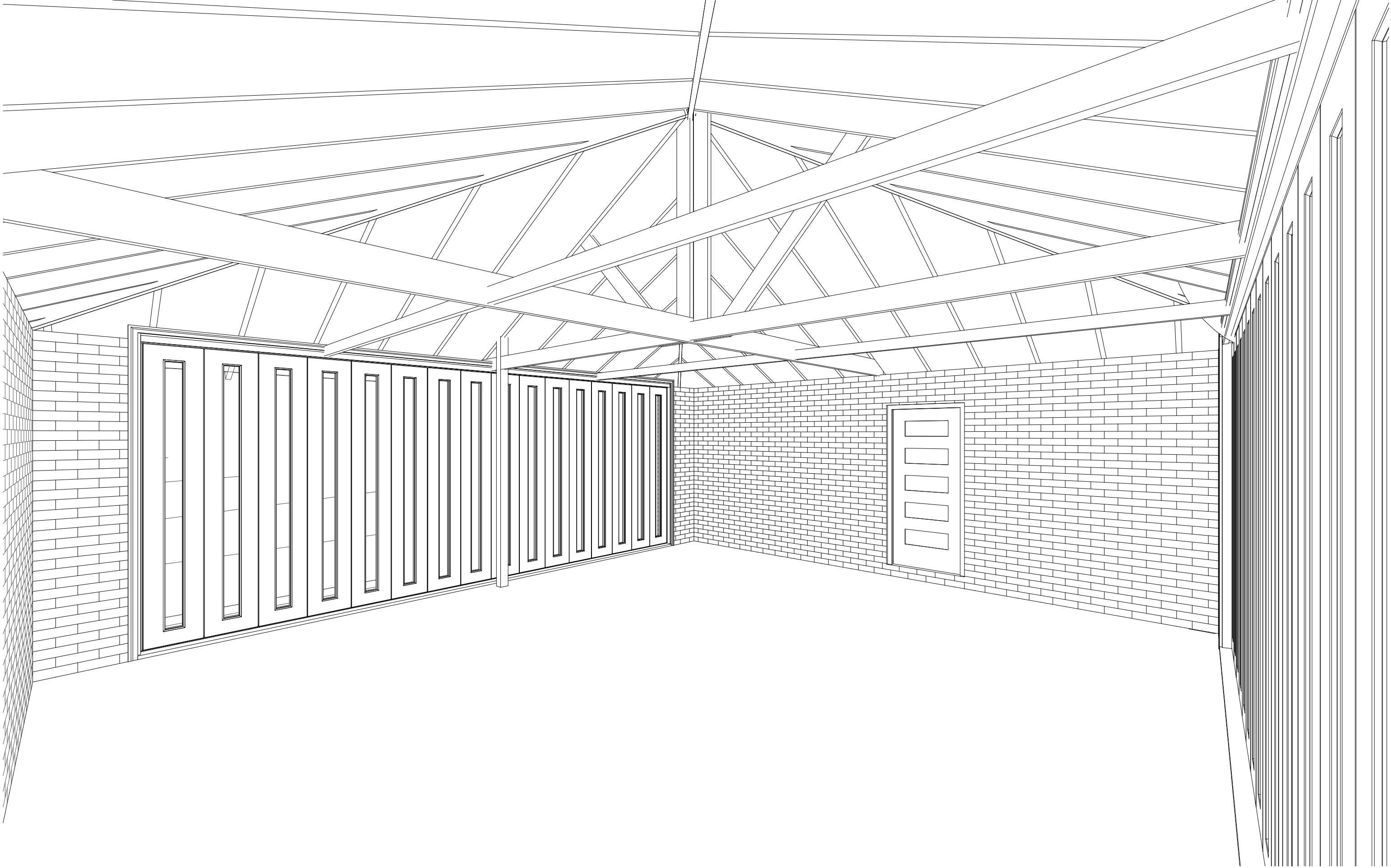
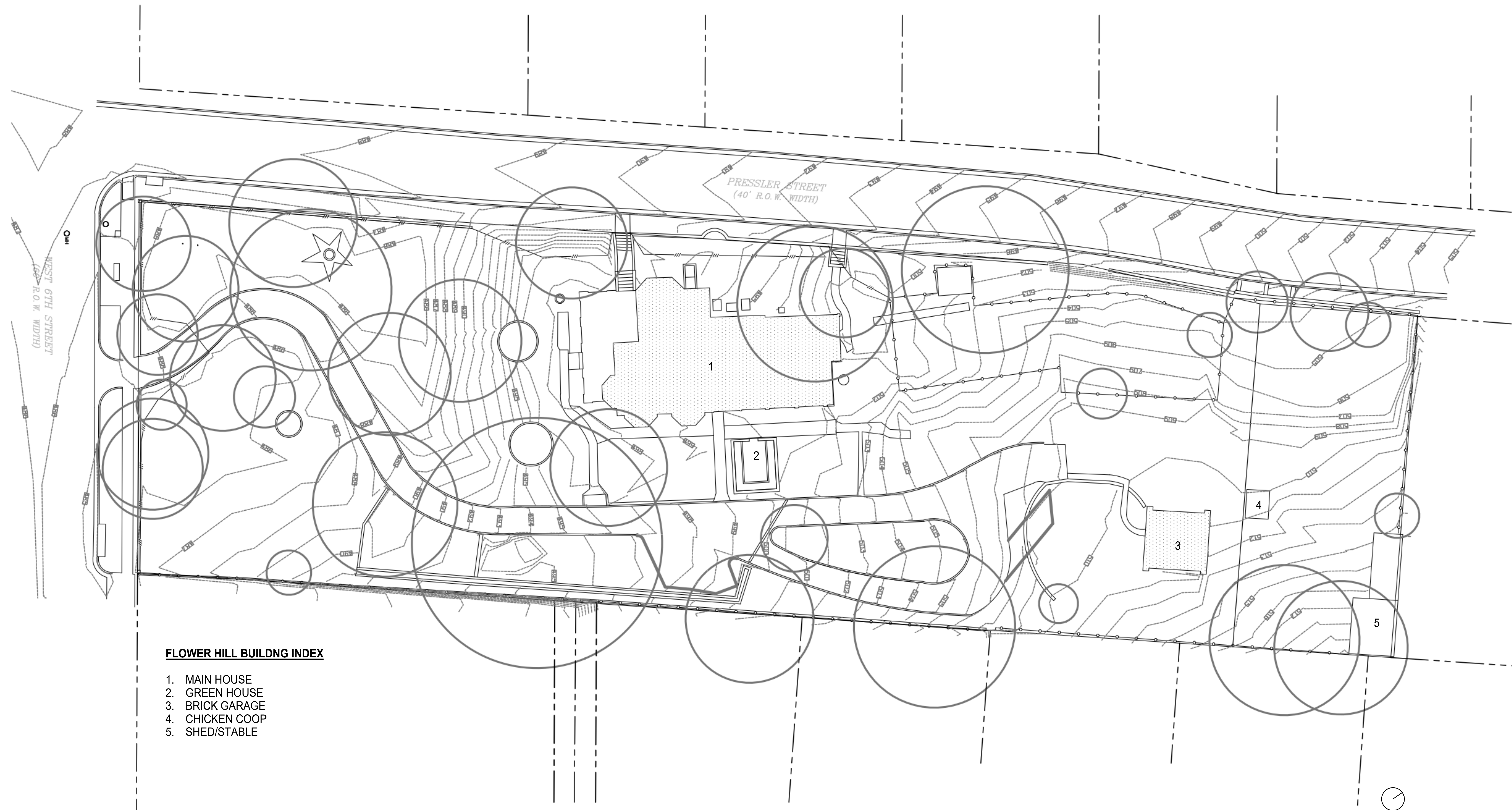




PHOTO 1: HISTORIC IMAGE OF GARAGE STRUCTURE. DATE UNKNOWN.

