

G R E A T R O O M A D D I T I O N



2022 November 29

ARCHITECT

M
A
G
I
C

MAGIC ARCHITECTURE PC
7712 LAZY LANE
AUSTIN, TEXAS 78757
512-994-5782

PROJECT FOR

MARC + KRISTIN KNIGHT
2607 BRIDLE PATH
AUSTIN, TEXAS 78703

PROJECT

GREAT ROOM ADDITION

2607 BRIDLE PATH
AUSTIN, TEXAS 78703

DRAWING ISSUE

○ 2022 SEPT 19	CLIENT REVIEW SET
○ 2022 OCT 19	CONSULTANT ISSUE
● 2022 NOV 29	PERMIT SET

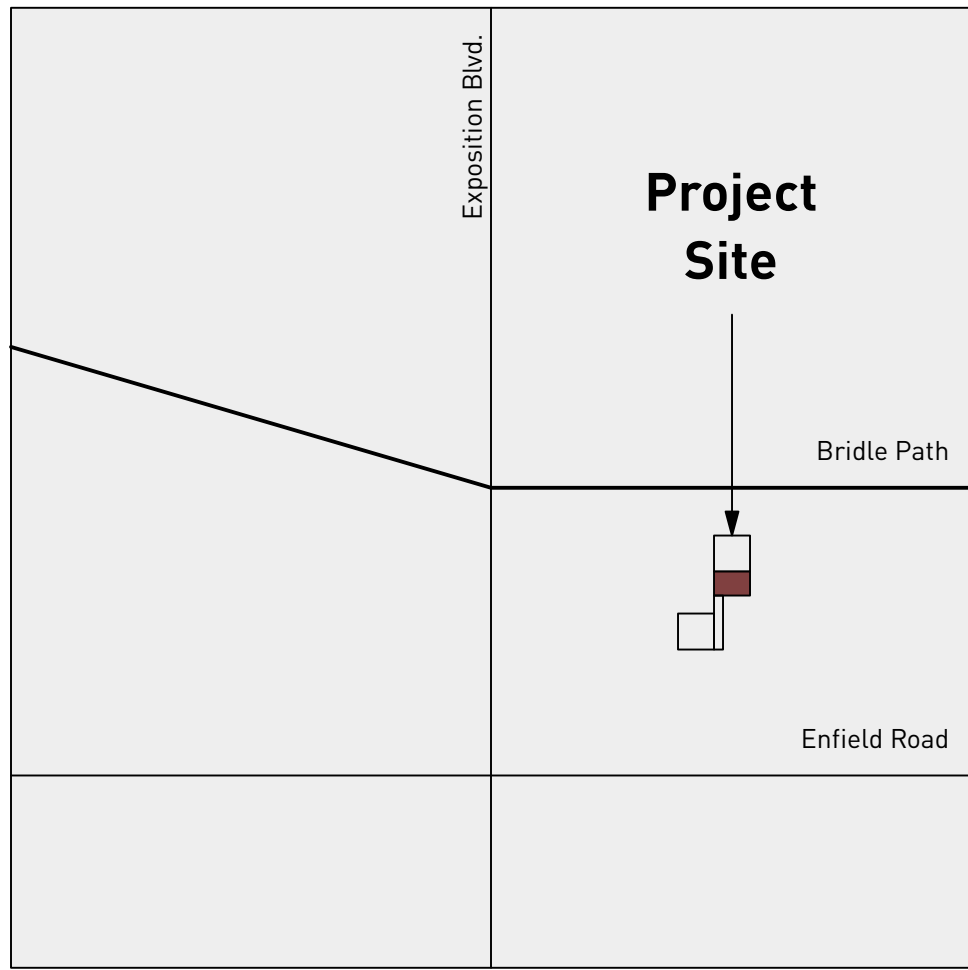
SHEET NAME

SHEET NUMBER

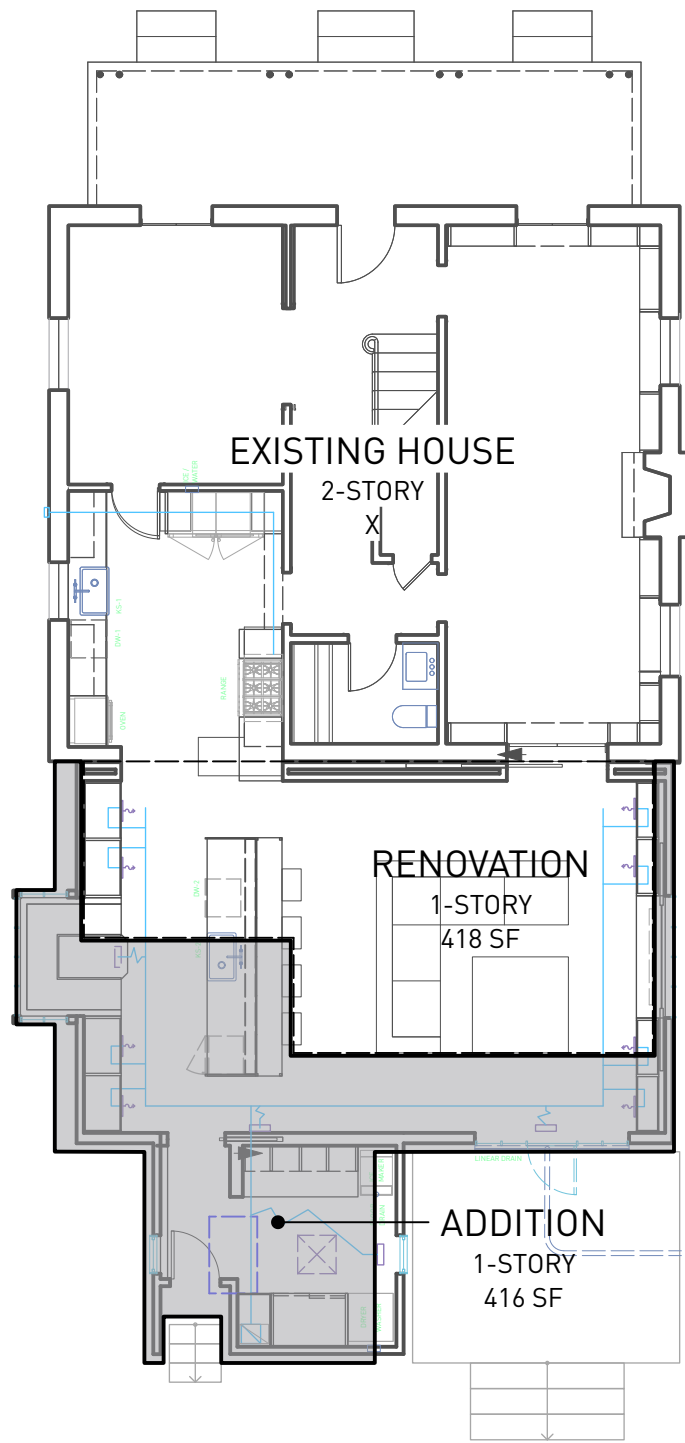
C1

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SHEET SIZE 24" x 36"

Vicinity Map
Not To Scale



Key Plan
Scale: 1 Inch = 10 Feet



2021 IRC Summary

Type Of Construction:	TYPE V-B-NS		
Fire Sprinklers:	None		
Building Areas:	Existing [SF]	Addition [SF]	Proposed [SF]
	Total	2,550	823
	Total Area =	3,373 Total	
Building Height:	Existing	Proposed	
	26'-9"	26'-9" NO CHANGE	
Building Stories:	Existing	Proposed	
	2	2 - NO CHANGE	

Insulation and Energy Code Summary

2021 International Energy Conservation Code
+ 2021 IRC Section R402.1.2 + R402.1.3 [2] Amended by City of Austin

Climate Zone:	2a	
Element	R-Value	Equivalent U - Value
Ceiling Insulation	R-49	0.026
Wood Framed Walls	R-19 or R-15 + 2ci	0.066
Fenestration	SHGC = 0.25	0.35
Floor	R-13	
Skylight		0.60
Slab	None	None

Symbols

Keynote Tag	
Door Tag	
Window Tag	
Section Tag	
Detail Tag	
Elevation Tag	
Finish Tag	
Room Tag / Number	
Detail Callout	
Equipment Tag	
Wall Type	

