

Sooch Residence

706 Oakland Ave.
Austin, TX 78703

Historic Review
October 14, 2022
Add 002 12/20/2022



GENERAL
G0.01 3D Axonometrics
G1.10 Site Plan
G2.60 Window Types

DEMOLITION
D1.10 Demo Floor Plan - Ground Floor
D1.11 Demo Floor Plan - First Floor
D1.12 Demo Floor Plan - Second Floor

ARCHITECTURAL
A1.00 Floor Plan - Ground Floor
A1.01 Floor Plan - First Floor
A1.02 Floor Plan - Second Floor
A1.30 Roof Plan
A3.00 Exterior Elevations
A3.01 Exterior Elevations
A5.00 Existing Photos

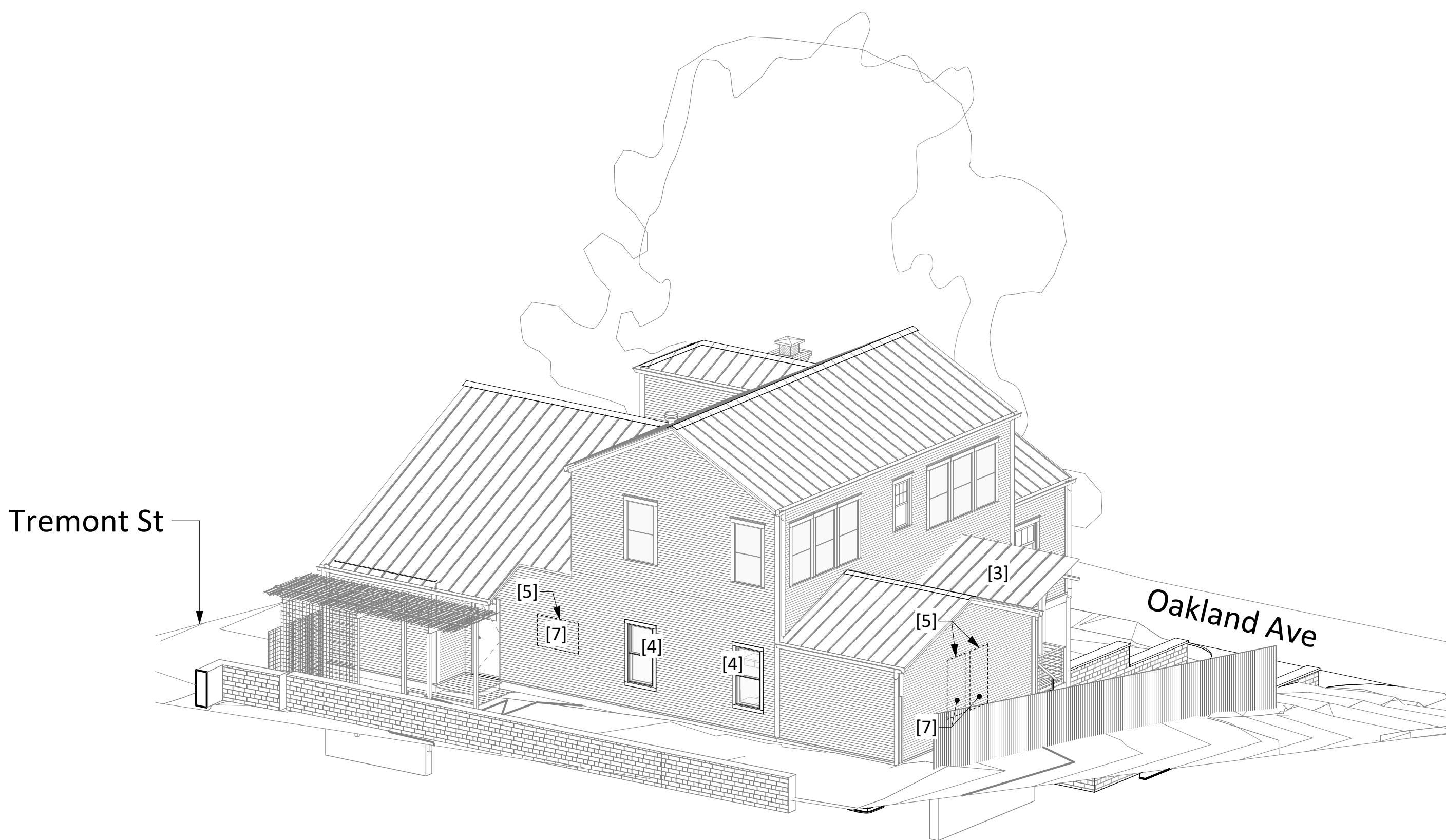
Architect
Sanders Architecture
3706 Kerbey Lane
Austin, Texas 78731
(512) 482-9258



