



FERBAS

For Office Use Only

Date of Submission: _____

Plan Review #: _____

Historic Review Application

Property Address: 3813 AVENUE H, AUSTIN TX 78751

Historic Landmark ☐

Historic District (Local) ☒

National Register Historic District ☐

Historic Landmark or

Historic District Name: HYDE PARK LOCAL HISTORIC DISTRICT

Applicant Name: MADISON VINCENT Phone #: 512-452-7800 Email: MV@ATLANTISARCHITECTS.COM

Applicant Address: 4117 GUADALUPE ST City: AUSTIN State: TX Zip: 78751

Please describe all proposed exterior work with location and materials. If you need more space, attach an additional sheet.

PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIAL(S)
1) DEMOLITION OF NON-COMPLIANT GARAGE TO CONSTRUCT NEW GARAGE WITH SCREEN PORCH AND ADU ABOVE	REAR YARD NOT SEEN FROM STREET	• PAINTED 7" HARDIE LAP SIDING • STAINED FIR SCREEN PORCH • ASPH COMP ROOF
2)		• ALUM CLAD DOUBLE HUNG W/O DIVIDED LITES • WOOD GARAGE DOOR • OGEE GUTTERS
3)		

Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing and proposed conditions for alterations and additions.

Site Plan ☒ Elevations ☒ Floor Plan ☒ Roof Plan ☒

2. Color photographs of building and site: TOTAL DEMO - SEE PHOTOS OF DEMO'D GARAGE

Elevation(s) proposed to be modified ☐ Detailed view of each area proposed to be modified ☐

Any changes to these plans must be reviewed and approved by the Historic Preservation Office and/or Historic Landmark Commission.

Applicant Signature: M. Vincent

Date: 02/10/23



Design Standards and Guidelines for Historic Properties

Adopted December 2012

Design Standards and Guidelines for Historic Properties

Landmarks and National Register historic district properties

If you are making changes to a historic landmark, the project *must* comply with these standards to receive a Certificate of Appropriateness. If you are making changes to a contributing property or constructing a new building within a National Register historic district, consider the standards below as advisory guidelines:

1. Use a property for its historic purpose or place it in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. Retain and preserve the historic character or a property shall be retained and preserved. Avoid the removal of historic materials or alteration of features and spaces that characterize a property.
3. Recognize each property as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Local historic district properties

If you are making changes to a contributing property or constructing a new building in a local historic district, the project *must* comply with the design standards established for that district to receive a Certificate of Appropriateness. Visit the Historic Preservation Office website to view your district's design standards: <http://www.austintexas.gov/department/historic-preservation>.

↳ PAGE NOT FOUND

What Type of Work Requires a Certificate of Appropriateness?

Certificates of Appropriateness (COAs) are required for exterior changes or additions to historic landmarks, any property pending designation as a landmark, and contributing buildings in local historic districts; or if you are constructing a new building in a local historic district. Work requiring a COA includes:

1. Additions
2. Construction of new buildings, including outbuildings
3. Window and door replacement
4. Exterior siding replacement
5. Replacement of roof materials with a different material
6. Site changes such as a pool, deck, fence, or back porch enclosure

Ordinary repair and maintenance projects do *not* require a Certificate of Appropriateness. For more information, see the historic review process charts on the [Historic Preservation Office website](#).

Historic Preservation Office website line - Page
Not Found 02-10-23

← → ↻ austintexas.gov/department/     ⋮

3-1-1  Translate

austintexas.gov Resident Business Government Departments Connect 

Page not found

The page you are looking for cannot be found - sorry about that! Here are some other things you can try to find what you're looking for:

- Use the search bar at the top of our website
- [Call 3-1-1](#)
- Visit our list of [City Departments](#)



Get information or assistance

Give feedback on our website

Site Map

Public Records

City Council Message Board

Visit Austin

City Directory

Jobs

Legal Notices

Privacy Policy











Z:\atlantis DRAWINGS active\berbas Ave H drawings\berbas aveH FOR HLC 02-10-23.dwg, A01 site 11x17, 2/10/2023 3:57:50 PM, _AutoCAD PDF (High Quality Print).pc3

1. BUILDING & SITE AREA CALCULATIONS					01-26-23 MV
(etr) = existing to remain					
	EXIST (etr)	NEW		TOTAL	
a. FIRST FLR. CONDITIONED AREA	1715sf	80sf		1795sf	
b. SECOND FLR. CONDITIONED AREA	0sf	550sf		550sf	
c. THIRD FLR. CONDITIONED AREA	0sf	0sf		0sf	
d. BASEMENT	0sf	0sf		0sf	
e. GARAGE					
1. ATTACHED (or <10' away)	0sf	0sf		0sf	
2. DETACHED (>10' away)	0sf	440sf		440sf	
f. COVERED PATIO, DECK OR PORCH	215sf	461sf		676sf	
BALCONIES (not over bldg)	0sf	0sf		0sf	
g. OTHER BUILDING OR COVERED AREAS (CANTILEVER)	0sf	8sf		8sf	
h. UNCOVERED WOOD DECK(s) (count 100%)	0sf	0sf		0sf	
i. SWIMMING POOL (water surface only)	0sf	0sf		0sf	
j. SPA	0sf	0sf		0sf	
k. TOTAL BLDG AREA (a thru j)	1930sf	1539sf		3469sf	

2. BUILDING COVERAGE					covered by bldg or roof
	EXIST	NEW		TOTAL	
1. TOTAL BLDG COVERAGE (k less b,c,d,h & i)					
EXIST BLDG COVERAGE per LDC 25-1-21	1930sf	989sf		2919sf	
z. TOTAL LOT AREA				8905sf	
PROPOSED % OF BLDG COVERAGE ON LOT (2919/8905)					32.8 %
ALLOWABLE % OF BLDG COVERAGE ON LOT = 3562 SF					40 %