PROJECT DESCRIPTION

THIS PROJECT IS FOR THE RENOVATION OF AN EXISTING 2-STORY RESIDENTIAL STRUCTURE AND ADDITION. PROJECT REMOVES 20% OF EXISTING WALLS AND ROOF FRAMING. 80% OF EXISTING WALLS TO REMAIN.

SITE SUMMARY

ADDRESS:	2607 BRIDLE PATH		
COUNTY:	TRAVIS		
PLACE ID:	220484		
LEGAL DESCRIPTION:	LOT A WESTFIELD PATH		
LOT SIZE:	0.29 ACRES = 12, 843 SQ.FT.		
ZONING:	SF-3		
USE:	SINGLE-FAMILY RESIDENCE AND ATTACHED GARAGE APARTMENT		
OVERLAYS:	CAPITOL VIEW CORRIDOR (STREET EDGE OF PROPERTY)		
FLOOD PLAIN:	THE PROPERTY IS SHOWN IN FEMA AND FULLY DEVELOPED CITY OF AUSTIN FLOOD MAPS		
HEIGHT LIMIT:	35 FEET		
SETBACKS:			
STREET:	25 FEET		
FRONT YARD:	15 FEET		
REAR YARD:	10 FEET		
SIDE YARD:	5 FEET		

	<u>MAX ALLOWED</u>	<u>EXISTING [SF]</u>	<u>PROPOSED [SF]</u>	<u>%</u>
BUILDING COVERAGE:	40% = 5,137 SF	1,716 SF	2,585 SF	[20.1%]
IMPERVIOUS COVER:	45% = 5,779 SF	3,775 SF	4,742 SF	[36.9%]

PROJECT TEAM

PROPERTY OWNER
MARC + KRISTIN KNIGHT
2607 BRIDLE PATH
AUSTIN, TX 78705
CONTACT: KRISTIN
(512) 293-9980

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EMAIL: SCOTT @ SCOTTMAGIC.COM

STRUCTURAL ENGINEER
BEN HIGGINS
1103 LAMBIE ST. UNIT B
AUSTIN, TX 78702
(708) 715-9403

APPLICABLE CODES

2021 INTERNATIONAL RESIDENTIAL CODE
2021 UNIFORM PLUMBING CODES
2021 NATIONAL ELECTRIC CODE
2021 INTERNATIONAL FIRE CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
CITY OF AUSTIN MUNICIPAL CODE
SUBCHAPTER F STANDARDS

ARCHITECT PRE-CONSTRUCTION INSPECTIONS:

GENERAL CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION MEETINGS WITH THE FOLLOWING SUB-CONTRACTORS AND ARCHITECT BEFORE WORK IS TO COMMENCE:

- SLAB + FOUNDATION REVIEW - FORM DIMENSIONS, REBAR AND VAPOR BARRIER
- STUD, JOIST AND ROOF FRAMING LAYOUT - ALL WOOD FRAMING
- WEATHERIZATION
WATERPROOFING, ROOFING MEMBRANE, WINDOW OPENINGS AND FLASHINGS
- ELECTRICAL ROUGH & BOX WALK LOCATION
- PLUMBING WALL ROUGH
- MECHANICAL ROUGH
- BRICK MOCKUPS + COURSING

SHEET INDEX

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C2	SETBACK PLAN EXHIBIT
C3	SUBCHAPTER F ELEVATIONS
C4	TREE PROTECTION PLAN
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A0.1	PROPOSED SITE PLAN
A1.0	FOUNDATION PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR / ROOF PLAN
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A2.1	REFLECTED CEILING PLAN
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A4.2	SECTIONS - EW
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A9.0	FINISH SCHEDULE
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A10.2	MILLWORK DETAILS
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STRUCTURAL	
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S1.1	FRAMING PLAN
S1.2	WIND BRACING PLAN
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MECHANICAL	
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ELECTRICAL	
E1.1	ELECTRICAL PLAN



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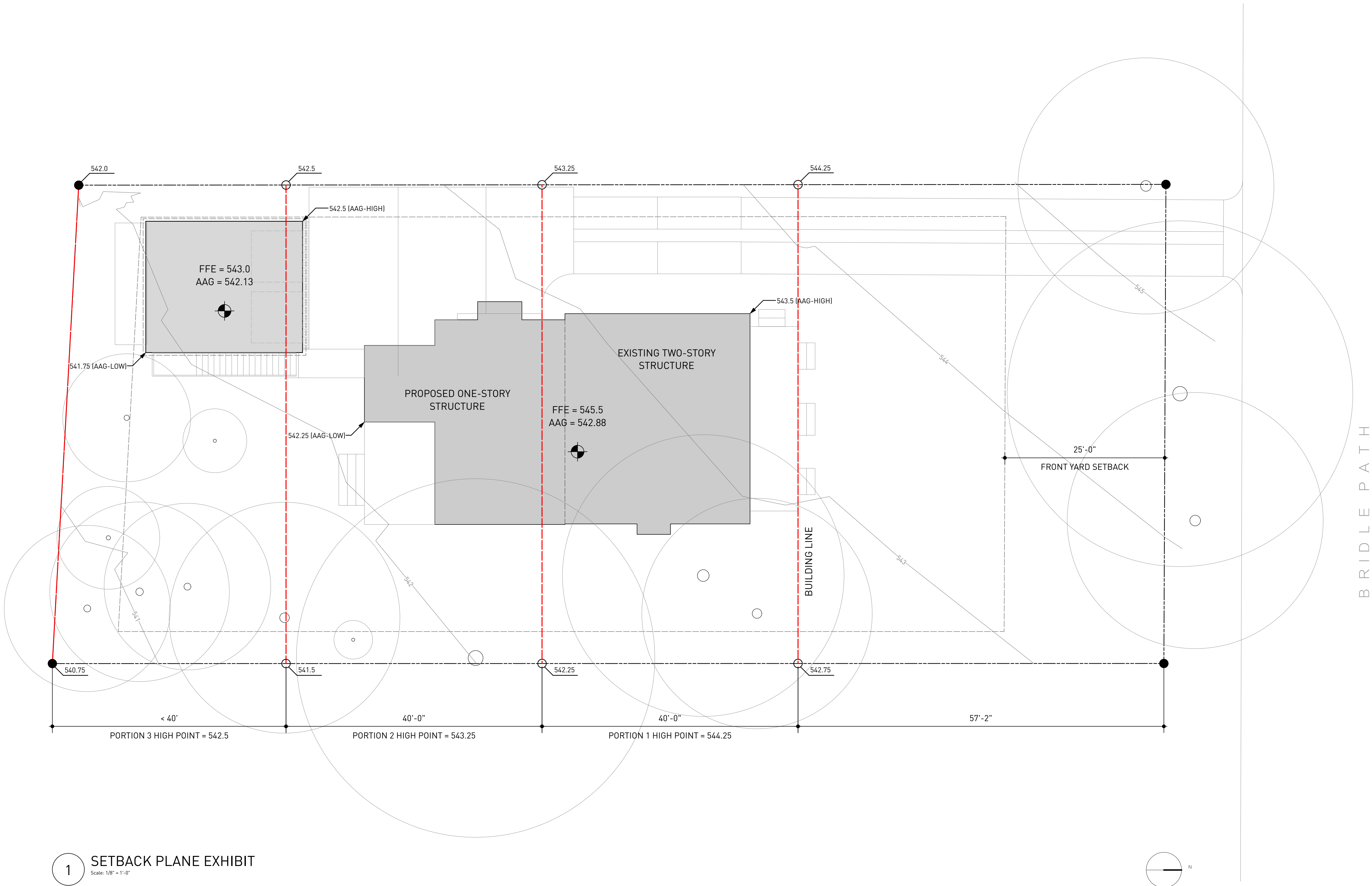
SETBACK PLANE EXHIBIT

SHEET NUMBER

C2

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SHEET SIZE 24" x 36"