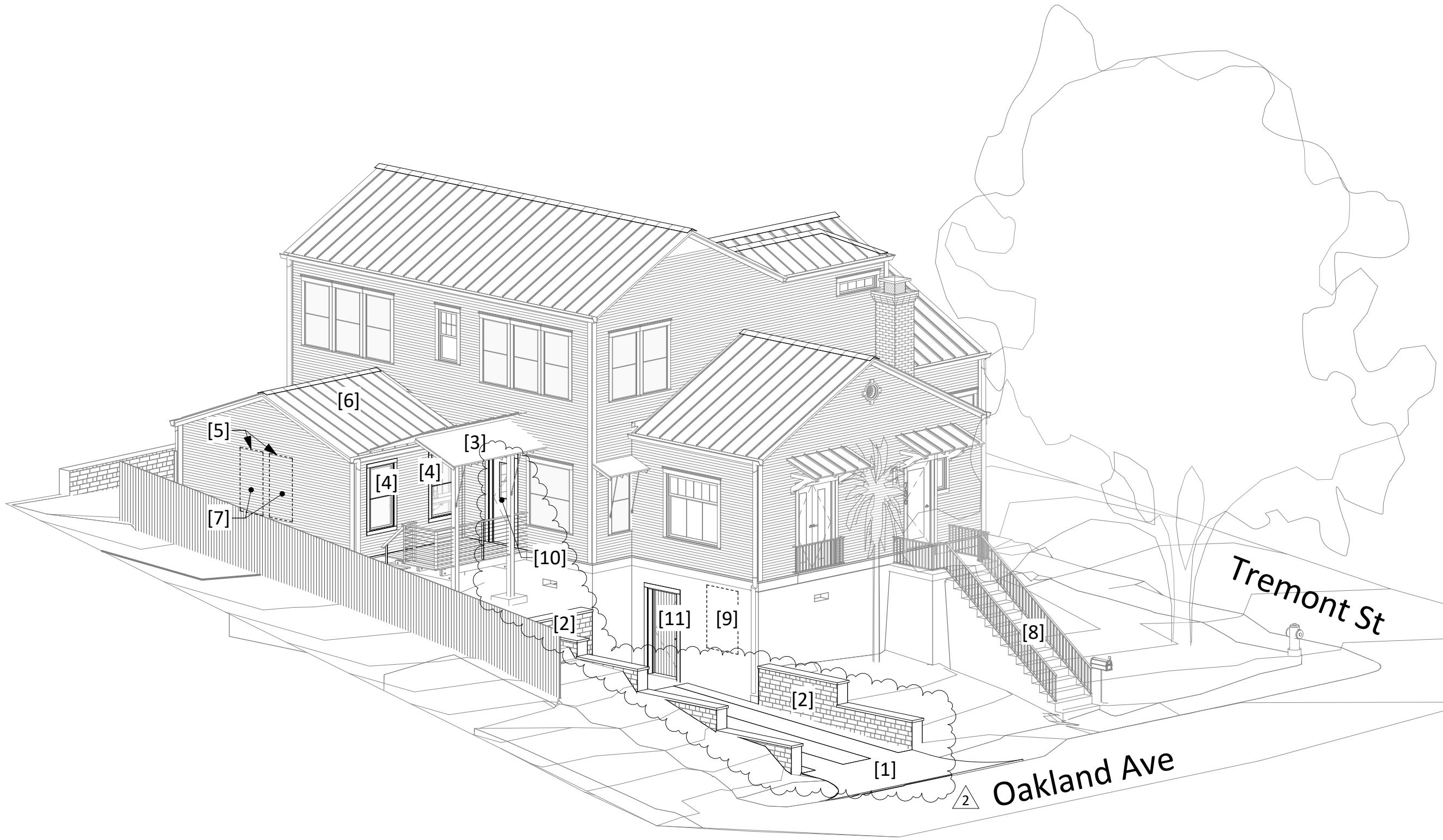
SANDERS ARCHITECTURE

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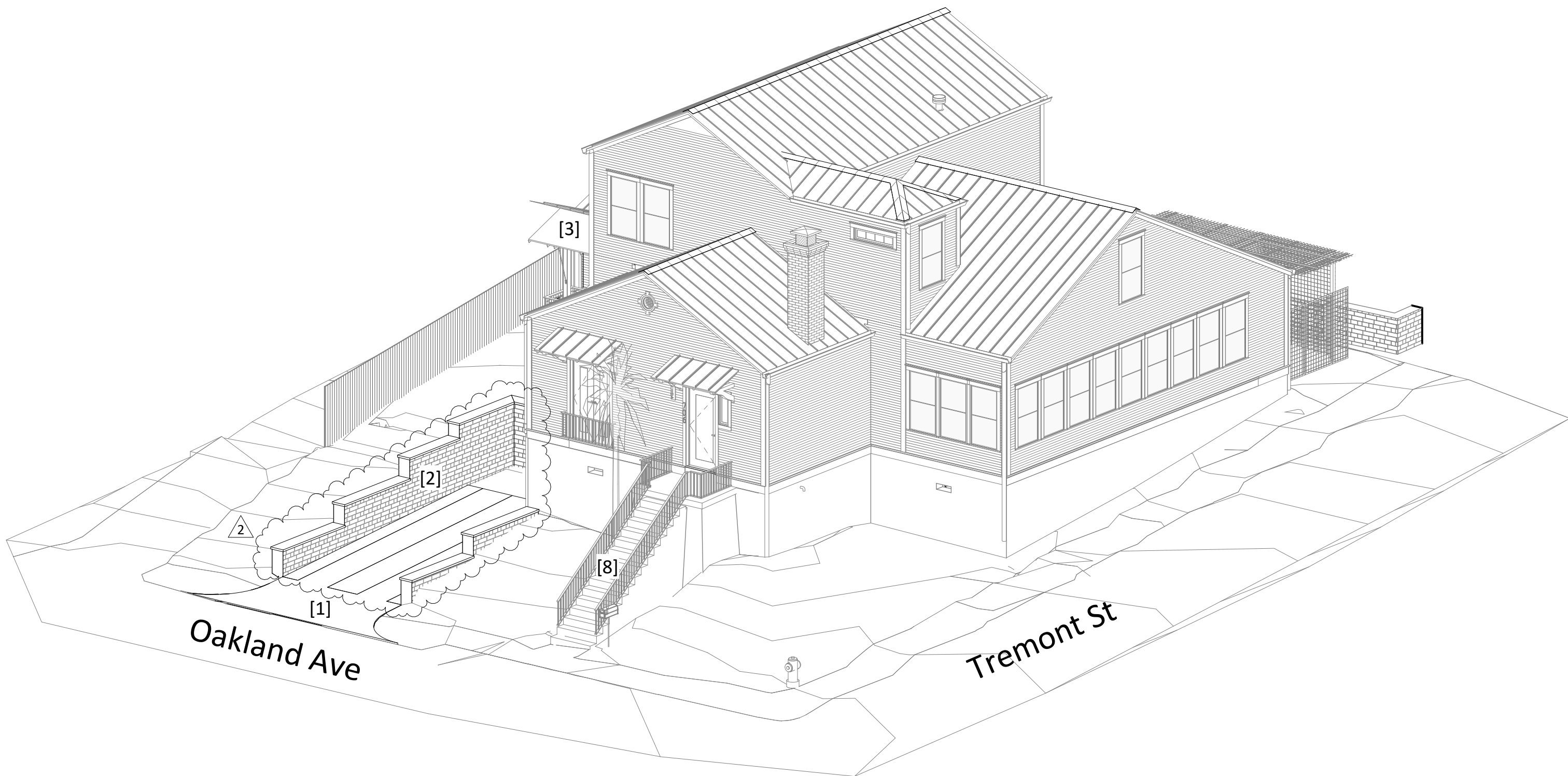
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3 Axon - SW Corner



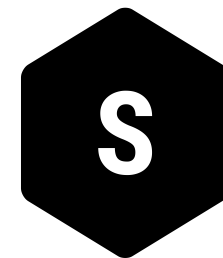
2 Axon - SE corner



1 Axon - NE Corner

KEYNOTES

- 1 New concrete driveway
- 2 Stone retaining wall
- 3 Existing roof structure over porch
- 4 New window; casing to be simplified from existing casing style
- 5 Remove existing window opening
- 6 Patch and repair existing roof
- 7 Patch, repair, and paint existing siding
- 8 Patch, repair, and restore existing stair
- 9 Infill existing crawlspace door to match existing underpinning
- 10 New half-lite glass door
- 11 New wood board door, to match existing exterior wood door finish



