



SANDERS ARCHITECTURE

Addendum #001

Date: December 2, 2022
To: City of Austin Historic Landmark Commission
From: Sanders Architecture, PLLC
Regarding: Window replacement scope

Preface:

The following items are hereby included in the Historic Review Package and are inclusive for this review. Where applicable this information supersedes and supplements the documents dated October 14, 2022.

1. G0.01 – Keynote regarding replacing existing windows and corresponding annotations removed. Keynote regarding restoring stained glass as required and corresponding annotations removed.
2. G2.60 – Elevations of previously proposed replacement windows and corresponding images removed. Details of existing and previously proposed windows removed.
3. A1.01 – Previous replacement window tags removed. Keynote regarding replacing existing windows and corresponding annotations removed. Keynote regarding restoring stained glass as required and corresponding annotations removed.
4. G1.02 – Previous replacement window tags removed. Keynote regarding replacing existing windows and corresponding annotations removed. Keynote regarding restoring stained glass as required and corresponding annotations removed.
5. A3.00 – Previous replacement window tags removed. Keynote regarding replacing existing windows and corresponding annotations removed. Keynote regarding restoring stained glass as required and corresponding annotations removed.
6. A3.01 – Previous replacement window tags removed. Keynote regarding replacing existing windows and corresponding annotations removed. Keynote regarding restoring stained glass as required and corresponding annotations removed.

End of Historic Review Addendum 001

Sooch Residence

706 Oakland Ave.
Austin, TX 78703

Historic Review
October 14, 2022
Add 001 12/2/2022



GENERAL	
G0.01	3D Axonometrics
G1.10	Site Plan
G2.60	Window Types

DEMOLITION	
D1.10	Demo Floor Plan - Ground Floor
D1.11	Demo Floor Plan - First Floor
D1.12	Demo Floor Plan - Second Floor

ARCHITECTURAL	
A1.00	Floor Plan - Ground Floor
A1.01	Floor Plan - First Floor
A1.02	Floor Plan - Second Floor
A1.30	Roof Plan
A3.00	Exterior Elevations
A3.01	Exterior Elevations
A5.00	Existing Photos

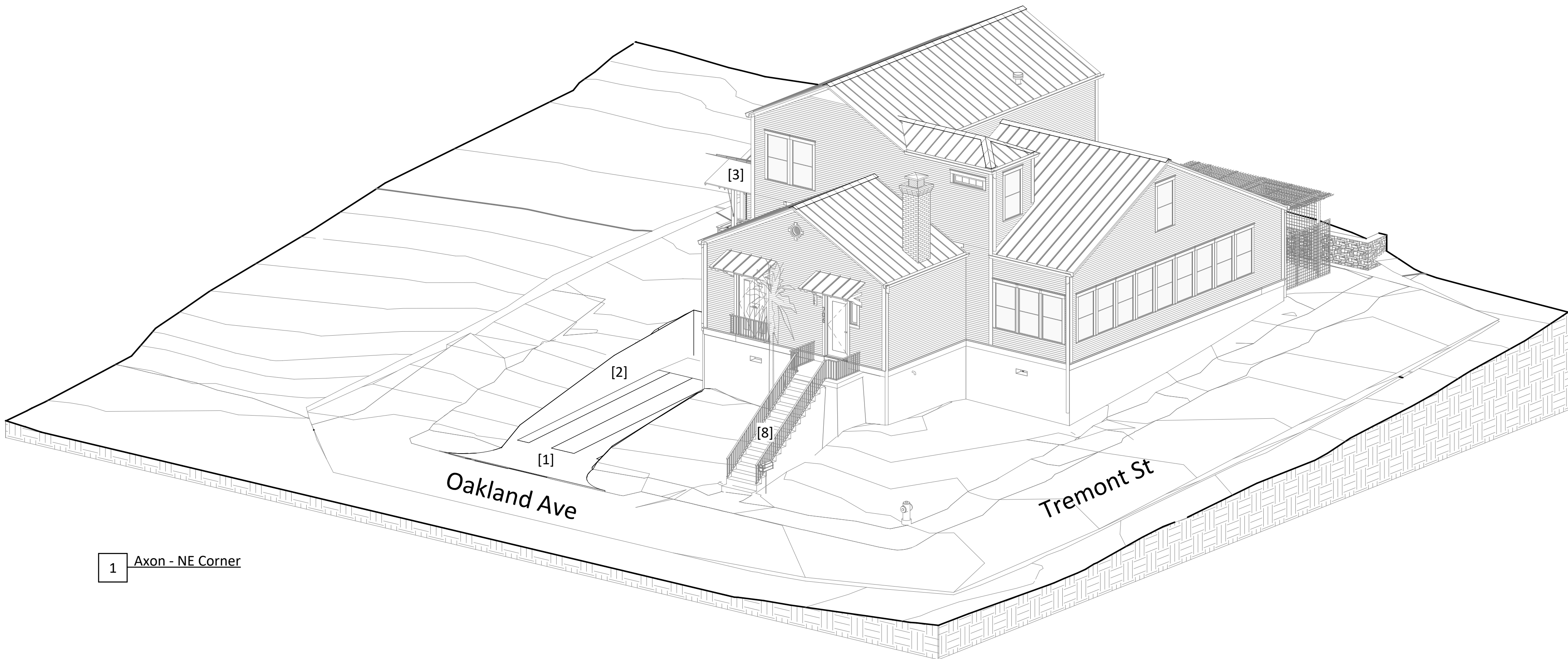
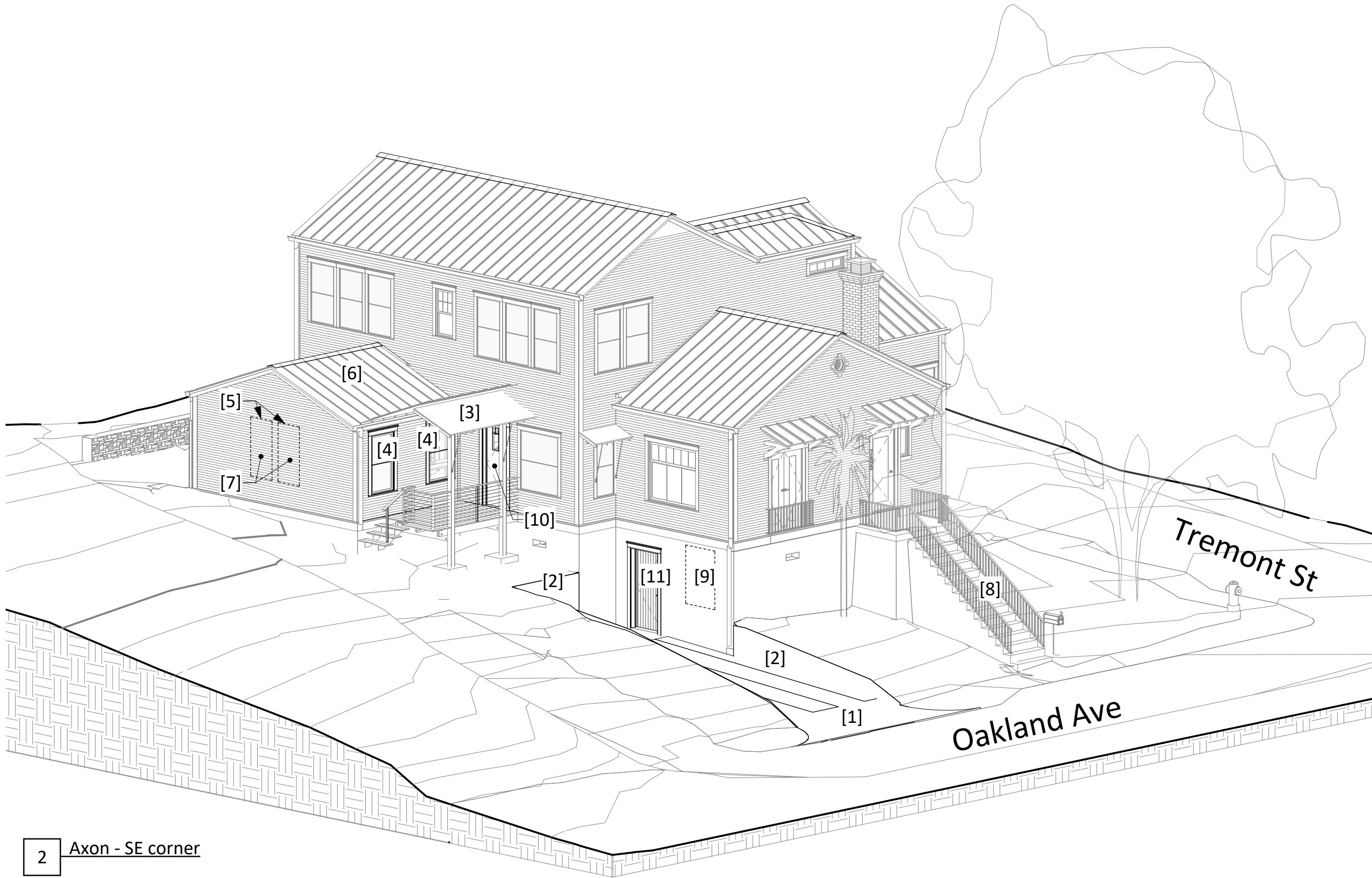
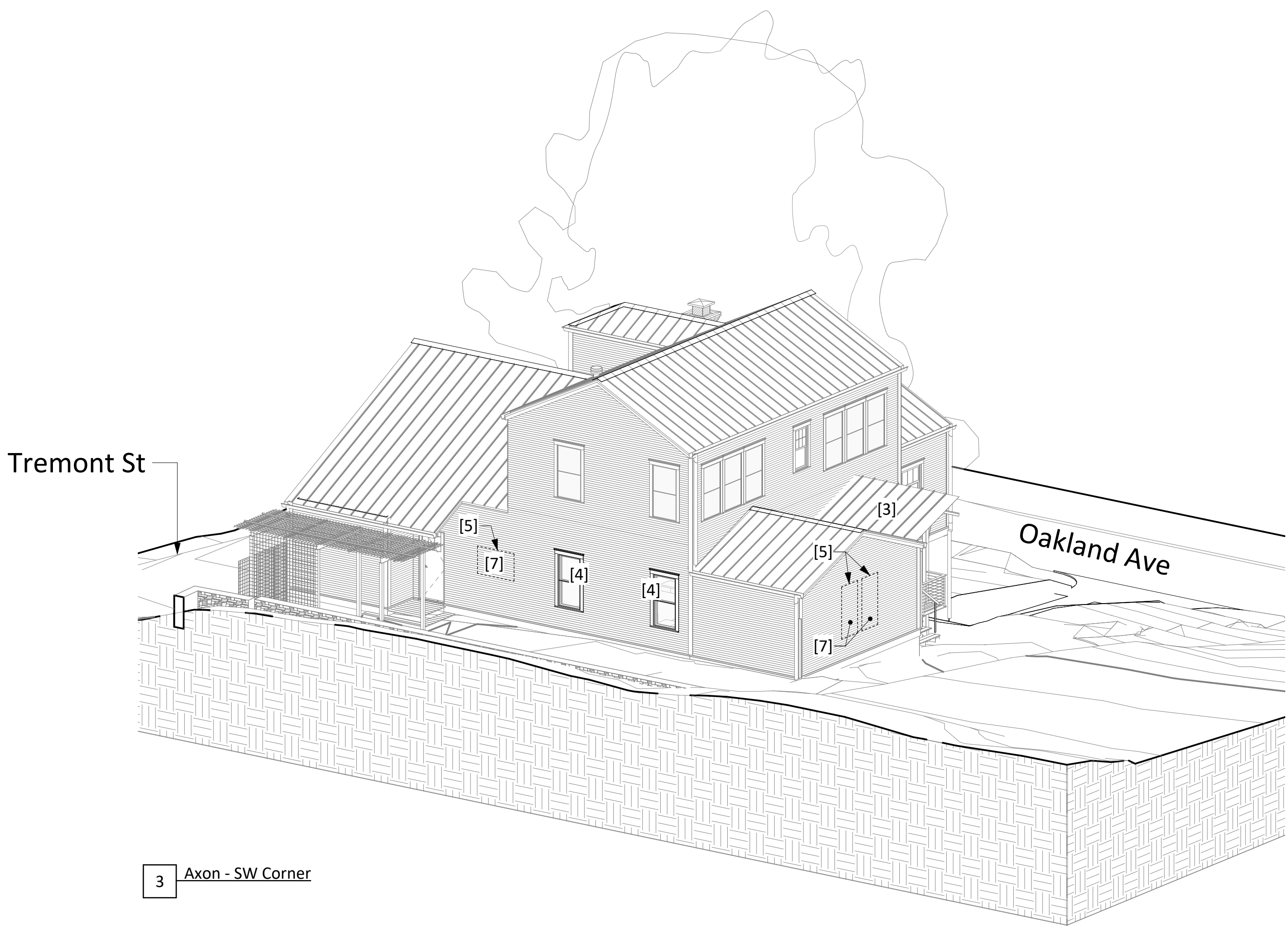
Architect
Sanders Architecture
3706 Kerbey Lane
Austin, Texas 78731
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KEYNOTES

