



# WOODLAWN PRESERVATION PROJECT



Woodlawn is one of the finest examples of Greek Revival architecture in Texas. Our goal is to honor the tradition of master builder Abner Cook and bring new life to the craftsmanship of the original era.

HISTORICAL TIMELINE



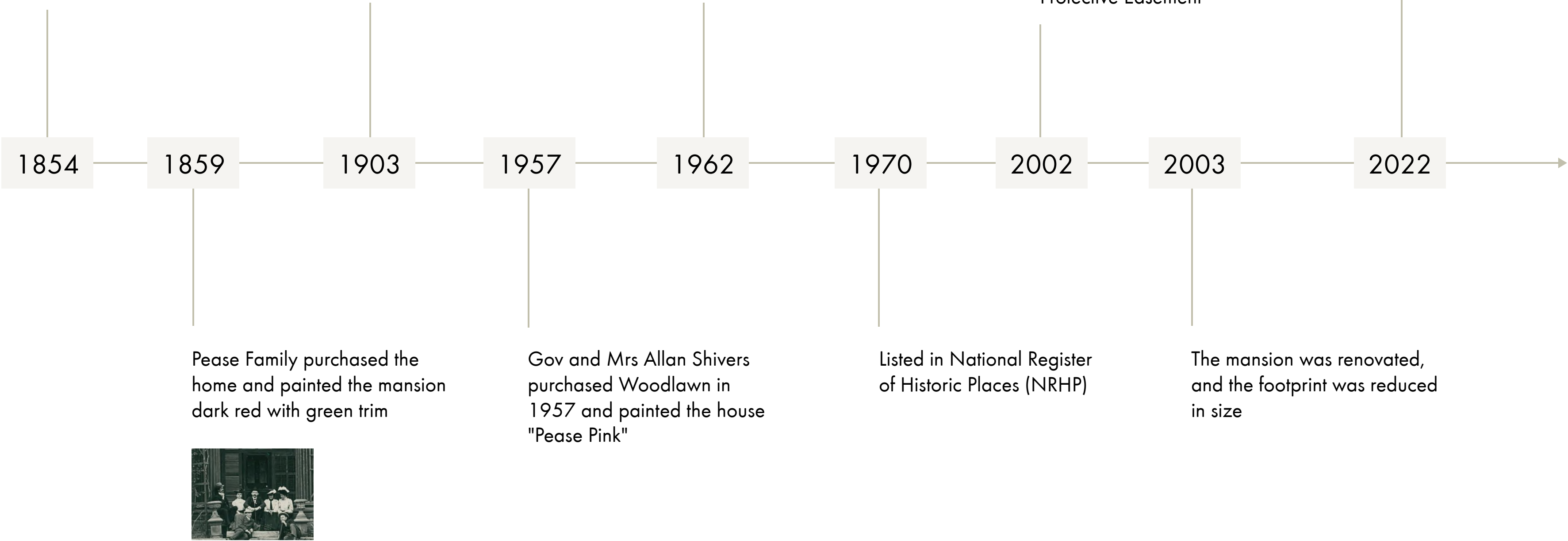
The historic mansion is built by master builder Abner Cook



Recorded Texas Historical Landmark (RTHL)



City of Austin Historic Landmark







We are preserving the legacy of Woodlawn by ensuring its stately, historic character prevails as it has since 1854.

### RESTORE

- Renew original 1854 and remaining 1903 portions of the home.
- Perform all necessary structural stabilization and exterior maintenance.
- Restore and refinish original 1854 front door and surround.

### HONOR

- Retain panoramic public views of historic house by placing outbuildings along western boundary.
- Perform repairs using traditional methods of woodworking, masonry, and metal work.

### REVITALIZE

- Reinstall missing historic features, such as windows, shutters and scuppers
- Upgrade all building systems and provide new secondary structures to support modern day living.

### PRESERVE

- Protect heritage trees & lawns of the property.
- Design additions & outbuildings to sit in deference to historic house and relate to historic proportions and details.



# Preservation Approach

Over the past year, our team has worked closely with the Texas Historical Commission to define the preservation approach and methods which ensure that the proposed work – including the additions and outbuildings – is in compliance with the Secretary of Interior's Standards.

As of this submittal, THC has approved our general design direction and will continue to monitor the project throughout design and construction.



THE HOME HAS BEEN RENOVATED AT LEAST 5 TIMES OVER THE LAST 168 YEARS



Earliest known photography circa 1885. View of one story addition to the west of the primary two-story 1854 home.