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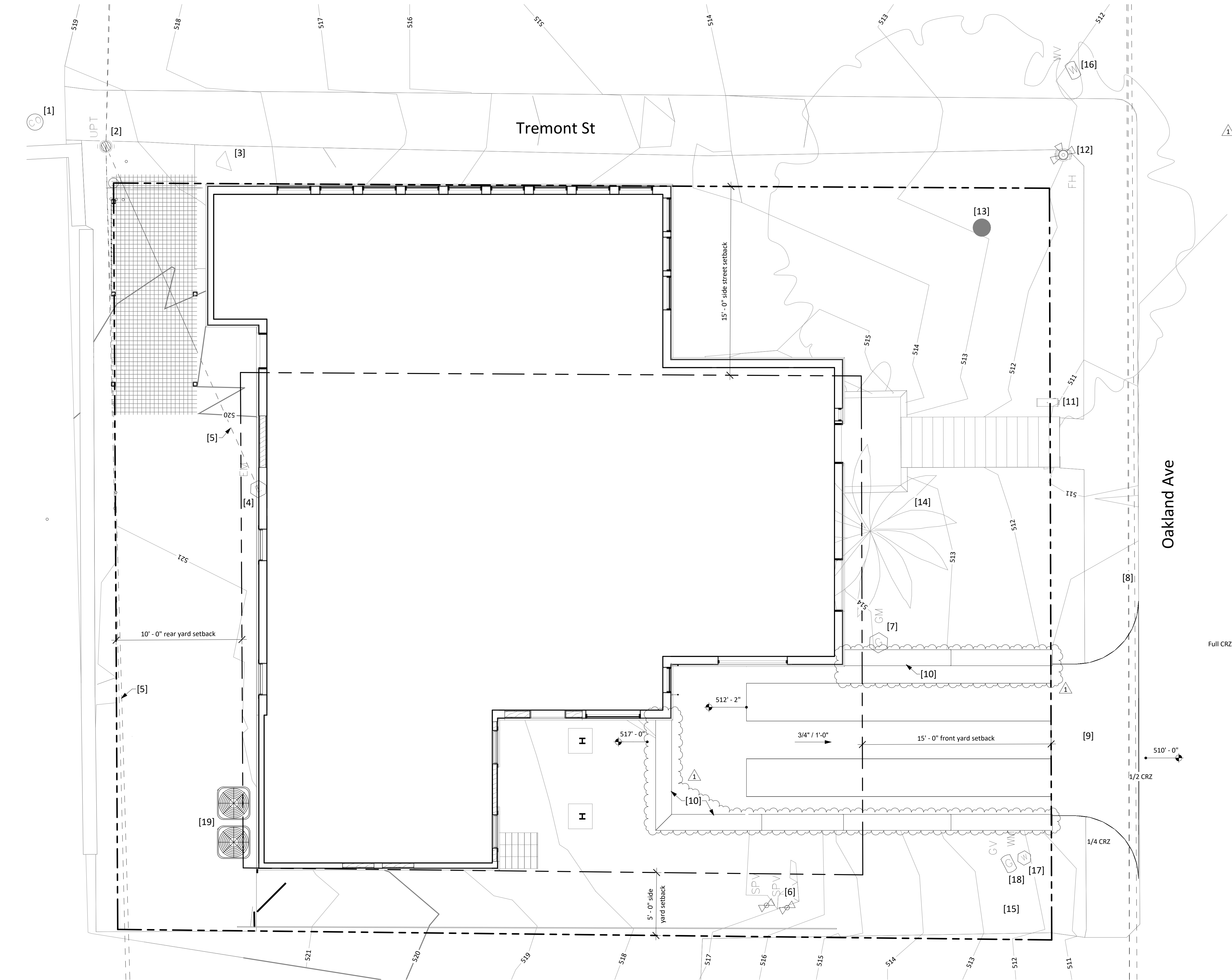
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Revisions:

- | | | |
|---|----------|------------|
| 1 | Add. 001 | 12/02/2022 |
| 2 | Add. 002 | 12/21/2022 |

3D Axonometrics


G0.01



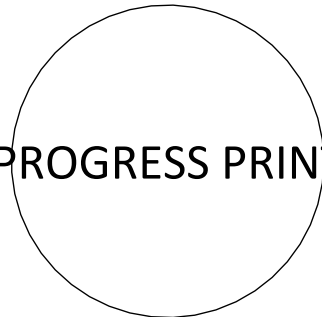
KEYNOTES
<div>1 Existing cleanout</div> <div>2 Existing power pole</div> <div>3 Existing 4" PVC pipe, exposed at sidewalk</div> <div>4 Existing electric meter</div> <div>5 Existing overhead electric</div> <div>6 Existing sprinkler water valve</div> <div>7 Existing gas meter</div> <div>8 Existing underground electric</div> <div>9 New concrete driveway</div> <div>10 New stone retaining wall, both sides of drive</div> <div>11 Existing mailbox</div> <div>12 Existing fire hydrant</div> <div>13 Existing 17" Southern Magnolia tree</div> <div>14 Existing 15" Palm tree</div> <div>15 Existing 24.5" Grape Myrtle tree</div> <div>16 Existing water valve</div> <div>17 Existing water meter</div> <div>18 Existing gas valve</div> <div>19 New mechanical in new location</div>

SITE PLAN NOTES
<div>1. Refer to Schematic Design Narrative for additional information on building systems and finishes.</div> <div>2. Note 2.</div>

LEGEND



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Revisions:

1	Add. 002	12/21/2022
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Site Plan

G1.10

General Notes - Windows

1. Window sizes are shown here for contractor's convenience only; field verify actual rough opening sizes.
2. Windows identified as "Replacement" are assumed to have no alternations made to their existing rough openings or surrounding exterior wall finish. Type elevations are not included for these units. Refer to schedule for window operation at each unit, as this may not match existing. Field measure existing windows for exact sizing information. Window installer to recommend installation procedure for replacement window locations.
3. Windows identified as "Egress" must meet requirements for emergency escape and rescue openings in IRC R310.2.

Door and Window Schedule Key Legend

AL	Aluminum
CL	Aluminum clad exterior on wood
E	Existing
GL	Glass
HDW	Hardware
INT	Integral
INT/EXT	Interior / Exterior
MTL	Material
NA	Not Applicable
PTD	Painted / Opaque Finish
R.O.	Rough Opening
SCRN	Screen
STL	Steel
T	Transparent and/or stain finish
TBD	To be determined
WD	Wood

WINDOW SCHEDULE												
ID	LOCATION	REPLACEMENT	MANUFACTURER	OPERATION	EGRESS	WIDTH	HEIGHT	SILL HEIGHT	R.O. HEAD HEIGHT	EXT. FINISH	INT. FINISH	COMMENTS
W-3a	Primary Bedroom			Single Hung	Y	2' - 6"	5' - 0"	2' - 0"	7' - 0 3/8"	WD, PTD	WD, PTD	
W-6	Primary Bathroom			Single Hung		2' - 8"	5' - 0"	2' - 0"	7' - 0 3/8"	WD, PTD	WD, PTD	



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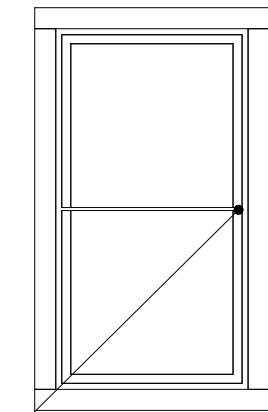
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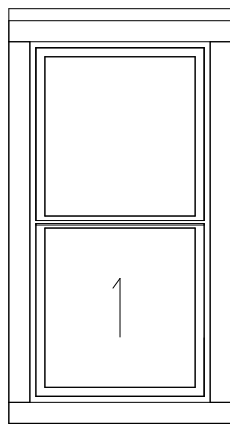
1 Add. 001 12/02/2022