0 1 2



1 SETBACK PLANE EXHIBIT
Scale: 1/8" = 1'-0"



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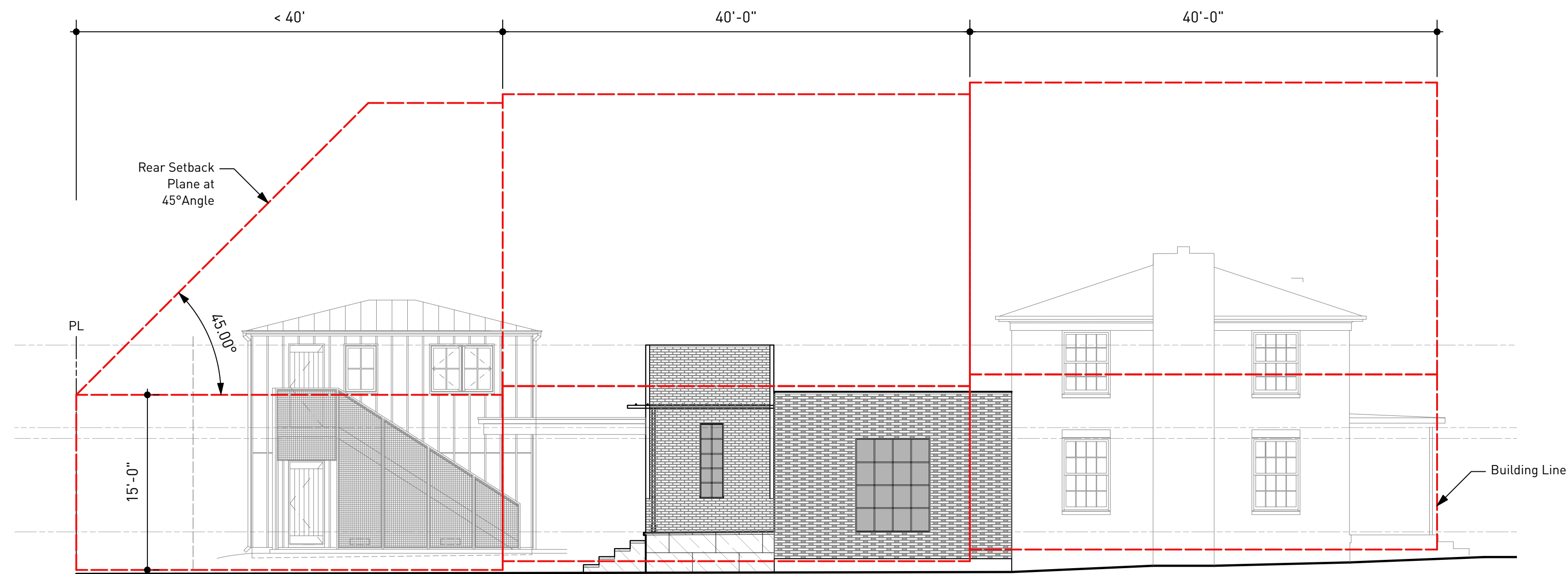
SUBCHAPTER F ELEVATIONS

