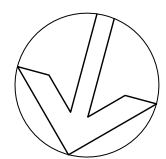


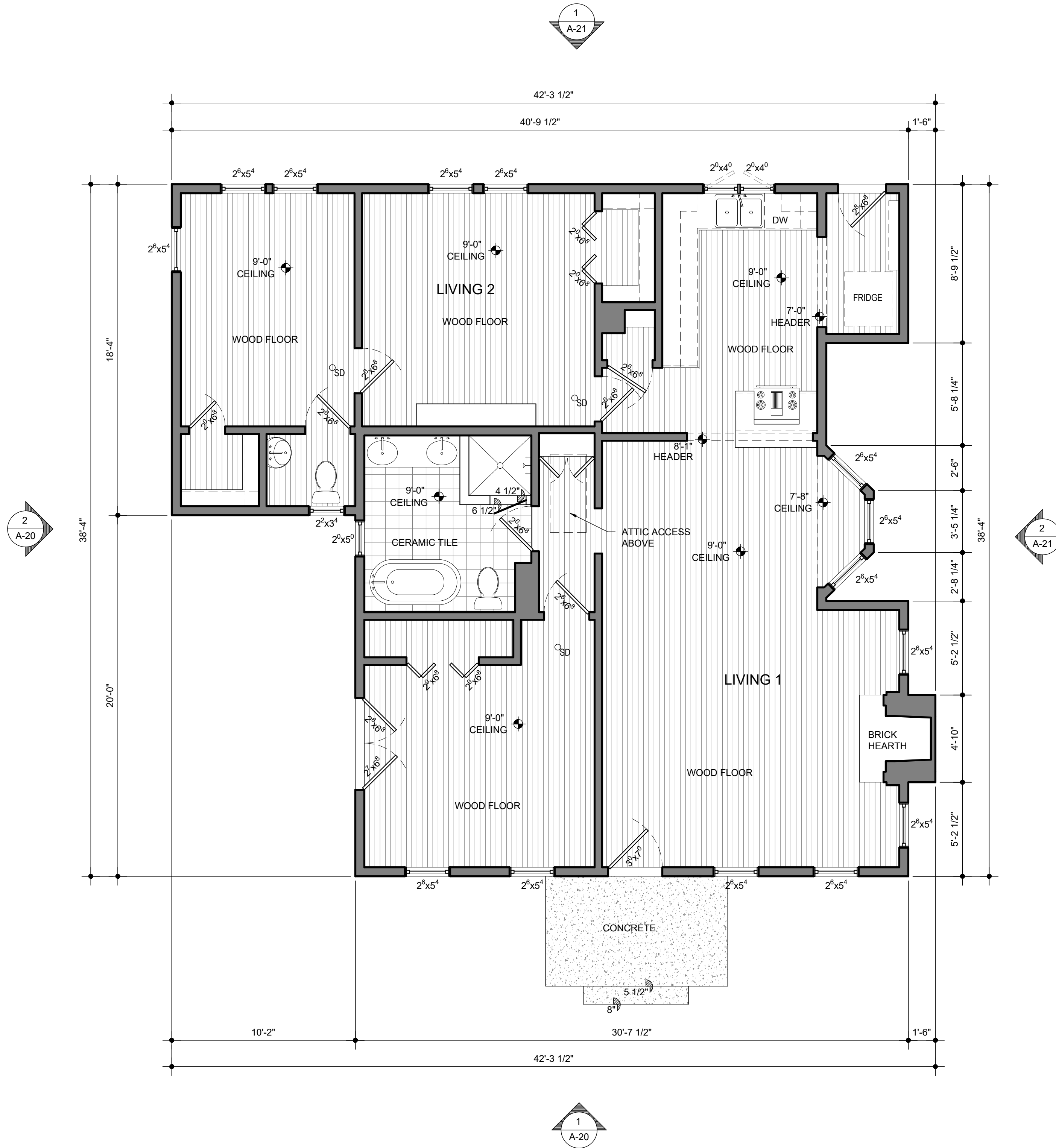
NORTH



1
A-10

1ST FLOOR PLAN

1/4"=1'-0"



SQUARE FOOTAGE		
FIRST FLOOR		
CONDITIONED	1,318	SF
UNCONDITIONED		
UNCOVERED PORCH	67	SF
BASEMENT		
CONDITIONED	455	SF
UNCONDITIONED	232	SF
TOTAL OF ALL SPACES	2,072	SF



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1021 BONHAM TERRACE
AUSTIN, TX

1ST FLOOR PLAN

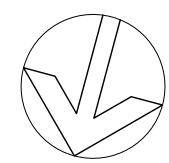
DATE: 05.19.22

AS-BUILTS

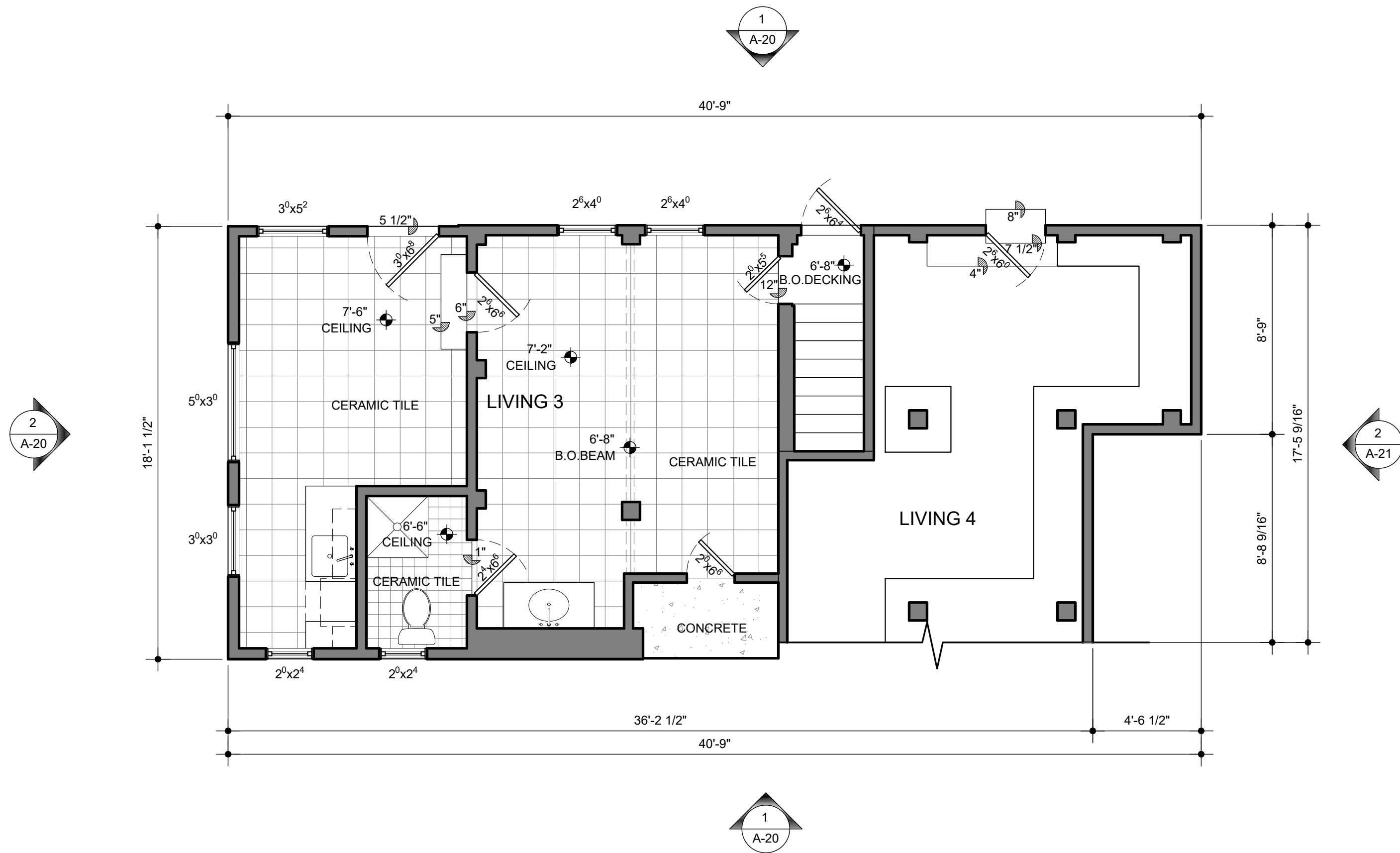
Sheet Number

A-10

NORTH



1 BASEMENT PLAN
A-11 1/4"=1'-0"

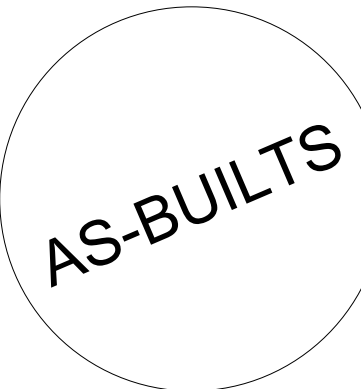


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1021 BONHAM TERRACE
AUSTIN, TX

BASEMENT PLAN

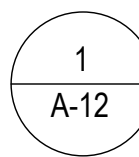
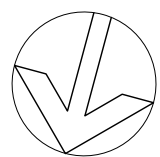
DATE: 05.19.22



Sheet Number

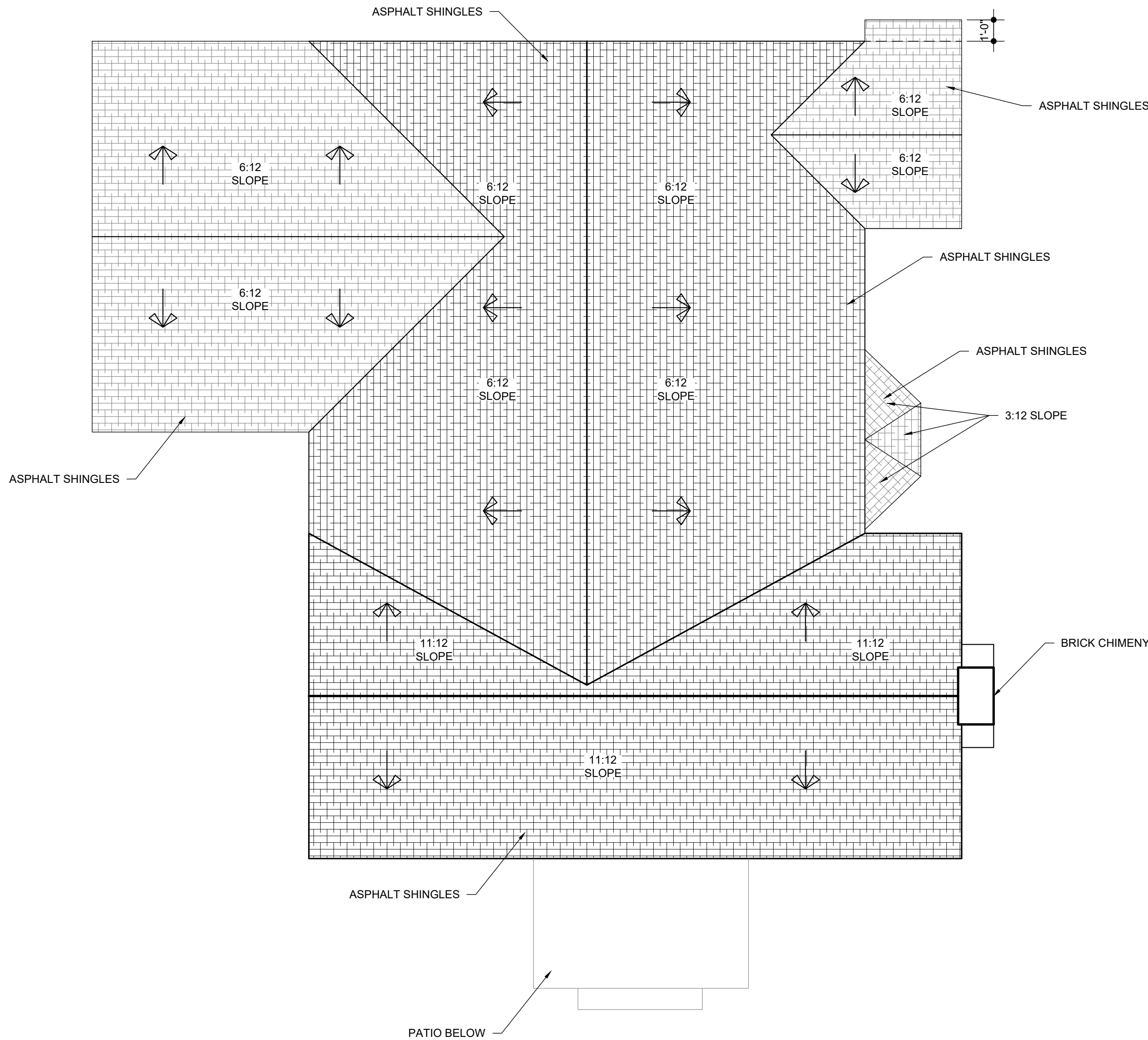
A-11

NORTH



ROOF PLAN

1/4"=1'-0"



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1021 BONHAM TERRACE
AUSTIN, TX