Window Types

G2.60



W-6

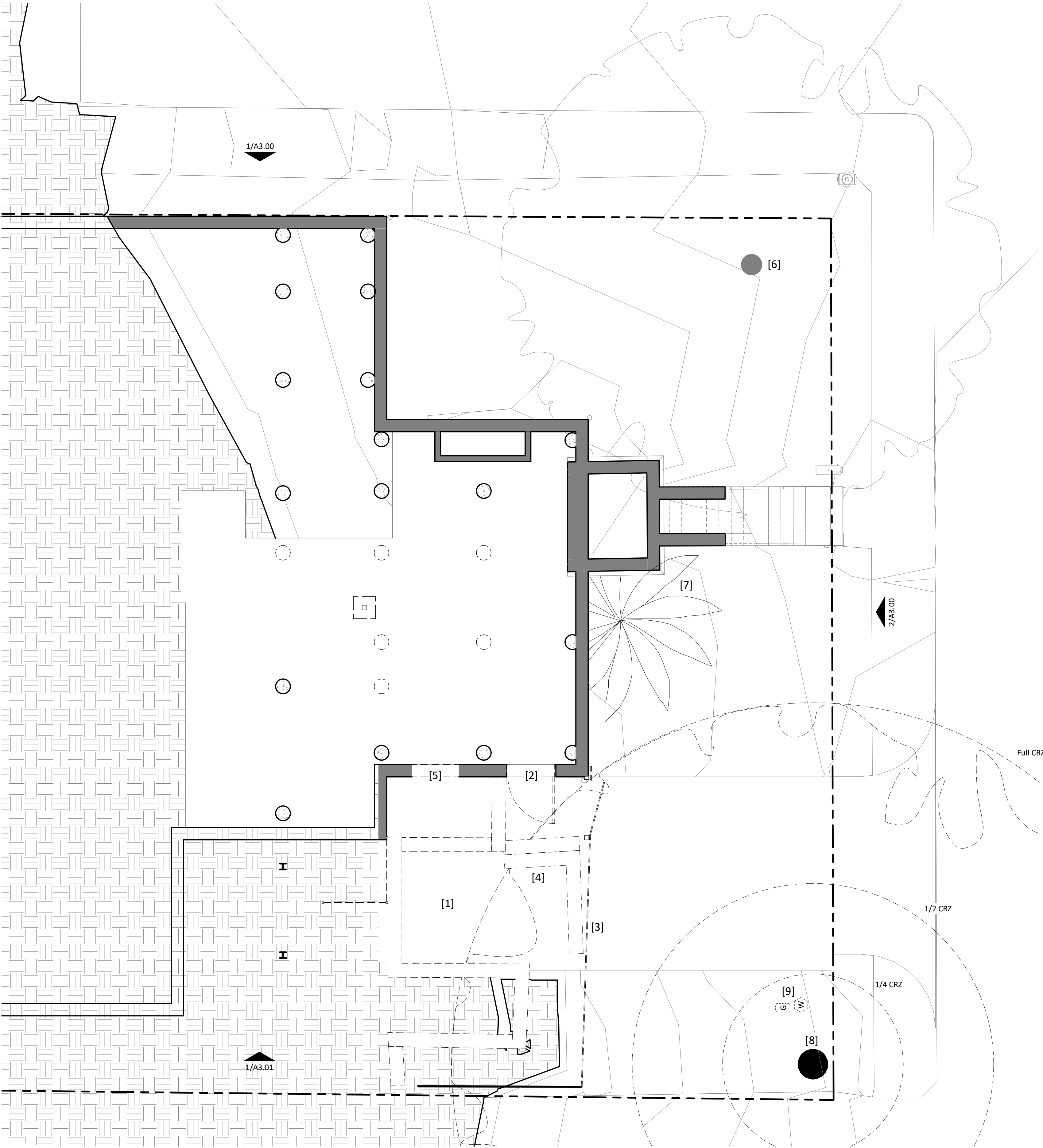


W-3





line of first
floor, above



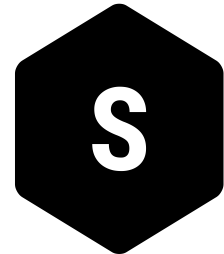
KEYNOTES

- Excavate existing soil to prepare for new foundation; shore as required
- Remove existing door and infill to match existing underpinning
- Remove portion of existing fence
- Remove existing stone steps and low planter walls
- Prepare wall for new door; ref. structural
- Existing 17" Southern Magnolia tree; protect during construction
- Existing 15" Palm tree
- Existing 24.5" Crape Myrtle tree to be removed
- Remove / relocate existing water / gas meters

DEMO PLAN NOTES

- Refer to architectural drawings prior to demolition to understand the scope of work.
- Re: sheet A1.01 for the architectural floor plan.
- All existing electrical, plumbing and mechanical systems to be removed.
- Contractor to take care protecting existing wood flooring while demolishing adjacent elements.
- All existing glass panel windows to be removed and replaced.
- Remove all ceiling finishes and insulation. Expose all structural framing and ceilings.

LEGEND



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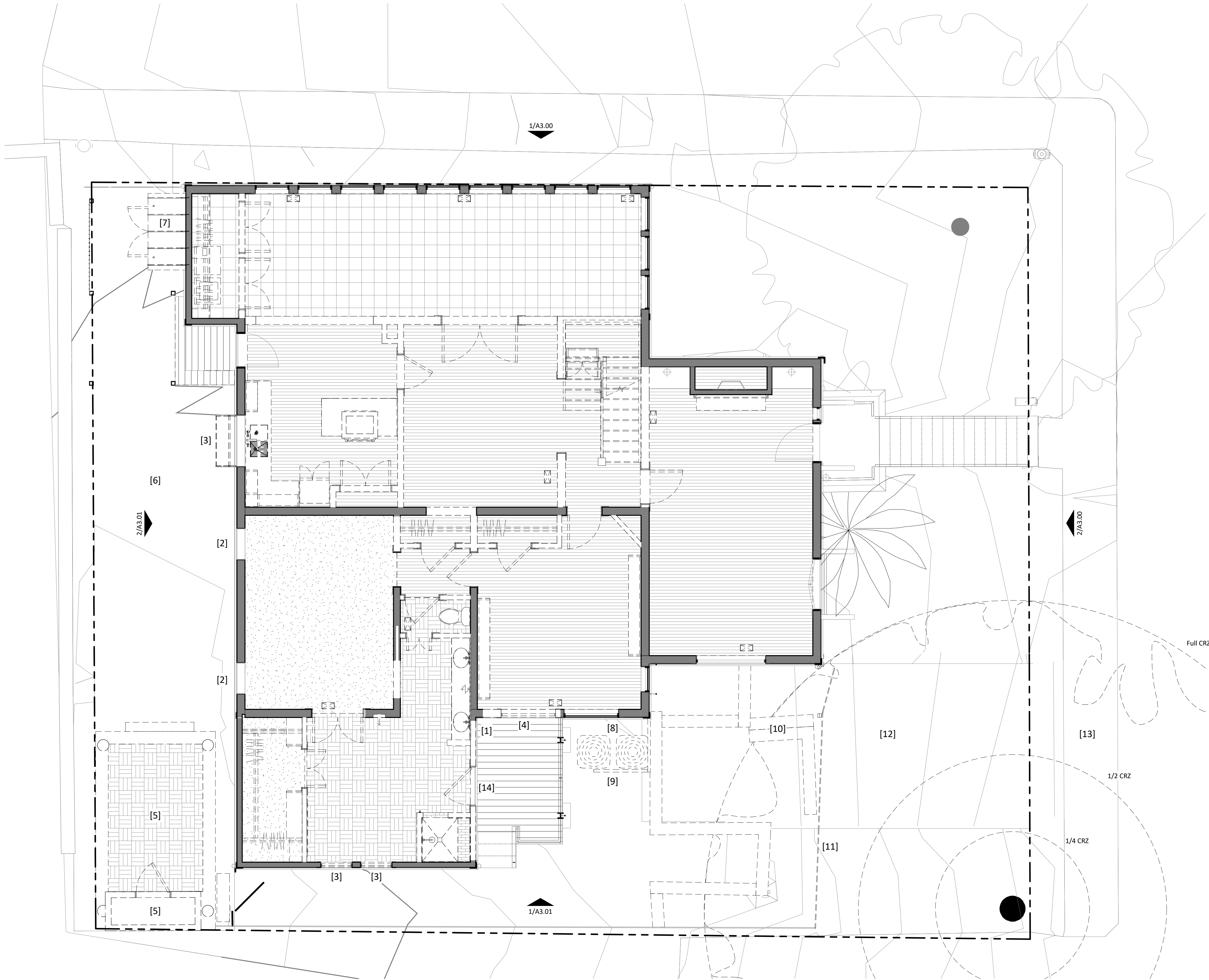
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Revisions:

Demo Floor Plan -
Ground Floor

D1.10



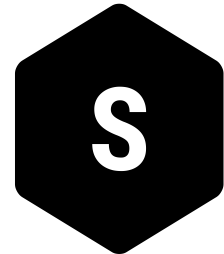
KEYNOTES

- 1 Demo wall where dashed and not poched, typ.
- 2 Demo portion of existing wall to allow for new window
- 3 Remove existing window and infill wall to match
- 4 Remove existing window and wall as needed to prepare for new door
- 5 Demo shed, patio flatwork, pavers, and trellis structure associated
- 6 Remove existing pavers and store for potential reuse; ref. landscape
- 7 Remove shed and patch existing exterior wall
- 8 Mechanical systems to be revised and relocated
- 9 Remove mechanical screen
- 10 Remove existing stone steps and low planter walls
- 11 Remove portion of existing fence
- 12 Remove soil and level as needed for new drive
- 13 Demo existing sidewalk as needed to prepare for new curb cut
- 14 Demolish existing door

DEMO PLAN NOTES

1. Refer to architectural drawings prior to demolition to understand the scope of work.
2. Re: sheet A1.01 for the architectural floor plan.
3. All existing electrical, plumbing and mechanical systems to be removed.
4. Contractor to take care protecting existing wood flooring while demolishing adjacent elements.
5. All existing glass panel windows to be removed and replaced.
6. Remove all ceiling finishes and insulation. Expose all structural framing and ceilings.

LEGEND



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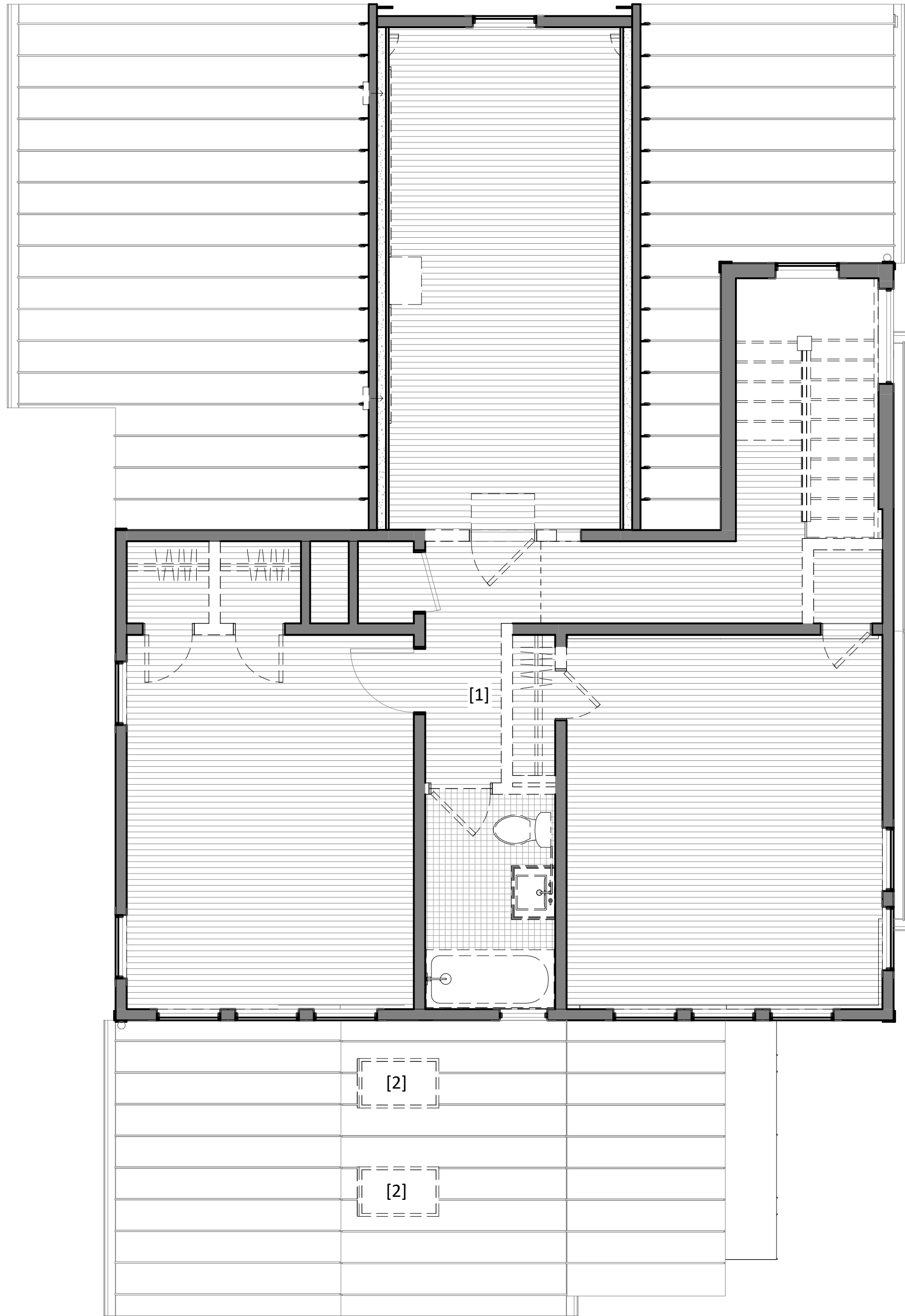
Revisions:

Demo Floor Plan -
First Floor

D1.11



2/A3.01



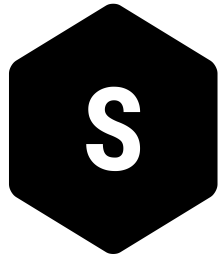
1/A3.00

1/A3.01

2/A3.00

KEYNOTES

- 1 Demo wall where dashed and not poched, typ.
- 2 Remove skylights and replace roof to match existing as needed



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DEMO PLAN NOTES

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2. Re: sheet A1.01 for the architectural floor plan.
3. All existing electrical, plumbing and mechanical systems to be removed.
4. Contractor to take care protecting existing wood flooring while demolishing adjacent elements.
5. All existing glass panel windows to be removed and replaced.
6. Remove all ceiling finishes and insulation. Expose all structural framing and ceilings.

