

**Posting Language**

Recommend approval for Service Extension Request No. 5522 for water service to a 7.48-acre tract located at 4700 City Park Rd. Austin, TX 78730 within the Drinking Water Protection Zone, the City's Limited Purpose Jurisdiction and Austin Water's service area. (District 10)

**Lead Department**

Austin Water

**Client Department**

Austin Water Assistant Director of Environmental, Planning & Development Services, Kevin Critendon

**Fiscal Note**

There is no anticipated fiscal impact.

**Council Committee, Boards and Commission Action**

January 18, 2023 - Recommended by the Environmental Commission on a 10-0 vote with one absence

February 8, 2023 - To be reviewed by the Water and Wastewater Commission

**Additional Backup Information**

The Estates at Juniper Summit project consists of approximately 7.48 acres of land located at 4700 City Park Rd. Austin, TX 78730 (the "Property"). The Property is located entirely within the City of Austin's (the "City") Limited Purpose Jurisdiction, Impact Fee Boundary, Austin Water's service area for water, the Drinking Water Protection Zone, and the Turkey Creek and Coldwater Creek Watersheds. A map of the property location is attached.

**Applicant:**

Sandeep Enagala (the "Owner") is proposing to develop approximately 5 single-family homes. The Owner requested that the City provide water utility service to the Property and Austin Water has determined the service requirements as proposed in Service Extension Request (SER) No. 5522. The Property proposes to utilize an on-site sewage facility for wastewater service.

City Code § 25-9-35 requires City Council approval for this SER because the Property is located within the Drinking Water Protection Zone and outside the City's full-purpose corporate limits. The City will not cost participate on this project.

**Infrastructure Improvements:**

To serve the Property, the Owner will be required to construct approximately 450 feet of 12-inch water main from the existing 12-inch water main located in City Park Rd. at Westminster Glen Ave. and extend north along City Park Rd. to the Property.

The proposed water improvements are sized to serve the needs of the Property and will conform to all City Code requirements. These improvements will be designed in accordance with City's Environmental Criteria Manual and Utilities Criteria Manual and will be inspected by the City's Development Services Department. The Owner will construct all required improvements at their cost and dedicate the facilities to the City for ownership, operation and maintenance. All City fees are applicable to the provision of water service including capital recovery fees.



**City Staff Recommendation:**

Austin Water has evaluated the Owner's request for City water service and can provide water service as proposed in SER-5522. Attached is a report from Austin Water staff outlining additional technical information related to providing service to this tract. Additionally, a report provided by Watershed Protection Department staff that finds no significant environmental concerns with providing water service as proposed in SER-5522 is attached.

Contingent upon approval of SER-5522 for water service to the Property, approval of any related development applications for the Property is subject to current City Code.

The proposed project is located in zip code 78730 and City Council District 10.