3. IMPERVIOUS COVERAGE					per LDC 25-1-23
	EXIST	NEW		TOTAL	
1. TOTAL BLDG COVERAGE (k less b,c,d,h & i)	1930sf	989sf		2919sf	
m. DRIVEWAY ON PRIVATE PROPERTY	493sf	16sf		509sf	
n. SIDEWALK/WALKWAYS ON PRIVATE PROP.	117sf	0sf		117sf	
o. UNCOVERED PATIOS	75sf	0sf		75sf	
h. UNCOVERED WOOD DECKS (count 50%) (XX x .5)	0sf	0sf		0sf	
p. AIR CONDITIONER PADS	9sf	0sf		9sf	
q. CONCRETE DECKS	0sf	0sf		0sf	
r. SITE WALLS & RETAINING	30sf	0sf		30sf	
s. OTHER - EGRESS LANDING	0sf	13sf		13sf	
t. TOTAL IMPERVIOUS COVERAGE	2654sf	1018sf		3672sf	
z. TOTAL LOT AREA				8905sf	
PROPOSED IMPERVIOUS COVERAGE (3672/8905 = 41.2%)					41.2 %
ALLOWABLE IMPERVIOUS COVERAGE ON LOT = 4007 SF					45 %

4. F.A.R. CALCULATIONS					per LDC 25-2 subchap F
	EXIST	NEW		TOTAL	
a. FIRST FLR. CONDITIONED AREA	1715sf	80sf		1795sf	
a' FIRST FLR. CONDITIONED AREA > 15'	0sf	60sf		60sf	
f FIRST FLR COVERED PORCH	215sf	461sf		676sf	
f' FIRST FLR COVER PORCH EXEMPT (full)	<215>sf	<461>sf		<676>sf	
b. SECOND FLR. CONDITIONED AREA	0sf	550sf		550sf	
b' SECOND FLR. CONDITIONED AREA > 15'	0sf	0sf		0sf	
b" SECOND FLR. COVERED PORCHES	0sf	0sf		0sf	
c. THIRD FLR. CONDITIONED AREA	0sf	0sf		0sf	
d. BASEMENT	0sf	0sf		0sf	
d' BASEMENT EXEMPTION	0sf	0sf		0sf	
x ATTIC	0sf	0sf		0sf	
x' HABITABLE ATTIC EXEMPTION	0sf	<0>sf		<0>sf	
e. GARAGE					
1. ATTACHED	0sf	0sf		0sf	
2. DETACHED >10' away	0sf	440sf		440sf	
e' 3. CARPORT	0sf	0sf		0sf	
PARKING EXEMPTION (e1-200,e2-450,e3-450)	<0>	<440>sf		<440>sf	
y. TOTAL HOUSE GROSS FLOOR AREA	1715sf	690sf		2405sf	
z. TOTAL LOT AREA				8905sf	
PROPOSED % FLOOR AREA RATIO (2405/8905)					27 %
ALLOWABLE FLOOR AREA RATIO 40% x 8905 lot = 3562 SF					40 %

FIRE AREA
MAIN HOUSE: 1715sf + 215sf + 75sf = 2005 SQ FT
ADU: 440 + 80 + 550 + 386 = 1456 sf

NOTE: SIDEWALK EXISTS THEREFORE NO SIDEWALK FEE IS REQUIRED.

ALL LOT CONDITIONS AND INFORMATION BASED UPON INFORMATION PROVIDED BY SURVEY FROM OWNER. SURVEY BY DEREK KINSAUL OF SURVEYWORKS, LLC. DATED 01-22-21 AND IS FOR ESTIMATING PURPOSES ONLY. VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THESE DRAWINGS DO NOT, NOR ARE INTENDED TO, LOCATE PROPERTY LINES, BUILDING SET BACKS, NOR HEIGHT LIMITATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE THE BUILDING AND CONSTRUCT IT TO, AND WITHIN, APPLICABLE CODE RESTRICTIONS. FURTHER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADDRESS SITE DRAINAGE APPROPRIATE TO THE SITE AND IN CONSIDERATION TO ADJOINING PROPERTIES.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FITTING NEW WORK WITH EXISTING CONSTRUCTION. INFORMATION ON EXISTING BUILDINGS SHOWN IN THE DRAWINGS WAS BASED UPON THE INFORMATION SUPPLIED BY OWNERS. THIS INFORMATION IS NOT AS-BUILT DATA AND THE ACTUAL AS-BUILT CONSTRUCTION MAY DIFFER FROM THAT REPRESENTED IN THE DRAWINGS. CONTRACTORS SHALL VERIFY ALL INFORMATION. VARIATIONS FROM THE DIMENSIONS INDICATED ON THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

ADOPTED BUILDING CODES:

2021 International RESIDENTIAL Code (IRC)
2021 International Building Code (IBC)
2020 National Electrical Code (NEC)
2021 Uniform Mechanical Code (UMC)
2021 Uniform Plumbing Code (UPC)
2021 International Energy Conservation Code (IECC)

ALL WORK SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES, RULES, REGULATIONS AND LAWS OF BUILDING OFFICIALS OR AUTHORITIES HAVING JURISDICTION. ALL WORK NECESSARY TO COMPLY WITH SUCH REQUIREMENTS SHALL BE PROVIDED BY CONTRACTOR. DISCREPANCIES BETWEEN CODES, STANDARD PRACTICES AND INFORMATION WITHIN CONSTRUCTION DOCUMENTS THEMSELVES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY UPON DISCOVERY AND PRIOR TO CONSTRUCTION OF THE AREAS AFFECTED.