LEGEND

Historic Review

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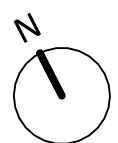
Revisions:

Demo Floor Plan -
Second Floor

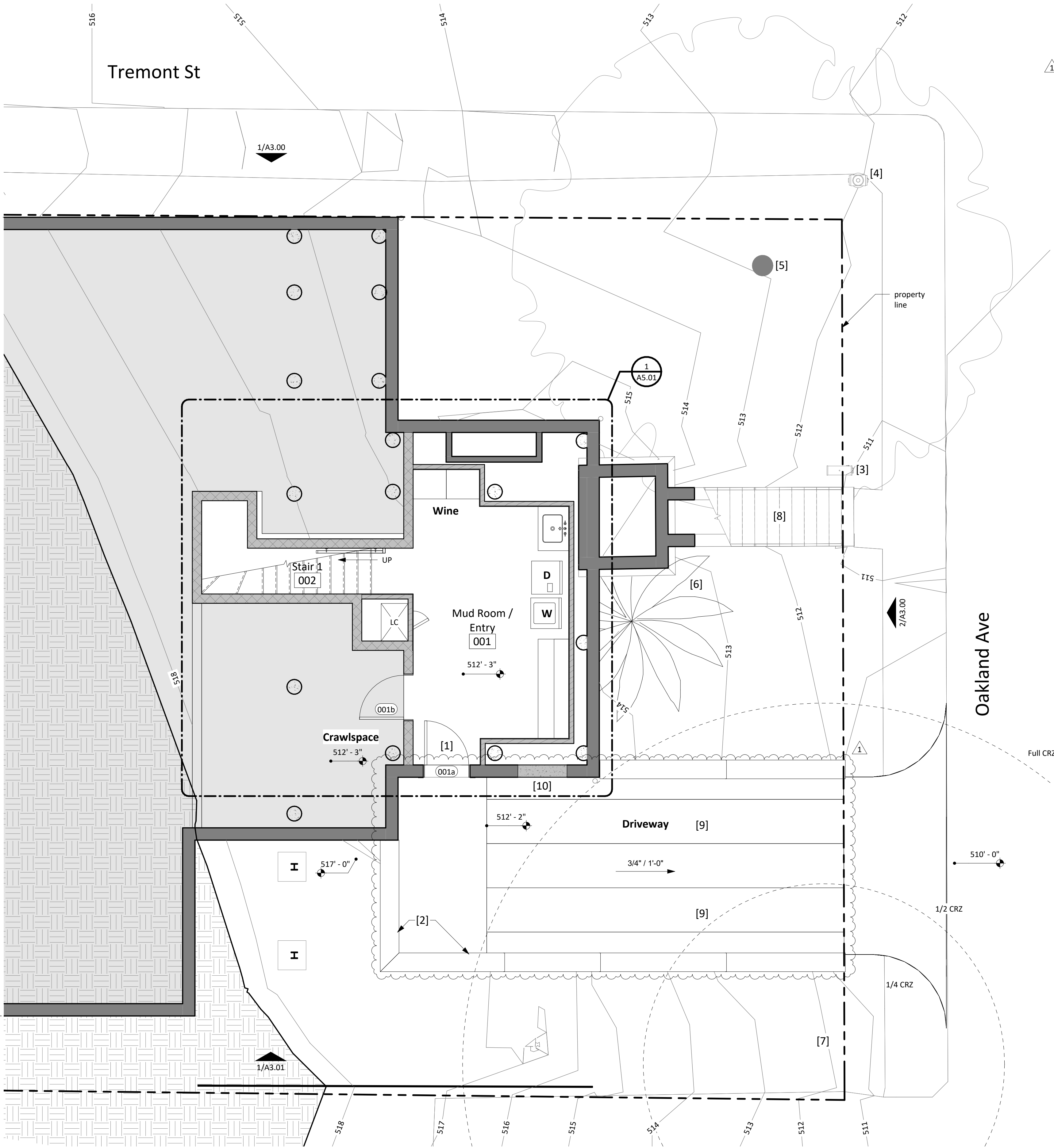
D1.12

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line of first
floor, above



KEYNOTES

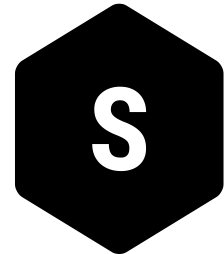
- 1 New wood board door, to match existing exterior wood door finish
- 2 Stone retaining wall, both sides of drive
- 3 Existing mailbox
- 4 Existing fire hydrant
- 5 Existing 17" Southern Magnolia tree
- 6 Existing 15" Palm tree
- 7 Existing 24.5" Cape Myrtle tree
- 8 Patch, repair, and restore stair
- 9 New concrete driveway
- 10 Infill existing crawlspace door to match existing underpinning

FLOOR PLAN NOTES

1. All millwork, plumbing and appliances should be assumed new construction, unless noted otherwise
2. Darker poched walls are existing to remain; lighter poched walls are new construction

SHEET REFERENCES

1. Refer to G2.01 for wall types and partition types.
2. Refer to G2.50 for door and frame types and schedules.
3. Refer to G2.60 for window types and schedule.
4. Refer to G3.01 for finish schedule, appliance schedule, plumbing fixture schedule, bath accessory schedule.
5. Refer to A2.01 for lighting fixture legend and lighting dimensions.