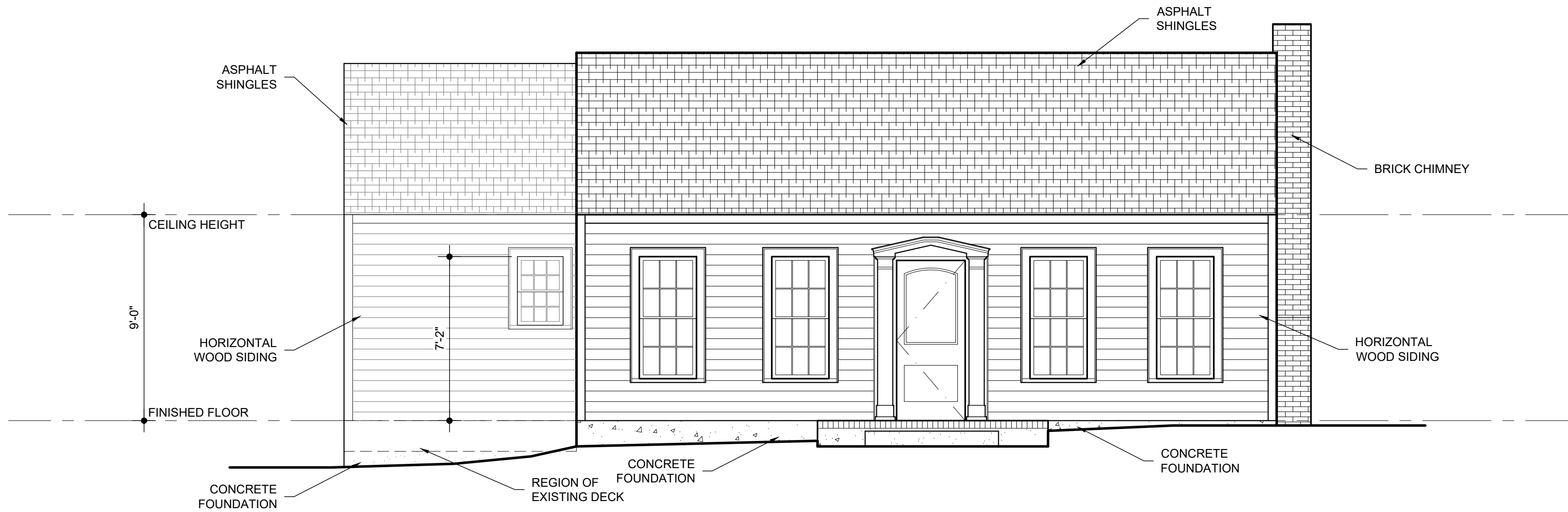
ROOF PLAN

DATE: 05.19.22

AS-BUILTS

Sheet Number

A-12



1 FRONT ELEVATION
A-20 1/4"=1'-0"



2 LEFT ELEVATION
A-20 1/4"=1'-0"

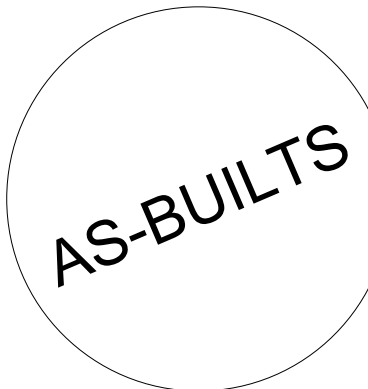


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1021 BONHAM TERRACE
AUSTIN, TX

ELEVATIONS

DATE: 05.19.22

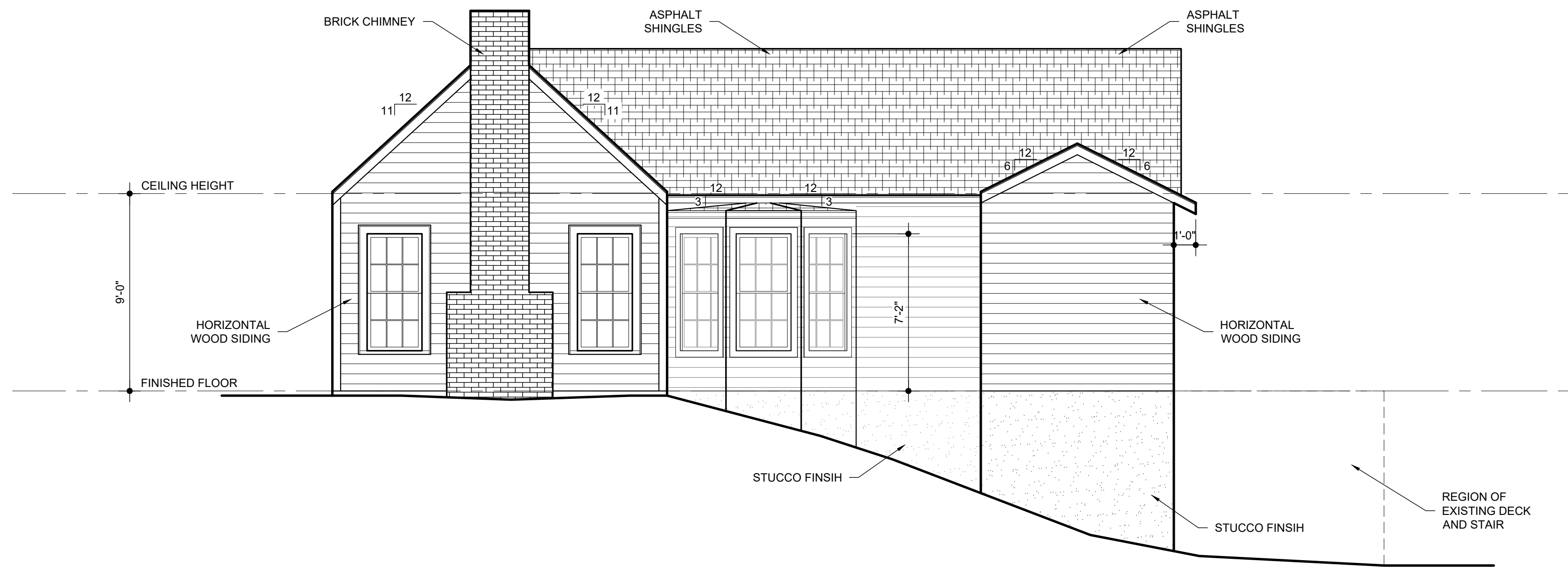


Sheet Number

A-20



1 BACK ELEVATION
A-21 1/4"=1'-0"



2 RIGHT ELEVATION
A-21 1/4"=1'-0"



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1021 BONHAM TERRACE
AUSTIN, TX

ELEVATIONS

DATE: 05.19.22

AS-BUILTS

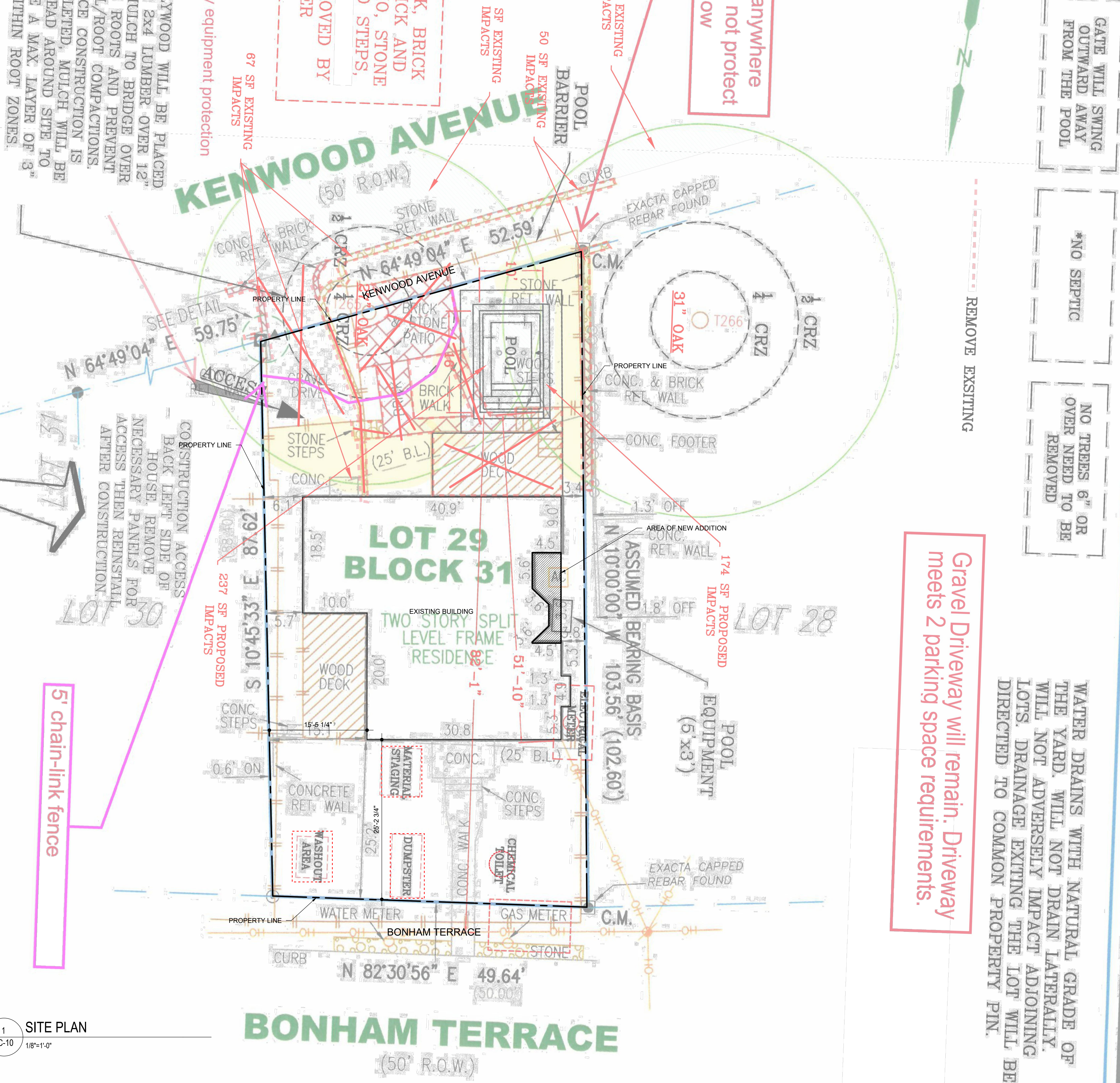
Sheet Number

A-21

IMPERVIOUS COVERAGE		
EXISTING HOME	1,318	SF
NEW ADDITION TO HOME	49	SF
TOTAL AREA OF RENOVATED HOME	1,367	SF

1021 BONHAM TERRACE
AUSTIN, TX

SITE PLAN



Gravel Driveway will remain. Driveway meets 2 parking space requirements.

WATER DRAINS WITH NATURAL GRADE OF THE YARD. WILL NOT DRAIN Laterally. WILL NOT ADVERSELY IMPACT ADJOINING LOTS. DRAINAGE EXITING THE LOT WILL BE DIRECTED TO COMMON PROPERTY PIN.

anywhere
not protect
OW

REMOVE EXSITING

GATE WILL SWING
OUTWARD AWAY
FROM THE POOL

***NO SEPTIC**

NO TREES 6" OR
OVER NEED TO BE
REMOVED

BONHAM TERRACE

LOT 29
LOCK 31

WOOD WILL BE PLACED
2x4 LUMBER OVER 12"
MULCH TO BRIDGE OVER
ROOTS AND PREVENT
L/ROOT COMPACTIONS.
CE CONSTRUCTION IS
LETED, MULCH WILL BE
HEAD AROUND SITE TO
A MAX. LAYER OF 3"
WITHIN ROOT ZONES.

CHAIN LINK FENCE
AND 1/2 CRZ'S AND
LAYER OF MULCH
ROUND REST

31" OAK IMPACT CALCULATIONS
AREA OF FULL CRZ IN SF = 3019 SQ FT
50% OF FULL CRZ AREA = 1509.5 SQ FT
*1509.5 SQ FT MUST REMAIN AT NATURAL
GRADE/NATURAL GROUND COVER

27" OAK IMPACT CALCULATIONS
AREA OF FULL CRZ IN SF = 2290 SQ FT
50% OF FULL CRZ AREA = 1145 SQ FT
*1145 SQ FT MUST REMAIN AT NATURAL GRADE/NATURAL
GROUND COVER

EXISTING IMPACTS (RETAINING WALLS & STREET) = 187 SQ. FT
PROPOSED IMPACTS (POOL AND DECK) = 174 SQ. FT

EXISTING IMPACTS (RETAINING WALLS & CONC. & STREET) = 692 SQ FT

NORTH

SITE PLAN

$$1/8^n = 1' - 0$$

TAG#	DESCRIPTION
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95	...
96	...
97	...
98	...
99	...
100	...

