

GENERAL NOTES:

These drawings are for information only, they shall not be scaled from.

All dimensions shall be checked on site.

Any discrepancies in the drawings shall be brought to the attention of the designer.

Any variations from these drawings shall be approved by the designer.

WALL LEGEND:

Existing wall: _____
Proposed wall: _____

LEGAL DESCRIPTION:

W 75ft Lot 12-16 Blk 16 Hyde Park Addn No 1,
City of Austin, County of Travis

TREES:

T1	Pecan	25.5" diameter
T2	Pecan	23" diameter

PROPOSED IMPERVIOUS COVER:

Lot Area: 9,375t2
Max Allowable Building Coverage @ 40%:
3,750ft2
Max Allowable Total Impervious Coverage @
45%: 4,218ft2

Building Coverage:
House: 1,591ft2
Covered Porch: 152ft2
Cottage: 605ft2
Cottage Porch: 112ft2

Total Building Coverage: 2,460ft2
26% lot coverage

Impervious Coverage:
Walkway + Steps: 238ft2
Planter: 22ft2
Cottage Planter: 9ft2
Pool Coping: 34ft2

Total Impervious Coverage: 303ft2
3.2% lot coverage

Total Building + Impervious Coverage:
2,763ft2 / 29.5%

FRONTYARD IMPERVIOUS COVER:

Front Yard Area: 1,875ft2
Max Allowable Coverage @ 40%: 750ft2

Impervious Coverage:
Front Porch: 152ft2
Walkway + Steps: 158ft2
House: 33ft2

Total Impervious Coverage: 343ft2
18.3% front yard coverage

TREE LEGEND:

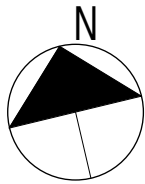
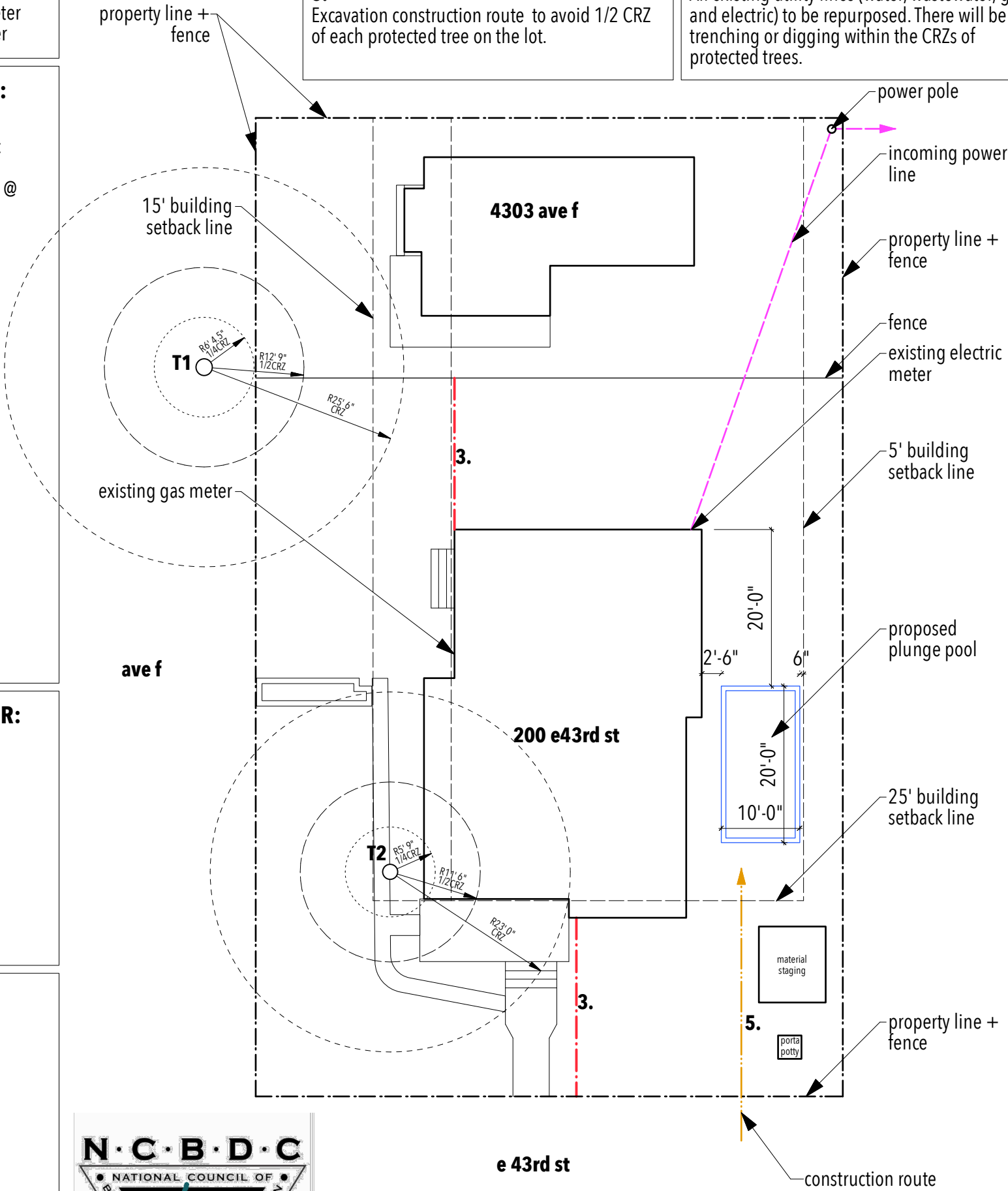
- Tree trunk
- Critical Root Zone
- 1/2 Critical Root Zone
- 1/4 Critical Root Zone
- Protective fencing
- Protective mulch

SITE NOTES:

All work to conform to the City of Austin standards for tree preservation.

1. No cut & fill greater than 4" within the 1/2 CRZ of any protected tree.
2. A minimum of 50% of the CRZ of a protected tree will be preserved at natural grade, with natural ground cover.
3. All protected trees within the construction area to be protected by minimum 5' high chain link fencing around the CRZ. Any area of the CRZ that is not fenced to allow for reasonable working space will be covered with 8" layer of mulch to City of Austin standards.
4. There will be no impact to the existing tree canopies by the construction. No pruning will be required.
5. Excavation construction route to avoid 1/2 CRZ of each protected tree on the lot.

6. Erosion control barriers to be installed prior to commencement of construction
7. Builder to resculpture topo/finished grade to provide proper drainage of surface water away from building as required
8. All construction materials and waste to be stored on site during construction
9. Contractor shall clean up areas affected by daily work and remove debris and materials from the site upon completion of the work
10. Utility line locations are approximates, General Contractor to field verify for exact locations
11. Verify meter and utility service locations prior to installation
12. All existing utility lines (water, wastewater, gas and electric) to be repurposed. There will be no trenching or digging within the CRZs of protected trees.



Edward
Road
Design

www.edwardroaddesign.com

Project	200 E 43rd St
Drawing	Proposed Site Plan
Scale	1/16" = 1' @ 11 x 17
Date	October 03, 2022
Drawing No.	010
Revision	

SCALE:

