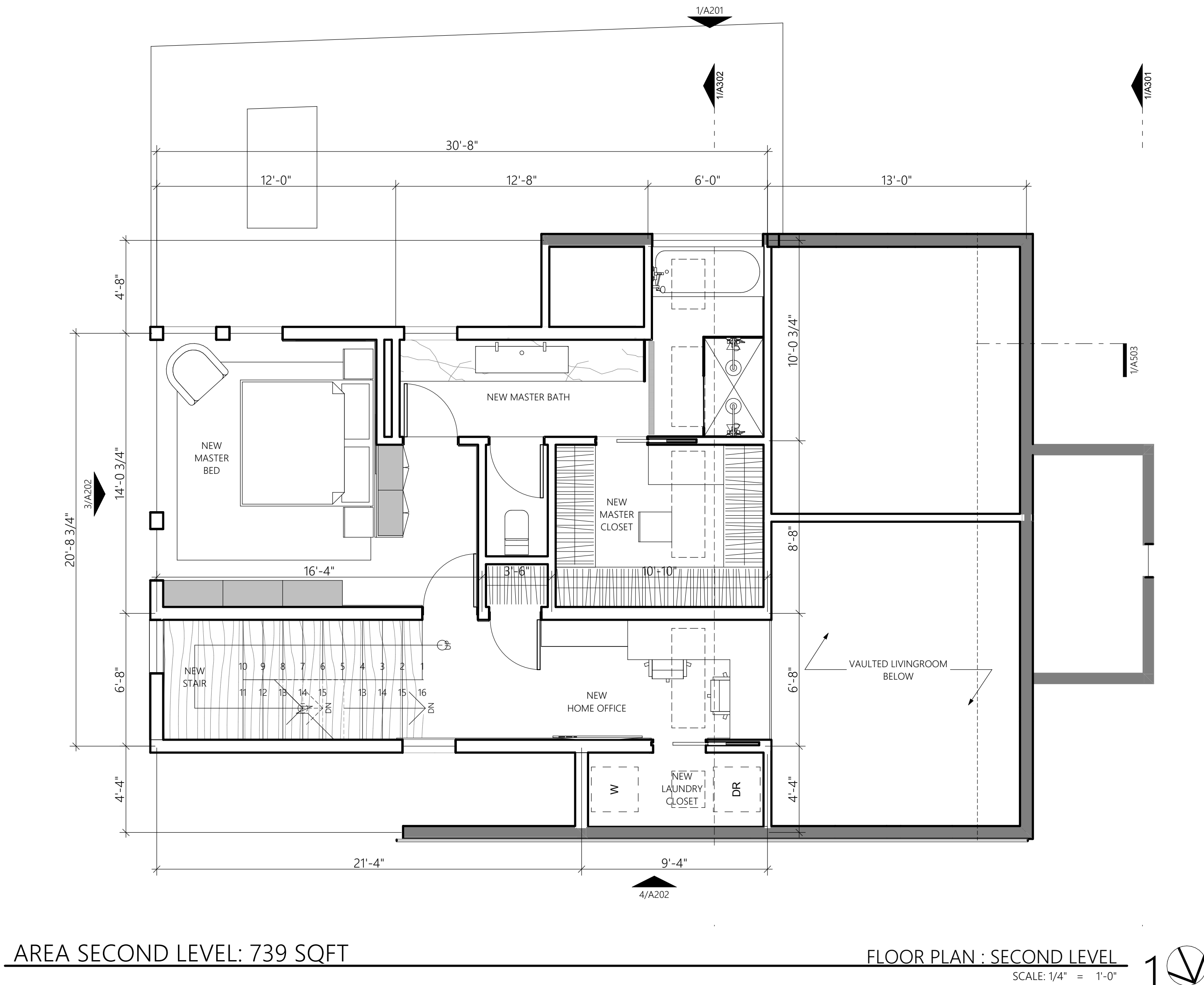
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A102