(215 + 1691)

PROPOS IMPERV

TOTAL

EQUIPMEN

COPIT
DECK

IMPERY

NEW

-
-
-

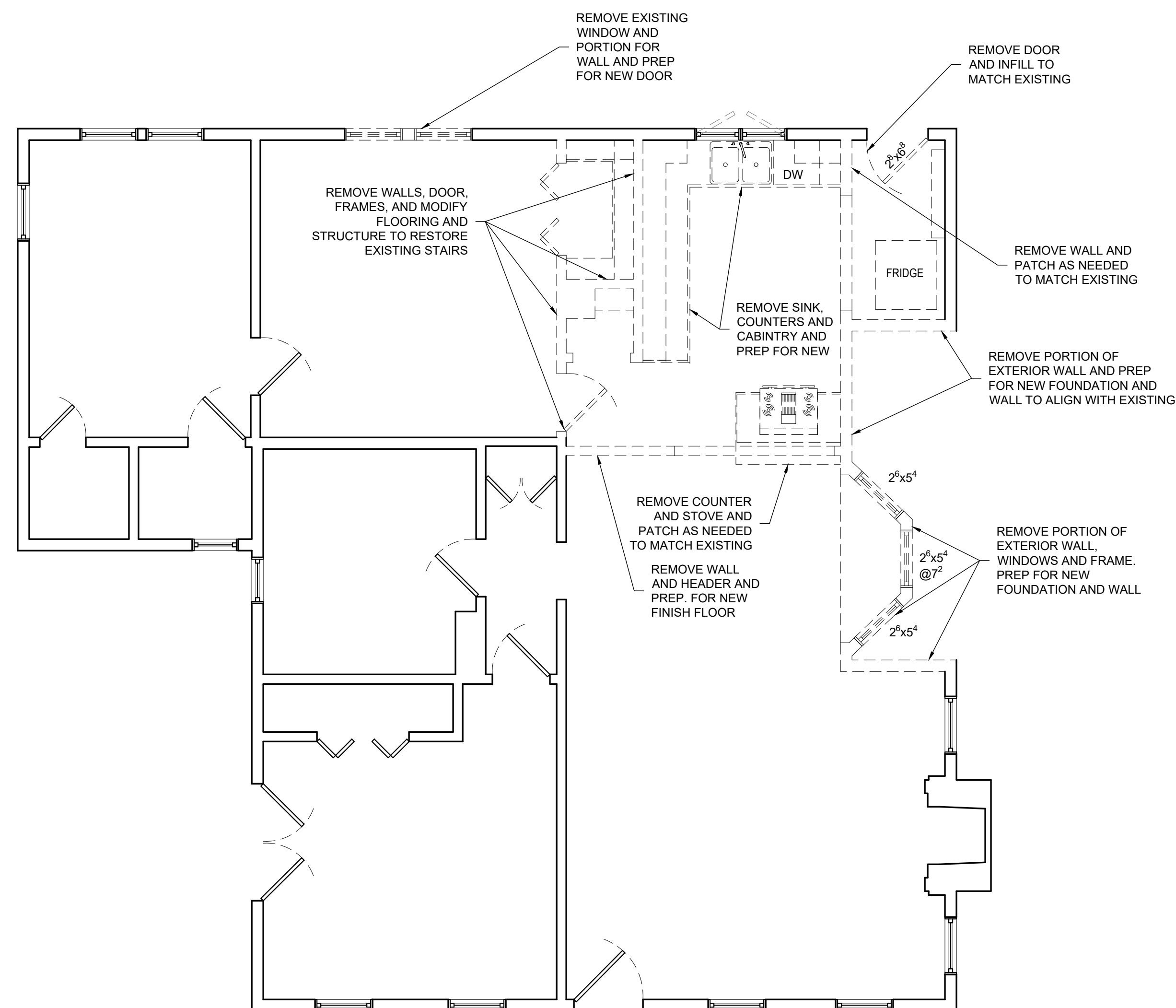
House
Open w
Open c

Open wood de
Open concrete

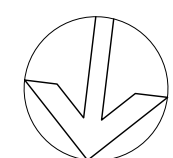
IMPERVIOUS COVERAGE

1327
217

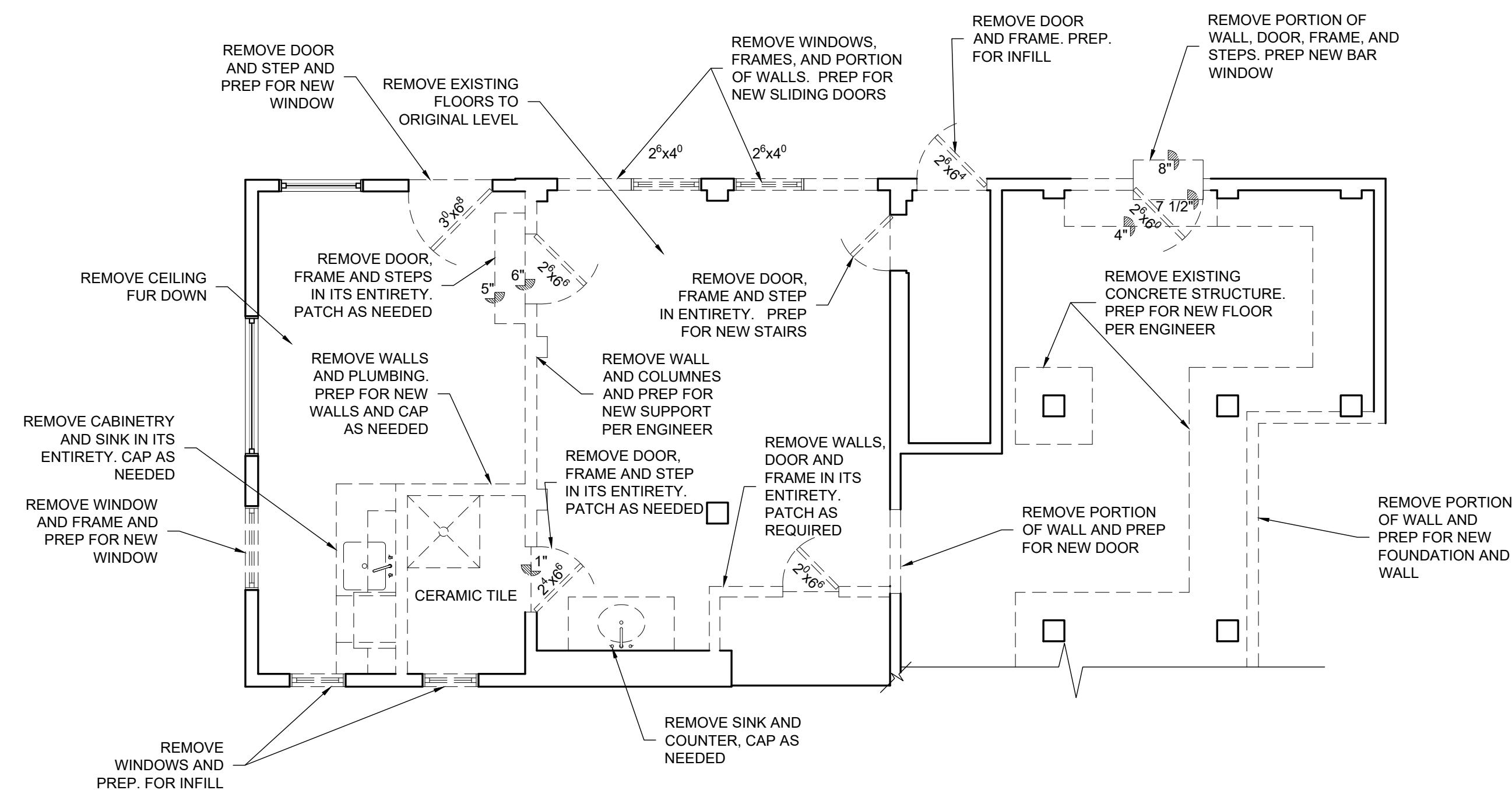
1327 sq. ft.
217 sq. ft.



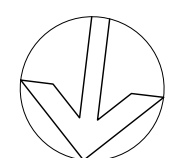
NORTH



1 1ST FLOOR DEMOLITION PLAN
AD-10 1/4"=1'-0"