PROJECT INFO:		06-13-22 MV
ZONING	SF-3	HD-NCCD-NP
ALLOWABLE BLDG COVERAGE		40%
IMPERVIOUS COVER LIMIT		45%
SUB-CHAPTER F		YES
F.A.R. LIMIT		40%
HEIGHT LIMIT - 32 FEET		23'-0" SEE A25

LEGAL DESCRIPTION:

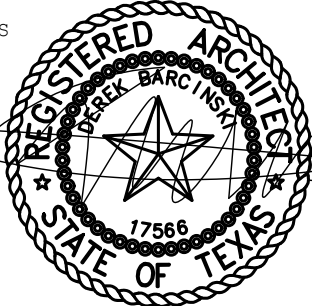
THE SOUTH 45' OF LOT 52 AND
THE NORTH 20' OF LOT 53,
SHADOW LAWN, AND ADDITION,,
VOL. 3, PAGE 71, TRAVIS CO.

DRAWING INDEX

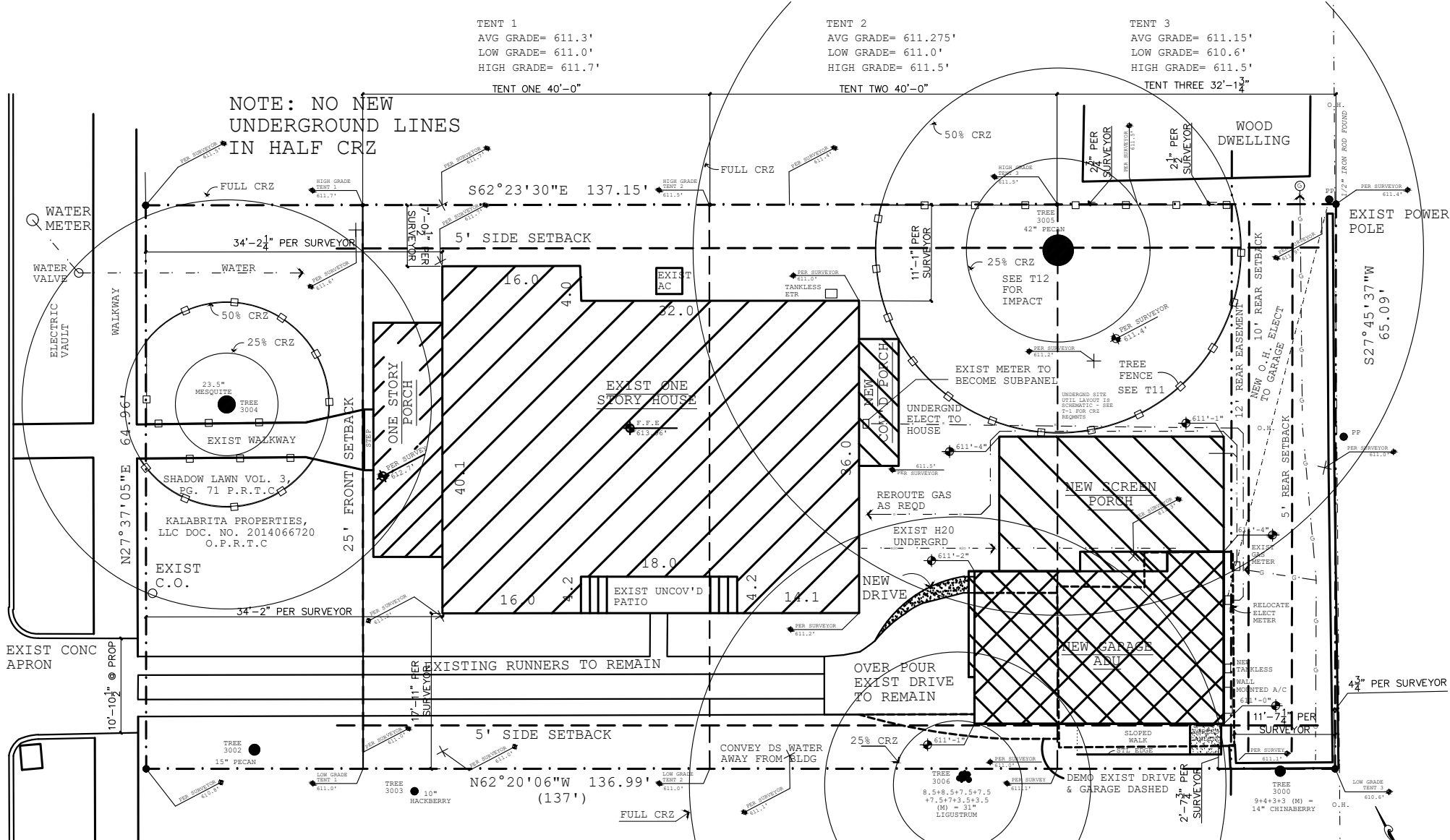
A01	PROPOSED SITE PLAN	S0.0	STRUCTURAL NOTES
A11	PROPOSED LOWER PLAN	S0.1	STRUCTURAL NOTES
A12	PROPOSED UPPER + ROOF PLAN	S1.0	FOUNDATION PLAN
		S2.0	SECOND FLOOR FRAMING PLAN
A25	GARAGE ADU ELEVATIONS	S2.1	ROOF FRAMING PLAN
		S2.2	FIRST FLOOR BRACED WALL PLAN
E11	PROPOSED ELECT PLANS	S2.3	SECOND FLR BRACED WALL PLAN
		S3.0	FOUNDATION DETAILS
D11	DEMO PLAN	S3.1	FOUNDATION DETAILS
		S4.0	FRAMING DETAILS
T11	TREE PROTECTION PLAN	S4.1	FRAMING DETAILS
T12	TREE IMPACT DIAGRAM	S4.2	FRAMING DETAILS