GENERAL	
G001	COVER SHEET
ARCHITECTURAL	
HG01	OVERALL SITE PLAN
HG02	ENLARGED SITE PLAN
HG03	FLOOR PLAN
HG04	REFLECTED CEILING PLAN
HG05	ROOF PLAN
HG06	NORTH AND SOUTH ELEVATIONS
HG07	EAST AND WEST ELEVATIONS
HG08	SECTIONS





FLOWER HILL BUILDNG INDEX

1. MAIN HOUSE
2. GREEN HOUSE
3. BRICK GARAGE
4. CHICKEN COOP
5. SHED/STABLE

OVERALL SITE PLAN

Heritage Preservation Grant - Historic Garage Renovation

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09/27/22
LAS #P0177-22

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PHOTO 2: REPAIR AND REBUILD CRESCENT RETAINING WALL. DATE 2022-JUL-30.



PHOTO 3: BRICK CRACKS AND BIOLOGICAL GROWTH ON SOUTH FACADE. DATE 2022-JUL-30.

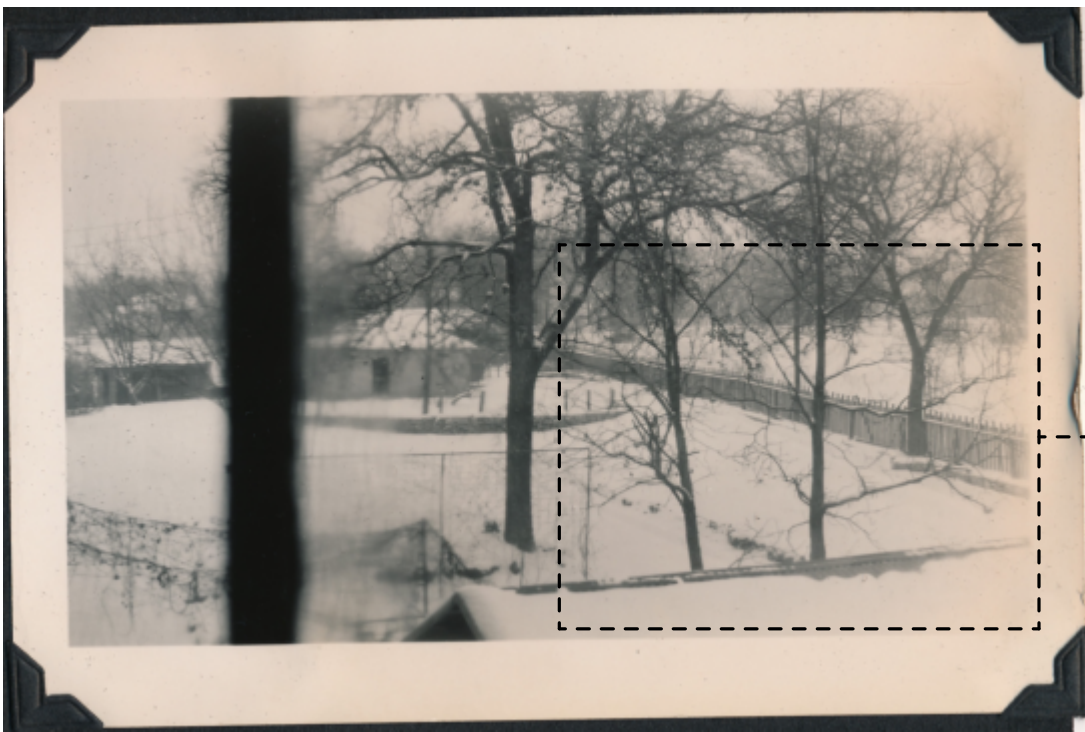


PHOTO 4: HISTORIC IMAGE OF GARAGE STRUCTURE. DATE UNKNOWN.



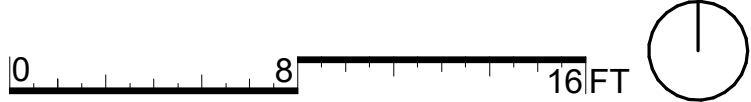
PHOTO 5: ENLARGED VIEW OF HISTORIC PHOTO 4



PHOTO 6: EAST OF GARAGE. DATE 2022-SEPT-27.



PHOTO 6A: SOUTHEAST OF GARAGE. DATE 2022-SEPT-27.



ENLARGED SITE PLAN
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MATERIAL KEYNOTES

- | | | | |
|--|-------------------|--|--|
| | BIOLOGICAL GROWTH | | UNEARTH TO RECONSTRUCT HISTORIC RETAINING WALL |
| | CRACKS | | |
| | CEDAR SHAKES | | |

GENERAL NOTES

SHEET SPECIFIC NOTES

1. REPAIR AND RECONSTRUCT CRESCENT RETAINING WALL TO ORIGINAL HEIGHT. STABILIZE, SHORE, AND REPAIR WALL FOUNDATION AS NEEDED. LINEAR FEET: 84'-8" V.I.F. REFER TO PHOTO 2.
2. RESTORE AND RECONSTRUCT RETAINING WALL LOCATED EAST OF GARAGE. MAY REQUIRE UNEARTHING AND REMOVING VEGETATION BACK TO PROPERTY LINE. CONSULT WITH CITY OF AUSTIN ARBORIST BEFORE REMOVING TREES. REFERENCE HISTORICAL PHOTOS 4 AND 5.
3. EXCAVATE TO ORIGINAL DRIVEWAY PATH GRADE. REMOVE VEGETATION AS NEEDED. REPAVE WITH CONCRETE PAD BETWEEN EXISTING DRIVEWAY AND GARAGE PER DRAWING.
4. CRESCENT WALL TO BE RECONSTRUCTED. STABILIZE, SHORE, AND REPAIR WALL FOUNDATION AS NEEDED. LINEAR FEET: 35'-0" V.I.F. REFER TO PHOTO 6A.