NORTH



2 BASEMENT DEMOLITION PLAN
AD-10 1/4"=1'-0"



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AUSTIN, TX

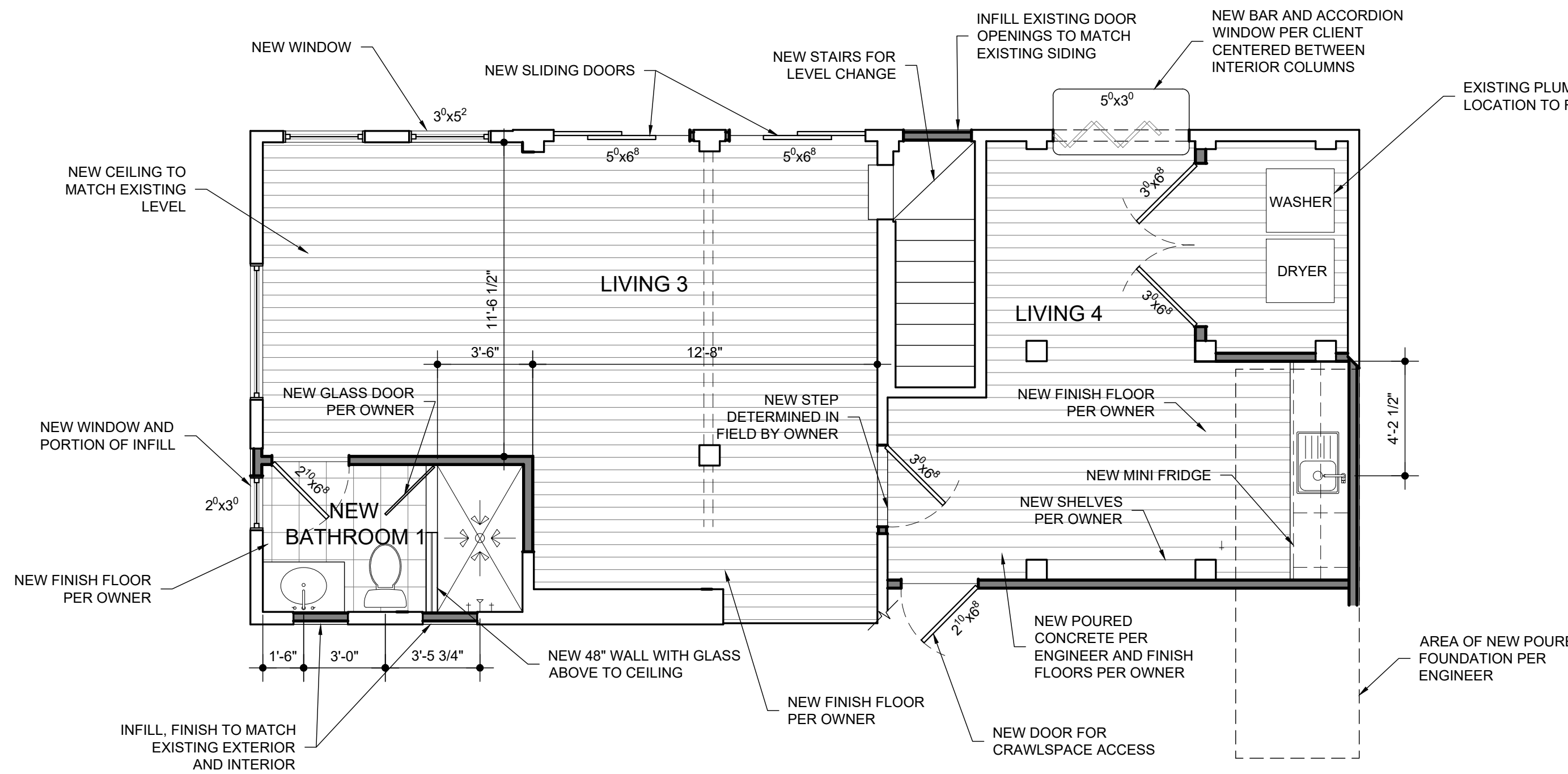
1ST FLOOR AND BASEMENT DEMOLITION PLAN

DATE: 11.10.22

Sheet Number

FOR
CONSTRUCTION

AD-10



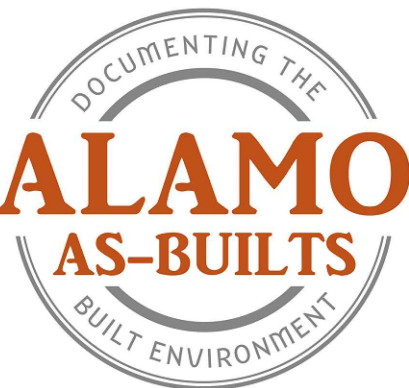
NORTH

  BASEMENT RENOVATION PLAN

2
A-11
1/4"=1'-0"



RENOVATED SQUARE FOOTAGE		
FIRST FLOOR		
CONDITIONED	828	SF
BASEMENT		
CONDITIONED	714	SF
TOTAL OF ALL SPACES	1,542	SF



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AUSTIN, TX

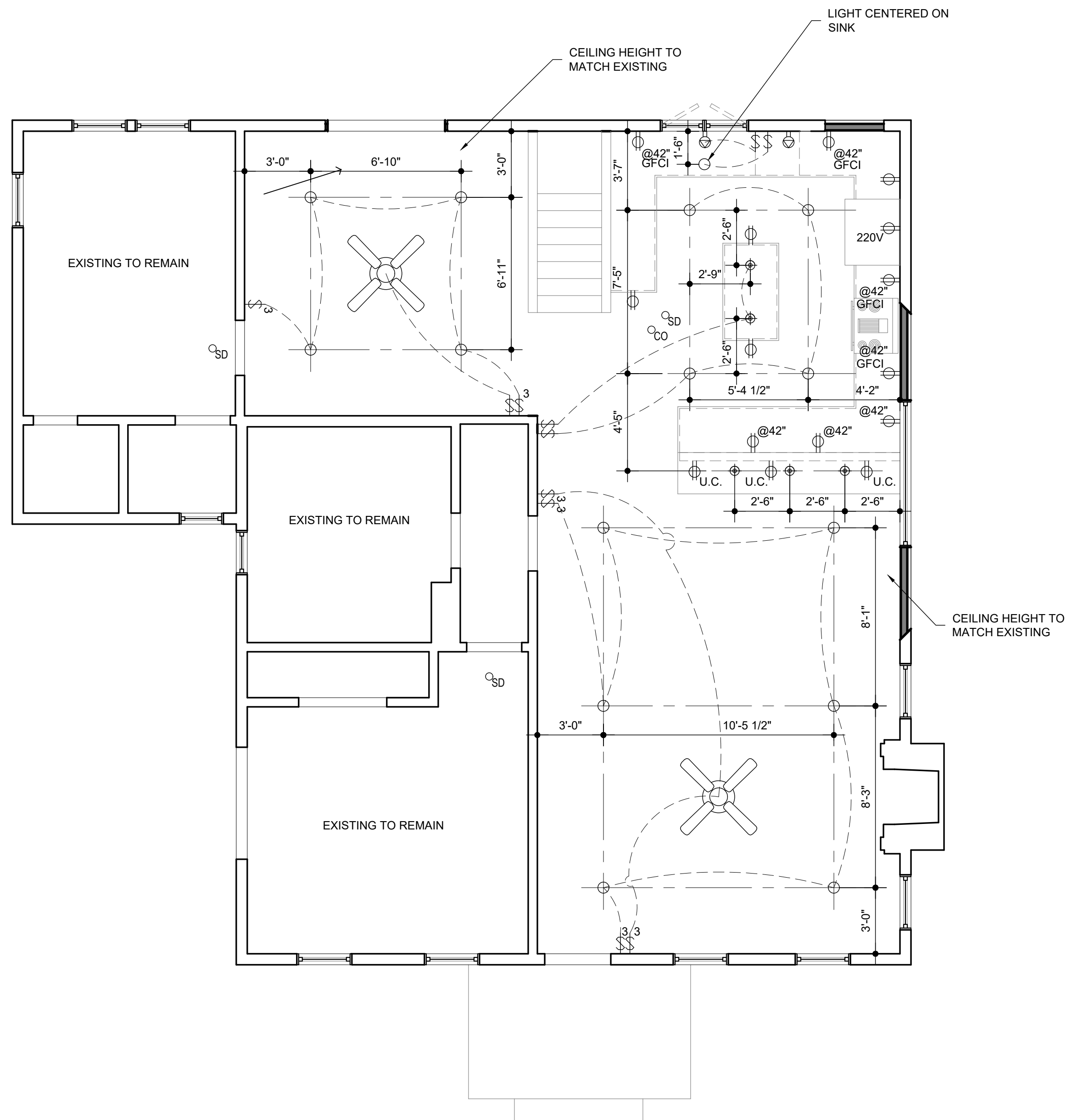
1ST FLOOR AND BASEMENT RENOVATION PLANS

DATE: 11.10.22

Sheet Number

FOR
CONSTRUCTION

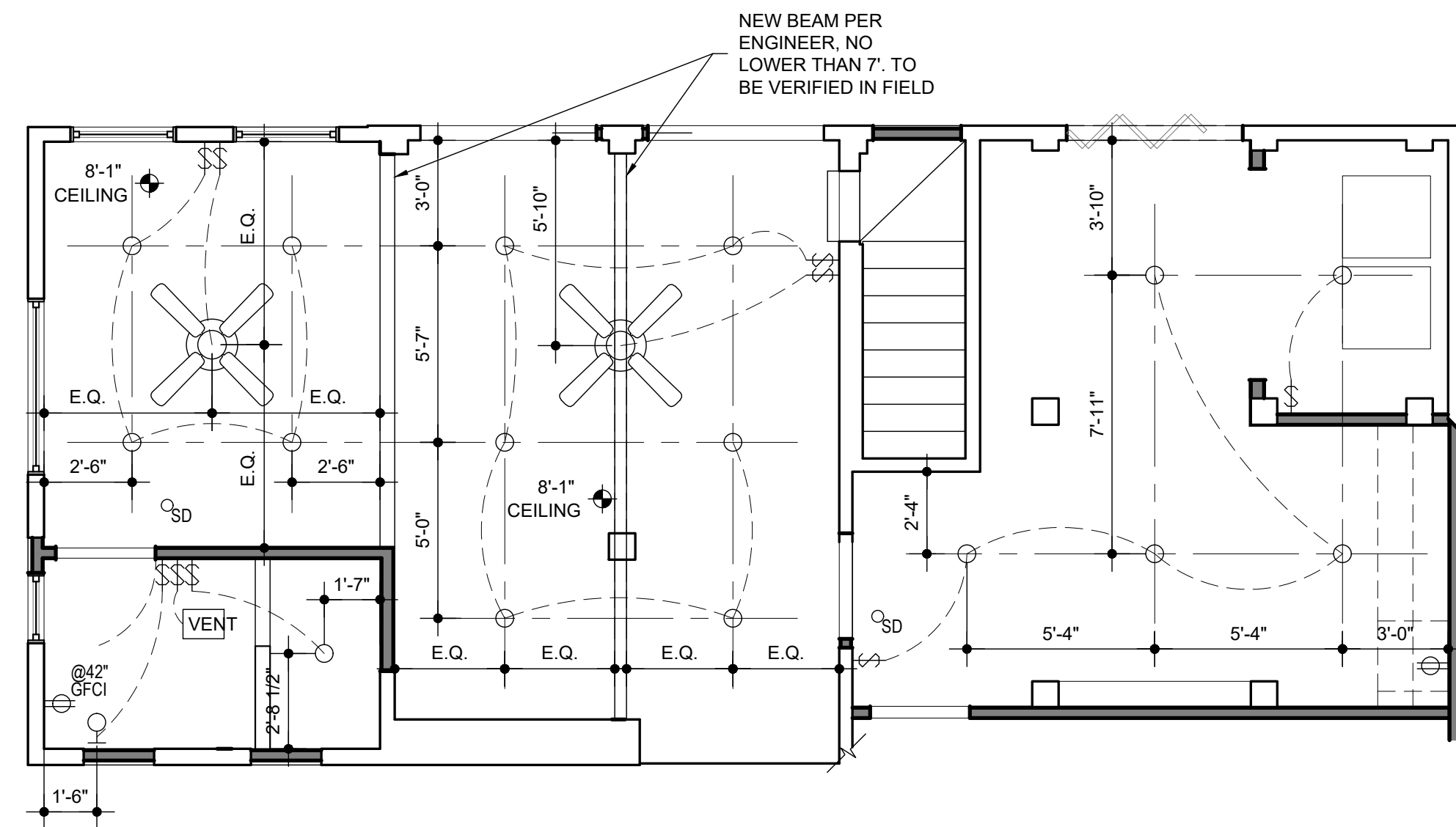
A-11



NORTH

  **1ST FLOOR REFLECTED CEILING PLAN**

$1/4"=1'-0"$



NORTH

  BASEMENT REFLECTED CEILING PLAN

A-12 1/4"=1'-0"

RCP LEGEND	
CEILING FAN	
RECESSED CAN LIGHT	
SCONCE / VANITY LIGHT	
SURFACE-MOUNTED / PENDANT LIGHT	
EXHAUST FAN	
GARAGE DOOR OPENER	
FLOOD LIGHT	
SWITCH	
SWITCH WITH DIMMER	
3-WAY SWITCH	
4-WAY SWITCH	
GARBAGE DISPOSAL SWITCH	
GARBAGE DISPOSAL BUTTON	
UNDER COUNTER OUTLET FOR DISHWASHER/GARBAGE DISPOSAL	
SINGLE OUTLET	
DOUBLE OUTLET	
DOUBLE OUTLET WATER PROOF AND/OR GROUND FAULT CIRCUIT INTERRUPTERS	WP/GFCI
220V OUTLET	
CABLE/DATA OUTLET	CABLE/DATA
SMOKE DETECTOR	
CARBON MONOXIDE DETECTOR	
UNDER-COUNTER LIGHTING	
RETURN AIR GRILLE	
STRIP LIGHT FIXTURE	

GENERAL NOTES

1.		EXISTING WALLS
		NEW WALLS

RCP NOTES	
1.	ALL ELECTRICAL TO COMPLY WITH APPLICABLE CODES
2.	ALL OUTLETS @18" FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
3.	ALL OUTLETS ABOVE COUNTER @ 42" FROM FINISHED FLOOR UNLESS OTHERWISE NOTED
4.	ALL EXISTING OUTLET TO REMAIN EXCLUDING THE KITCHEN AREA



