

**HISTORIC LANDMARK COMMISSION**  
**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**  
**JANUARY 11, 2023**  
**HR- 2022-155777**  
**WEBSTER HOUSE**  
**706 OAKLAND AVENUE**

## **PROPOSAL**

Alter a circa 1917 single-family residence.

## **PROJECT SPECIFICATIONS**

- 1) Replace all existing windows with matching existing style, except for stained glass windows. Repair/restore stained glass windows as necessary.
- 2) Excavate the existing crawlspace to add ground-floor entry. Relocate crawlspace access on the south elevation a few feet to the west and enlarge to a full-size door matching the existing exterior wood. Infill existing crawlspace door to match existing underpinning.
- 3) Add a new parking space in the approximate location of a previous driveway eliminated in a prior remodel.
- 4) Remodel the ca. 1980s addition at the southwest corner of the house. The work proposes changes to the south and east facades of this one-story addition via two new windows into the primary bedroom on the west facade (side-yard facing).
- 5) Relocate access to the ca. 1990s porch on the south elevation from the east-facing to the south-facing façade, replacing an existing window.
- 6) Remove and patch an existing window opening on the rear ground level.
- 7) Construct a stone retaining wall alongside a new concrete driveway.
- 8) Patch and repair the existing roof.
- 9) Patch, repair, and restore existing staircase.
- 10) Add new door on western façade.

## **ARCHITECTURE**

The 2009 historic zoning application describes the eclectic Craftsman Webster House as follows:

One-story rectangular-plan front-gabled frame house with a two-story front-gabled frame “pop-up” section in the center; single and paired 1:1 windows with 6:1 wood screens. The house was built around 1917 as a one-story house with a front porch facing Oakland Avenue. The footprint for the one-story home appears on the 1922 Sanborn map. By 1935, the two-story section had been added to the house, and the front porch had been enclosed, giving the house its current appearance.<sup>1</sup>

## **DESIGN STANDARDS**

The City of Austin’s [Historic Design Standards](#) (March 2021) are based on the Secretary of the Interior’s Standards for Rehabilitation and are used to evaluate projects at historic landmarks. The following standards apply to the proposed project:

### *Repair and alterations*

#### *1. General standards*

The wholesale replacement of windows and doors is not in accordance with the standards. Efforts should be taken to repair rather than replace historic windows and doors.

#### *5. Windows, doors, and screens*

Windows and doors should be replaced only when repair is infeasible. The addition of window and door openings may be compatible if they are in the rear and necessary for the addition.

### *Summary*

The project meets some of the applicable standards.

## **COMMITTEE FEEDBACK**

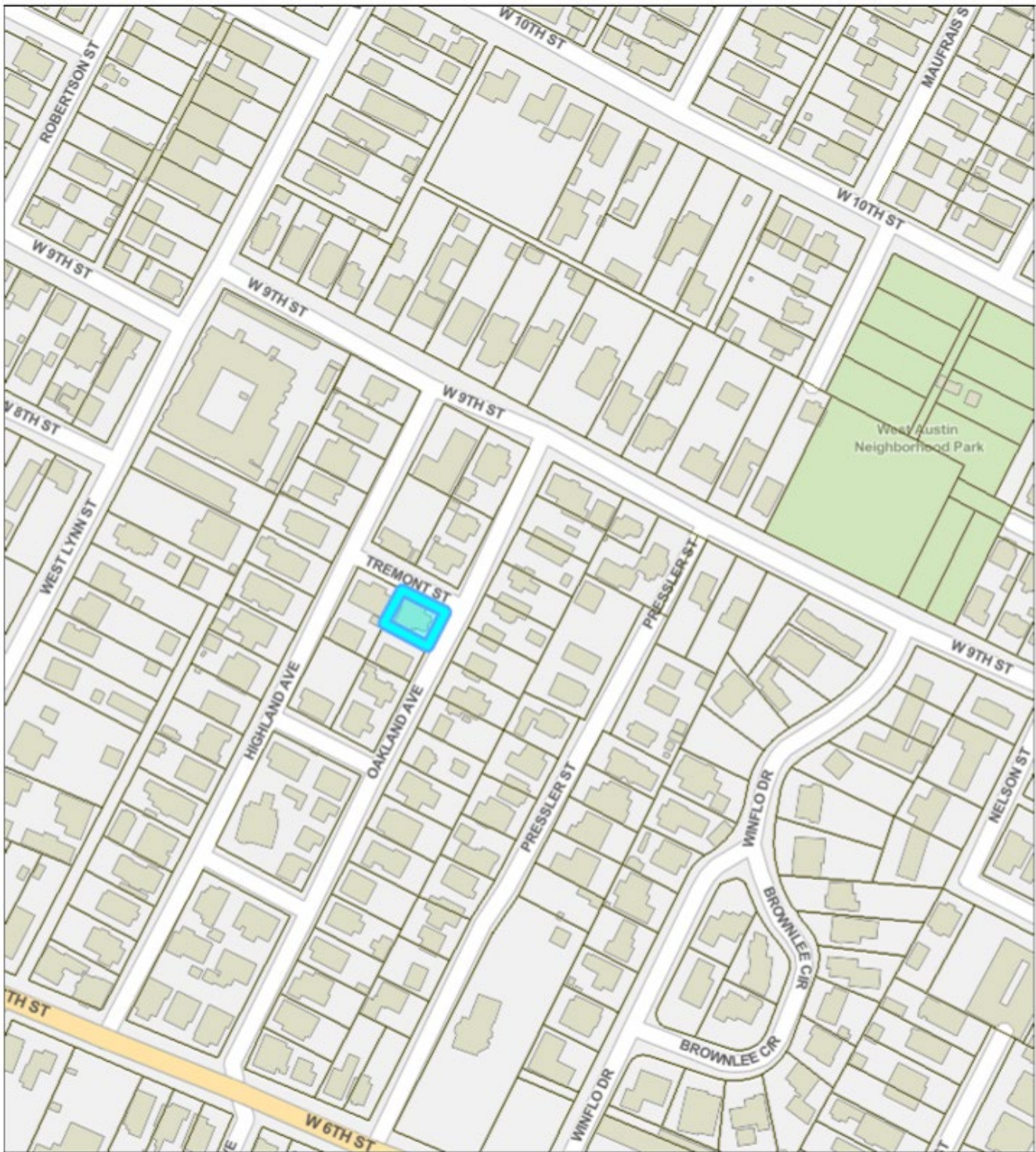
Change metal wall and blend with surrounding exterior materials. Do not duplicate door and window trim. Use partial glazing for new door.

## **STAFF RECOMMENDATION**

Approve the application. The applicant has changed the proposed new door, window trim, and retaining wall in accordance with Committee feedback.

<sup>1</sup> City of Austin Zoning Change Review Sheet, October 2009

## LOCATION MAP



1: 2400

Lot Lines

Lot Line

**HR 22-155777**

706 OAKLAND AVENUE



10/19/2022

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey. This product has been produced by the City of Austin for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



## Property Information

*Photos**Google Streetview, 2022*