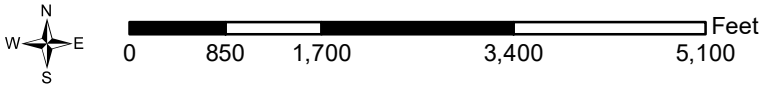
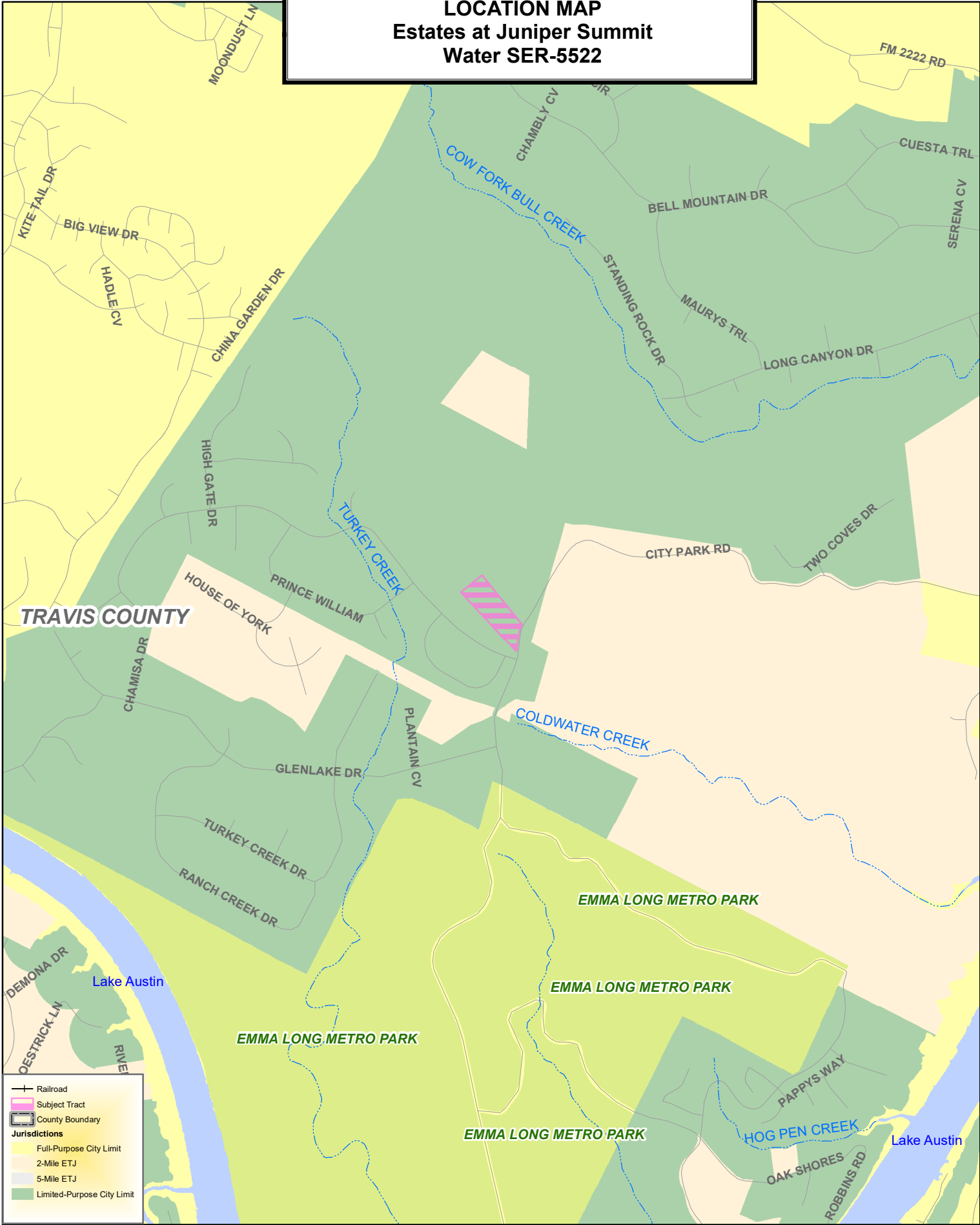
**Strategic Outcome(s)**