AE11 AUSTIN ENERGY SITE PLAN
AE12 AUSTIN ENERGY - POLE CLEARANCES

AW11 AUSTIN WATER - APPROVED



26 JAN 2023



SEE T11 FOR TREE PROTECTION

1 SITE PLAN
A01 SCALE: 1/16" = 1'-0"

atlantis architects
4117 guadalupe street - studio B
austin texas 78751
ph 512.452.7800 fax 452.7801
atlantisarchitects.com

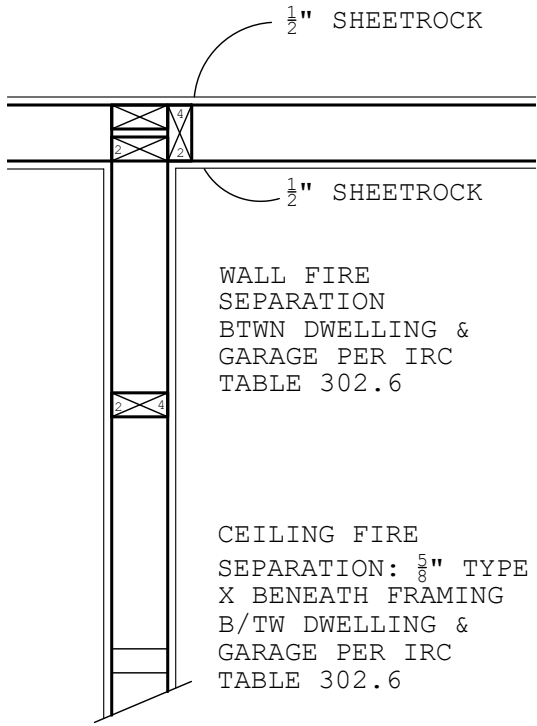
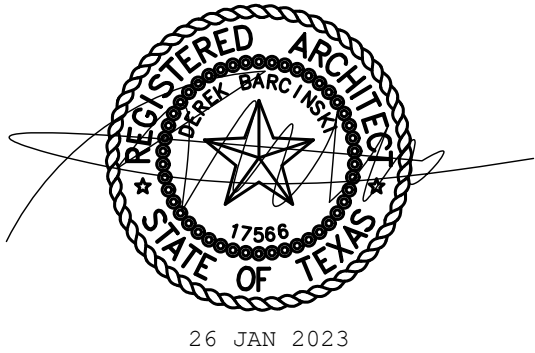
BERBAS BOERNER HOUSE
3813 AVENUE H
AUSTIN, TEXAS 78751