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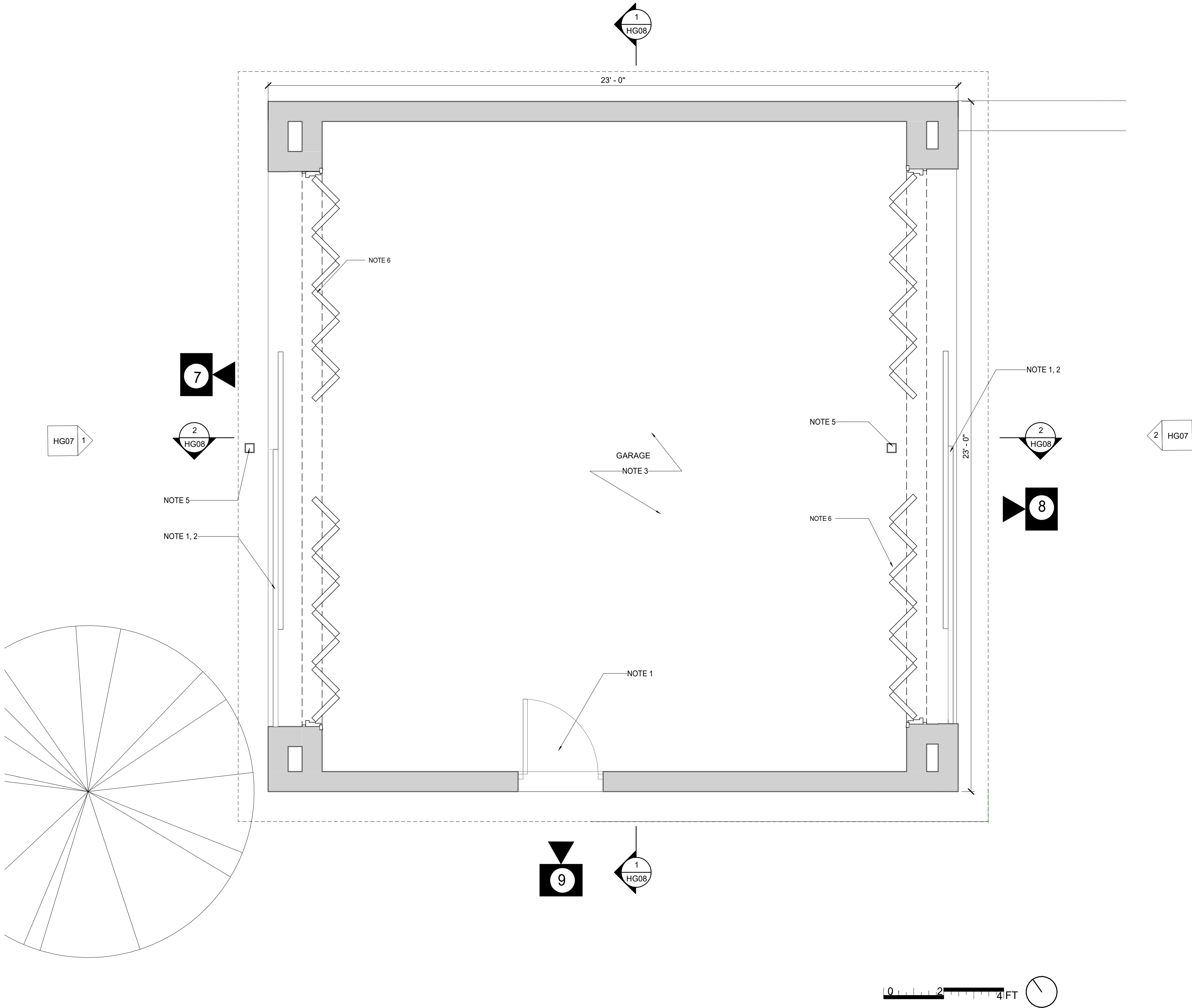
PHOTO 7: GARAGE DOOR ON WEST FACADE. DATE 2022-JUL-30.







PHOTO 8: GARAGE DOOR ON EAST FACADE. DATE 2022-JUL-30.



PHOTO 9: DOOR ON SOUTH FACADE. DATE 2022-JUL-30.



MATERIAL KEYNOTES

- | | | | |
|---|-------------------|---|---|
|  | BIOLOGICAL GROWTH |  | UNEARTH TO RECONSTRUCT
HISTORIC RETAINING WALL |
|  | CRACKS | | |
|  | CEDAR SHAKES | | |

GENERAL NOTES

- A. ANALYZE STRUCTURAL CONDITION OF THE BRICK WALLS.
B. REPAIR FOUNDATION.
C. REPAIR/REPLACE CRACKED & DAMAGED BRICK.
D. REPOINT 100% EXTERIOR BRICK WITH COMPATIBLE MORTAR.
E. CLEAN ALL BRICK FACADES.
F. IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.

SHEET SPECIFIC NOTES

1. REPLACE WITH NEW DOOR. TRIM AND COLOR TO MATCH HISTORIC. REFER TO PHOTOS 7-9.
2. REPLACE STRUCTURAL WOOD BEAM ABOVE BARN DOOR WITH STEEL BEAM PER ENGINEER.
3. ATTACH DOOR TRACK TO STEEL BEAM. LOCATION BARN DOOR.
4. REMOVE AND REPLACE FLOOR SLAB.
5. NOT USED.
6. REMOVE COLUMN ONCE NEW STRUCTURAL BEAM IS INSTALLED.
7. INSTALL BI-FOLD DOOR. BASIS OF DESIGN: MARVIN ULTIMATE BI-FOLD DOOR.