- 1 New concrete driveway
- 2 Steel edge retaining wall
- 3 Existing roof structure over porch
- 4 New window to match adjacent existing style
- 5 Remove existing window opening
- 6 Patch and repair existing roof
- 7 Patch, repair, and paint existing siding
- 8 Patch, repair, and restore existing stair
- 9 Infill existing crawlspace door to match existing underpinning
- 10 New door to mimic existing back door on western facade
- 11 New wood board door, to match existing exterior wood door finish



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October 14, 2022

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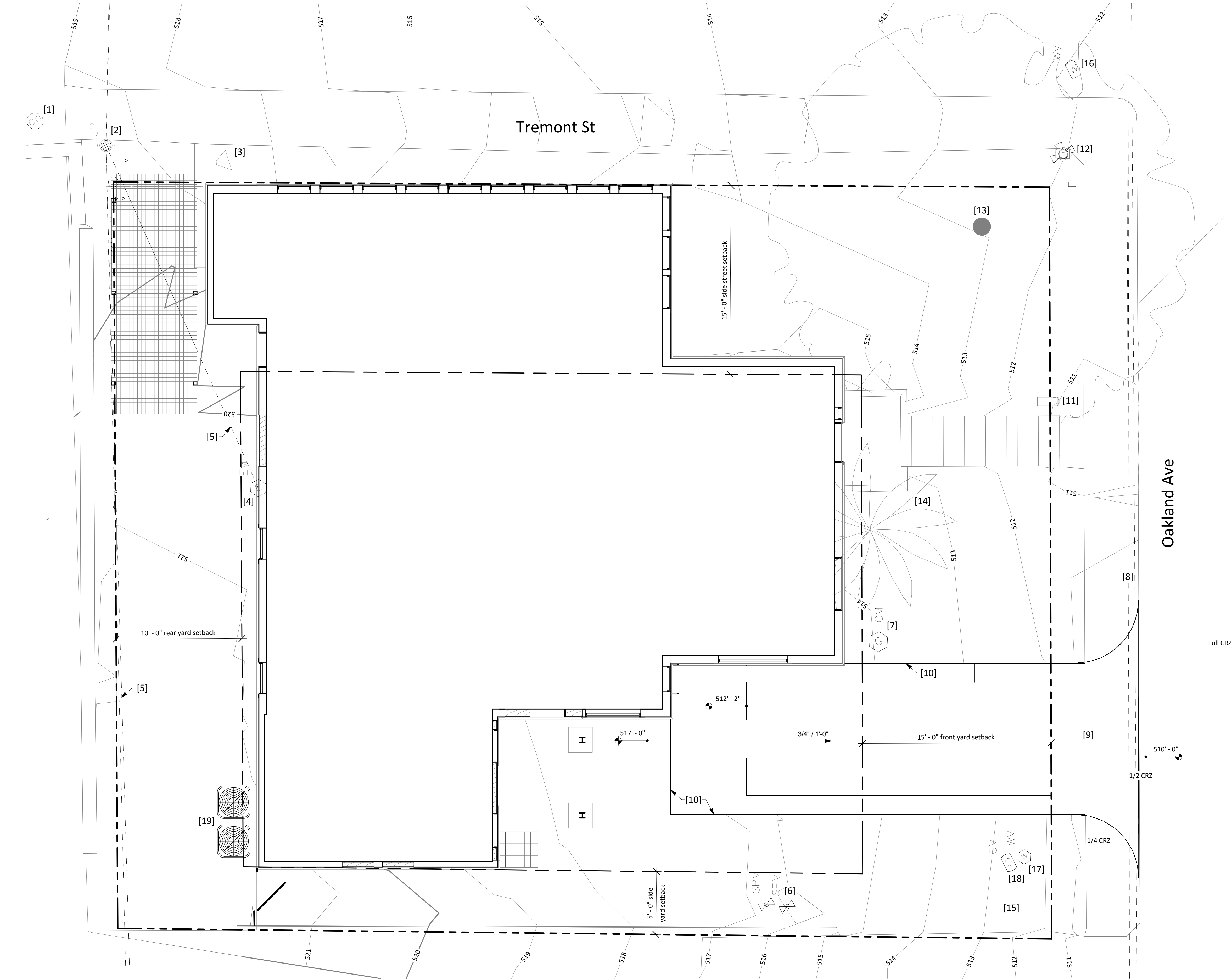
Checked by: CS

Revisions:

1 Add. 001 12/02/2022

3D Axonometrics


G0.01




KEYNOTES
1 Existing cleanout
2 Existing power pole
3 Existing 4" PVC pipe, exposed at sidewalk
4 Existing electric meter
5 Existing overhead electric
6 Existing sprinkler water valve
7 Existing gas meter
8 Existing underground electric
9 New concrete driveway
10 New steel edge retaining wall, both sides of drive
11 Existing mailbox
12 Existing fire hydrant
13 Existing 17" Southern Magnolia tree
14 Existing 15" Palm tree
15 Existing 24.5" Crape Myrtle tree
16 Existing water valve
17 Existing water meter
18 Existing gas valve
19 New mechanical in new location

SITE PLAN NOTES
1. Refer to Schematic Design Narrative for additional information on building systems and finishes.
2. Note 2.

LEGEND



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Site Plan

G1.10

General Notes - Windows

1. Window sizes are shown here for contractor's convenience only; field verify actual rough opening sizes.
2. Windows identified as "Replacement" are assumed to have no alternations made to their existing rough openings or surrounding exterior wall finish. Type elevations are not included for these units. Refer to schedule for window operation at each unit, as this may not match existing. Field measure existing windows for exact sizing information. Window installer to recommend installation procedure for replacement window locations.
3. Windows identified as "Egress" must meet requirements for emergency escape and rescue openings in IRC R310.2.