FOR HLC
10 FEB 23

FOR PERMIT
26 JAN 23

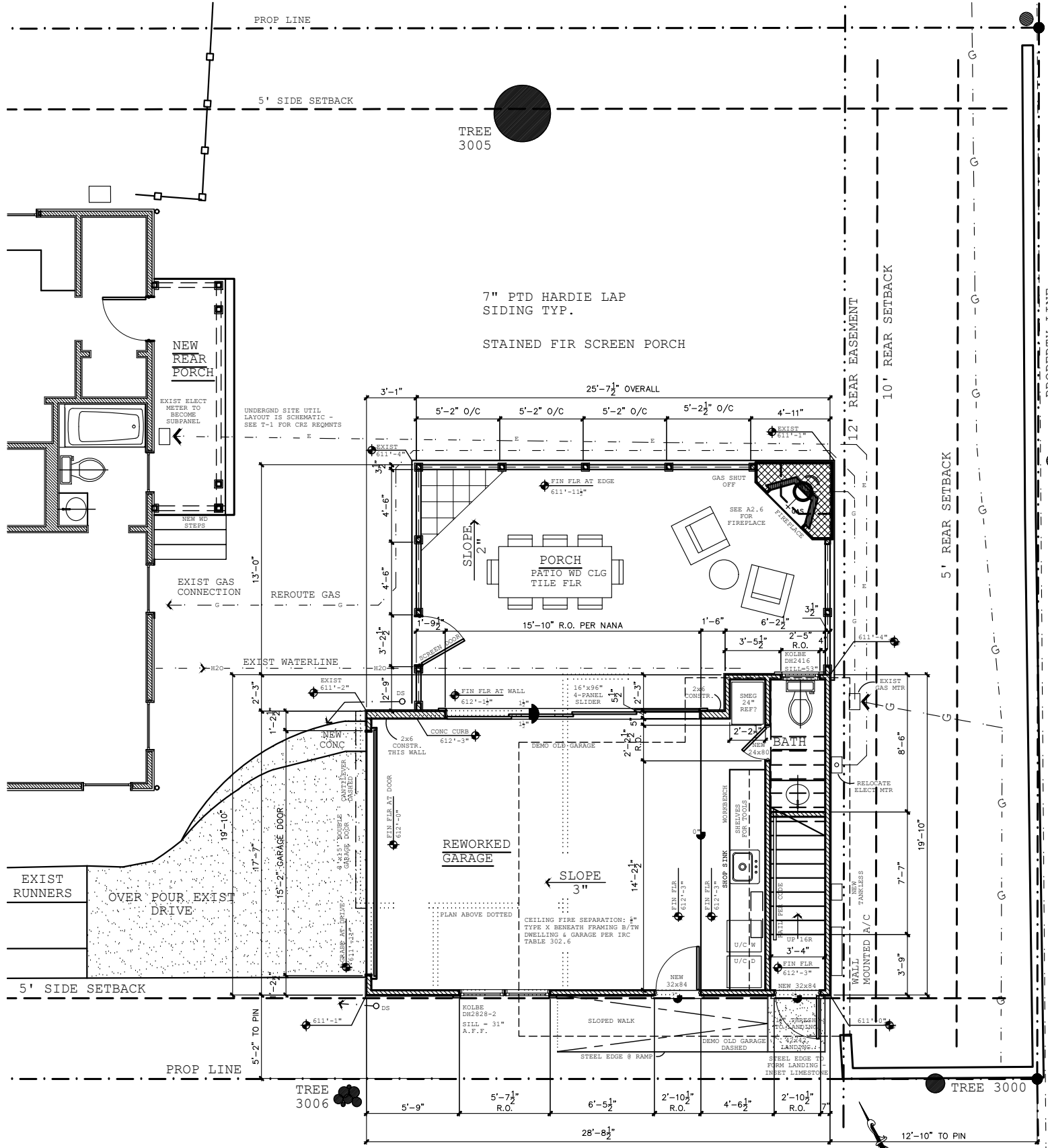
A
01

Z:\atlantis DRAWINGS active\berbas Ave H drawings\berbas aveH FOR HLC 02-10-23.dwg, A11 lower 11x17, 2/10/2023 3:57:51 PM, _AutoCAD PDF (High Quality Print).pc3



2 FIRE SEPARATION BTWN DWELLING & GARAGE
A11 SCALE: 1" = 1'-0"

SEE T-1 FOR TREE PROTECTION



1 PROPOSED LOWER GARAGE PLAN
A11 SCALE: 1/8" = 1'-0"

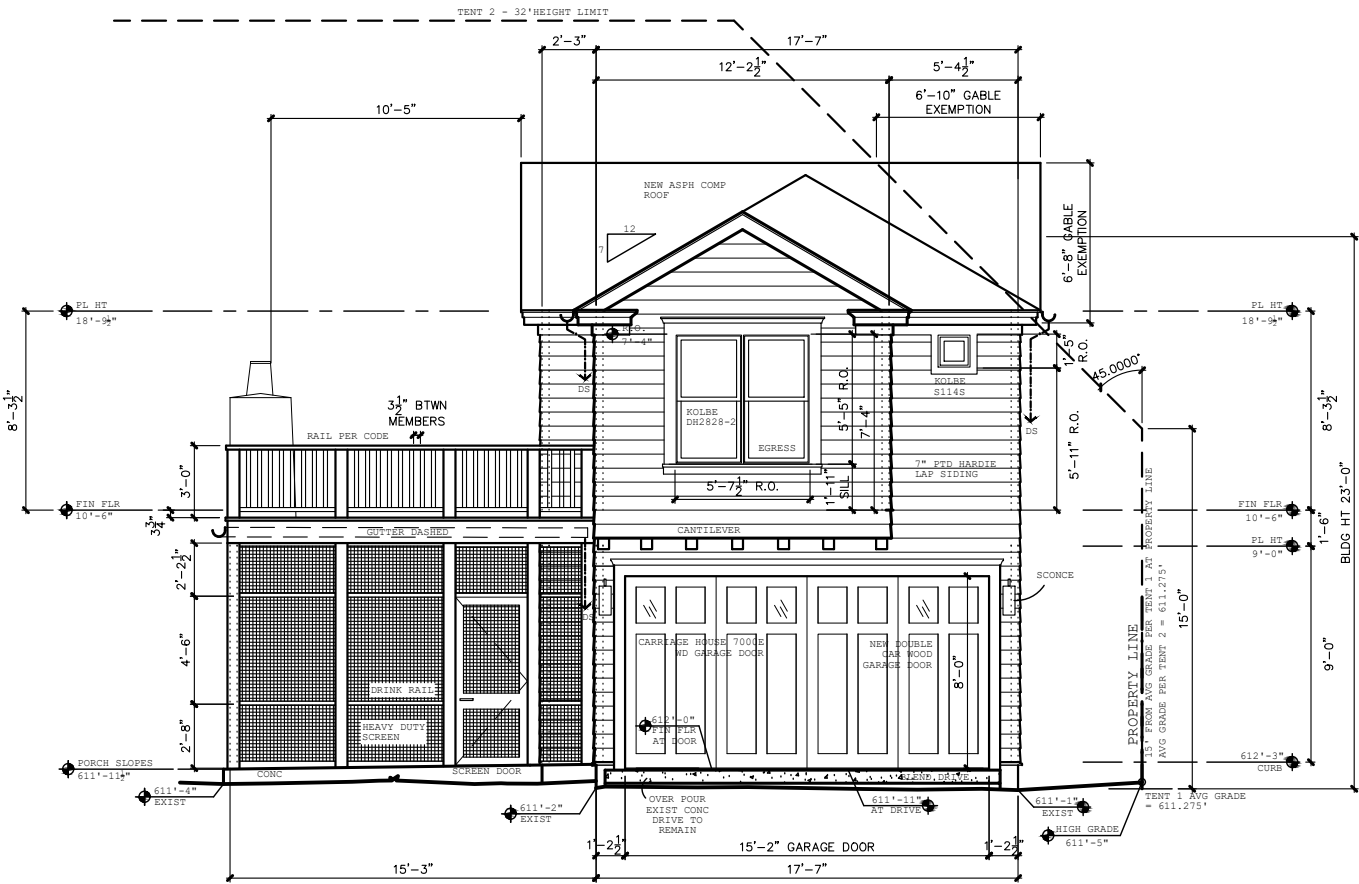
FOR PERMIT

atlantis architects
4117 guadalupe street - studio B
austin texas 78751
ph 512.452.7800 fax 452.7801
atlantisarchitects.com