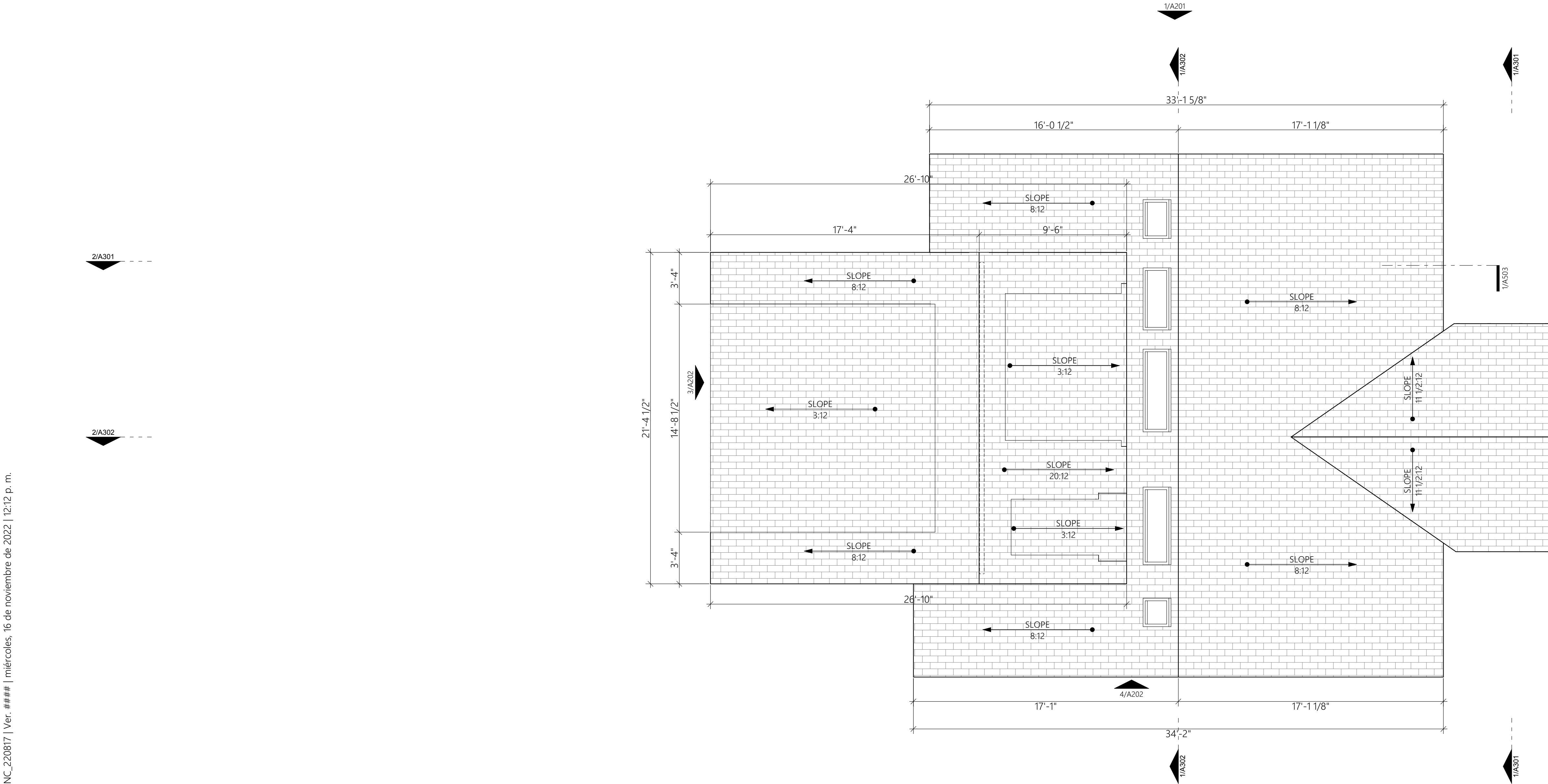
FLOOR PLAN SECOND  
AND THIRD LEVEL



AREA THIRD LEVEL: 477 SQFT

FLOOR PLAN : THIRD LEVEL

SCALE: 1/4" = 1'-0"



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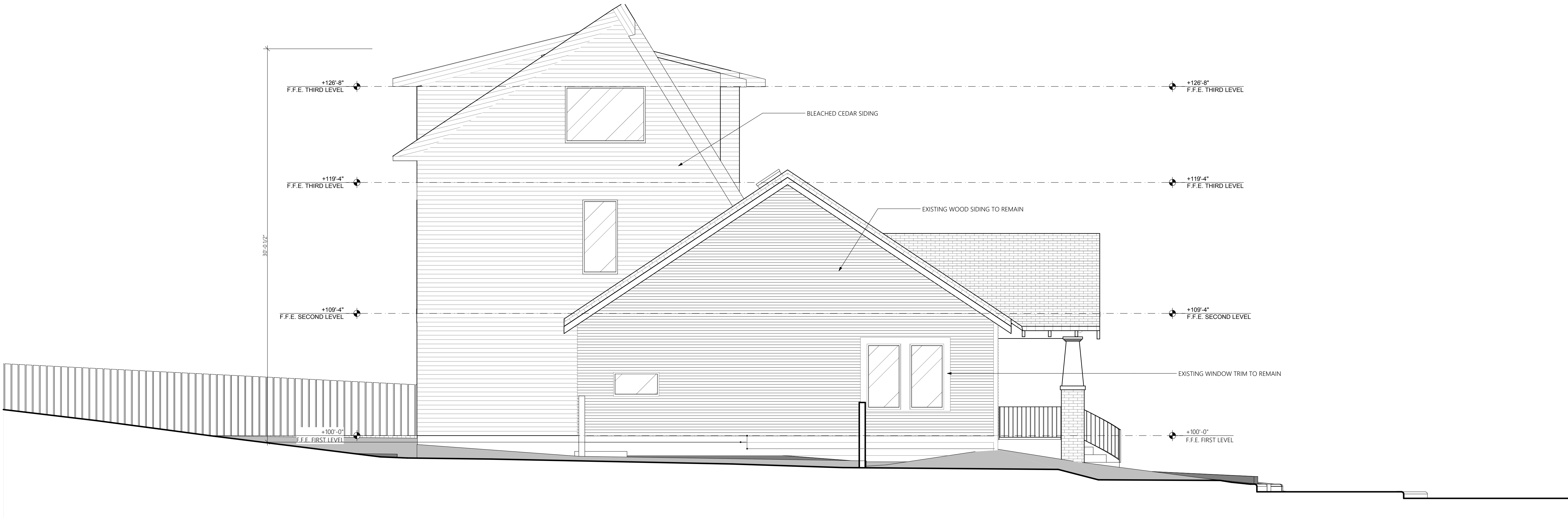
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BUILDING ELEVATION : NORTH