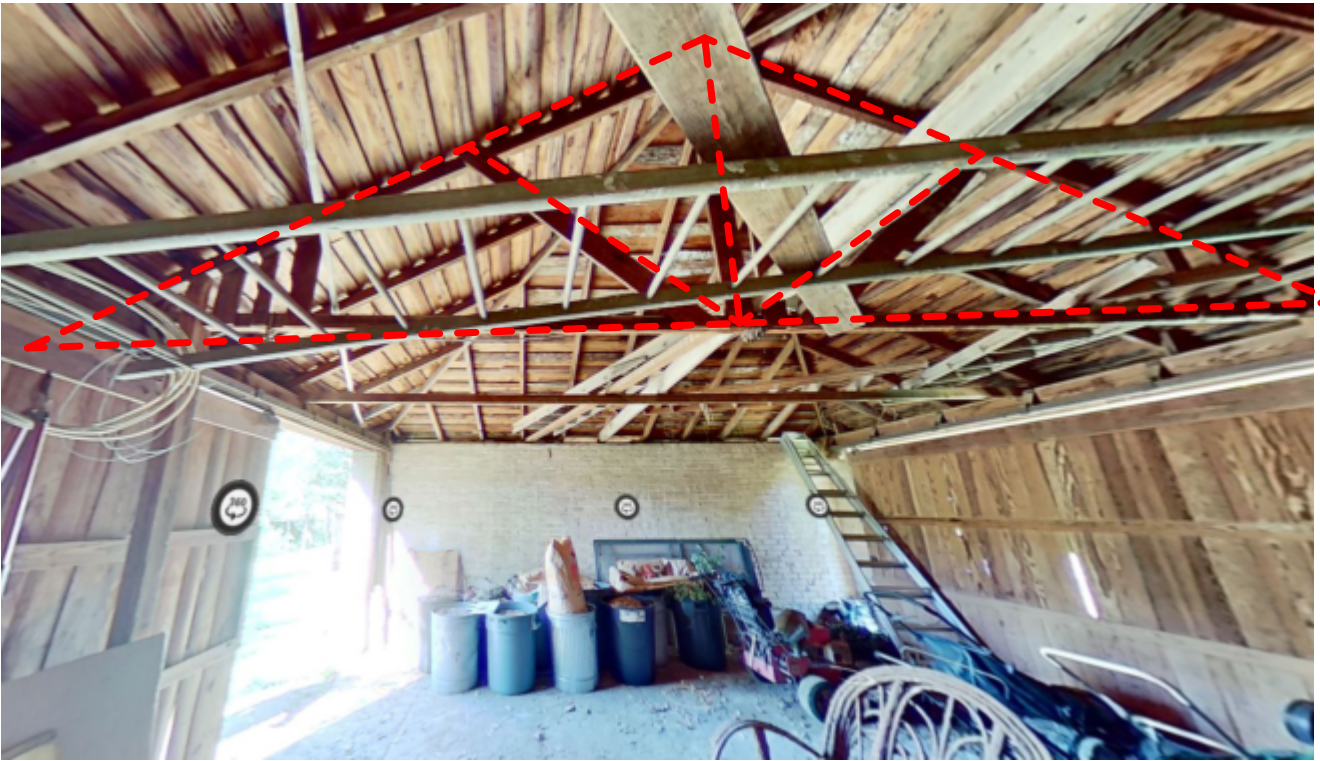


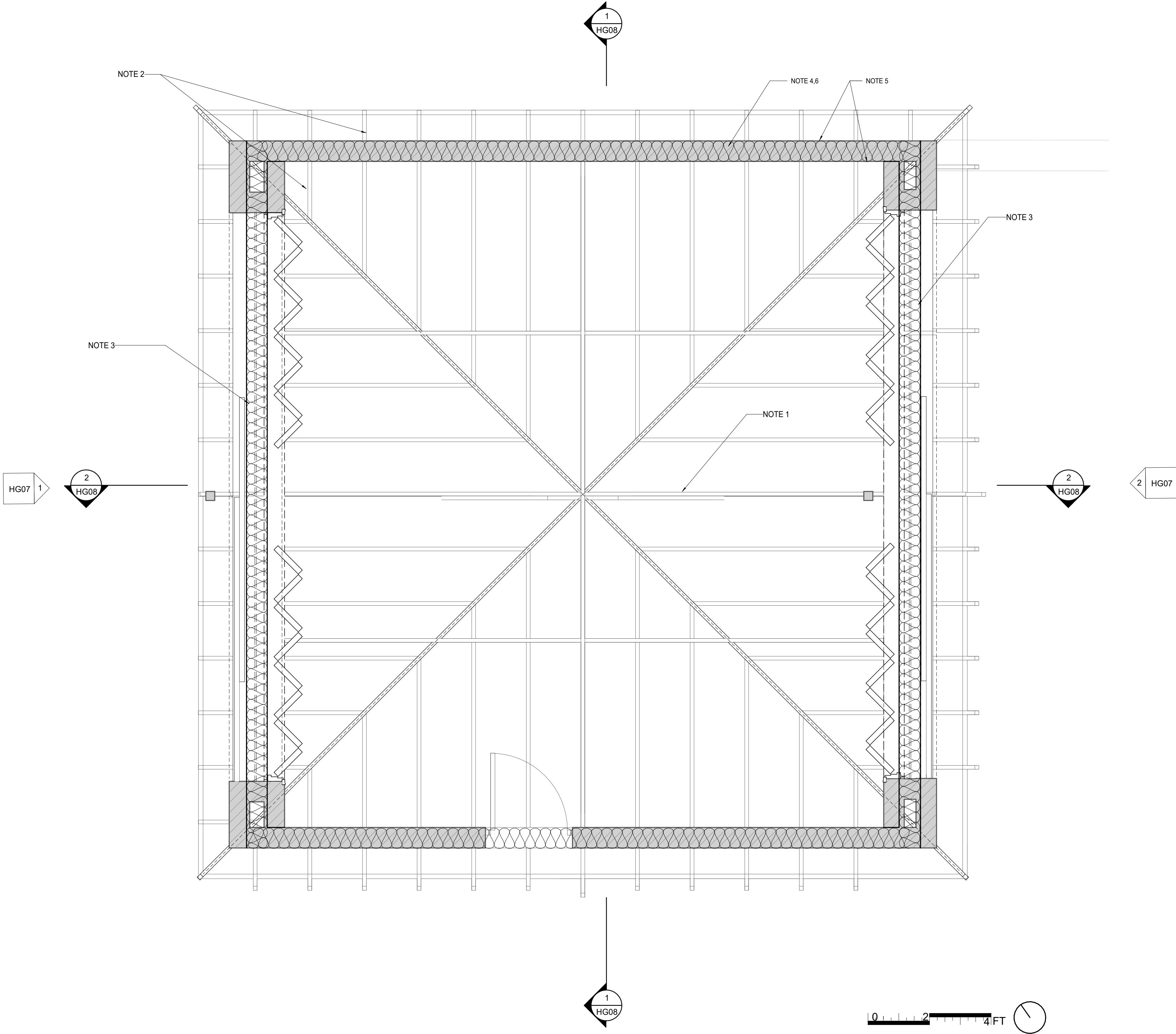
PHOTO 10: ROOF TRUSS. DATE 2022-SEP-27.







PHOTO 11: ROOF RAFTERS. DATE 2022-SEP-27.



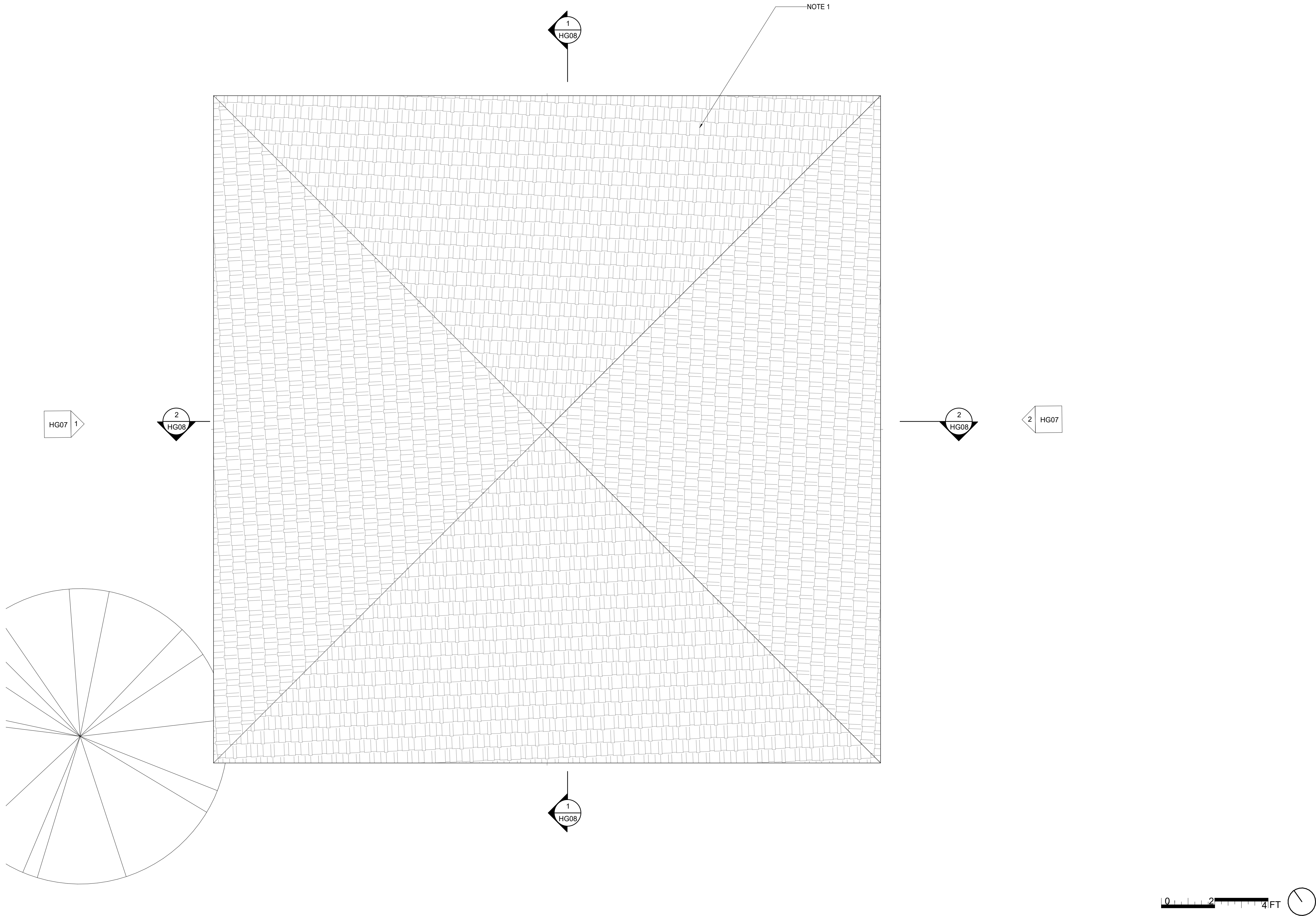
PHOTO 12: BARN DOOR, BEAM AND TRACK. DATE 2022-SEP-27.