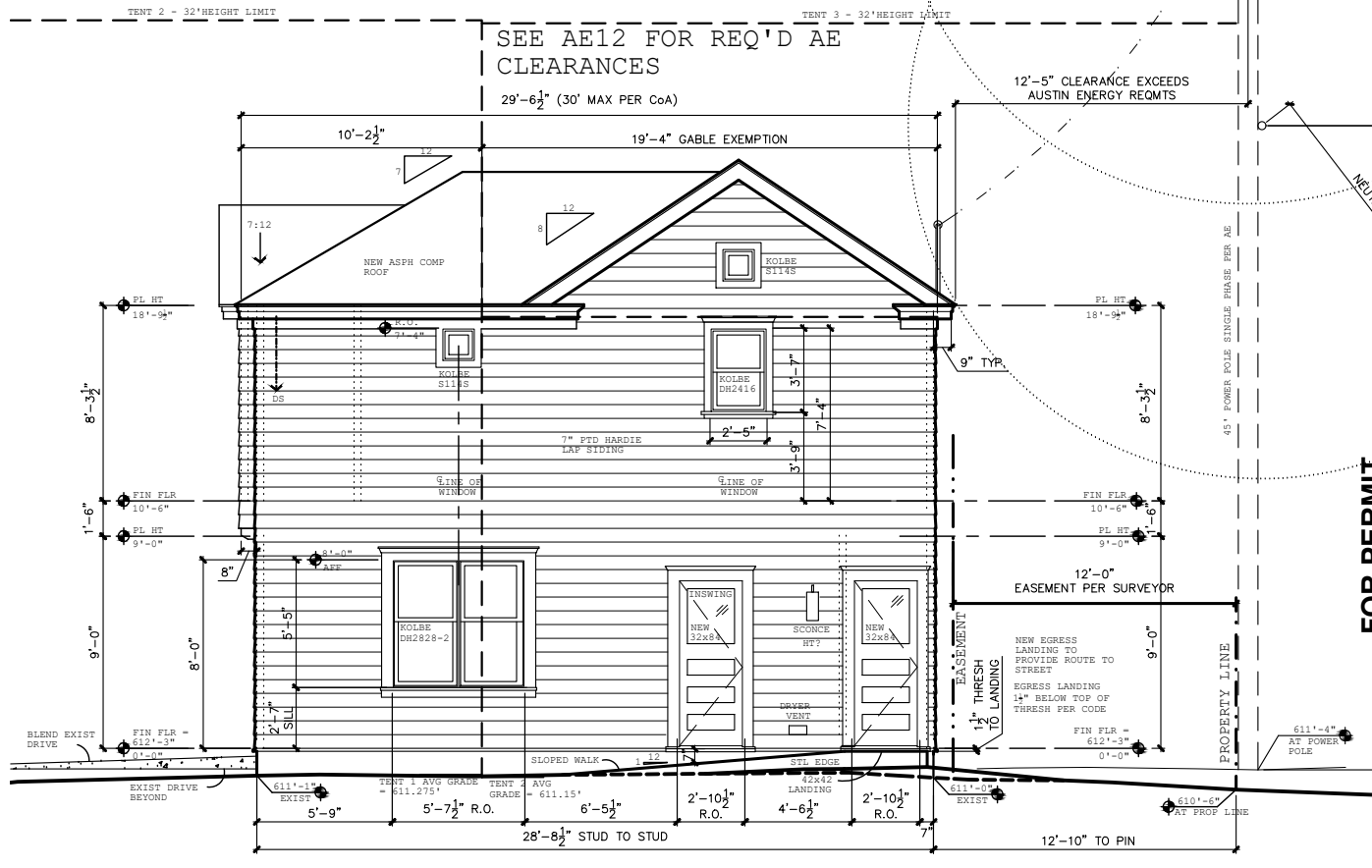
BERBAS BOERNER HOUSE
3813 AVENUE H
AUSTIN, TEXAS 78751

FOR HLC
10 FEB 23
FOR PERMIT
26 JAN 23

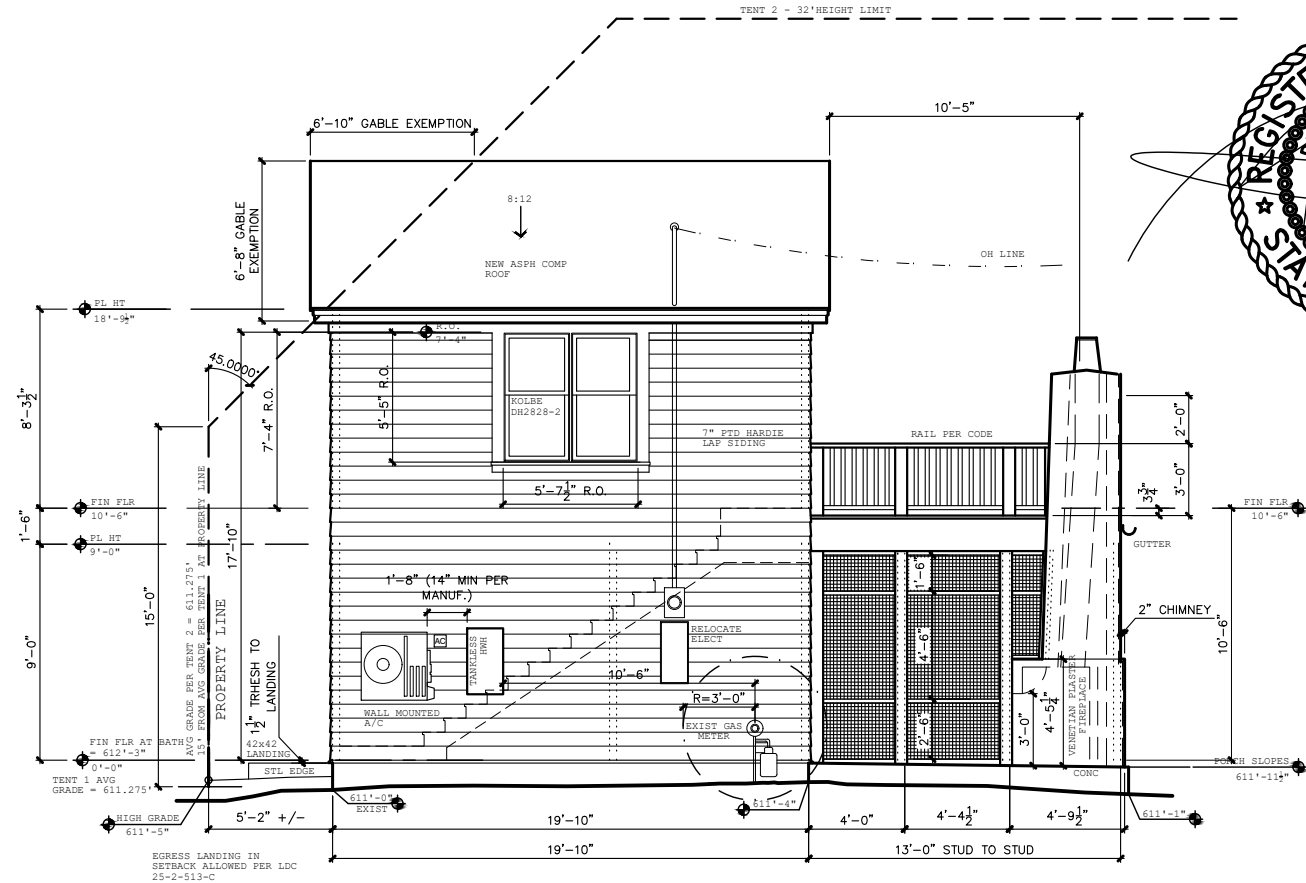
Z:\atlantis DRAWINGS active\berbas Ave H drawings\berbas aveH FOR HLC 02-10-23.dwg, A25 ADU elevs 11x17, 2/10/2023 3:58:01 PM, _AutoCAD PDF (High Quality Print).pc3