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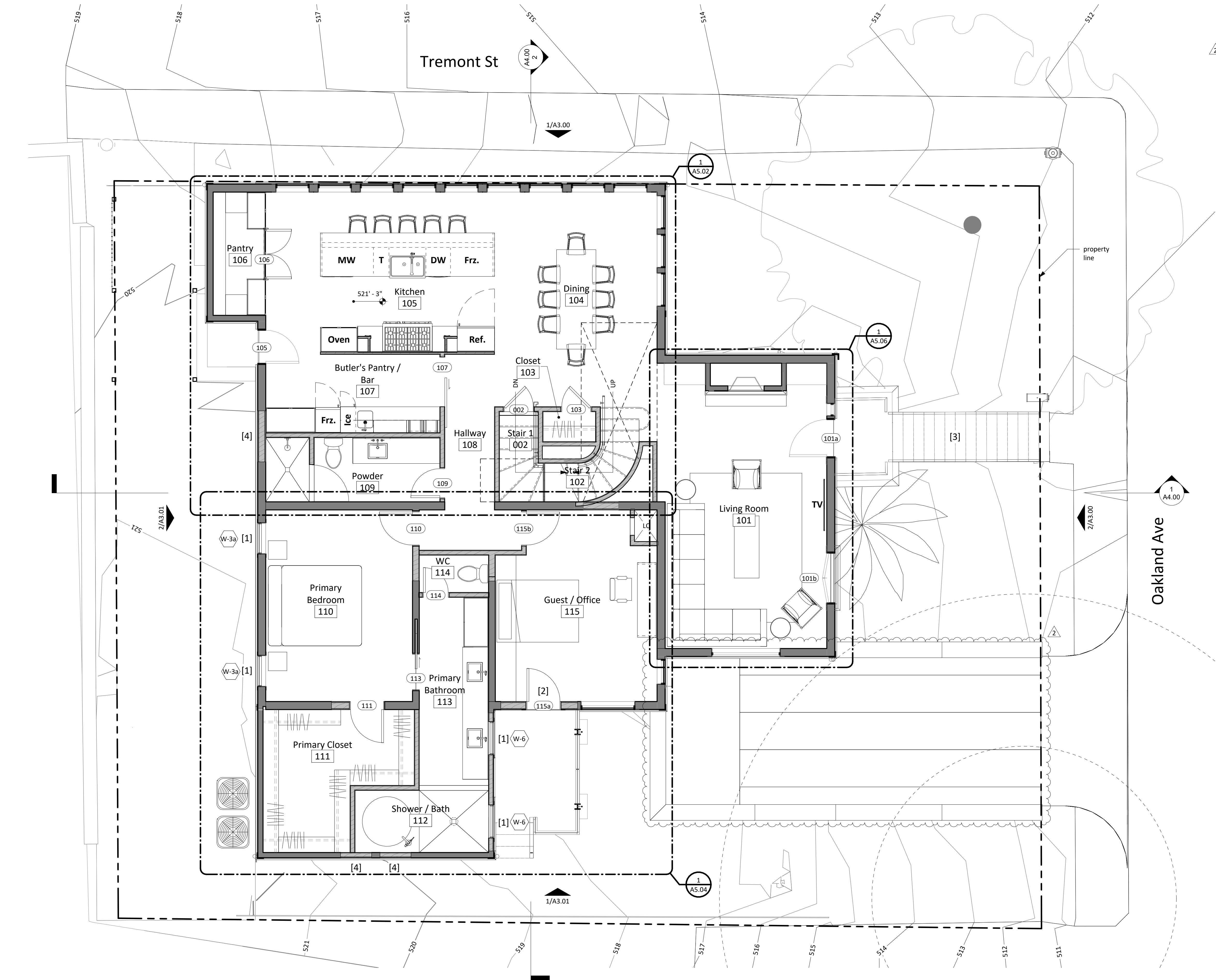
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Revisions:

1 Add. 002 12/21/2022

Floor Plan -
Ground Floor

A1.00



KEYNOTES

- 1 New window to match adjacent existing style
- 2 New half-lite glass door
- 3 Patch, repair, and restore existing stair
- 4 Patch, repair, and paint existing siding

FLOOR PLAN NOTES

1. All millwork, plumbing and appliances should be assumed new construction, unless noted otherwise
2. Darker poched walls are existing to remain; lighter poched walls are new construction

SHEET REFERENCES

1. Refer to G2.01 for wall types and partition types.
2. Refer to G2.50 for door and frame types and schedules.
3. Refer to G2.60 for window types and schedule.
4. Refer to G3.01 for finish schedule, appliance schedule, plumbing fixture schedule, bath accessory schedule.
5. Refer to A2.01 for lighting fixture legend and lighting dimensions.



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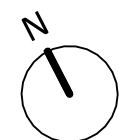
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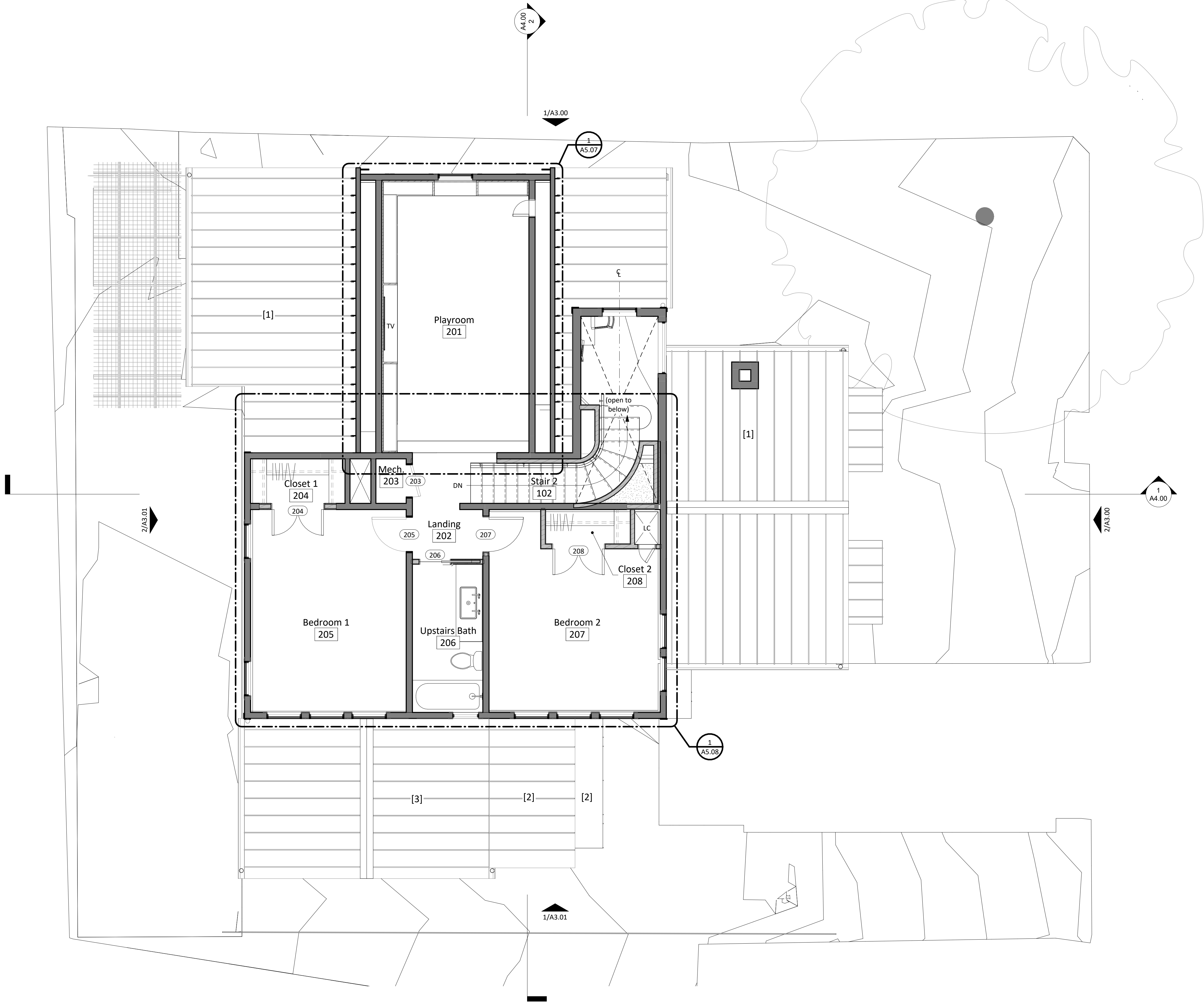
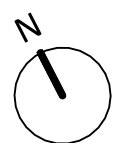
1	Add. 001	12/02/2022
2	Add. 002	12/21/2022

Floor Plan - First
Floor

A1.01



1 First Floor Plan
1/4" = 1'-0"



KEYNOTES

- 1 Patch and repair existing roof
- 2 Existing roof structure over porch
- 3 New standing seam metal roof to match existing



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FLOOR PLAN NOTES

1. All millwork, plumbing and appliances should be assumed new construction, unless noted otherwise
2. Darker poched walls are existing to remain; lighter poched walls are new construction

SHEET REFERENCES

1. Refer to G2.01 for wall types and partition types.
2. Refer to G2.50 for door and frame types and schedules.
3. Refer to G2.60 for window types and schedule.
4. Refer to G3.01 for finish schedule, appliance schedule, plumbing fixture schedule, bath accessory schedule.
5. Refer to A2.01 for lighting fixture legend and lighting dimensions.