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AUSTIN, TX

1ST FLOOR AND BASEMENT REFLECTED CEILING PLAN

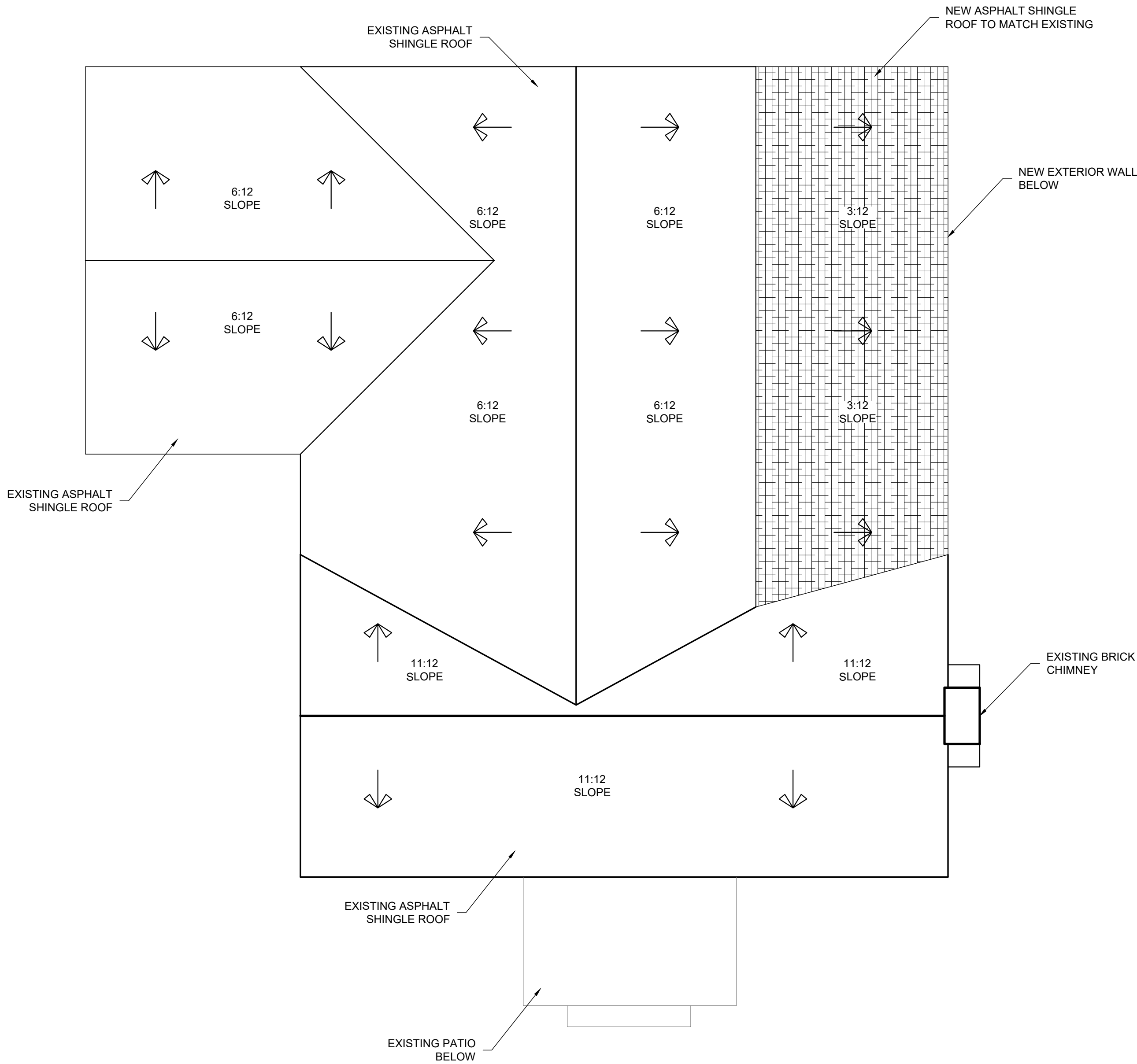
DATE: 11.10.22

Sheet Number

FOR
CONSTRUCTION

A-12

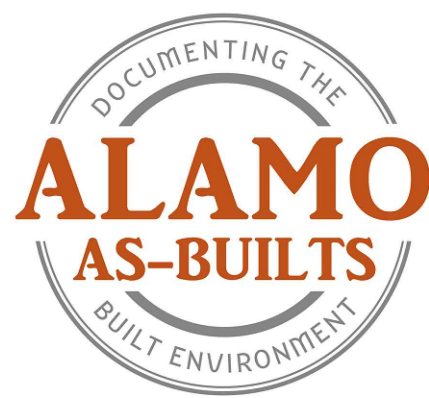
1021 BONHAM TERRACE - DESIGN DRAWINGS



NORTH

1
A-13
1/4"=1'-0"

NEW ROOF PLAN



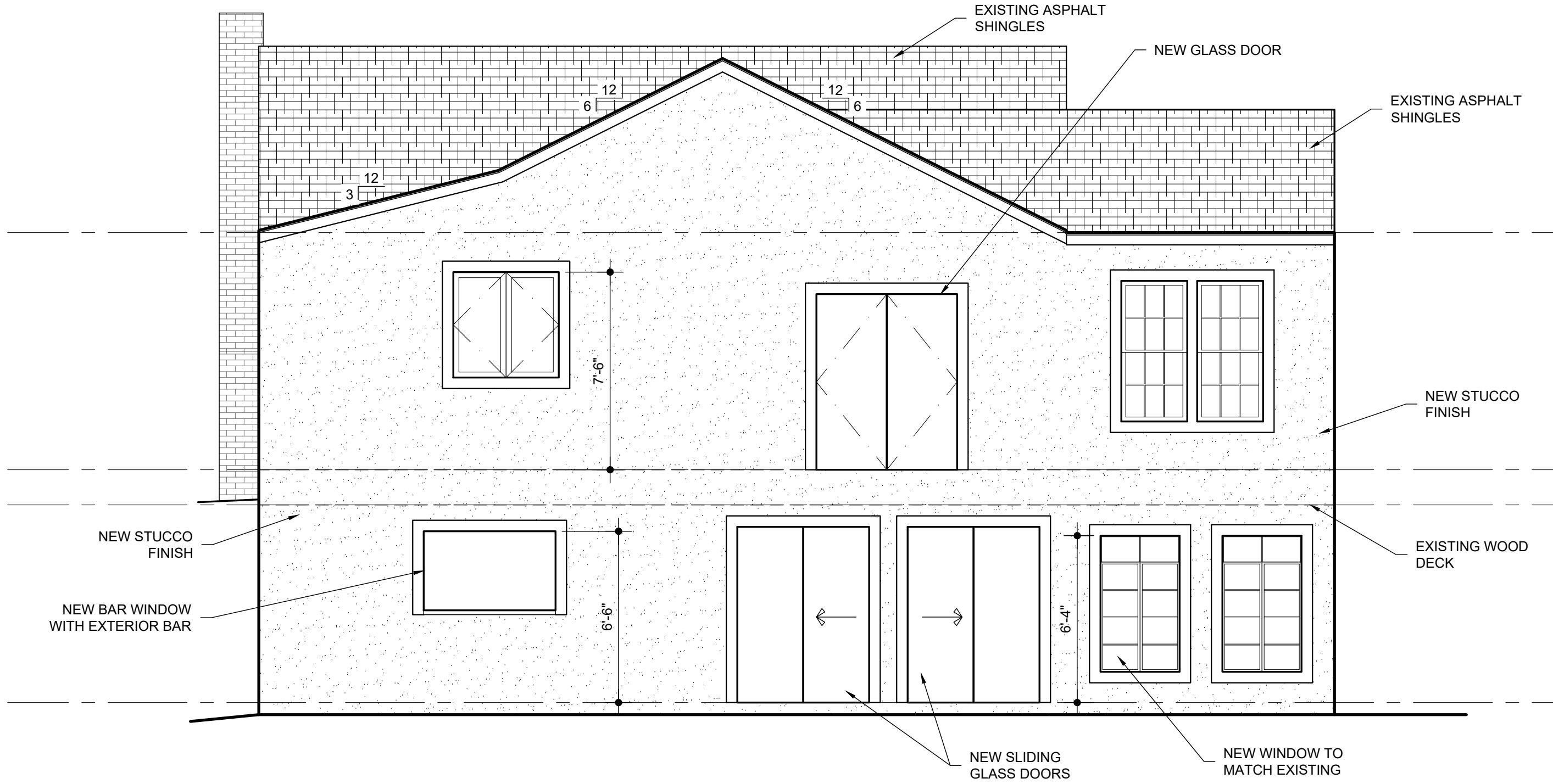
JODY BAKER 210.705.4101
jody@alamoasbuilt.com AlamoAsBuilt.com

1021 BONHAM TERRACE AUSTIN, TX	DATE: 11.10.22
NEW ROOF PLAN	

FOR
CONSTRUCTION

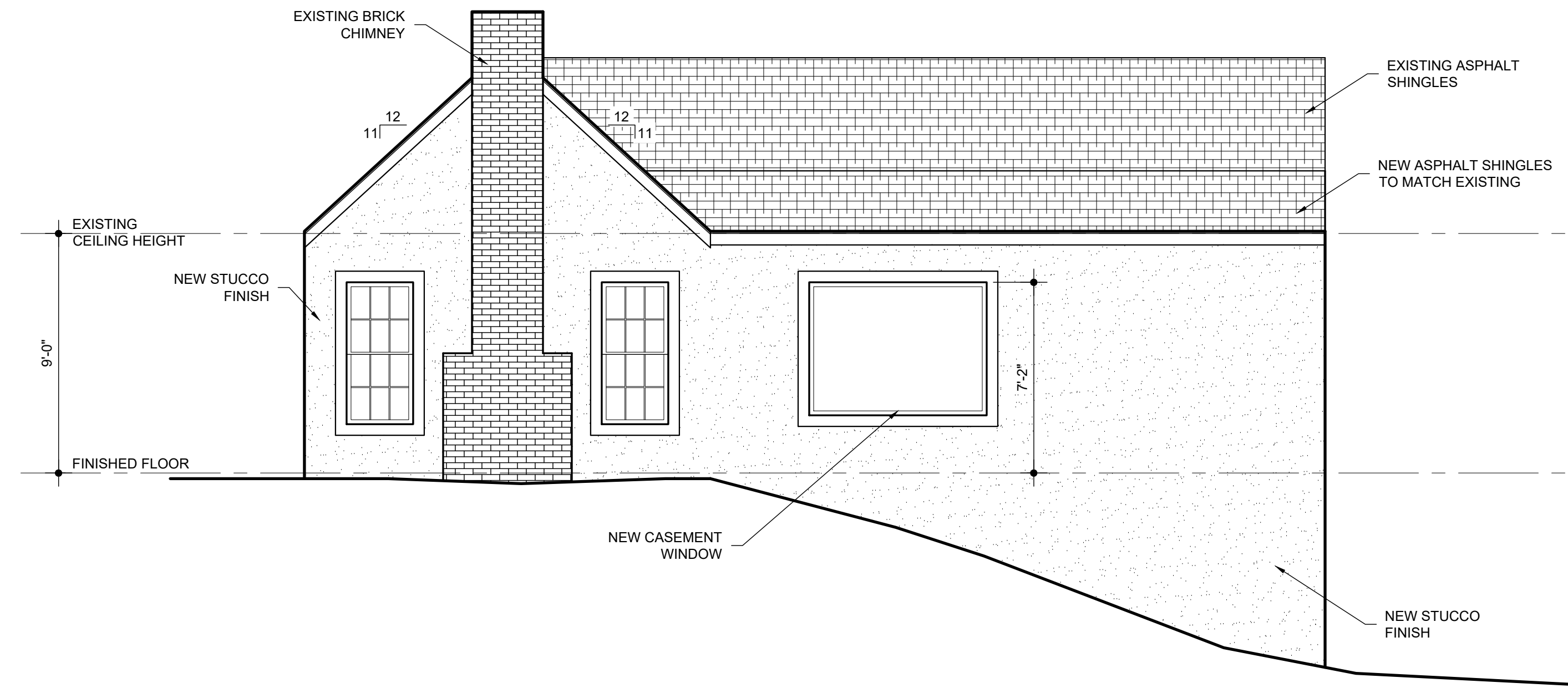
Sheet Number

A-13



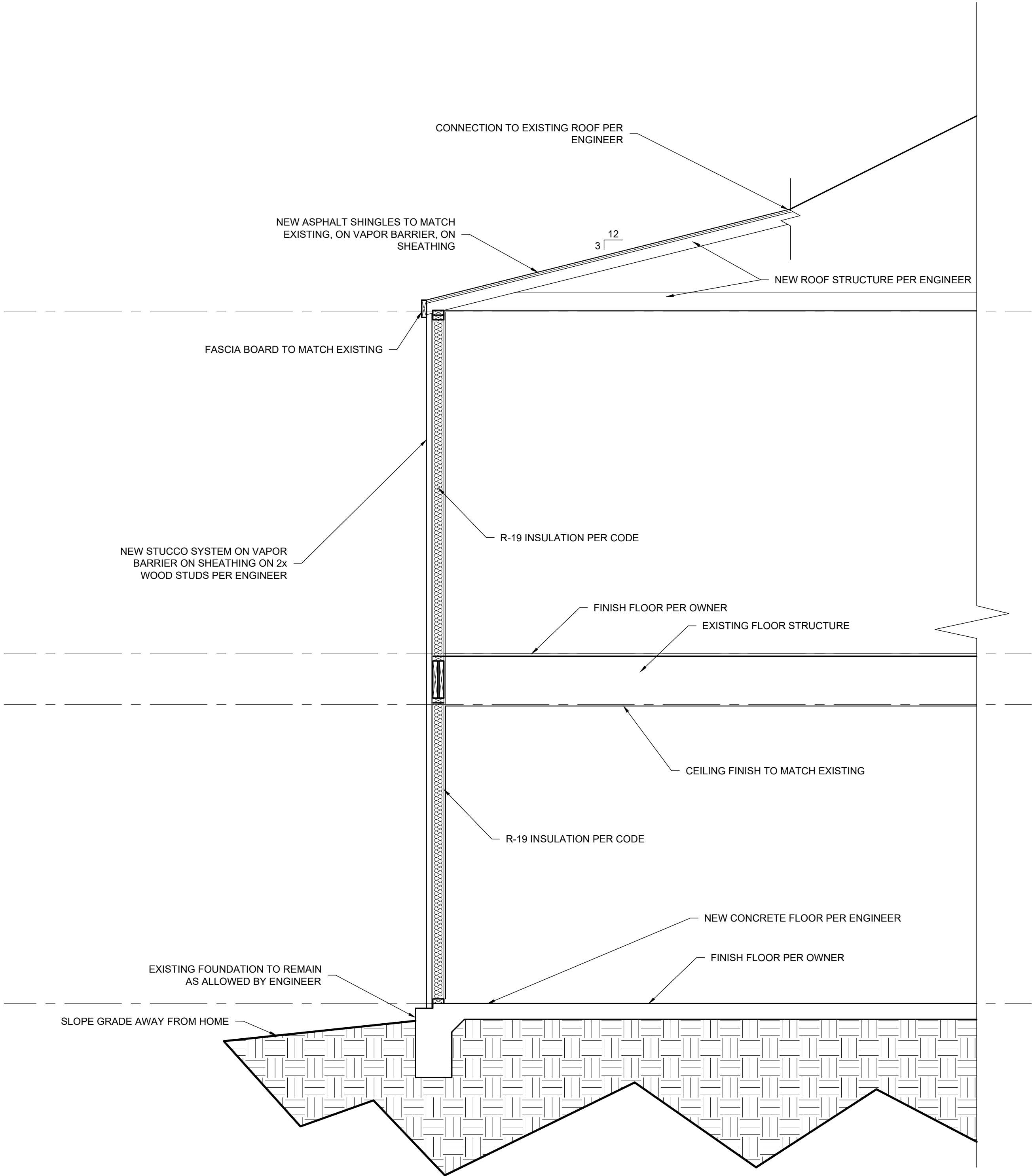
1
A-20
1/4"=1'-0"

EXTERIOR ELEVATION



2
A-20
1/4"=1'-0"

EXTERIOR ELEVATION



3
A-20
1/2"=1'-0"

SECTION

NOTES
1. ALL EXTERIOR FINISH TO BE CHANGED TO STUCCO



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1021 BONHAM TERRACE
AUSTIN, TX

EXTERIOR ELEVATIONS
AND SECTION

DATE: 11.10.22

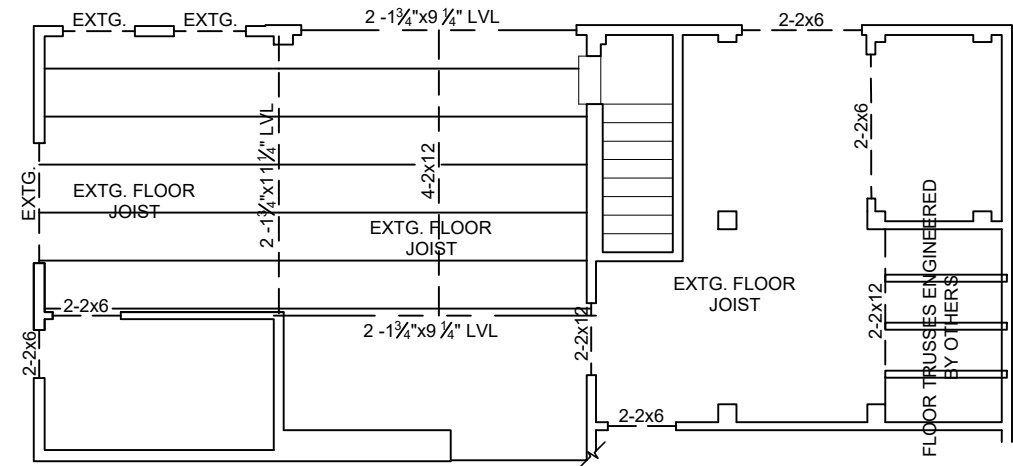
FOR
CONSTRUCTION

Sheet Number
A-20

-ALL CEILING JOISTS TO BE 2x6 @ 24" O.C.
-TYPICAL U.N.O.