In 1874, significant interior renovations were made. South elevation view of west addition.



1903 renovations: Additions constructed to the north, west and south facades of the 1854 house.



1903 renovation: North addition, shown here, remains intact today.



1957 renovation: Gov and Mrs Allan Shivers purchased Woodlawn and painted the house "Pease Pink".



1957 renovation: The south addition remained but the original 1854 south balcony had been removed. It was restored during the 2003 renovation.



In 1957, the west addition was renovated and expanded, including a smaller support building added with a pool.



In 2003, the historic house was renovated once again and the footprint was reduced, similar to its 1854 size.



## OUR APPROACH

"Where replacement of historic features is required, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence."

— *The Secretary of Interior's Standards for the Treatment of Historic Properties*, 1995

- Based on extensive research and forensic evidence, we have gained a deep understanding of the craftsmanship of the original house.
- We are assembling the right team of carpenters, masons, and metal workers who carry forth the methods of traditional craftsmanship.
- The original 1854 footprint will remain intact along with the remaining portion of the 1903 addition. The exterior is in overall good condition and will be restored along with re-introduction of the original wood shutters and scuppers.

1957 Library addition to west of rear stair hall

1957 Renovation of north parlor, north elevation view

1957 Renovation of main stair with remodeled 1903 balustrade



# WOODWORK



- Restore & refinish original 1854 front door and surround.



- Re-instate missing shutters, as per historic photo.
- Match shutter design and construct with long leaf pine, accoya, or equal.



- Restore wood porch detailing and expose brick piers below columns, per historic photo.



- East porch — remove rotten framing & decking.
- Remove fiberglass coating at column base plinth and repair limestone base.
- Repair rotten wood at columns.



- Replace rotten wood and plywood at entablature.
- Remove existing gutters and downspout. Restore original scuppers and provide new built-in gutters.



- Many original windows remain and will be repaired.
- Window replacement, when required, will be custom-fabricated long leaf pine, single glazed windows, profiles to match detailing of original windows.



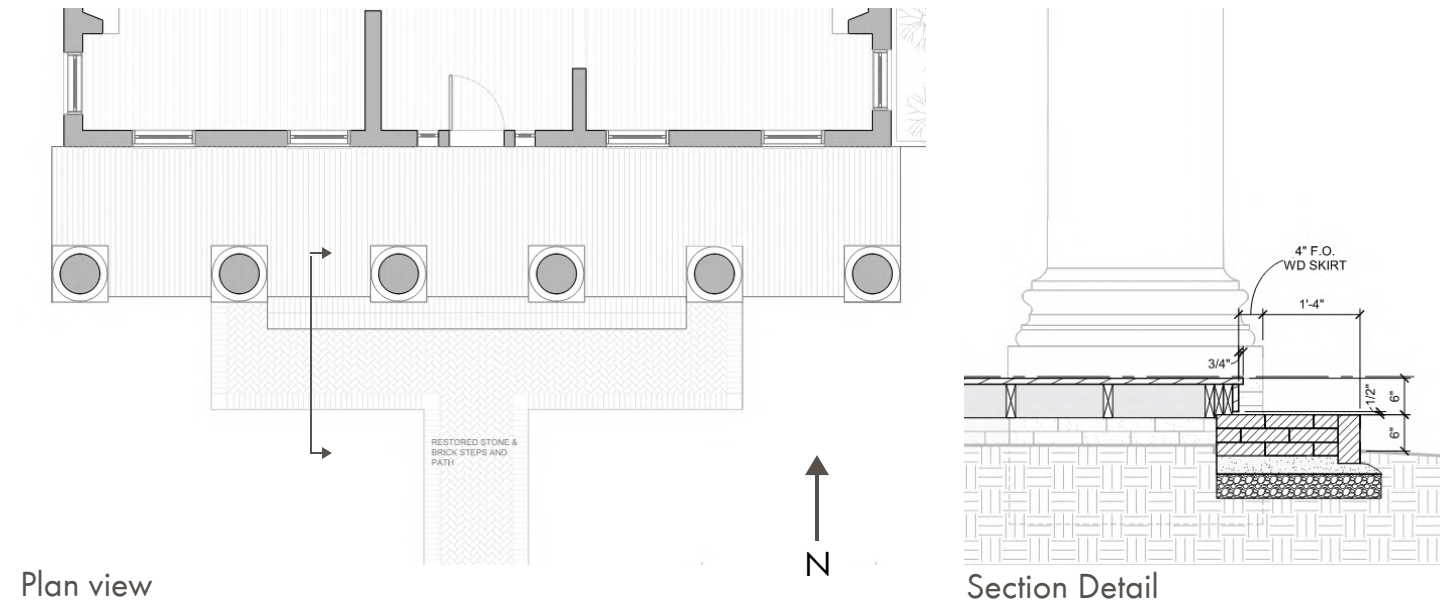
- Remove non-original trim above original door head trim.
- Replace rotten wood at balcony.
- Restore existing pendant lanterns at front porch.