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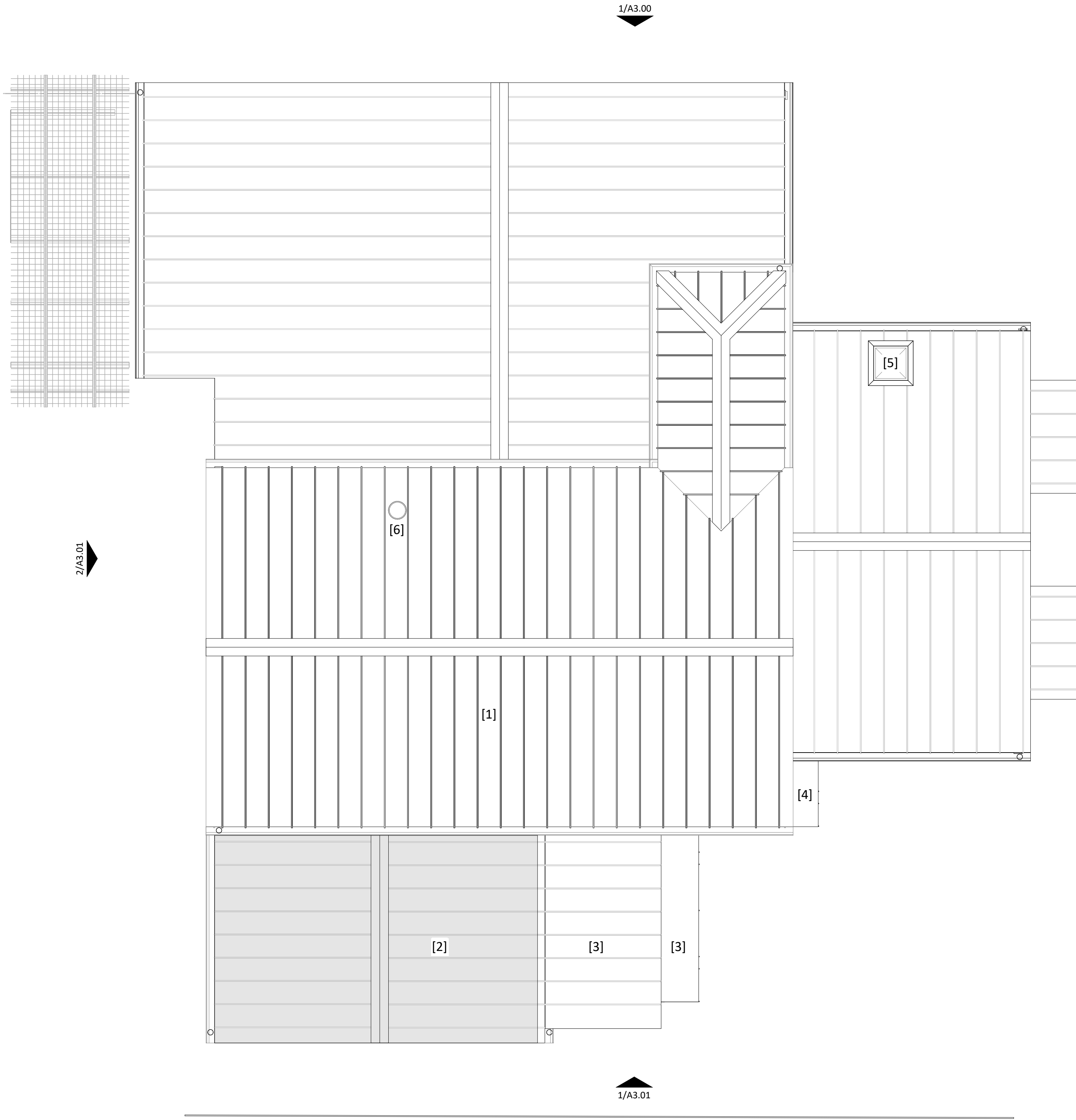
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Revisions:

1 Add. 001 12/02/2022

Floor Plan -
Second Floor

A1.02



KEYNOTES

- 1 Patch and repair existing standing seam roof
- 2 New standing seam metal roof to match existing, as required to remove skylights
- 3 Existing roof structure over porch
- 4 Existing awning, below
- 5 Existing chimney
- 6 Existing vent

ROOF PLAN NOTES

SHEET REFERENCES

1. Refer to G2.01 for wall types and partition types.
2. Refer to G2.50 for door and frame types and schedules.
3. Refer to G2.60 for window types and schedule.
4. Refer to G3.01 for finish schedule, appliance schedule, plumbing fixture schedule, bath accessory schedule.
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Roof Plan

A1.30



2 East Elevation
1/4" = 1'-0"

119' - 2"
Roof

110' - 5"
Second Floor

100' - 0"
First Floor

91' - 0"
Ground Floor

1 North Elevation
1/4" = 1'-0"



KEYNOTES

- 1 New standing seam metal roof to match existing
- 2 Existing roof structure over porch
- 3 New stone retaining wall
- 4 New concrete driveway
- 5 Patch and repair existing roof
- 6 Patch, repair, and restore existing stair
- 7 Patch, repair, and paint existing siding
- 8 New 1 over 1 single hung window; casing to be simplified from existing casing style



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Exterior
Elevations

A3.00



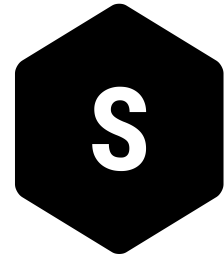
2 West Elevation
1/4" = 1'-0"



1 South Elevation
1/4" = 1'-0"

KEYNOTES

- 1 New 1 over 1 single hung window, casing to be simplified from existing casing style
- 2 New half-lite glass door
- 3 New stone retaining wall
- 4 New wood board door, to match existing exterior wood door finish
- 5 Patch, repair, and restore existing stair
- 6 Patch and repair existing roof
- 7 Existing roof structure over porch
- 8 New standing seam metal roof to match existing
- 9 Patch, repair, and paint existing siding
- 10 Infill existing crawlspace door to match existing underpinning
- 11 Remove existing windows, typ.



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702 Oakland stone facade precedent



704 Oakland stone retaining wall precedent

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| 2 | Add. 002 | 12/21/2022 |

Exterior
Elevations

A3.01



Existing Oakland Avenue Facade



Existing Tremont Avenue Facade



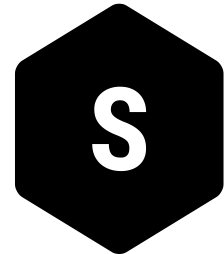
Existing West Facade



Existing West Facade



Existing South Facade



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Existing Photos

A5.00