SHEET NUMBER

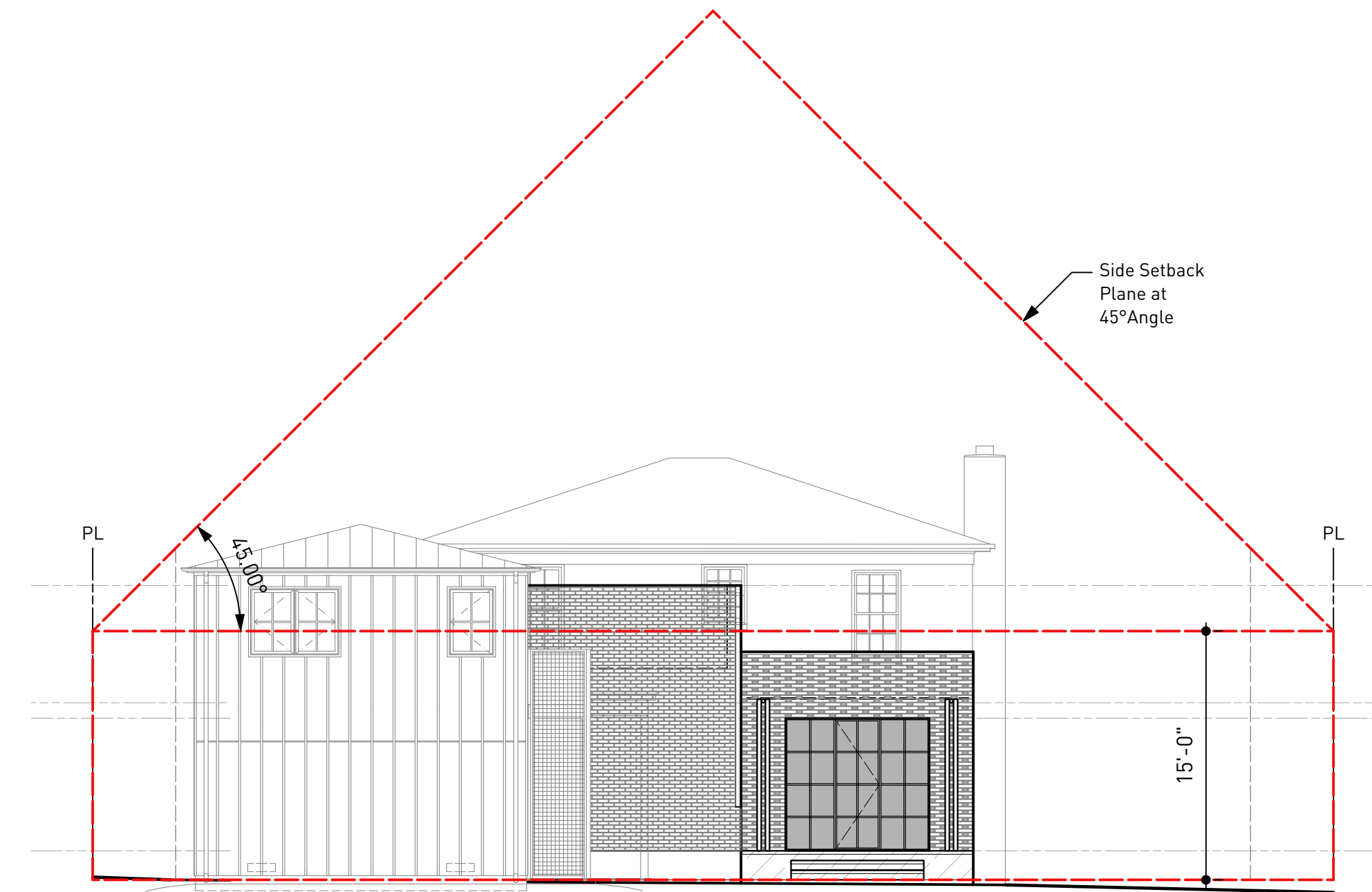
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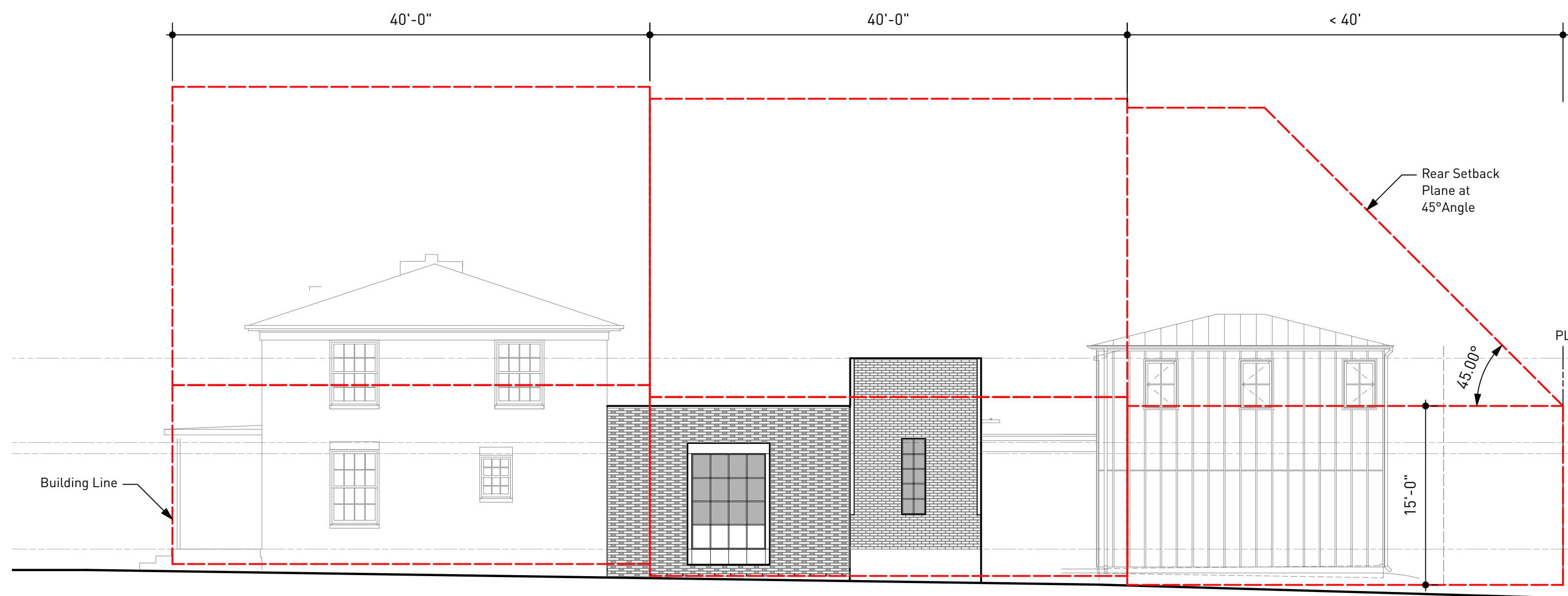