Government that Works for All

LOCATION MAP

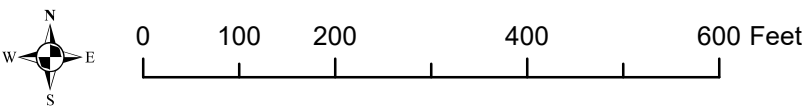
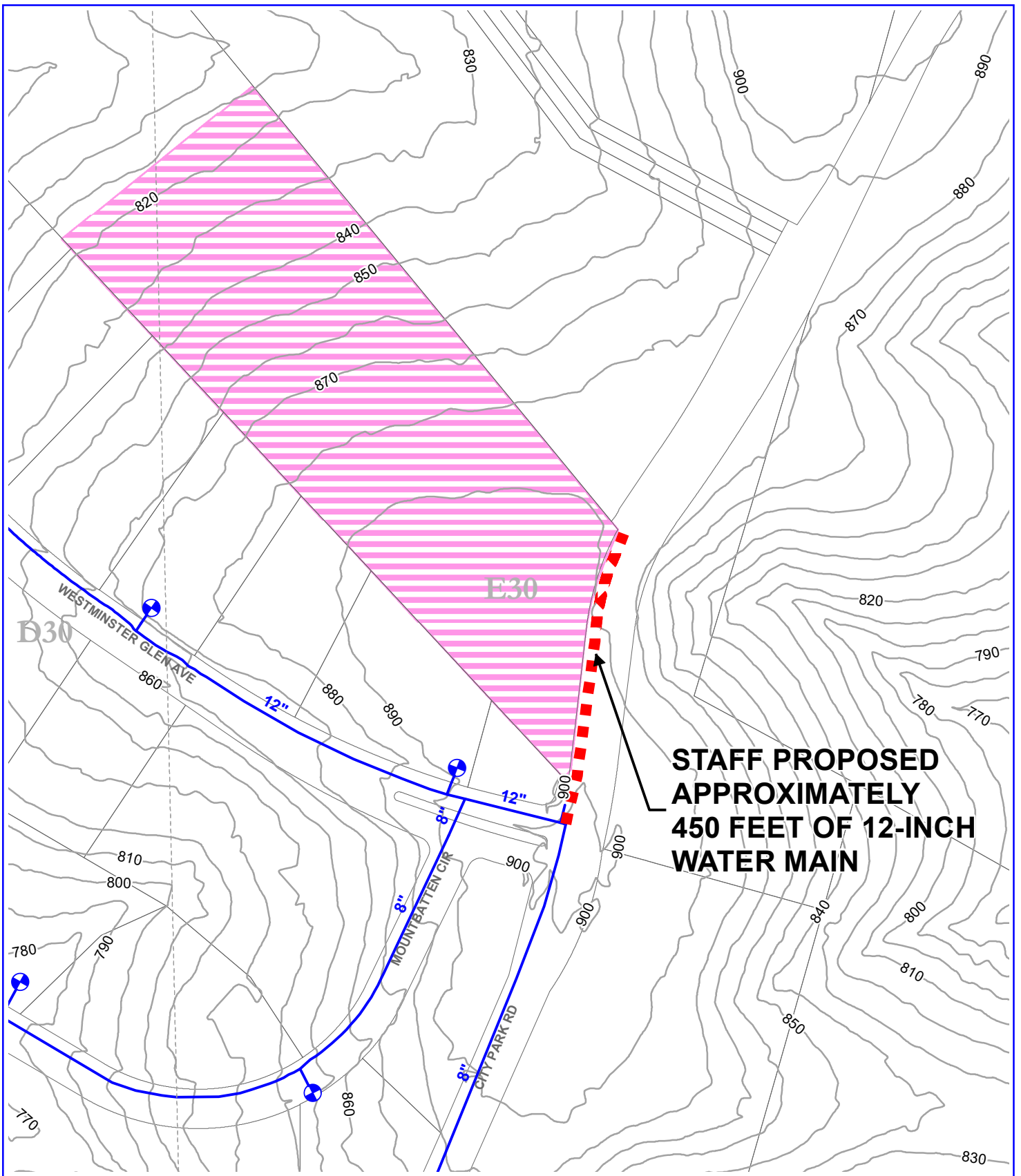
Estates at Juniper Summit


Water SER-5522



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. This product has been produced by the City of Austin for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

01/13/2023



 Subject Tract

**W. S.E.R. Name: Estates at Juniper Summit**

**W. S.E.R. Number: 5522**

Utility Development Services Plotted 10/19/2022

**DRAFT**

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## MEMORANDUM

**TO:** Kevin Ramberg, Chair, and Members of the Environmental Commission

**FROM:** Kaela Champlin, Environmental Program Coordinator  
Watershed Protection Department

**DATE:** December 14, 2022

**SUBJECT:** Estates at Juniper Summit Water Service Extension Request #5522

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Service Extension Requests (SER) located in the Drinking Water Protection Zone and outside of the City of Austin's full purpose jurisdiction require Council approval and review by the Environmental Commission. Watershed Protection Department staff have completed the review for Estates at Juniper Summit Water Service Extension Request (SER) #5522 and recommend approval of the request.