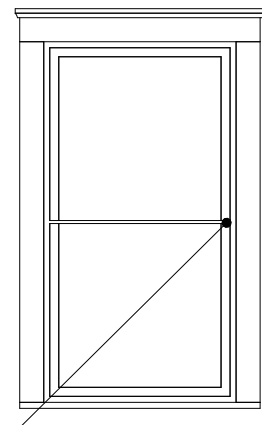
Door and Window Schedule Key Legend

AL	Aluminum
CL	Aluminum clad exterior on wood
E	Existing
GL	Glass
HDW	Hardware
INT	Integral
INT/EXT	Interior / Exterior
MTL	Material
NA	Not Applicable
PTD	Painted / Opaque Finish
R.O.	Rough Opening
SCRN	Screen
STL	Steel
T	Transparent and/or stain finish
TBD	To be determined
WD	Wood

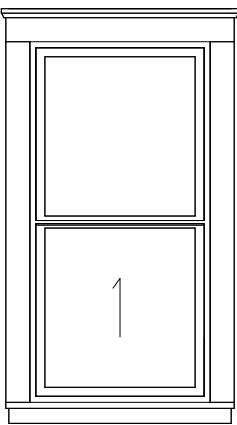
WINDOW SCHEDULE

ID	LOCATION	REPLACEMENT	MANUFACTURER	OPERATION	EGRESS	WIDTH	HEIGHT	SILL HEIGHT	R.O. HEAD HEIGHT	EXT. FINISH	INT. FINISH	COMMENTS
W-3a	Primary Bedroom			Single Hung	Y	2' - 6"	5' - 0"	2' - 0"	7" - 0 3/8"	WD, PTD	WD, PTD	
W-6	Primary Bathroom			Single Hung		2' - 8"	5' - 0"	2' - 0"	7" - 0 3/8"	WD, PTD	WD, PTD	

Includes deleted items



W-6



W-3



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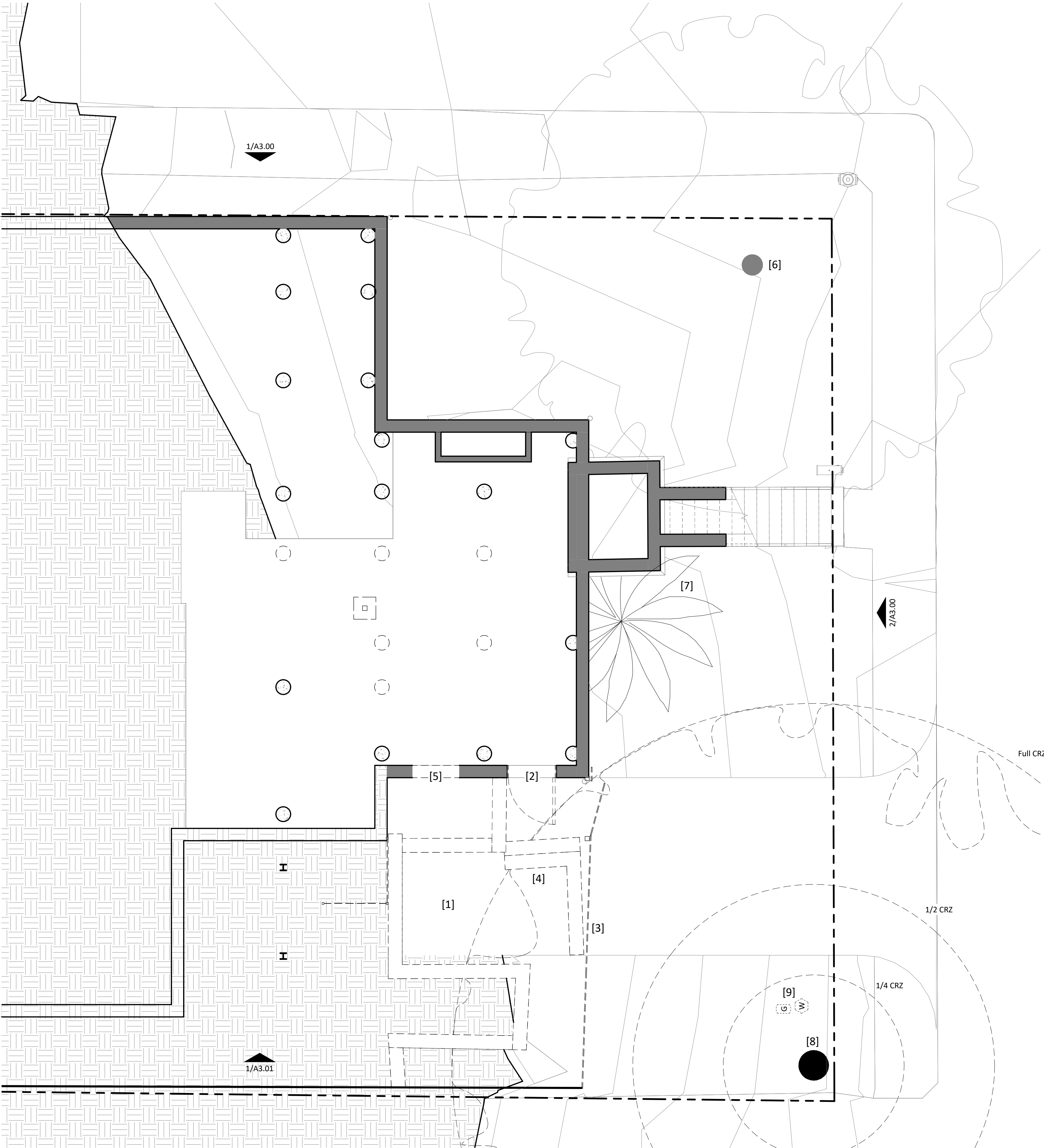
1 Add. 001 12/02/2022

Window Types

G2.60



line of first
floor, above



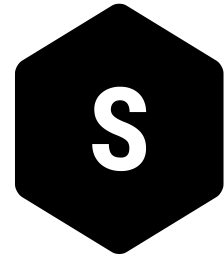
KEYNOTES

- Excavate existing soil to prepare for new foundation; shore as required
- Remove existing door and infill to match existing underpinning
- Remove portion of existing fence
- Remove existing stone steps and low planter walls
- Prepare wall for new door; ref. structural
- Existing 17" Southern Magnolia tree; protect during construction
- Existing 15" Palm tree
- Existing 24.5" Crape Myrtle tree to be removed
- Remove / relocate existing water / gas meters

DEMO PLAN NOTES

- Refer to architectural drawings prior to demolition to understand the scope of work.
- Re: sheet A1.01 for the architectural floor plan.
- All existing electrical, plumbing and mechanical systems to be removed.
- Contractor to take care protecting existing wood flooring while demolishing adjacent elements.
- All existing glass panel windows to be removed and replaced.
- Remove all ceiling finishes and insulation. Expose all structural framing and ceilings.