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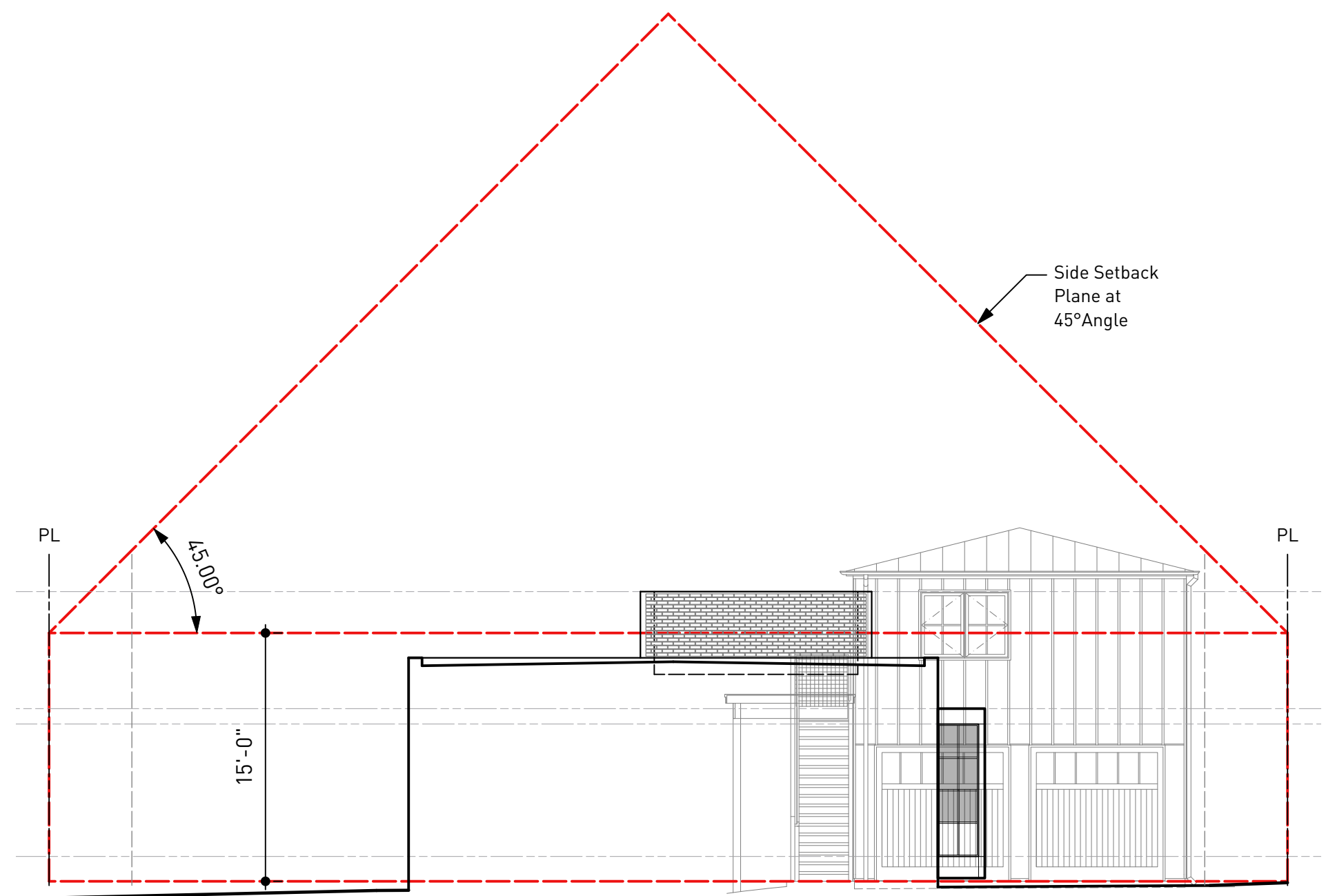
1 SUBCHAPTER F - EAST ELEVATION EXHIBIT
Scale: 1/8" = 1'-0"