### **Site Overview**

The site consists of a tract of approximately 7.4 acres, located at 4700 City Park Road. The property is in the City of Austin Limited Purpose Jurisdiction and Council District 10. The site is in the Turkey Creek and Coldwater Creek Watersheds and classified as Water Supply Rural.

The applicant is proposing to develop and subdivide the property into six lots. Five lots will be used as single-family lots and one lot will be used for onsite detention. The applicant is requesting a water SER with five Living Unit Equivalents (LUEs) to serve the proposed single-family homes.

### **Development Impacts**

#### Water:

The applicant is proposing to construct approximately 450 feet of 12-inch water main from the existing 12-inch water main in City Park Road at Westminster Glen Avenue and extend north along City Park Road to the subject tract, as shown on the attached map.

#### Wastewater:

The property is proposing to utilize an onsite septic facility for wastewater service and will be subject to Travis County Code and rules for on-site sewage facilities.

## **Environmental Impacts**

The property is in the Turkey Creek and Coldwater Creek Watersheds, is classified as Water Supply Rural, is in the Drinking Water Protection Zone, and the Edwards Aquifer Verification Zone. An Environmental Resource Inventory (ERI) was conducted for this property, and one spring critical environmental feature (CEF) was identified outside of the property boundary within the buffer zone of a spring on an unnamed tributary to Turkey Creek. Mitigation for development within the buffer zone may be required during the development review process. The site does not contain critical water quality zone or water quality transition zone.

## **Recommendation**

Staff review determined that there are no significant environmental risks to extend service to the site. Therefore, the Watershed Protection Department staff recommend support for Water SER #5522.

The attached information provides further detail on the applicant's request. Please feel free to contact Kaela Champlin at (512) 974-3443 or [kaela.champlin@austintexas.gov](mailto:kaela.champlin@austintexas.gov) if you have any questions or comments about the proposed SER.

cc: Christine Perez, P.E., Austin Water  
Colleen Kirk, P.E., Austin Water  
Liz Johnston, Deputy Environmental Officer, Watershed Protection Department



# MEMORANDUM

**To:** Water and Wastewater Commissioners  
**From:** Christine Perez, P.E., Utility Development Services  
**Date:** January 13, 2023  
**Subject:** Estates at Juniper Summit (Water SER-5522)

Enclosed is additional technical information related to Water SER-5522, and the associated Request for Council Action.

Other SERs:

- There are 6 water SERs located within one-half of a mile of the subject tract. Of these SERs, 5 were approved by City Council, and 1 was withdrawn prior to City Council consideration.
- There are no wastewater SERs located within one-half of a mile of the subject tract.

Water Utility Service:

- The City's existing water distribution system is located approximately 100 feet from the subject tract.

Wastewater Utility Service:

- The City's existing wastewater collection system is located approximately 8,000 feet from the subject tract.
- The Applicant proposes to utilize on-site sewage facilities (OSSF) for each home.

SER Improvements:

- The SER improvements will not cross known environmental features.
- The SER improvements will conform to all City Code requirements, be designed in accordance with City's Environmental Criteria Manual and Utilities Criteria Manual, and be inspected by the City's Development Services Department.

If you need additional information, please let me know. Thank you.

cc: Colleen Kirk, P.E., SER Program Supervising Engineer  
Shwetha Pandurangi, P.E., Utility Development Services Division Manager  
Kevin Critendon, P.E., Assistant Director  
Shay Ralls Roalson, P.E., Director