LEGEND



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Revisions:

Demo Floor Plan -
Ground Floor

D1.10



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6. Remove all ceiling finishes and insulation. Expose all structural framing and ceilings.

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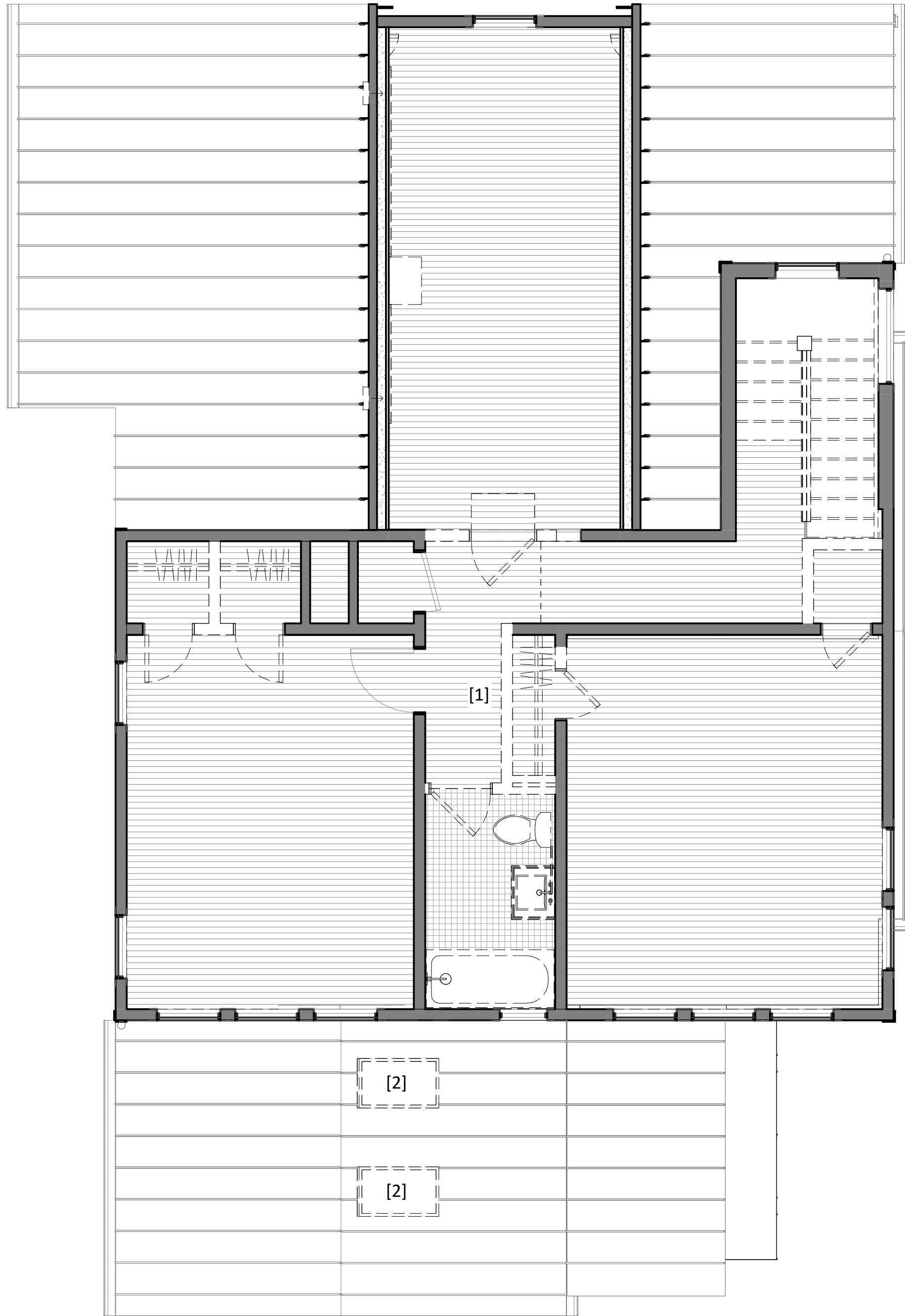
Revisions:

Demo Floor Plan - First Floor

D1.11



2/A3.01



1/A3.00

1/A3.01

2/A3.00

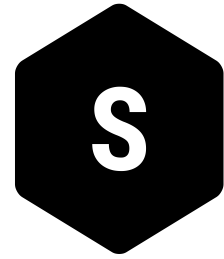
KEYNOTES

- 1 Demo wall where dashed and not poched, typ.
- 2 Remove skylights and replace roof to match existing as needed

DEMO PLAN NOTES

1. Refer to architectural drawings prior to demolition to understand the scope of work.
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6. Remove all ceiling finishes and insulation. Expose all structural framing and ceilings.