- South porch — remove brick steps surrounding porch now trapping water.
- Remove paint from column base and repair limestone base.
- New wood decking, long leaf pine, accoya, or equal.



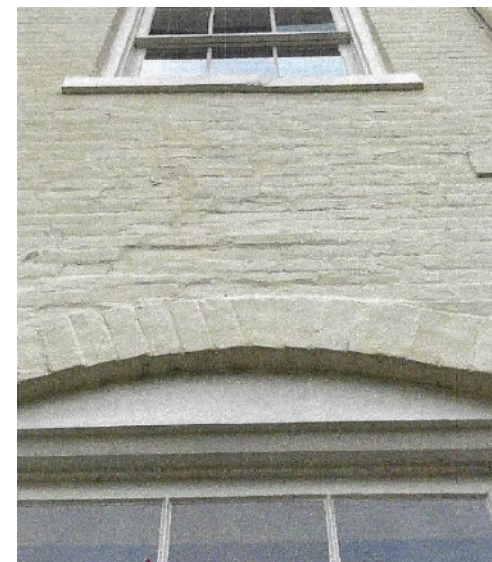
# MASONRY



- Proposed rehabilitation of east porch – re-instate herringbone pattern at front walk per historic photos.
- South porch to be restored similar to east porch.



- Clean and restore concrete eagles atop limestone posts at re-instated service drive on Niles Road.



- Repair damaged, settling brick.
- Stabilize and repoint as needed.



- Existing load bearing brick walls sit on continuous footing of limestone blocks, 18"-24" below grade.
- Stabilize and waterproof existing foundation.



- Stabilize existing brick and decomposed granite driveway with stone edging and low curb.



- Repair broken limestone sills. Patch when possible.
- Window sill replacement, where necessary, to be replaced with limestone or brick with matching design, texture and finish..



- Paint peeling at damp areas (note visible limestone footing).
- Repair and repaint damaged brick exterior.



## METALWORK



- Clean and restore limestone pillars, low walls and Woodlawn plaque at main vehicular gate at southeast corner.
- Re-instate use of southwest service drive (closed in 2003).



- Re-use historic star and x-bracing at existing main pedestrian gate in proposed new gate at Pease Road.



- Restore decorative lanterns installed by Shivers in 1957.



- Re-install scuppers per historic photo.
- Design built-in gutter at edge of roof.



- Restore hitching posts (2) in front lawn, north of house.



- Restore lamp posts (2) at front lawn.



# Site Plan, Elevations, and Additions



# SITE PLAN – PROPOSED

## Significant Natural Features to be Retained & Restored

- All existing heritage and protected trees, a total of 50 are to remain.
- Main lawns will remain to endure panoramic public views of historic house, as protected by 2002 THC Easement.
- Landscaping will be taller and more dense around pool and outbuildings for screening.

## Proposed New Features

### ADDITIONS

#### West

- Placed behind and inset from historic house.
- Smaller in footprint, massing and height.