MATERIAL KEYNOTES	
	BIOLOGICAL GROWTH
	UNEARTH TO RECONSTRUCT HISTORIC RETAINING WALL
	CRACKS
	CEDAR SHAKES

GENERAL NOTES

- SHEET SPECIFIC NOTES
1. PROTECT, REPAIR, AND REINFORCE EXISTING ROOF TRUSS. ADJUST TRUSS TO BEAR ON NEW STEEL BEAMS. REFER TO PHOTO 10.
 2. PROTECT, REPAIR, AND REINFORCE EXISTING ROOF RAFTERS. REFER TO PHOTO 11.
 3. REPLACE STRUCTURAL WOOD BEAM ABOVE BARN DOOR WITH STEEL BEAM PER ENGINEER. ATTACH NEW DOOR TRACK TO STEEL BEAM. REFER TO PHOTO 12.
 4. SEAL AND INSULATE GAPS ABOVE BRICK WALL AND BEAMS PER NOTES 5 AND 6.
 5. WOOD TRIM. FINISH TO MATCH EXISTING.
 6. MINERAL WOOL INSULATION.



ROOF PLAN
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MATERIAL KEYNOTES	
	BIOLOGICAL GROWTH
	CRACKS
	CEDAR SHAKES
	UNEARTH TO RECONSTRUCT HISTORIC RETAINING WALL

GENERAL NOTES

SHEET SPECIFIC NOTES

1. REPLACE WITH NEW CEDAR SHAKE ROOF. IMPROVE THERMAL ENVELOPE OF TO BE
CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.

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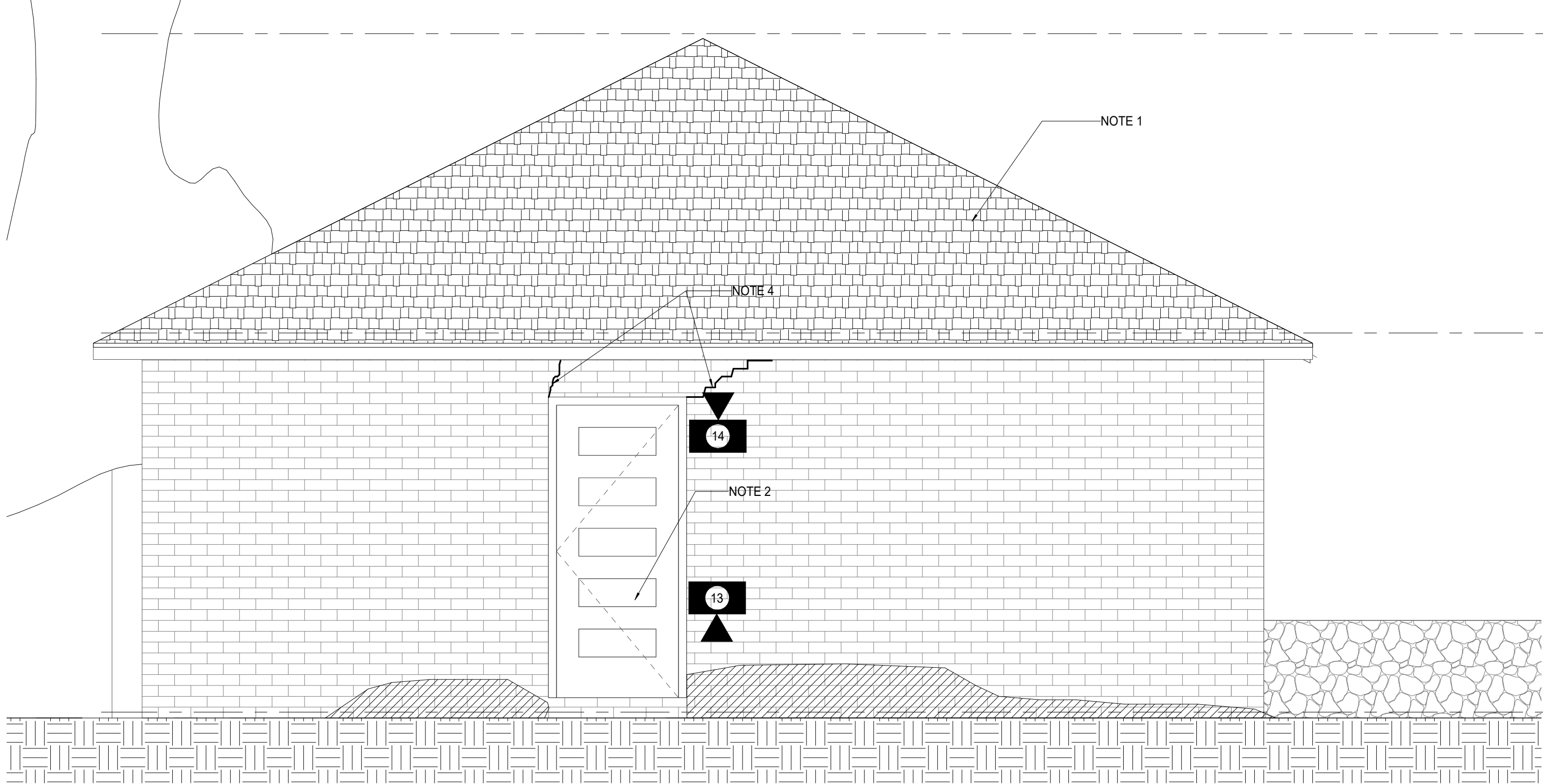
PHOTO 13: BIOLOGICAL GROWTH ON SOUTH FACADE. DATE 2022-JUL-30.