LEGEND



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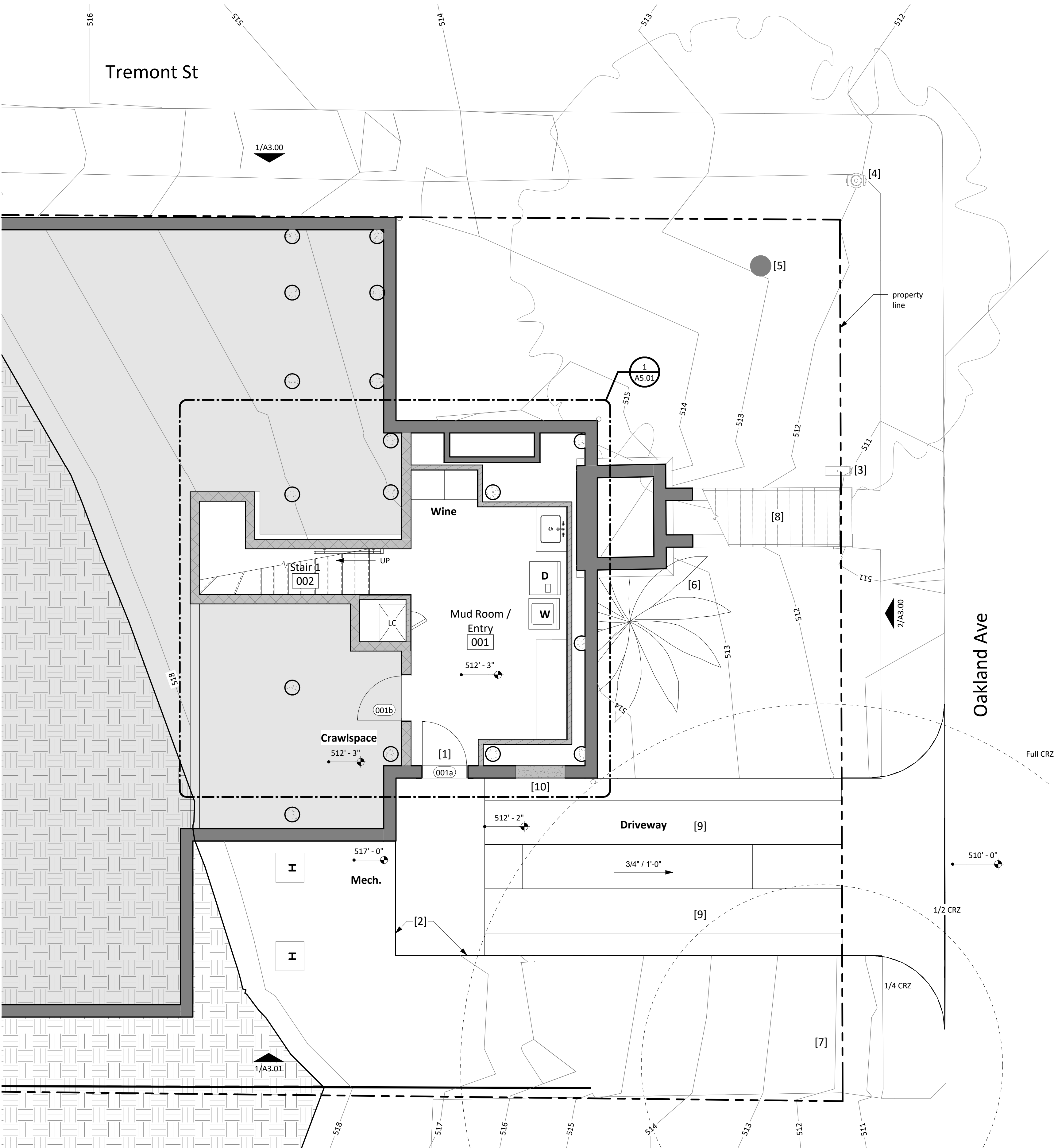
Revisions:

Demo Floor Plan -
Second Floor

D1.12



line of first
floor, above



KEYNOTES

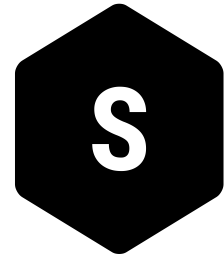
- 1 New wood board door, to match existing exterior wood door finish
- 2 Steel edge retaining wall, both sides of drive
- 3 Existing mailbox
- 4 Existing fire hydrant
- 5 Existing 17" Southern Magnolia tree
- 6 Existing 15" Palm tree
- 7 Existing 24.5" Cape Myrtle tree
- 8 Patch, repair, and restore stair
- 9 New concrete driveway
- 10 Infill existing crawlspace door to match existing underpinning

FLOOR PLAN NOTES

1. All millwork, plumbing and appliances should be assumed new construction, unless noted otherwise
2. Darker poched walls are existing to remain; lighter poched walls are new construction

SHEET REFERENCES

1. Refer to G2.01 for wall types and partition types.
2. Refer to G2.50 for door and frame types and schedules.
3. Refer to G2.60 for window types and schedule.
4. Refer to G3.01 for finish schedule, appliance schedule, plumbing fixture schedule, bath accessory schedule.
5. Refer to A2.01 for lighting fixture legend and lighting dimensions.



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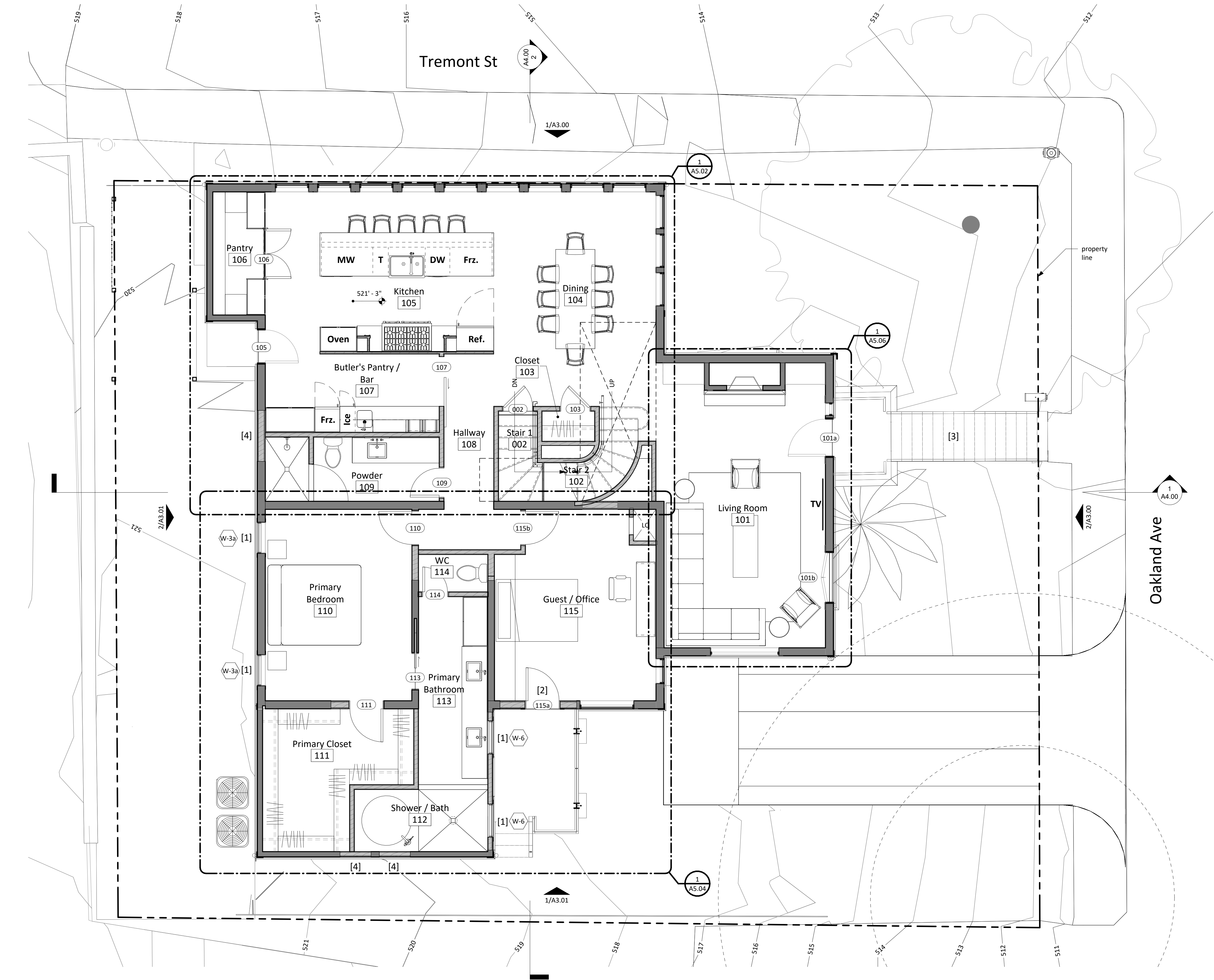
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Checked by: CS