SCALE: 1/4" = 1'-0"

1



BUILDING ELEVATION : SOUTH

SCALE: 1/4" = 1'-0"

2

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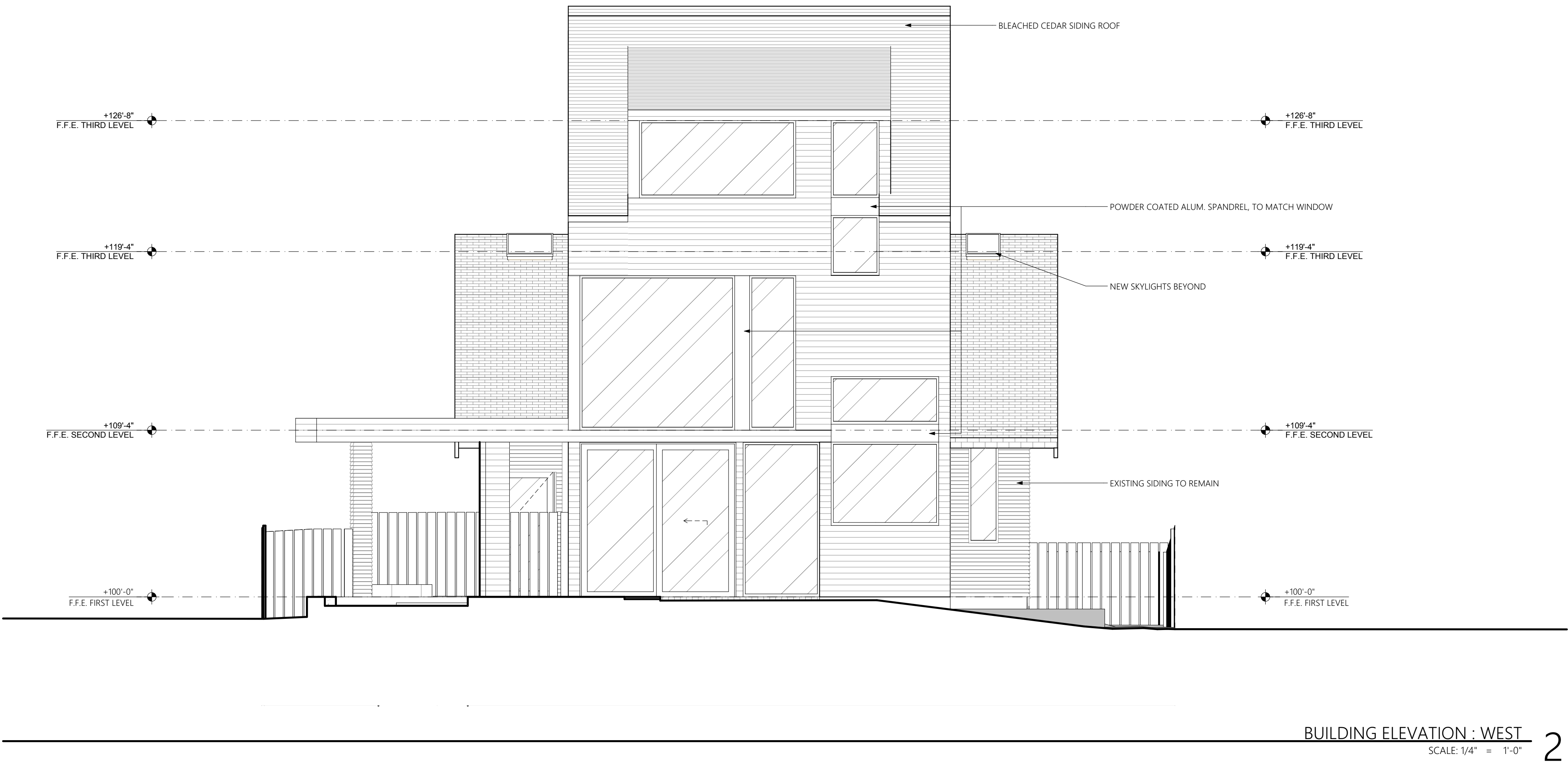
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