#### North

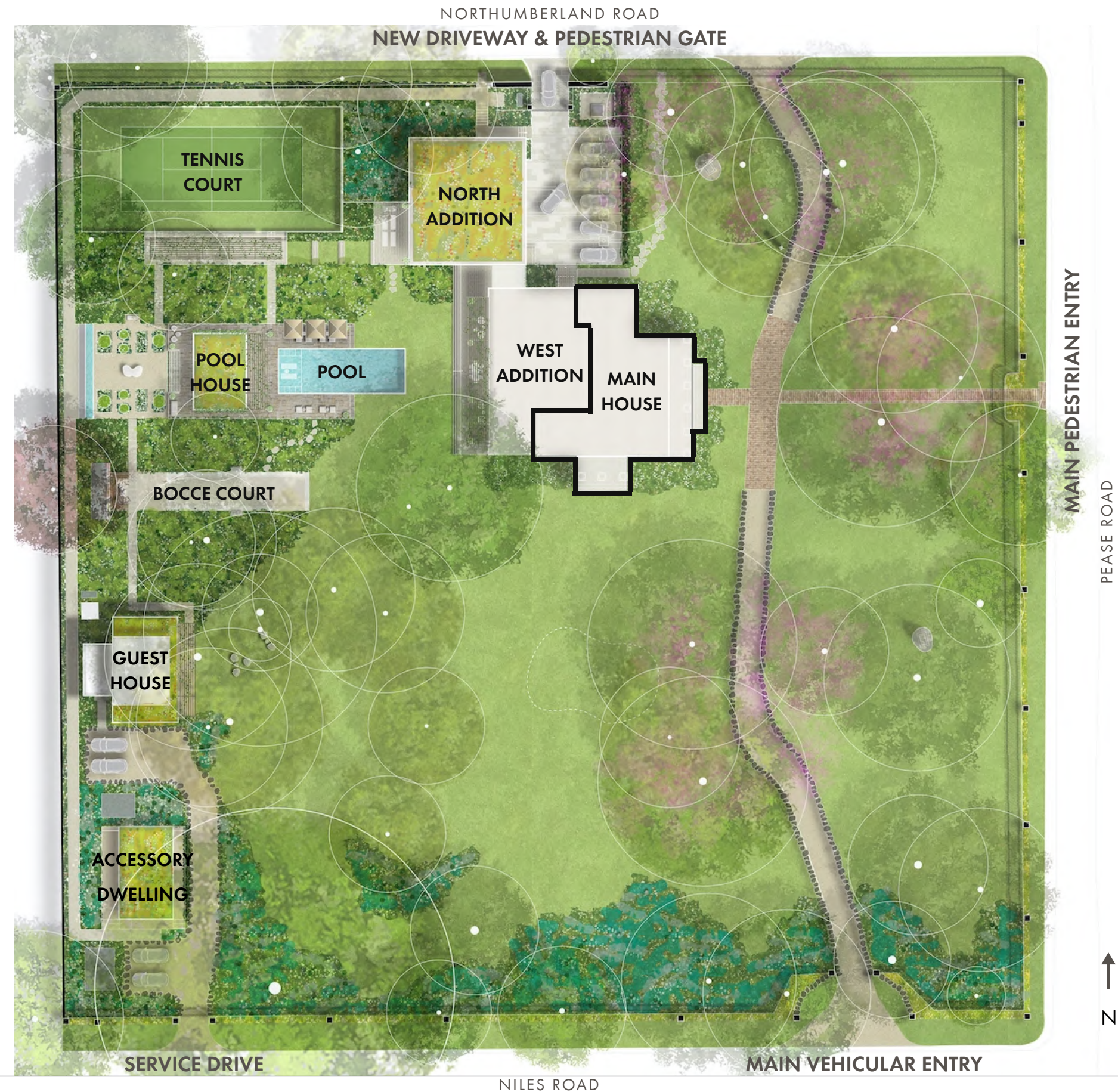
- Placed behind the historic house and connects to the west addition with the glass connector.
- Smaller in footprint, massing and height.

### OUTBUILDINGS

- Pool House, Guest House & Accessory Dwelling placed at the western edge of the site.
- Low profile structures with smaller footprints.
- Locations determined by protected and heritage trees.

### OTHER SITE ELEMENTS

- New vehicular drive off Northumberland to motor court.
- Tennis court with trellis.
- New pool and bocce court.
- Service drive re-instated at southwest corner.





## PRIMARY EXTERIOR ELEVATION – EAST



### The Grand Front Elevation is Preserved in All it's Glory

- Original front door is restored to 1854 design, per physical evidence and historic photos.
- Restoration of front porch and brick step and underpinning per historic photos.
- Balcony framing stabilized; original 1854 railing refurbished.
- Existing pendant lanterns to remain.
- Columns and all exterior wood repaired or replaced, when necessary, to match.
- East façade of north addition partially visible above 8' tall landscape screening hedge.

\*THIS IS A PROTECTED ELEVATION





## EXTERIOR ELEVATION – SOUTH



- The most publicly visible new addition is seen here to the west of the historic house. It is subordinate in size with the roof line below the historic roof.
- New one- and two-story stepped west addition, set back 12" from historic south façade and set at bottom of entablature of historic house.
- Compatible, contemporary, elongated white brick will be used at the additions.
- Thin profile metal windows painted white will be used at additions.
- At historic house, restoration of south porch and brick step and underpinning per historic photos.
- Balcony framing stabilized; rebuild 2003 balustrade to match original east balcony.
- Remove 2003 west addition.