-LAMINATED VENEER LUMBER (LVL) MEMBERS
ARE TO BE LVL 2.0E" FB=2600

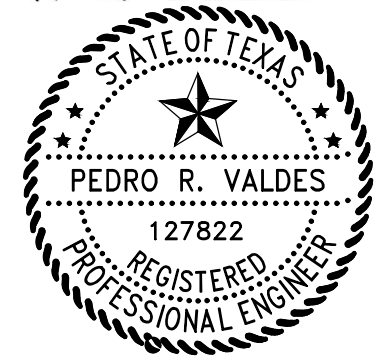
-ANTHONY POWER BEAM (APB) REFERS TO A GLU-LAM WITH $E = 2100$ KSI, AND $F_v = 300$ PSI. FOR 3.5" AND 5.5" WIDTHS $F_b = 3000$ PSI, AND FOR 7" WIDTHS $F_b = 2800$ PSI



BASEMENT FLOOR

Peas N Val

11-7-2022



e-mail: pedrovaldesreyes6@yahoo.com
Firm # 19302

1. DOOR/WINDOW HEADER: 2-2x6, AT NON-LOAD BEARING WALLS. (TYP).
2. ALL EXTERIOR HEADERS AT PERIMETER: MIN. 2-2x8 U.N.O.
3. DOOR WINDOW HEADER AT LOAD BEARING WALLS FOR FLOOR TRUSSES, MAX. 6'-0" HEADER: 2-2x12 @2x4 WALL AND 3-2x12 @ 2x6 WALL (MIN.) TYP. U.N.O. 6'-0" AND OVER (SPECIAL DESIGN)

DATE: 11/7/2022

Designing and Construction, Inc.

2801 WELLS BRANCH PKWY #821
AUSTIN, TEXAS 78728
(512) 731-6691
e-mail: kottdesigning.inc@hotmail.com

KOTT

FRAMING PLAN

PROJECT NAME: RESIDENTIAL REMODEL
ADDRESS: 1021 BONHAM TERRACE
AUSTIN, TX 78704

AWN BY: R. Smith
TE: 11/7/2022
B NO:
VISIONS:

SHEET
S1.0
2
OF
6

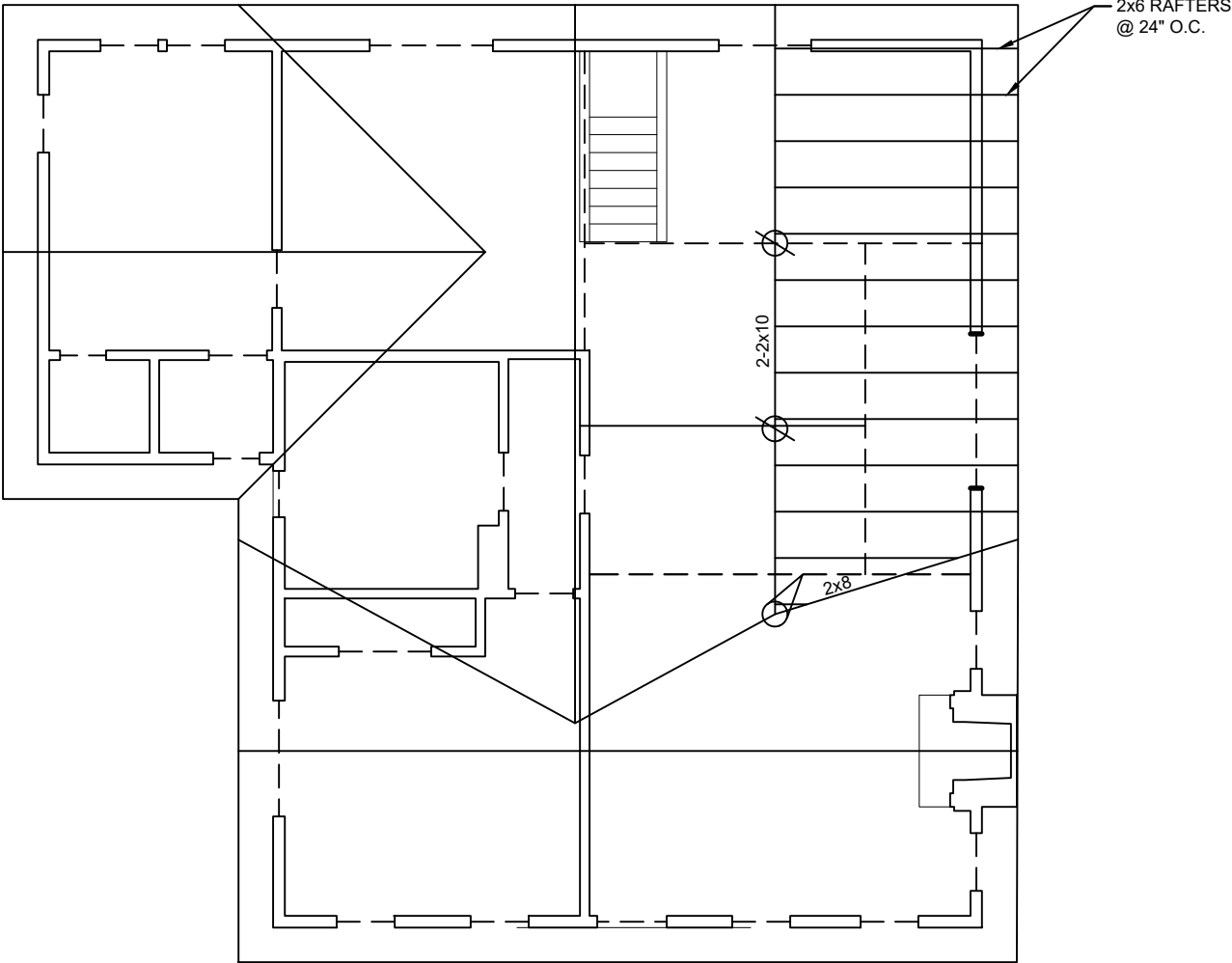
CEILING JOIST NOTE:

-ALL CEILING JOISTS TO BE 2x6 @ 24" O.C.
-TYPICAL U.N.O.

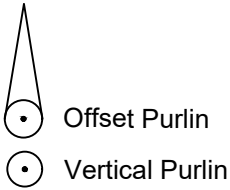
CEILING BEAM NOTE:

-LAMINATED VENEER LUMBER (LVL) MEMBERS
ARE TO BE LVL 2.0E" FB=2600

-ANTHONY POWER BEAM (APB) REFERS TO A
GLU-LAM WITH E = 2100 KSI, AND Fv =300 PSI.
FOR 3.5" AND 5.5" WIDTHS Fb = 3000 PSI, AND
FOR 7" WIDTHS Fb =2800 PSI



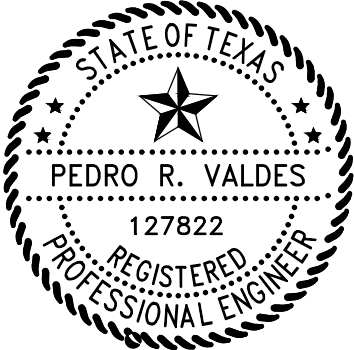
LEGEND:



HEADER NOTE:

1. DOOR/WINDOW HEADER: 2-2x6, AT NON-LOAD BEARING WALLS. (TYP).
2. ALL EXTERIOR HEADERS AT PERIMETER: MIN. 2-2x8 U.N.O.
3. DOOR WINDOW HEADER AT LOAD BEARING WALLS FOR FLOOR TRUSSES, MAX. 6'-0" HEADER: 2-2x12 @2x4 WALL AND 3-2x12 @ 2x6 WALL (MIN.) TYP. U.N.O. 6'-0" AND OVER (SPECIAL DESIGN)

Pedro R Val
11-7-2022



e-mail: pedrovaldesreyes6@yahoo.com
Firm # 19302

DATE: 11/7/2022

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AUSTIN, TEXAS 78728
(512) 731-6691
e-mail: kottdesigning,inc@hotmail.com

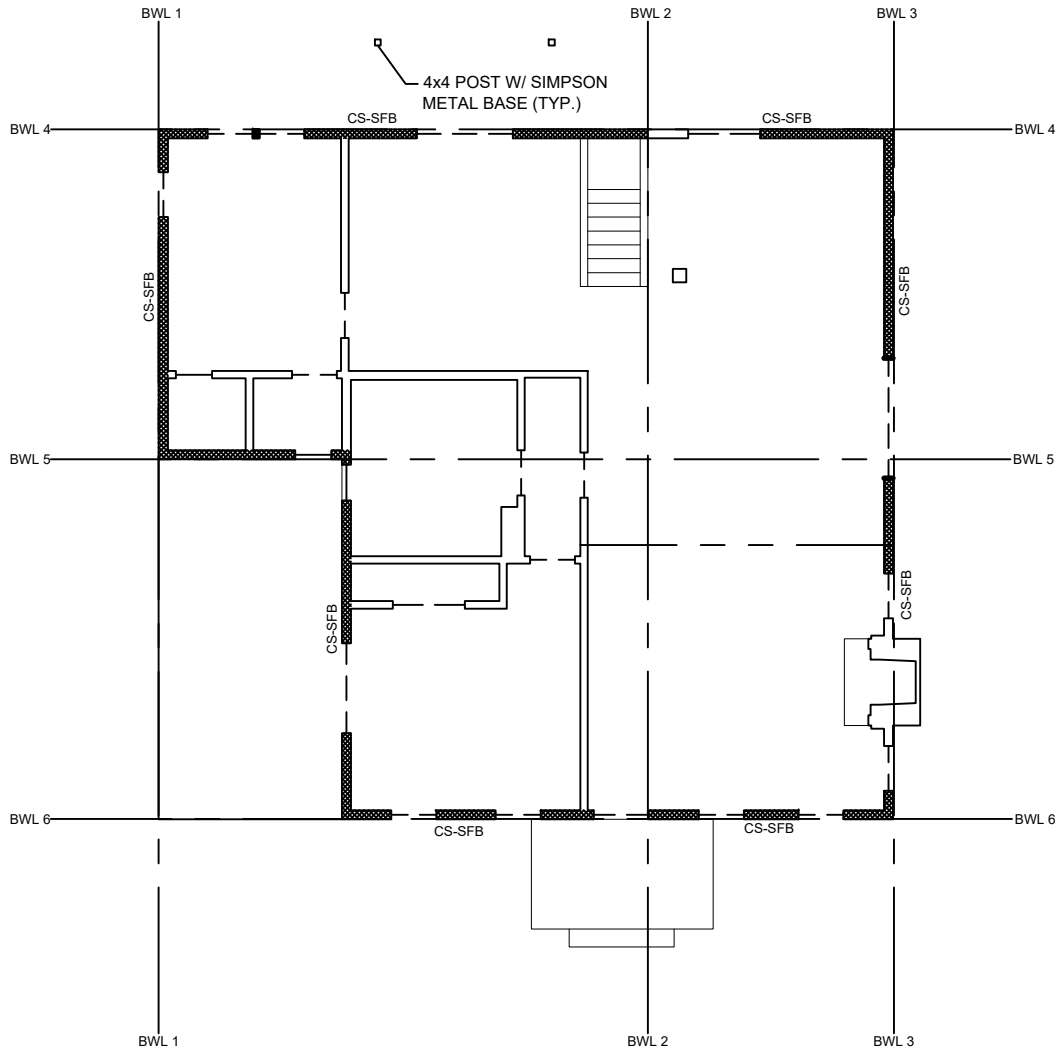
Kott

ROOF FRAMING PLAN

PROJECT NAME: RESIDENTIAL REMODEL
ADDRESS: 1021 BONHAM TERRACE
AUSTIN, TX 78704

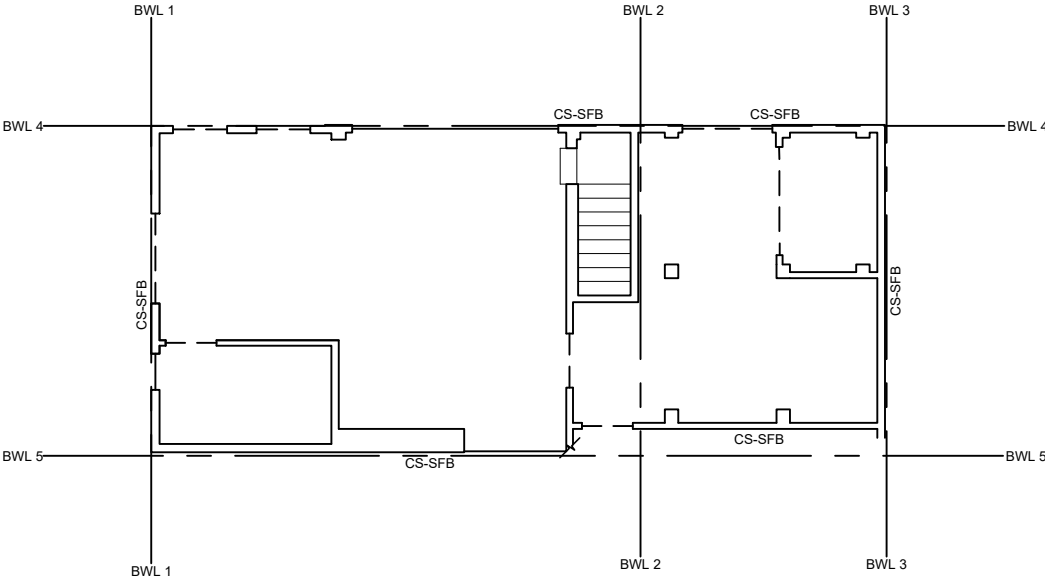
DRAWN BY: R. Smith
DATE: 11/7/2022
JOB NO:
REVISIONS:

SHEET
S2.0
3
OF
6



1ST FLOOR WIND BRACING PLAN

Scale: 3/32" = 1' - 0"



2ND FLOOR WIND BRACING PLAN

Scale: 3/32" = 1' - 0"

NOTES:

- 1. WIND LOADS PER 2021 INTERNATIONAL RESIDENTIAL CODE:
BASIC WIND SPEED: 115 MPH (3 SEC. GUST)
EXPOSURE: B
BUILDING CATEGORY II
I = 1.0
- 2. SHEATHING TO BE 7/16" STRUCTURAL T-PLY. ATTACH WITH/
FASTENERS 3" O.C. @ EDGES AND 3" O.C. INTERMEDIATE STUDS.
PER 2021 IRC. TABLE R602.3 (1). 2X STUDS AT 16" O.C.. FASTEN
STUDS PER LATEST IRC.
- 3. FASTENERS BETWEEN PANEL ENDS SHALL BE PER LATEST IRC.
- 4. USE DETAIL 1 & 2 (TYP. DETAIL SHEET) FOR 1X4 LET-IN BRACED
WALL
- 5. MAXIMUM BWL SPACING: 60FT
- 6. FLOOR DECK SHALL BE 3/4" (MIN.) PLYWOOD OR OSB FASTENED
WITH 8D COMMON NAILS @ 6" O.C. (EDGES) AND 12" O.C.
(INTERMEDIATE)
- 7. ROOF DECK SHALL BE 7/16" (MIN.) PLYWOOD OR OSB FASTENED
WITH 8D COMMON NAILS @ 6" O.C. (EDGES) AND 12" O.C.
(INTERMEDIATE)
- 8. ALL GYPSUM SHEATHING SHALL BE 1/2" THICK, AND FASTENED WITH
1 1/2" GALVANIZED ROOFING NAIL; 1 1/2" SCREW, TYPE W OR S. (REF.
TABLE R602.10.4) NAILS/SCREWS @ 7" O.C.