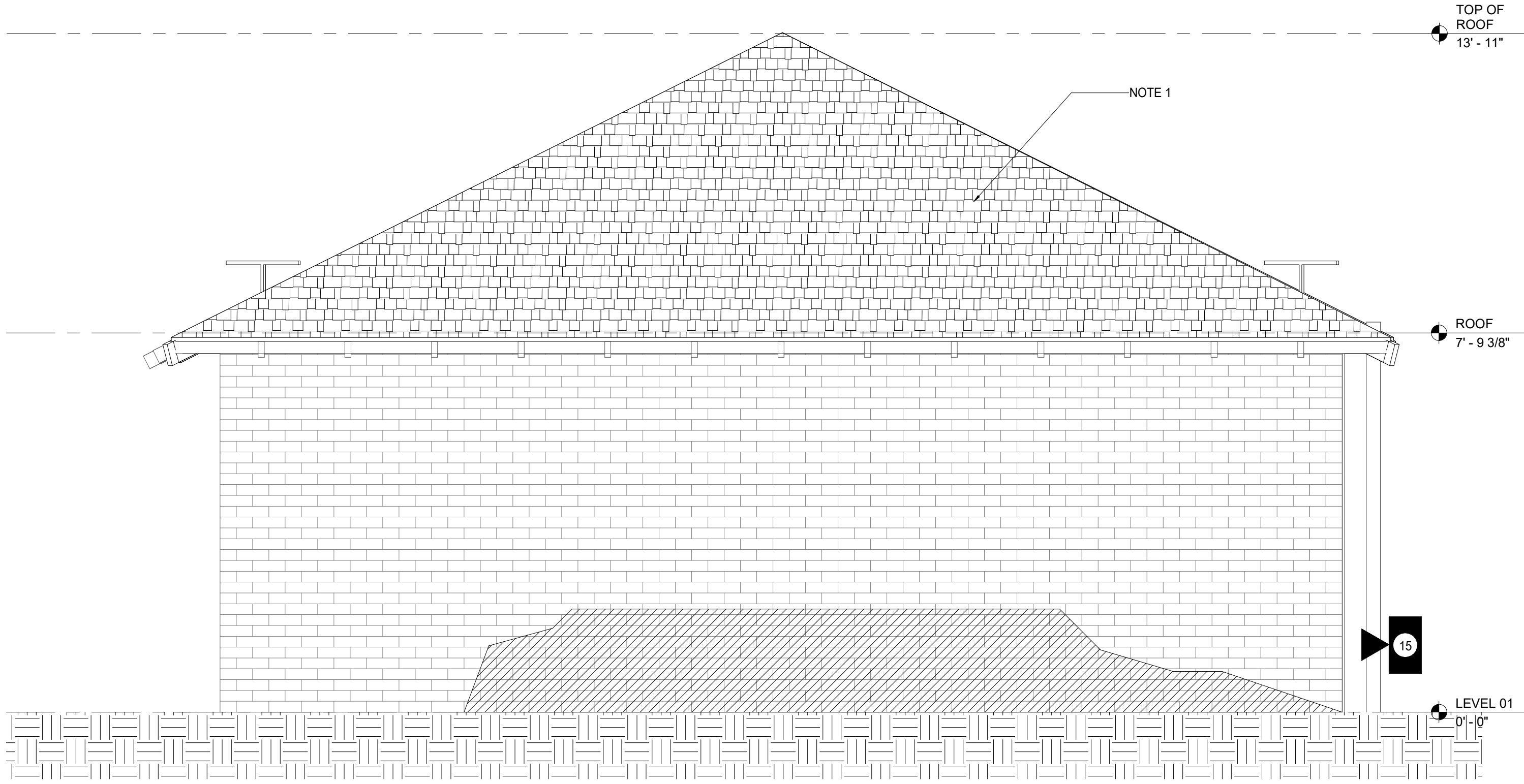
PHOTO 14: CRACKLINES ON SOUTH FACADE. DATE 2022-JUL-30.



PHOTO 15: BIOLOGICAL GROWTH ON NORTH FACADE. DATE 2022-JUL-30.



1 SOUTH ELEVATION



2 NORTH ELEVATION

NORTH AND SOUTH ELEVATIONS

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MATERIAL KEYNOTES	
	BIOLOGICAL GROWTH
	UNEARTH TO RECONSTRUCT HISTORIC RETAINING WALL
	CRACKS
	CEDAR SHAKES

- GENERAL NOTES
- ANALYZE STRUCTURAL CONDITION OF THE BRICK WALLS.
 - REPAIR FOUNDATION.
 - REPAIR/REPLACE CRACKED & DAMAGED BRICK.
 - REPOINT 100% EXTERIOR BRICK WITH COMPATIBLE MORTAR.
 - CLEAN ALL BRICK FACADES.
 - IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.

- SHEET SPECIFIC NOTES
- REPLACE WITH NEW CEDAR SHAKE ROOF.
 - RESTORE WITH NEW DOOR, TRIM, FRAME. NEW PAINT FOR DOOR, TRIM, FRAME. PAINT TO MATCH HISTORIC PAINT COLOR. REFER TO PHOTOS 9 AND 14.
 - NOT USED.
 - REPAIR CRACKS ON BRICK. REFER TO PHOTOS 13 AND 14.



PHOTO 16: BIOLOGICAL GROWTH ON SOUTHWEST FACADE. DATE 2022-JUL-30.



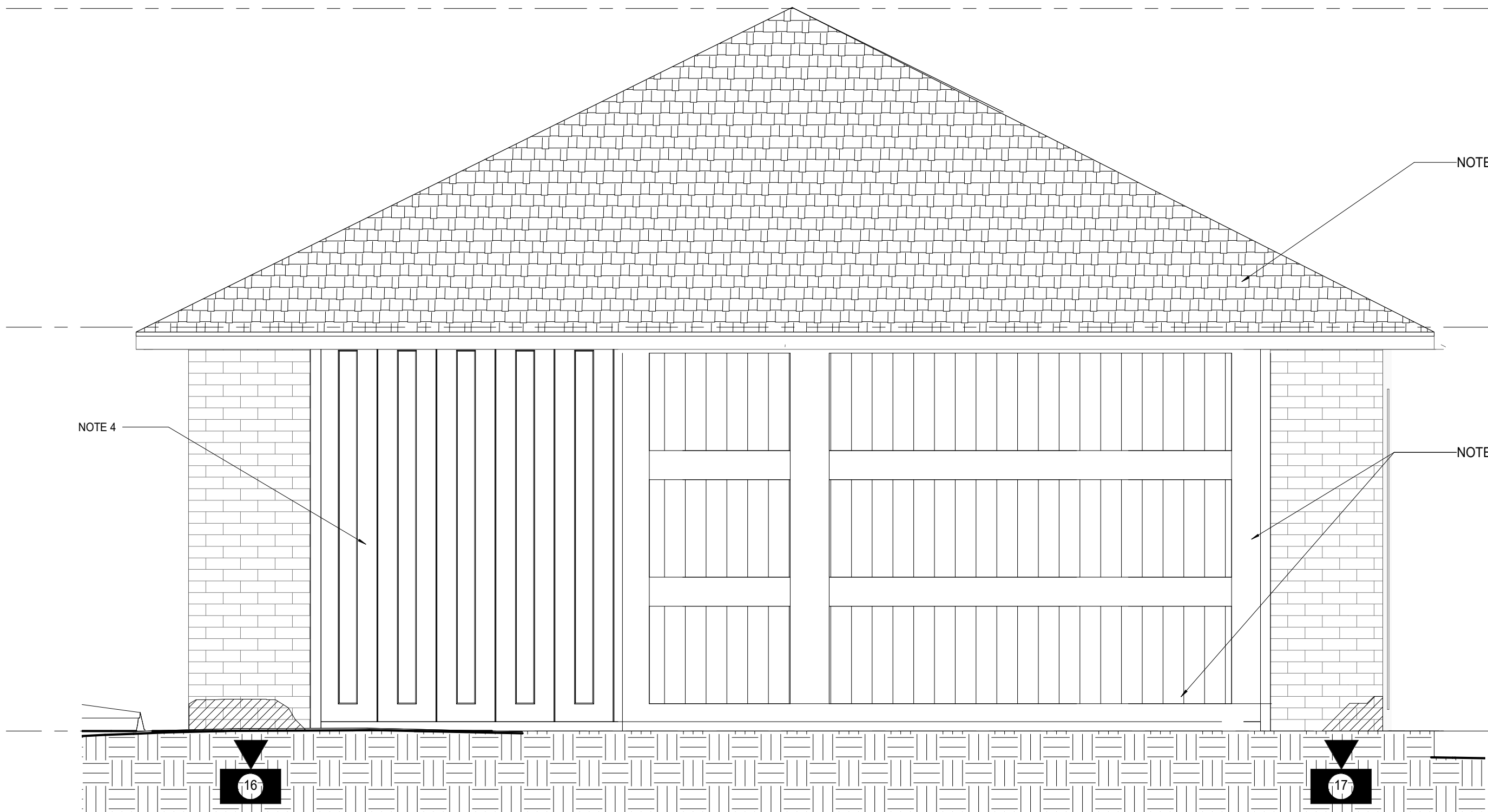
PHOTO 17: BIOLOGICAL GROWTH ON NORTHWEST FACADE. DATE 2022-JUL-30.