\*THIS IS A PROTECTED ELEVATION





## EXTERIOR ELEVATION – WEST



- The west addition is a respectful, compatible addition that compliments, but does not dominate the historic house.
- Extreme care required at removal of 2003 west addition. The existing 1854 brick wall to remain was blended into the 2003 addition by extending the historic west wall plane.



## EXTERIOR ELEVATION – NORTH



- Proposed revision at north 1903 addition: Enlarge first floor west window – currently a vent but originally a 2/2 double hung window. (THC has approved).
- Proposed restoration of 1854 original window at north wall of 1854 house. The existing 1903 window was likely installed during the 1903 remodel.
- North addition garage is one level, set to the rear of historic house.
- Construct new west addition and north addition.
- New driveway to auto court and private entry to the home.





## OUTBUILDINGS



- Placement and scale of the secondary outbuildings are intentionally designed to be subordinate to the historic house and to preserve the public facing views of Woodlawn.
- Significant and historical features are preserved and remain on display for the public.



PERIMETER FENCE & GATES



Existing Main Vehicular Gate



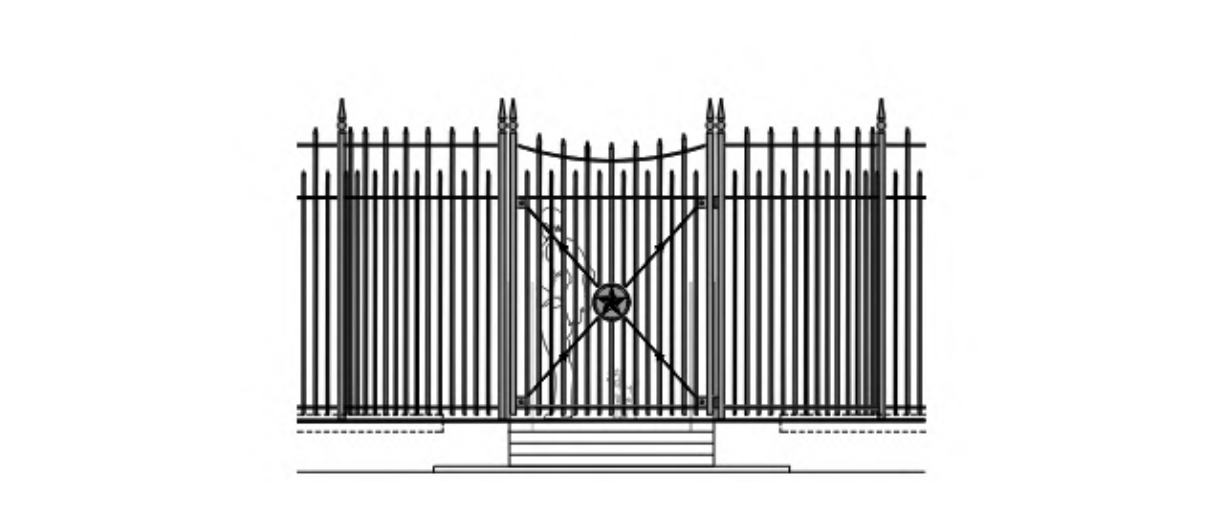
Existing Pedestrian Gate is 5 feet tall



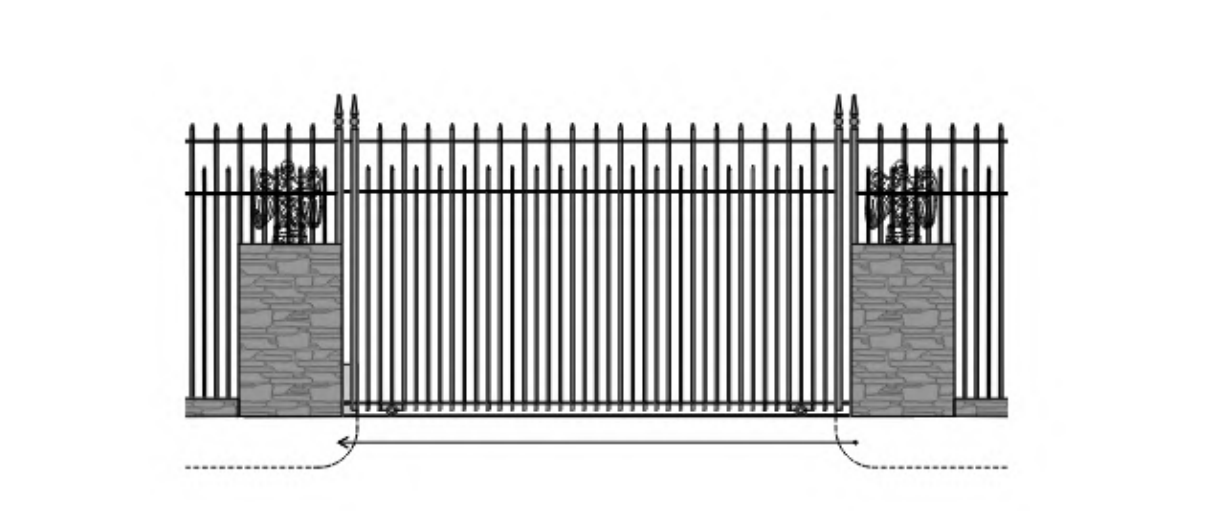
Existing Pedestrian Gate at southwest corner is 5 feet tall