3 SUBCHAPTER F - SOUTH ELEVATION EXHIBIT
Scale: 1/8" = 1'-0"



2 SUBCHAPTER F - WEST ELEVATION EXHIBIT
Scale: 1/8" = 1'-0"



4 SUBCHAPTER F - NORTH ELEVATION EXHIBIT
Scale: 1/8" = 1'-0"



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Treatment	Tree Legend # (approx.)
8" Mulch Cover and Tree Protection Fencing	1002
Full CRZ	~1005
1/2 CRZ	~1008
1/4 CRZ	~1010
Trunk Diameter	~1012

- 1 Existing curbscut and driveway to remain
- 2 Material staging
- 3 Dumpster
- 4 Portable toilet placement
- 5 Existing Austin Energy power pole
- 6
- 7
- 8



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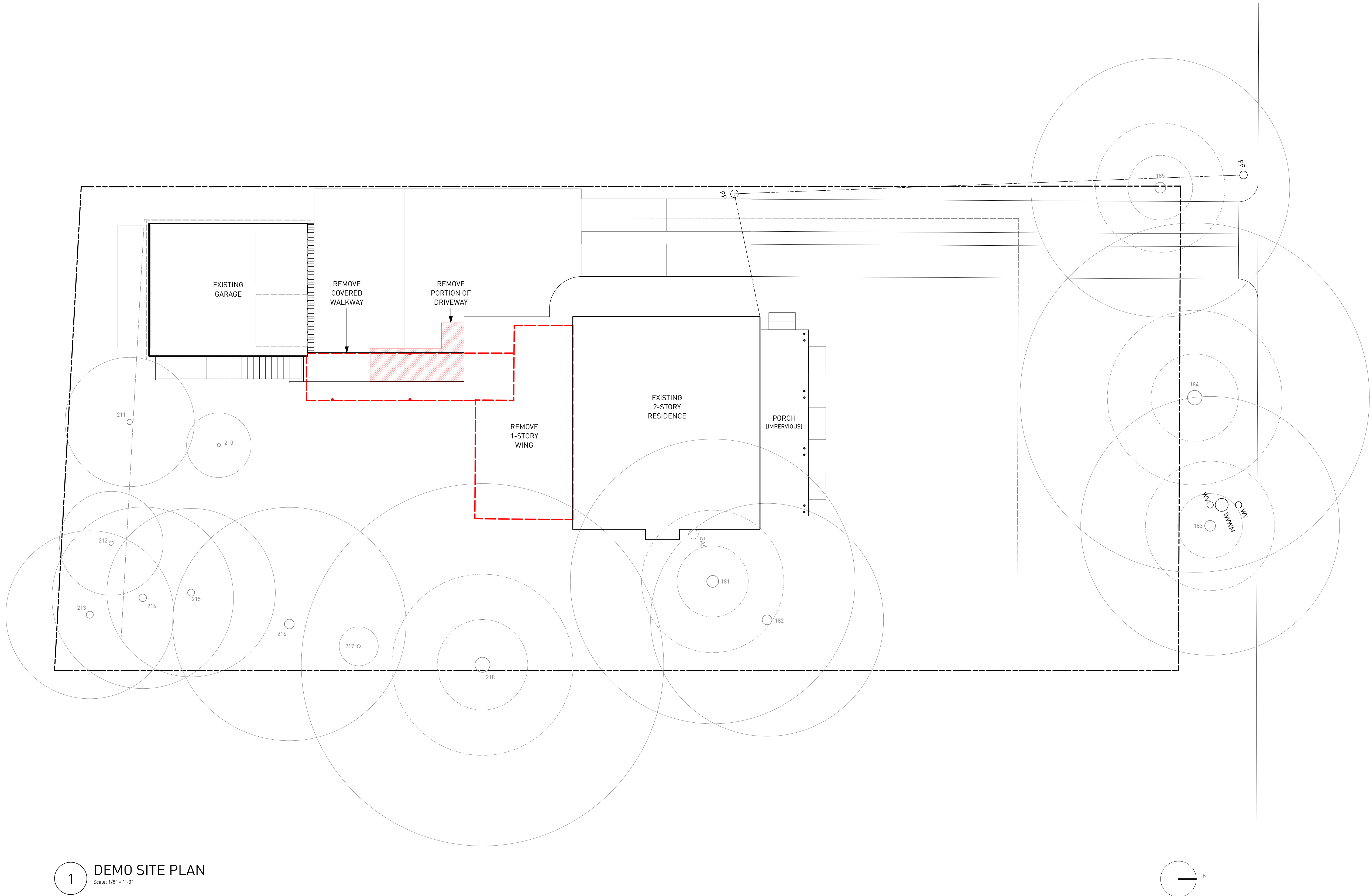
DEMO SITE PLAN

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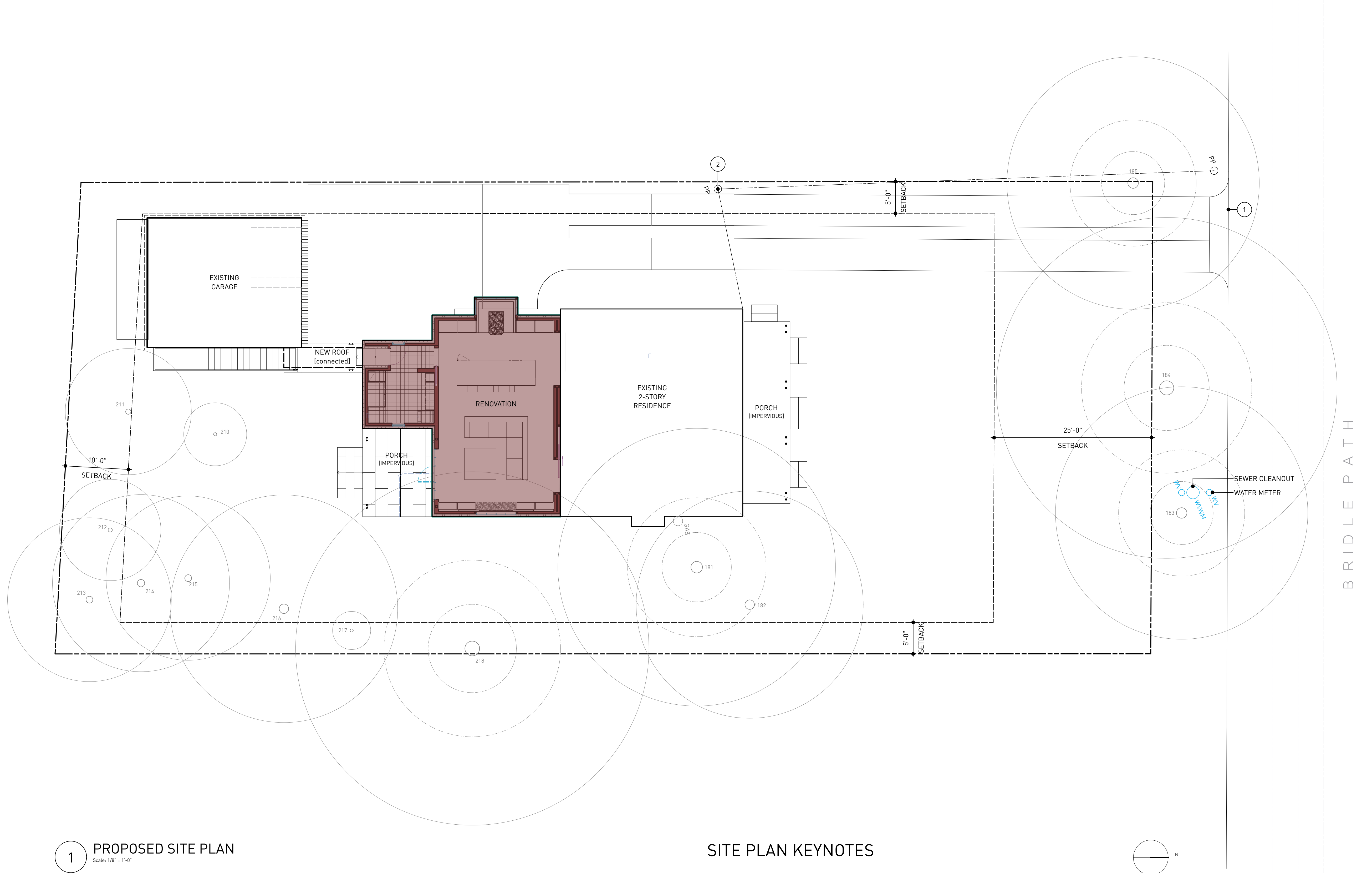
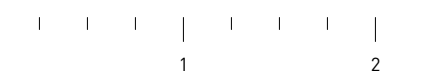
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PROPOSED SITE PLAN