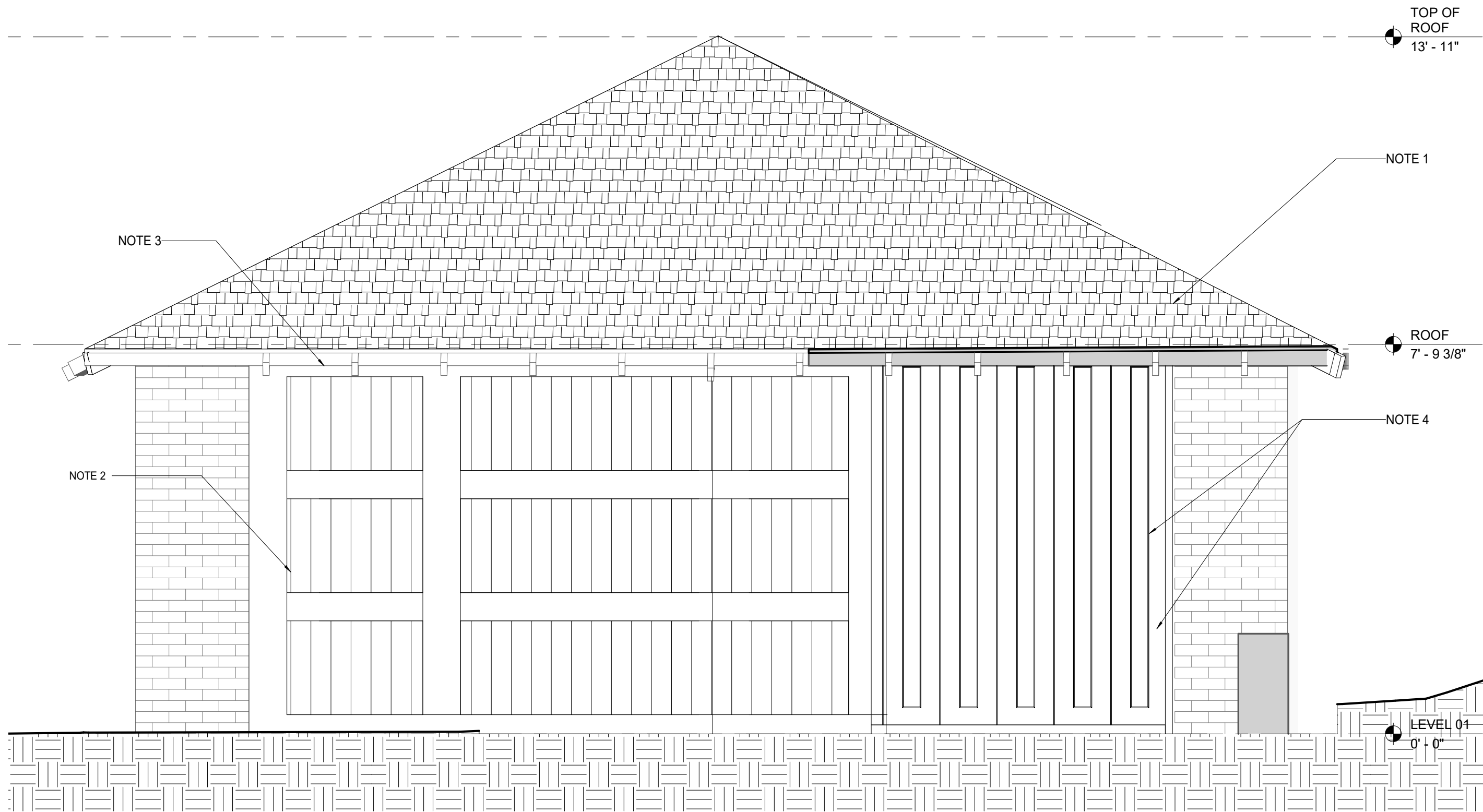
PHOTO 18: MARVIN ULTIMATE BI-FOLD DOOR. SOURCE: MANUFACTURER WEBSITE.



PHOTO 19: MARVIN ULTIMATE BI-FOLD DOOR. SOURCE: MANUFACTURER WEBSITE.



1 WEST ELEVATION
0 2 4 FT



2 EAST ELEVATION
0 2 4 FT

EAST AND WEST ELEVATIONS

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MATERIAL KEYNOTES

- BIOLOGICAL GROWTH
- CRACKS
- CEDAR SHAKES
- UNEARTH TO RECONSTRUCT HISTORIC RETAINING WALL

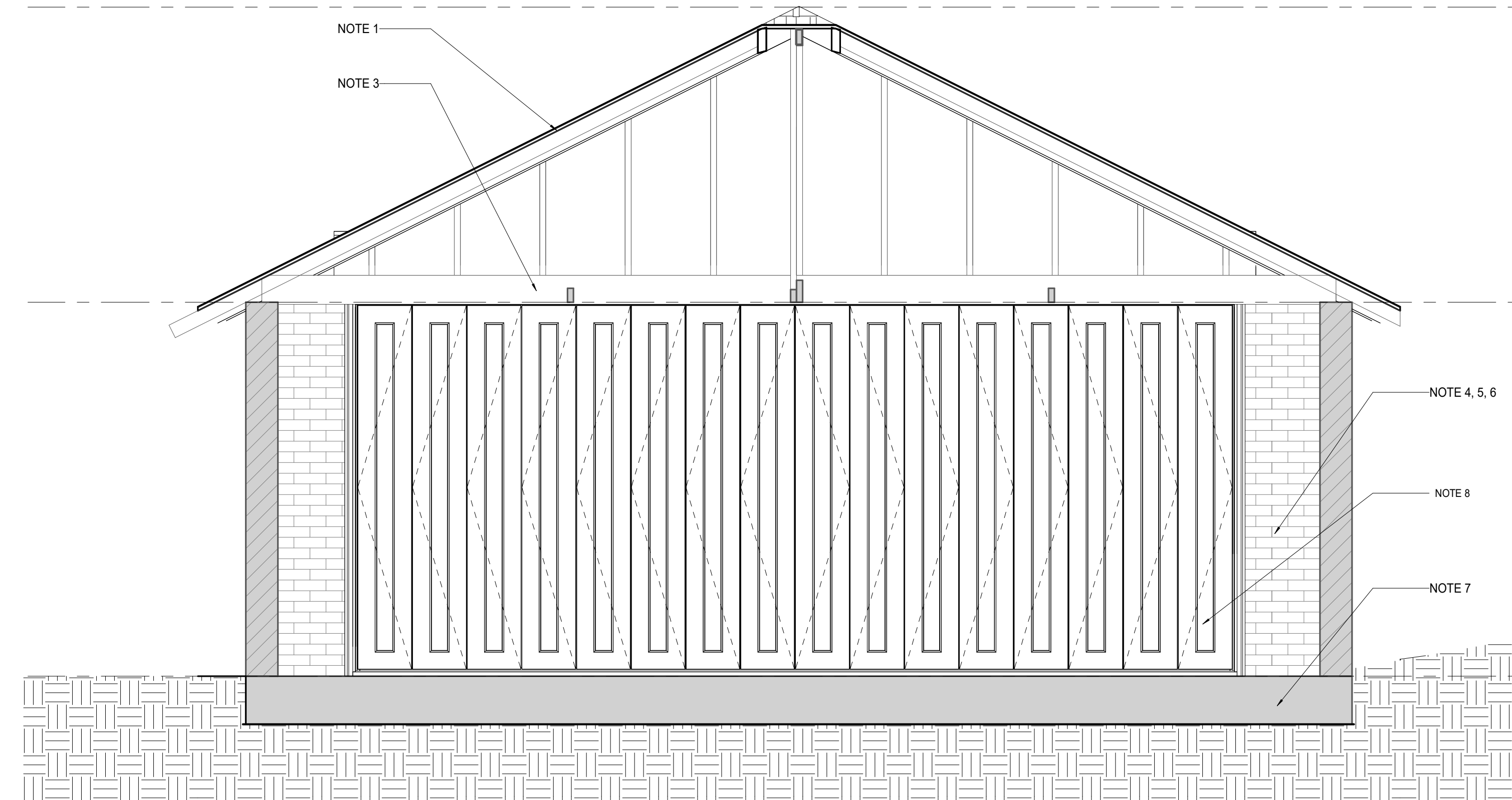
GENERAL NOTES

- ANALYZE STRUCTURAL CONDITION OF THE BRICK WALLS.
- REPAIR FOUNDATION.
- REPAIR/REPLACE CRACKED & DAMAGED BRICK.
- REPOINT 100% EXTERIOR BRICK WITH COMPATIBLE MORTAR.
- CLEAN ALL BRICK FACADES.
- IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.