Existing Main Vehicular Gate



Proposed Pedestrian Gate with reclaimed and restored Texas star medallion & crossbows is 8 feet tall



Proposed Vehicular Gate. Re-instate driveway at southwest corner is 8 feet tall

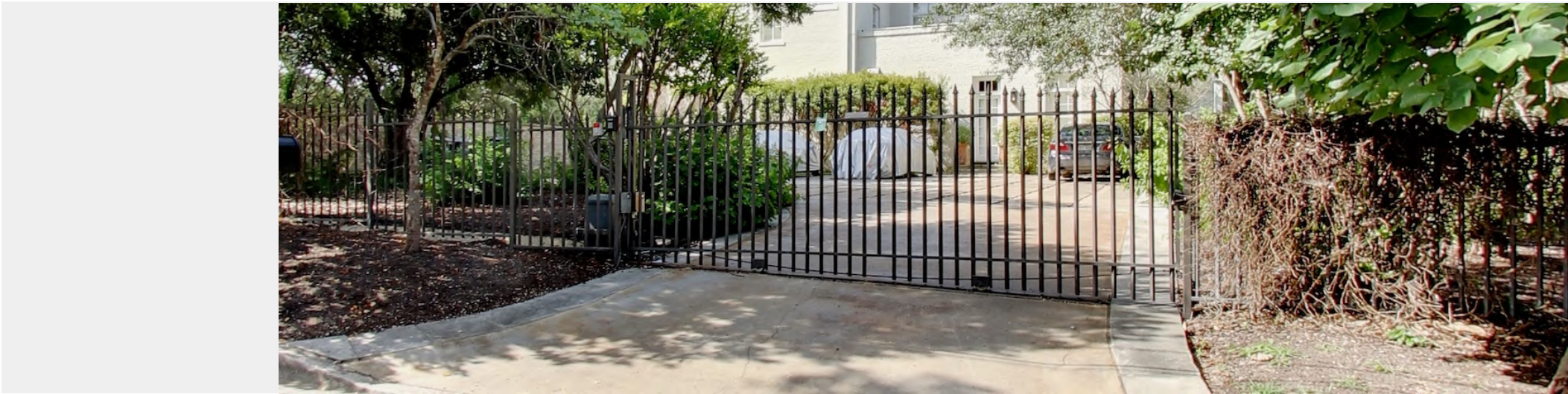




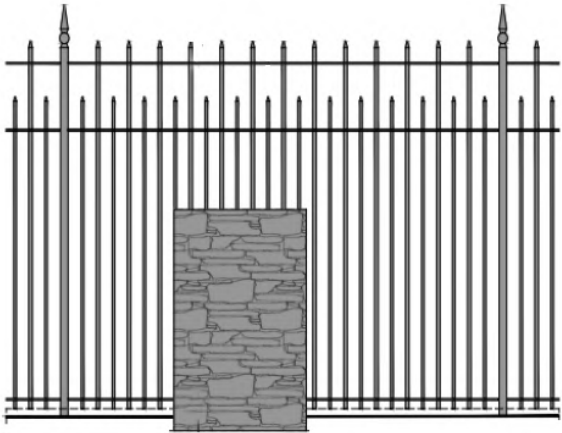
PERIMETER FENCE & GATES



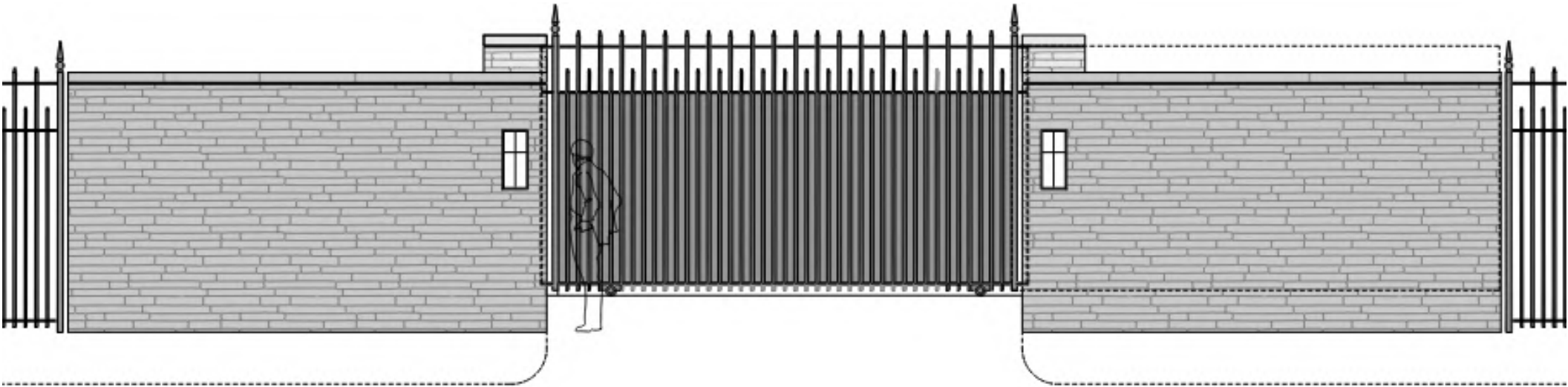
Existing Perimeter Fence is 5 feet tall



Existing North Vehicular Gate is 5 feet tall



Proposed Perimeter Fence is 8 feet tall



Proposed North Vehicular Gate is 8 feet tall





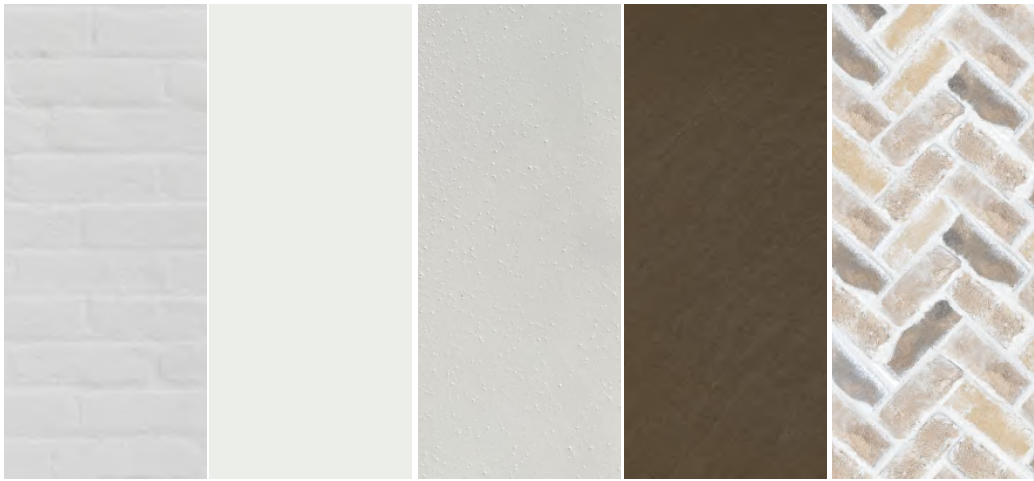