Revisions:

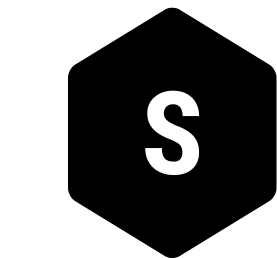
Floor Plan -
Ground Floor

A1.00



KEYNOTES

- 1 New window to match adjacent existing style
- 2 New door to mimic existing back door on western facade
- 3 Patch, repair, and restore existing stair
- 4 Patch, repair, and paint existing siding



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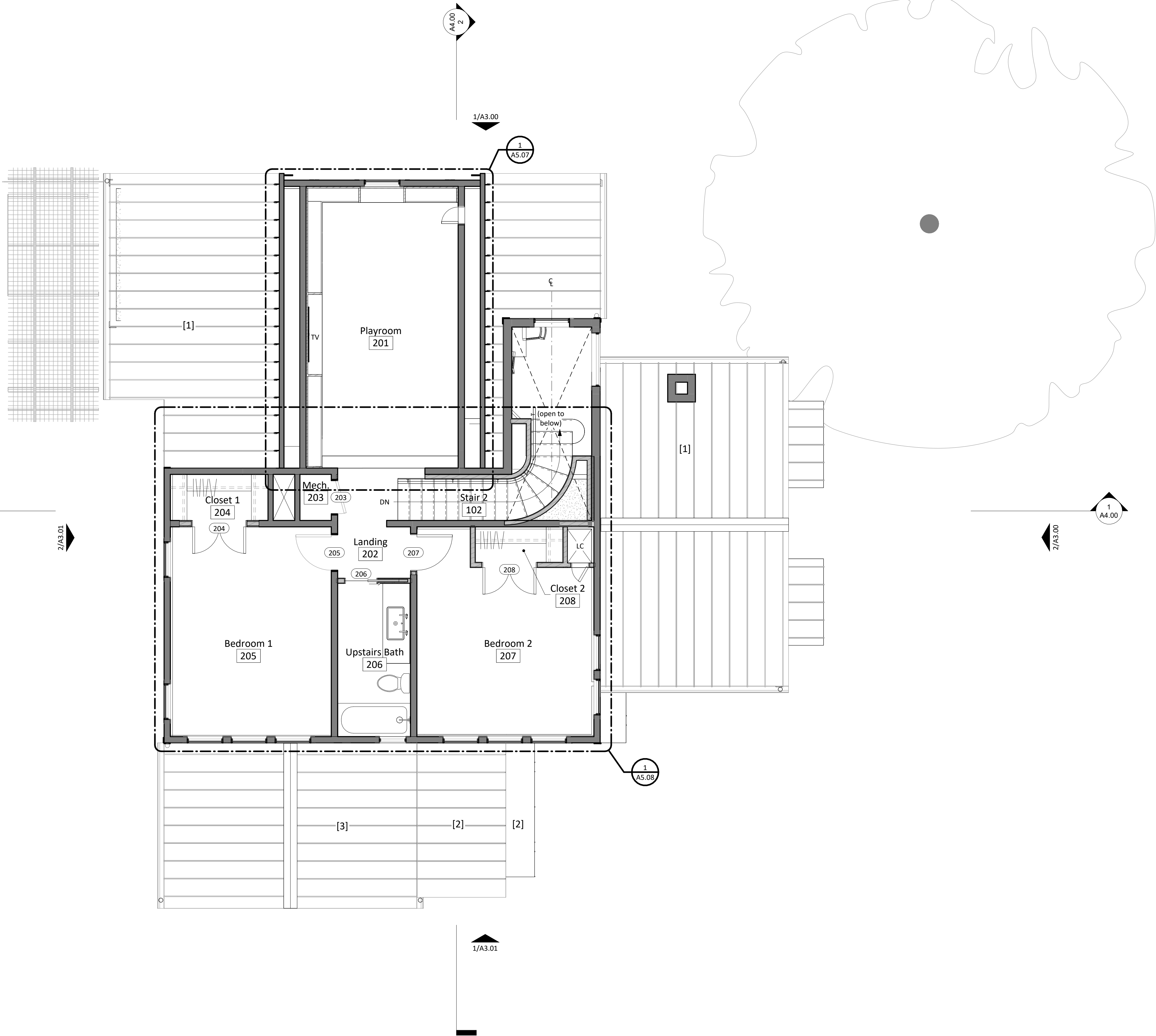
1 Add. 001 12/02/2022

Floor Plan - First
Floor

A1.01



1 First Floor Plan
1/4" = 1'-0"



KEYNOTES

- 1 Patch and repair existing roof
- 2 Existing roof structure over porch
- 3 New standing seam metal roof to match existing



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3. Refer to G2.60 for window types and schedule.
4. Refer to G3.01 for finish schedule, appliance schedule, plumbing fixture schedule, bath accessory schedule.
5. Refer to A2.01 for lighting fixture legend and lighting dimensions.