LEGEND		
SYMBOL	DESCRIPTION	BRACING METHOD
	STRUCTURAL GRADE T- PLY (THERMO PLY)	CS-SFB: STRUCTURAL FIBER BOARD

BRACING METHOD		THICKNESS (TABLE R602.10.4)	FASTENERS (TABLE R602.10.4)
CS-SFB	CONT. SHEATHED STRUCTAL FIBER BOARD		1 1/2" LONG x0.12" DIA. (FOR 1/2" THICK SHEATHING) 1 3/4" LONG x0.12" DIA. (FOR 5/8" THICK SHEATHING) GALVANIZED ROOFING NAILS OR 8d COMMON (2 1/2" LONG X0.131" DIA.) NAILS.
GB	GYPSUM BOARD	1/2"	[REF. TABLE R602.3(1)]

- (1) IRC 2021: R602.10.4 / R602.10.4.1
- (2) EITHER SIDE OF WALL ON INTERIOR WALLS
- (3) PORTAL FRAME (INTERMITTENT) WITH HOLD DOWNS.
- (4) PORTAL FRAME AT GARAGE.

Pedro R Valdes

11-7-2022



e-mail: pedrovaldesreyes6@yahoo.com
Firm # 19302

DATE: 11/7/2022

Designing and Construction, Inc.

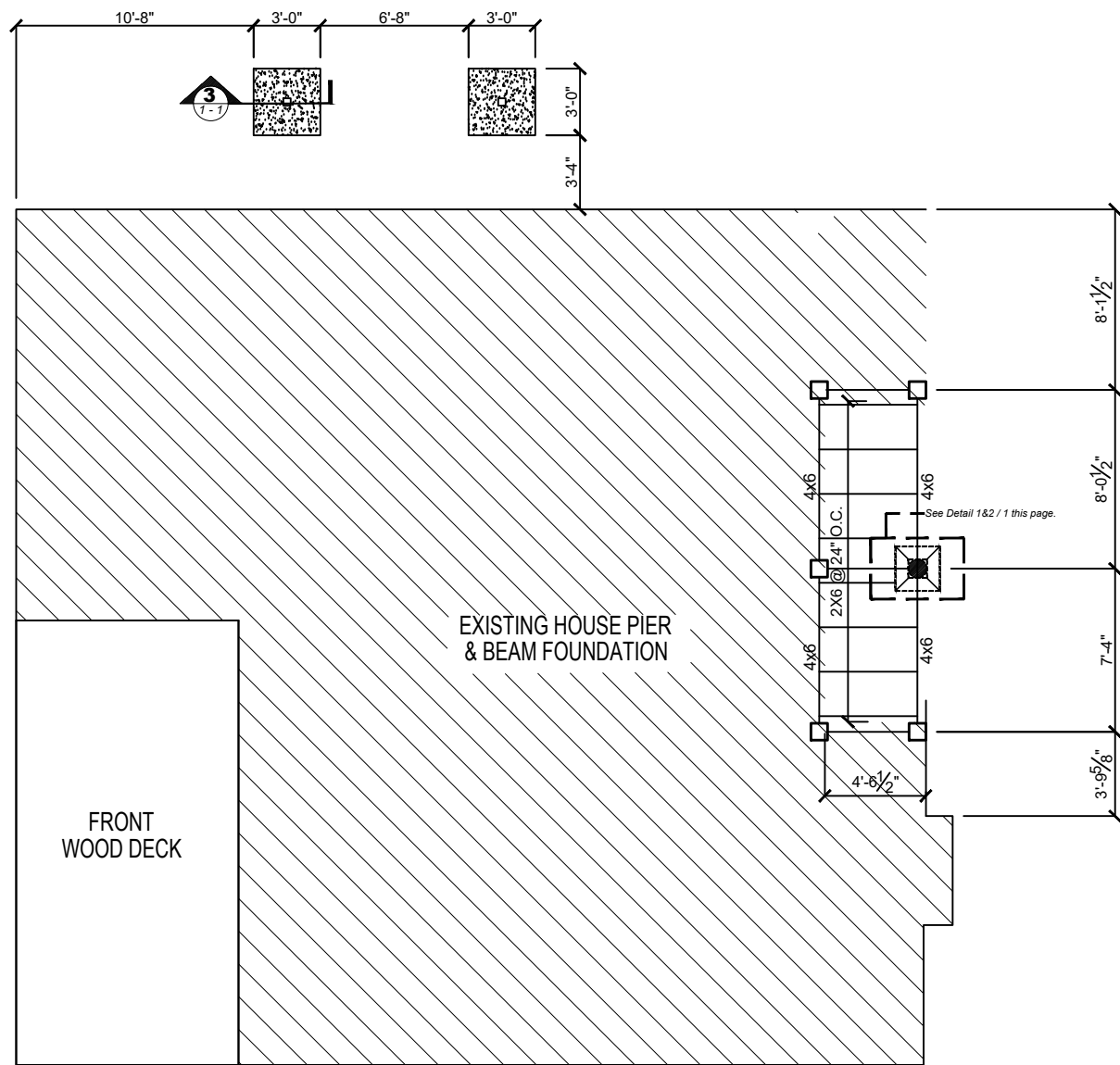
2801 WELLS BRANCH PKWY #821
AUSTIN, TEXAS 78728
(512) 731-6691
e-mail: kottdesigning.inc@hotmail.com



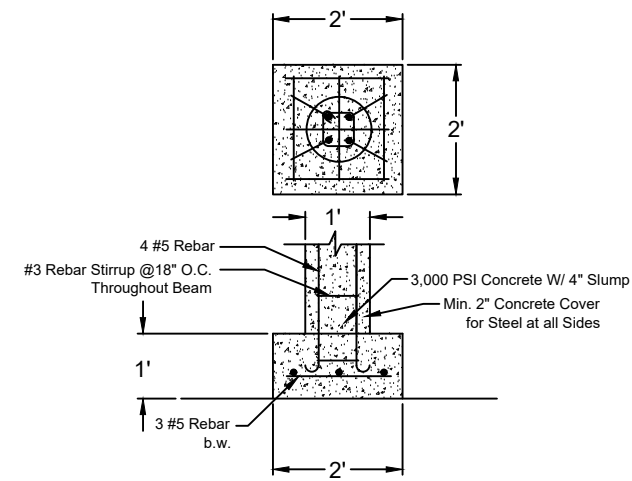
SHEAR WALL PLAN

PROJECT NAME: RESIDENTIAL REMODEL
ADDRESS: 1021 BONHAM TERRACE
AUSTIN, TX 78704

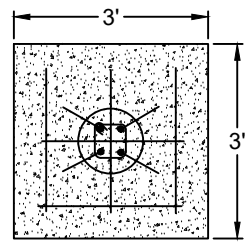
DRAWN BY: R. Smith
DATE: 11/7/2022
JOB NO:
REVISIONS:



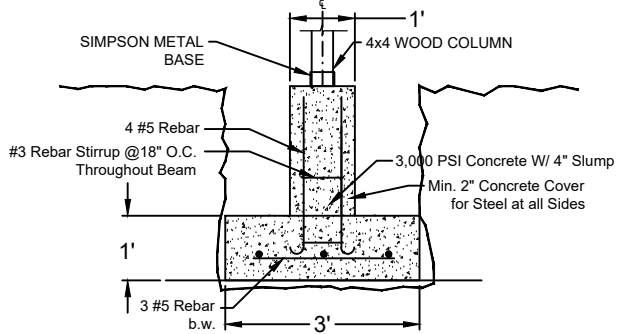
PIER AND BEAM FOUNDATION
Scale: 1/8" = 1' - 0"



1 FOOTING SECTION
N.T.S.

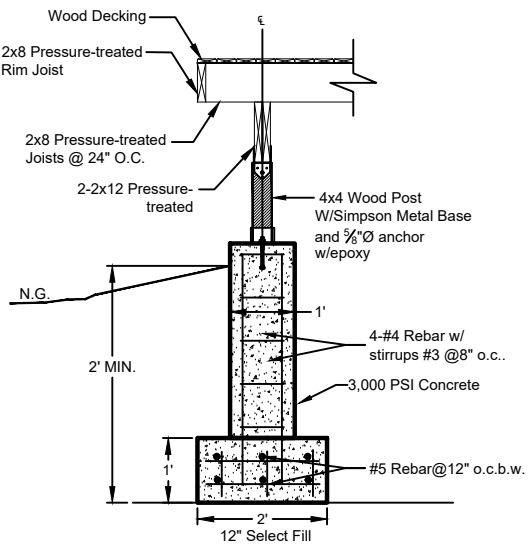


PIER AND BEAM FOUNDATION DETAILS
Scale: N.T.S.



3 FOOTING SECTION
N.T.S.

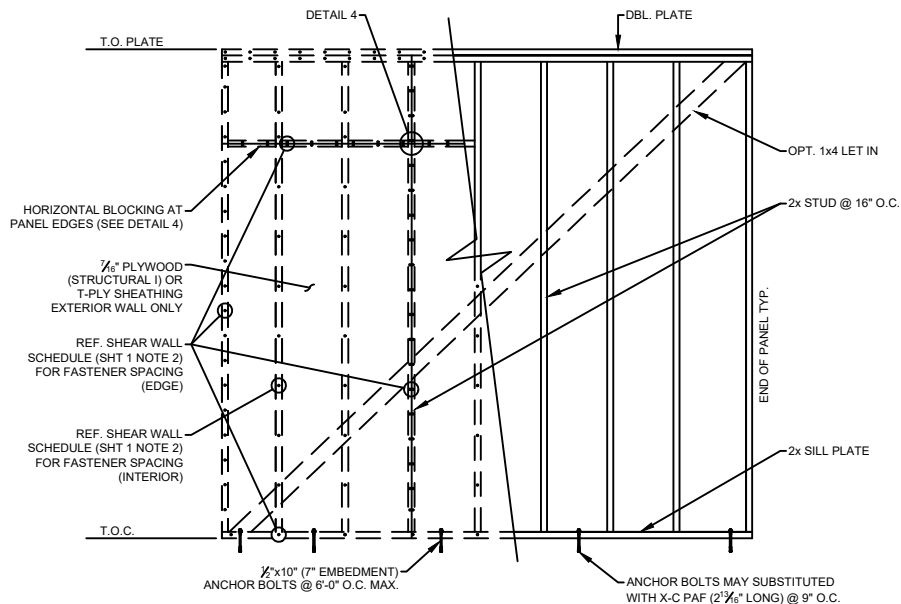
COLUMN FOOTING DETAILS
Scale: N.T.S.



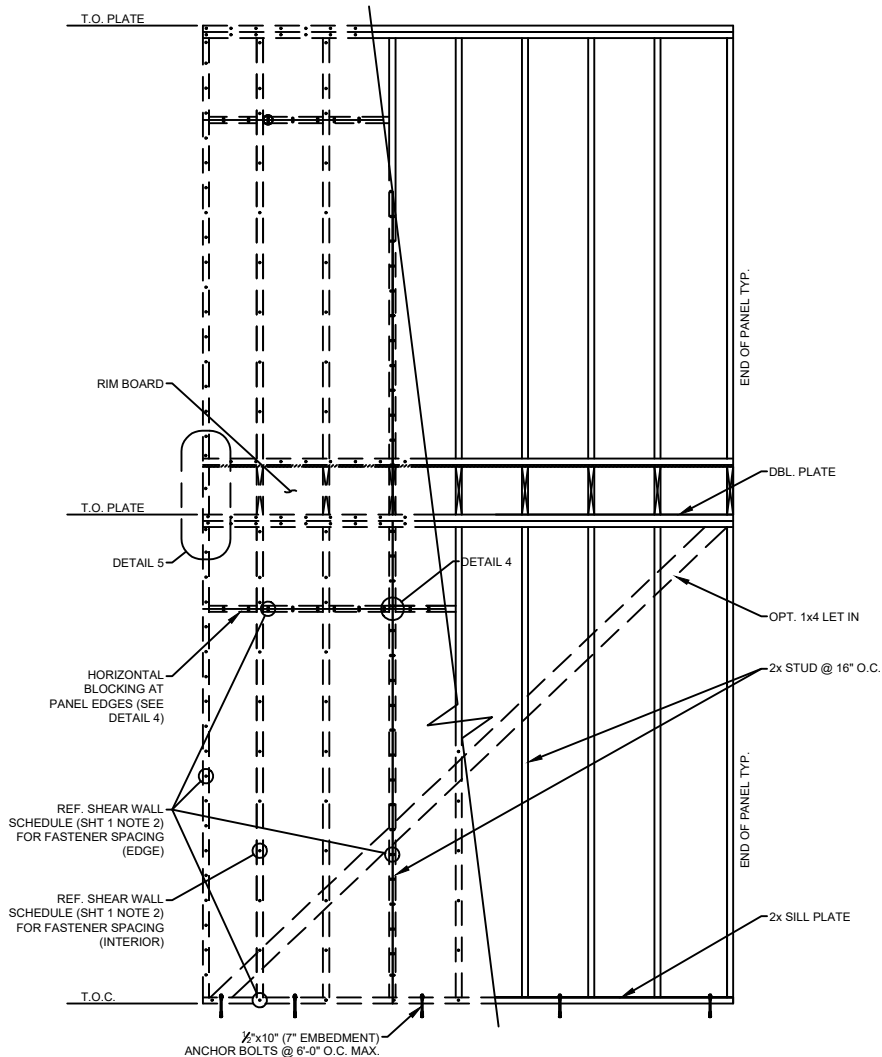
2 CONCRETE PEDESTAL (TYP)
N.T.S.