MATERIAL PALETTE



OUTBUILDINGS



ADDITIONS



HISTORIC HOUSE



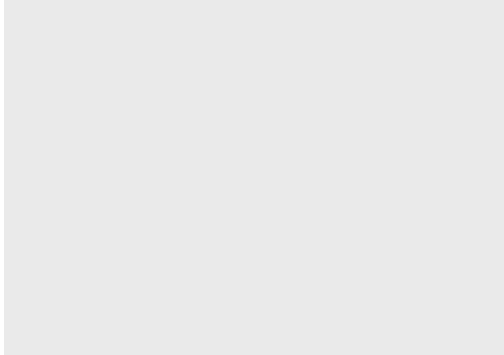
MATERIAL REFERENCES

WALLS



Existing standard size brick – muted white

PAINT



Columns & Entablature

PAINT



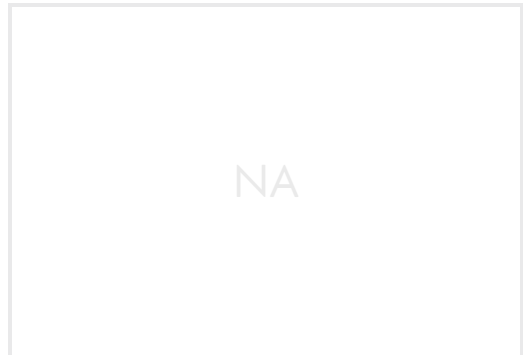
Windows, Trims & Shutters

METAL



Hardware & Accents

WOOD



PAVING MATERIALS

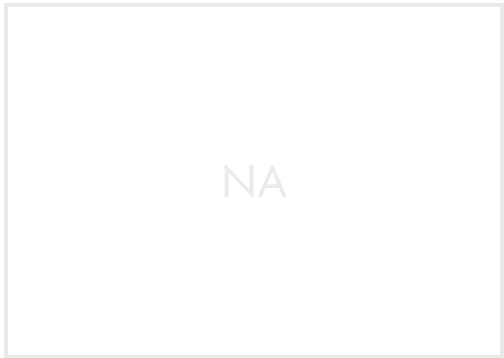


Brick Pathways and Steps

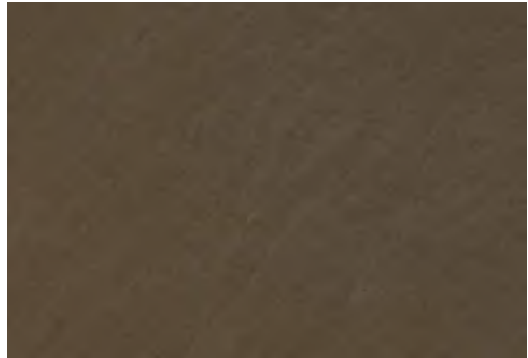
HISTORIC HOUSE



Petersen Brick - K11



Windows, Trim, Guard Rails



Hardware & Accents



Trellis, Porches, Garage Doors

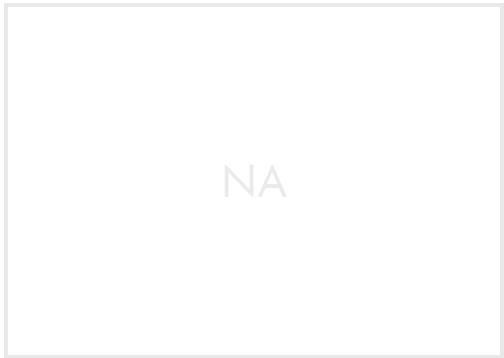