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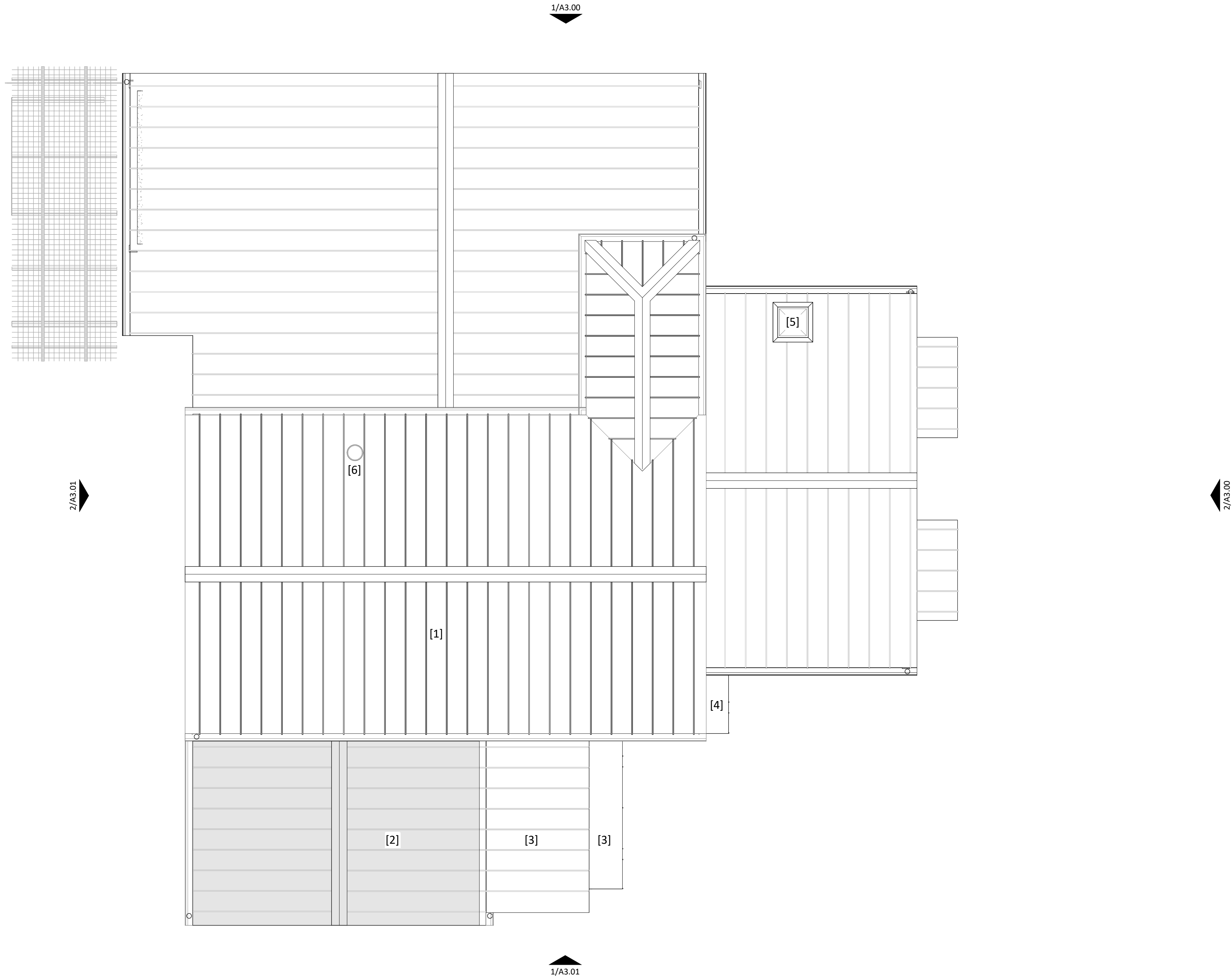
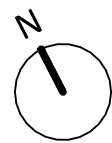
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Revisions:

1 Add. 001 12/02/2022

Floor Plan -
Second Floor

A1.02



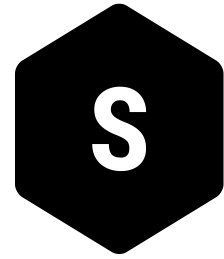
KEYNOTES

- 1 Patch and repair existing standing seam roof
- 2 New standing seam metal roof to match existing, as required to remove skylights
- 3 Existing roof structure over porch
- 4 Existing awning, below
- 5 Existing chimney
- 6 Existing vent

ROOF PLAN NOTES

SHEET REFERENCES

1. Refer to G2.01 for wall types and partition types.
2. Refer to G2.50 for door and frame types and schedules.
3. Refer to G2.60 for window types and schedule.
4. Refer to G3.01 for finish schedule, appliance schedule, plumbing fixture schedule, bath accessory schedule.
5. Refer to A2.01 for lighting fixture legend and lighting dimensions.



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Revisions:

Roof Plan

A1.30



2 East Elevation
1/4" = 1'-0"

119' - 2"
Roof

110' - 5"
Second Floor

100' - 0"
First Floor

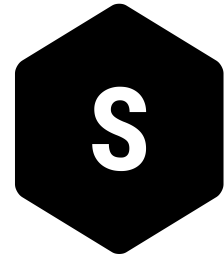
91' - 0"
Ground Floor

1 North Elevation
1/4" = 1'-0"



KEYNOTES

- 1 New standing seam metal roof to match existing
- 2 Existing roof structure over porch
- 3 New steel edge retaining wall
- 4 New concrete driveway
- 5 Patch and repair existing roof
- 6 Patch, repair, and restore existing stair
- 7 Patch, repair, and paint existing siding
- 8 New window to match adjacent existing style



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Exterior
Elevations

A3.00



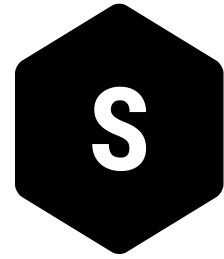
2 West Elevation
1/4" = 1'-0"



1 South Elevation
1/4" = 1'-0"

KEYNOTES

- 1 New window to match adjacent existing style
- 2 New door to mimic existing back door on western facade
- 3 New steel edge retaining wall
- 4 New wood board door, to match existing exterior wood door finish
- 5 Patch, repair, and restore existing stair
- 6 Patch and repair existing roof
- 7 Existing roof structure over porch
- 8 New standing seam metal roof to match existing
- 9 Patch, repair, and paint existing siding
- 10 Infill existing crawlspace door to match existing underpinning
- 11 Remove existing windows, typ.



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Exterior
Elevations

A3.01



Existing Oakland Avenue Facade



Existing Tremont Avenue Facade



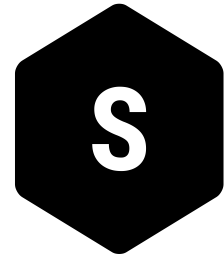
Existing West Facade



Existing West Facade



Existing South Facade



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Existing Photos

A5.00