DIMENSIONAL NOTE:
Concrete contractor shall verify all foundation dimensions with the architectural drawings. If the contractor finds discrepancies, contractor shall notify the Design Engineer immediately.

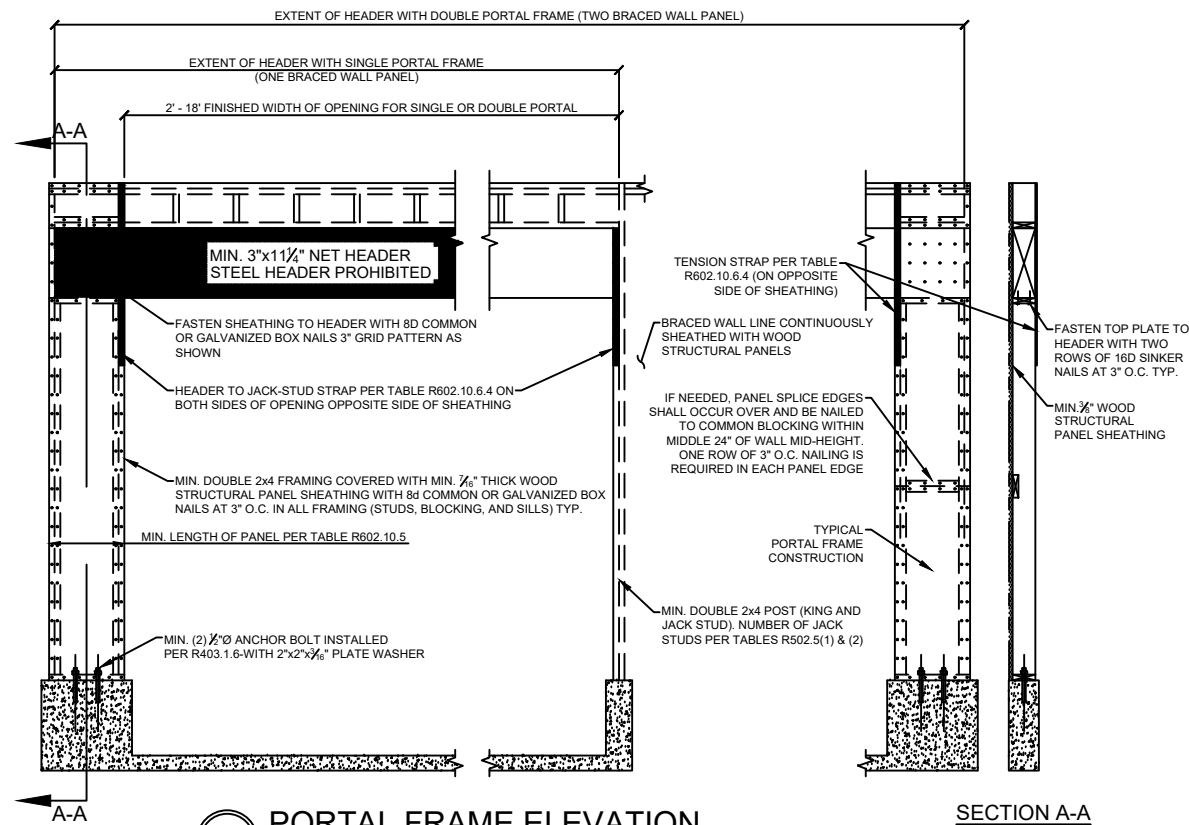
Pedro R. Valdes
11-7-2022
STATE OF TEXAS
PEDRO R. VALDES
127822
REGISTERED PROFESSIONAL ENGINEER
e-mail: pedrovaldesreyes6@yahoo.com
Firm # 19302



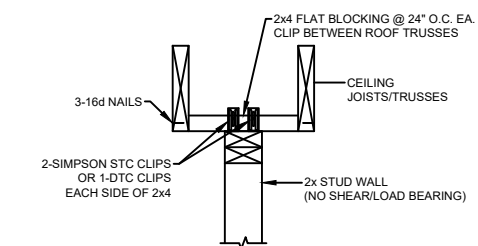
1 ONE STORY WALL PANEL



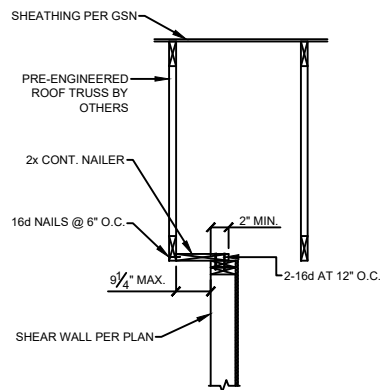
2 TWO STORY WALL PANEL



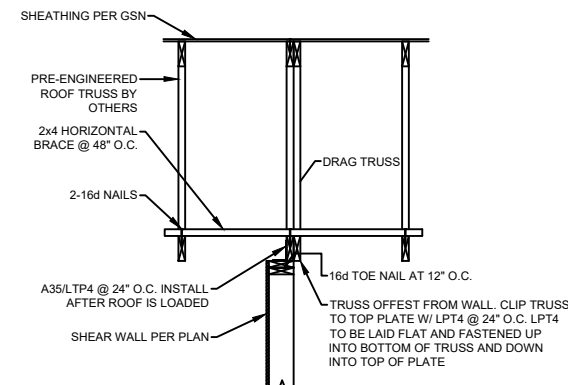
3 PORTAL FRAME ELEVATION



6 TYPICAL NON SHEAR/ BEARING WALL CONN.



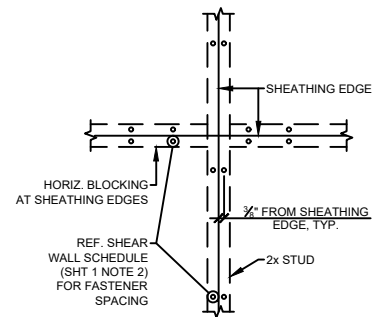
8 DRAG TRUSS AT SHEAR WALL TRUSS ALIGNED W/ SHEAR WALL



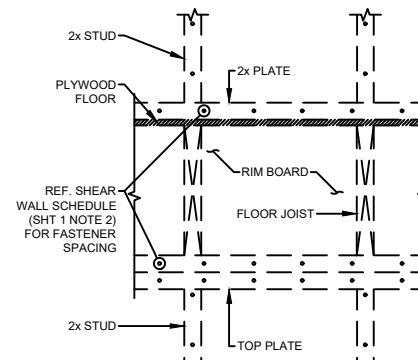
7 DRAG TRUSS AT SHEAR WALL TRUSS ALIGNED W/ SHEAR WALL

PLYWOOD / OSB

- NOTES:
- WIND LOADS PER 2021 INTERNATIONAL BUILDING CODE: ULTIMATE WIND SPEED: 115 MPH (3 SEC. GUST) EXPOSURE: B BUILDING CATEGORY II I = 1.0
 - SHEATHING TO BE 7/8\"
 - FASTENERS BETWEEN PANEL ENDS SHALL BE PER LATEST IRC.
 - USE DETAIL 4 FOR 1x4 LET-IN BRACED WALL



4 SHEAR WALL PANEL DETAIL



5 SHEAR WALL CONNECTION 2 STORY

Pedro R Val
11-7-2022



e-mail: pedrovaldesreyes6@yahoo.com
Firm # 19302

DATE: 11/7/2022

Designing and Construction, Inc.
2801 WELLS BRANCH PKWY #821
AUSTIN, TEXAS 78728
(512) 731-6691
e-mail: kottdesigning.inc@hotmail.com

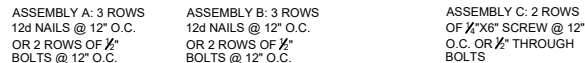


WIND BRACING PLAN

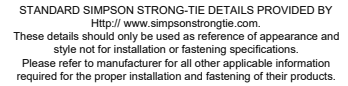
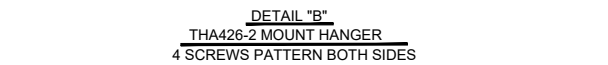
PROJECT NAME: RESIDENTIAL REMODEL
ADDRESS: 1021 BONHAM TERRACE
AUSTIN, TX 78704

DRAWN BY: R. Smith
DATE: 11/7/2022
JOB NO.:
REVISIONS:

SHEET D1.0
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OF
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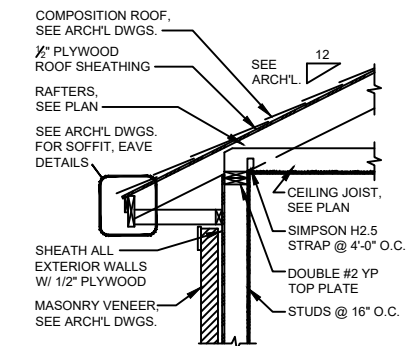


ALL MULTIPLE PLY-MEMBERS TO BE BOLTED OR NAILED TOGETHER. AS PER DETAIL



2" MINIMUM SIDECOVER

A technical diagram of a bolted lap joint. Two rectangular plates are overlapped. A bolt passes through the center of the overlap. On the left side, the bolt has a washer and a nut. On the right side, the bolt has a washer and a nut. The diagram shows the bolt, nuts, washers, and the two plates being joined.

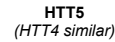
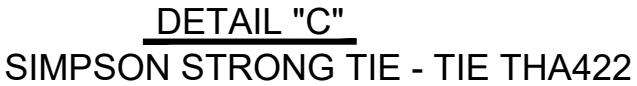


LOAD BEARING WALLS		
ROOF/CEILING LOAD ONLY		
SPAN	MEMBER SIZE	# OF JACK STUDS
4FT	2-2X6	1
4FT-6FT	2-2X8	2
6FT-8FT	2-2X10	2
UP TO 9FT	2-2X12	2
ROOF + ONE FLOOR LOAD		
SPAN	MEMBER SIZE	# OF JACK STUDS
3FT	2-2X6	1
3FT-5FT	2-2X8	2
5FT-7FT	2-2X10	2
UP TO 8FT	2-2X12	2

NOTES:

1. UNIFORM LOADS ONLY
2. HEADERS SUPPORTING POINT LOADS SHALL BE SPECIFICALLY SIZED BY THE ENGINEER OF

FACE MOUNT HANGER SCHEDULE		
MEMBER	SIMPSONS PRODUCT NUMBER	CAPACITY (100%)
2x4	LUS24	670
2x6, 2x8	LUS26	865
2x10	LUS28	1100
2x12	LUS210	1340
2-2x4	LUS24-2	800
2-2x6, 2-2x8	LUS26-2	1030
2-2x10, 2-2x12	LUS210-2	1830
2-1.75x11.25	HGUS48	7460
2-1.75x14, 2-1.75x16	HGUS410	9100
2-1.75x18	HGUS414	10100
3-2x10	HU210-3	2085
3-2x12	HU212-3	2380
3-1.75x11.25	HGUS5.50/12	9600
3-1.75x14-24	HGUS5.50/14	10100
4-2x10, 4-2x12	HHUS210-4	5635
4-1.75x11.25	HGUS7.25/12	9600
4-1.75x14-24	HGUS7.25/14	10100
ALL 5 PLY LVL	HHGU9.00-SDS	17845
45° SKEWED HANGER		
2x6	LSU26	695
2x8	LSSU28	885
2x10, 2x12	LSSU210	995
2-2x6, 2-2x8	SUR/L26-2	1150
2-2x10, 2-2x12	SUR/L210-2	2015
2-1.75x11.25, 2-1.75x14	HSUR/L410	2975
2-1.75x16, 2-1.75x18	HSUR/L414	3870
* OR APPROVED EQUAL		

SECTION A

2801 WELLS BRANCH PKWY #821
AUSTIN, TEXAS 78728
(512) 731-6691
e-mail: kottdesigning.inc@hotmail.com

KOTT

DETAILS

PROJECT NAME: RESIDENTIAL REMODEL
ADDRESS: 1021 BONHAM TERRACE
AUSTIN, TX 78704

DRAWN BY: R. Smith
DATE: 11/7/2022
JOB NO.:
REVISIONS:

SHEET
D2.0

6
OF
6

A circular professional engineer seal for the State of Texas. The outer ring contains the text "STATE OF TEXAS" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by stars. The inner circle features a five-pointed star at the top, followed by the name "PEDRO R. VALDES" and the license number "127822".

e-mail: pedrovaldesreyes6@yahoo.com
Firm # 19302