Limestone Terraces

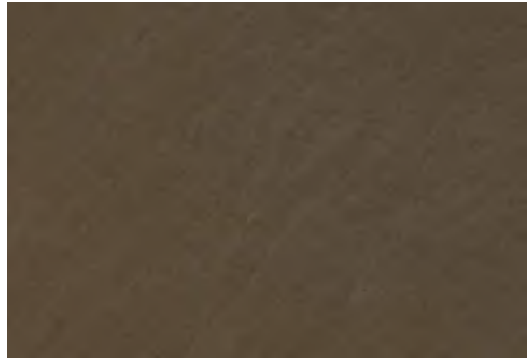
MAIN HOUSE ADDITIONS



Petersen Brick - K91



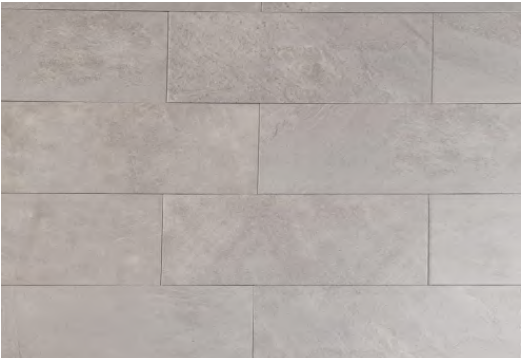
Windows and Trim



Hardware & Accents



Trellis and Porches



Limestone Terraces

OUTBUILDINGS – POOL HOUSE, GUEST HOUSE AND ACCESSORY DWELLING



## CLOSING STATEMENT

We are preserving the legacy of Woodlawn by ensuring its stately, historic character prevails as it has since 1854.



The landscape, lawn and oak trees are character defining features of the property. They are being protected to honor the long history of Woodlawn.