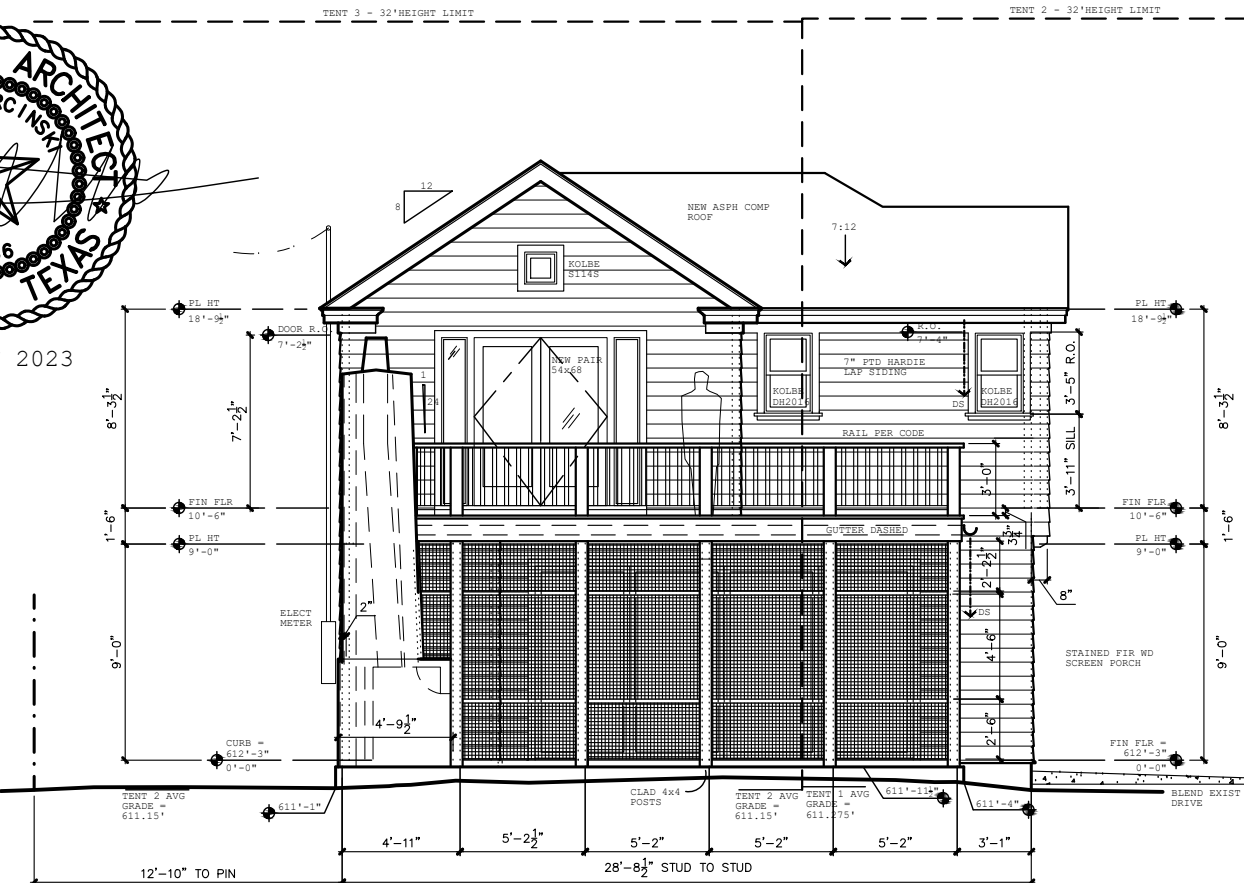
1 PROPOSED FRONT ELEVATION (WEST) AS SEEN FROM STREET
A25 SCALE: 1/4" = 1'-0"