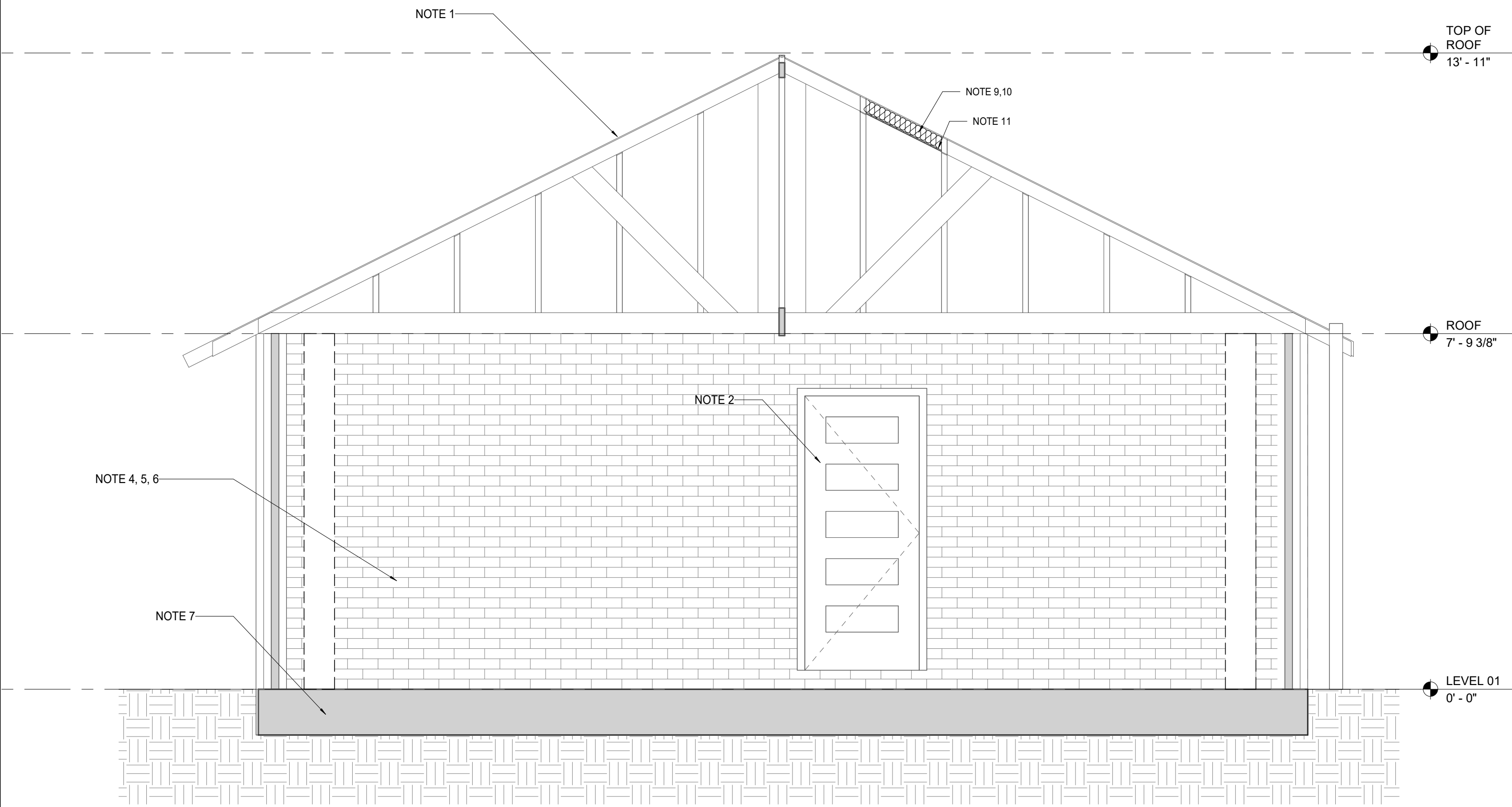
SHEET SPECIFIC NOTES

- REPLACE WITH NEW CEDAR SHAKE ROOF.
- REPLACE WITH NEW DOOR, TIME AND COLOR. CONDUCT PAINT ANALYSIS TO DETERMINE ORIGINAL COLOR. REFER TO PHOTOS 7 AND 8.
- REPLACE STRUCTURAL WOOD BEAM ABOVE BARN DOOR WITH STEEL BEAM. ATTACH DOOR TRACK TO STEEL BEAM. REFER TO PHOTO 12.
- INSTALL BI-FOLD DOOR. BASIS OF DESIGN: MARVIN ULTIMATE BI-FOLD DOOR. REFER TO MANUFACTURER PHOTOS 18 AND 19.

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1 N/S GARAGE SECTION
0 2 4 FT



2 E/W GARAGE SECTION
0 2 4 FT

SECTIONS

Heritage Preservation Grant - Historic Garage Renovation

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MATERIAL KEYNOTES

- BIOLOGICAL GROWTH
- CRACKS
- CEDAR SHAKES
- UNEARTH TO RECONSTRUCT HISTORIC RETAINING WALL

GENERAL NOTES

- A. IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.
- B. INSTALL NEW HVAC SYSTEM
- C. INSTALL EXPOSED DUCT SYSTEM. TRUSSES AND RAFTER TO REMAIN EXPOSED.
- D. REINFORCE ALL STRUCTURAL ELEMENTS AS NEEDED: BEAMS, TRUSSES, BRICK WALLS.

SHEET SPECIFIC NOTES

- 1. REPLACE WITH NEW CEDAR SHAKE ROOF.
- 2. REPAIR, RESTORE AND PAINT EXISTING DOOR, TRIM, FRAME.
- 3. REPLACE STRUCTURAL WOOD BEAM ABOVE BARN DOOR WITH STEEL BEAM. ATTACH NEW DOOR TRACK TO STEEL BEAM.
- 4. CLEAN ALL BRICK FACADES.
- 5. REPAIR/REPLACE CRACKED & DAMAGED BRICK.
- 6. REPOINT 100% EXTERIOR BRICK WITH COMPATIBLE MORTAR.
- 7. REPAIR FOUNDATION.
- 8. INSTALL BI-FOLD DOOR. BASIS OF DESIGN: MARVIN ULTIMATE BI-FOLD DOOR.
- 9. FILL ALL VOIDS BETWEEN RAFTERS WITH MINERAL WOOL BATT'S. HOLD IN PLACE BY INSTALLING WOOD PLANKING BELOW. INSULATION ORIENTED TO MATCH EXISTING RAFTERS.
- 10. MINERAL WOOD INSULATION.
- 11. WOOD PLANKING

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