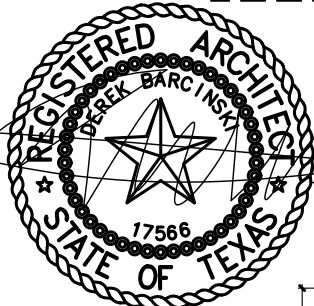
2 PROPOSED SIDE ELEVATION (SOUTH) - AS SEEN FROM PROPERTY LINE
A25 SCALE: 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION - AS SEEN FROM PROPERTY LINE
A25 SCALE: 1/4" = 1'-0"



4 PROPOSED SIDE (NORTH) ELEVATION - AS SEEN FROM BACKYARD
A25 SCALE: 1/4" = 1'-0"



10 JAN 2023

atlantis architects
4117 guadalupe street - studio B
austin texas 78751
ph 512.452.7800 fax 452.7801
atlantisarchitects.com

BERBAS BOERNER HOUSE

3813 AVENUE H
AUSTIN, TEXAS 78751

FOR HLC
10 FEB 23

FOR PERMIT
26 JAN 23

A
25

Z:\atlantis DRAWINGS active\berbas Ave H drawings\berbas ave H REV D PERMIT 02-10-23.dwg, D11 demo 11x17, 2/10/2023 12:17:39 PM, PDF995

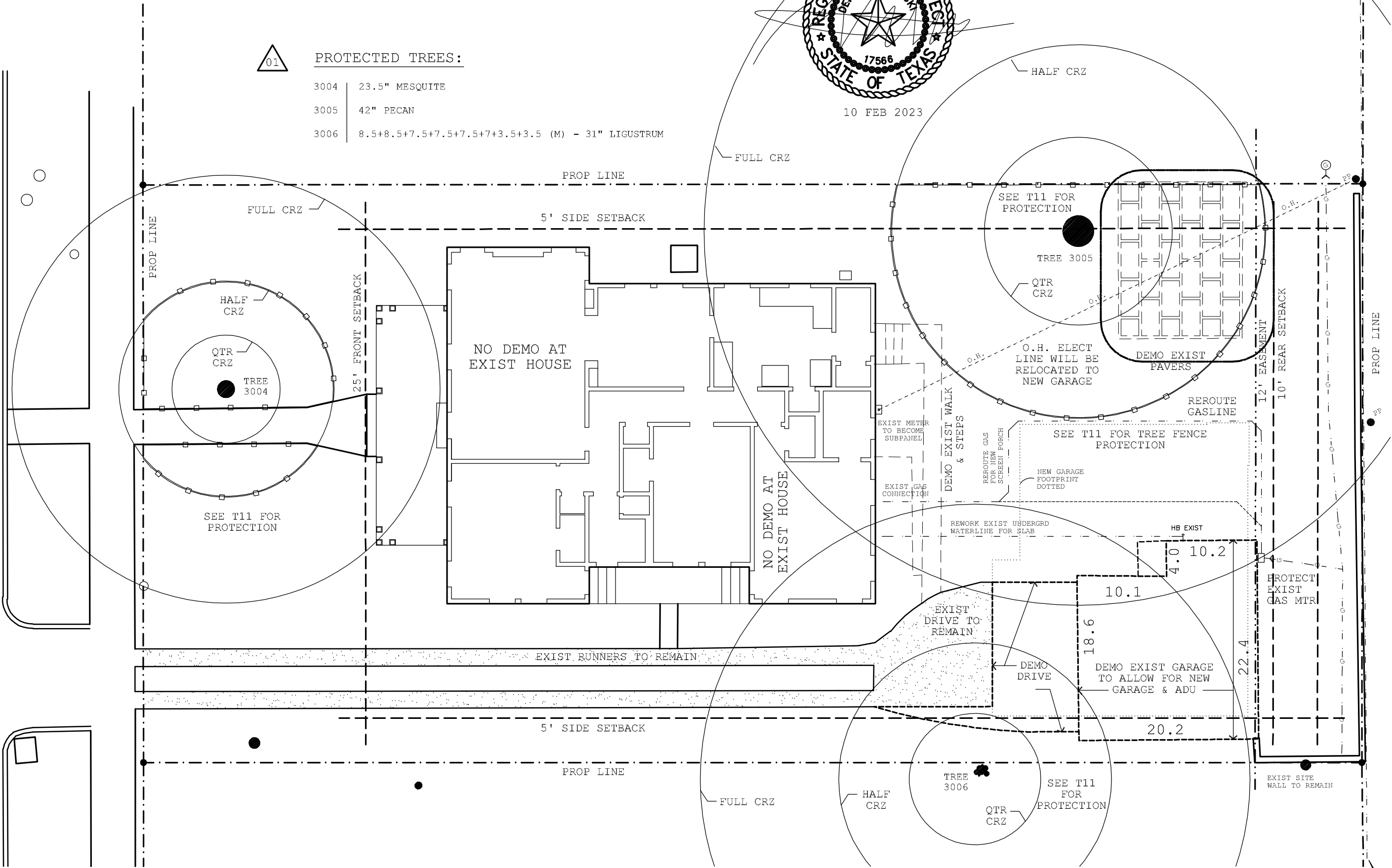


PROTECTED TREES:

3004	23.5" MESQUITE
3005	42" PECAN
3006	8.5+8.5+7.5+7.5+7.5+7+3.5+3.5 (M) - 31" LIGUSTRUM



10 FEB 2023



1 DEMO PLAN
D11 NOT TO SCALE

SEE T11 FOR TREE PROTECTION

FOR PERMIT

TREE LEGEND
10 FEB 23
FOR PERMIT
25 JAN 23

atlantis architects
4117 guadalupe street - studio B
austin texas 78751
ph 512.452.7800 fax 452.7801
atlantisarchitects.com

BERBAS BOERNER HOUSE
3813 AVENUE H
AUSTIN, TEXAS 78751

D
11