SHEET NUMBER

A0.1

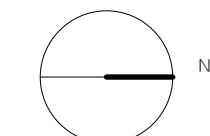
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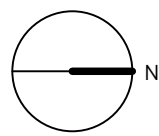
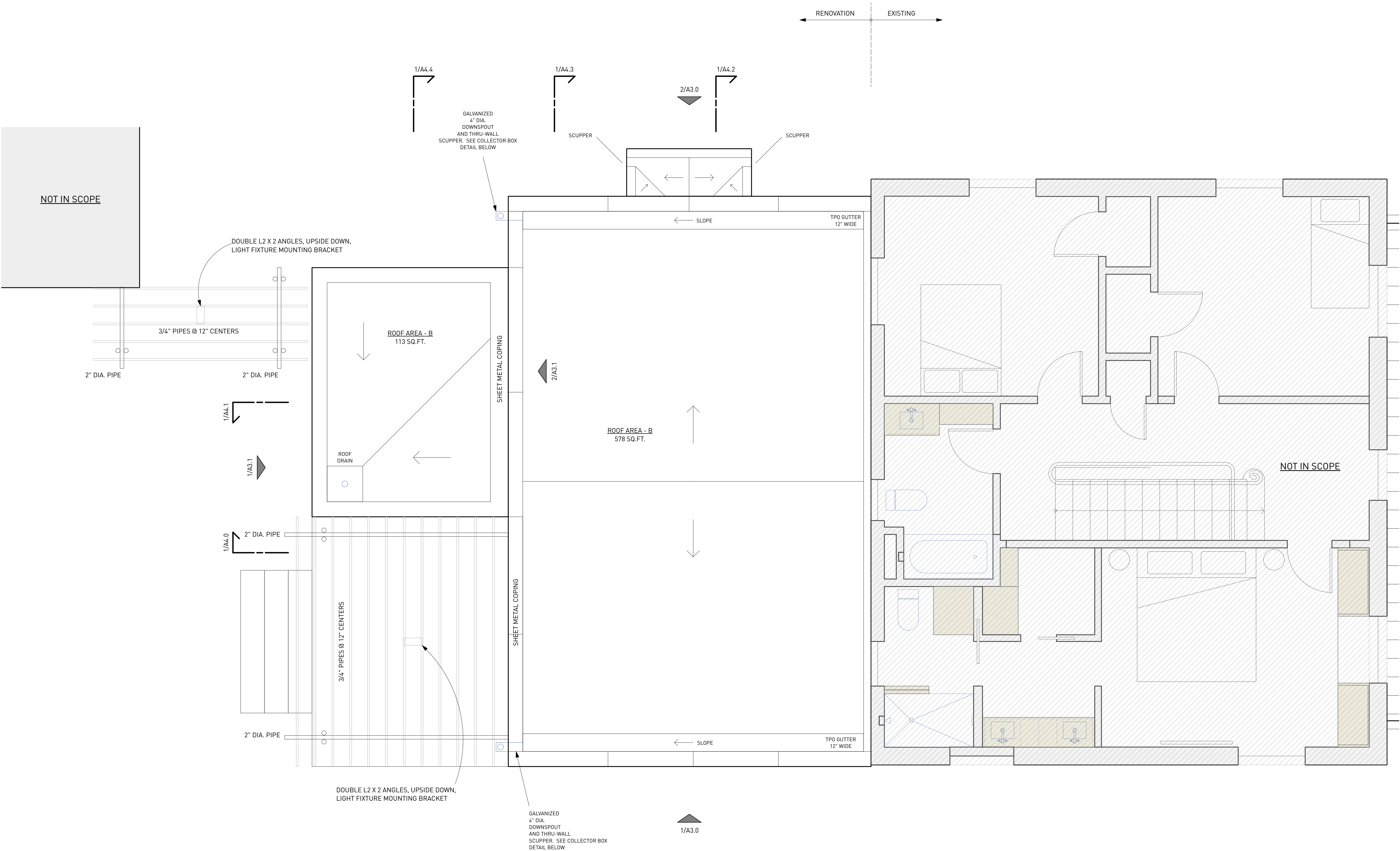


1 PROPOSED SITE PLAN

SITE PLAN KEYNOTES

- 1 EXISTING CURBCUT AND DRIVEWAY TO REMAIN
- 2 EXISTING AUSTIN ENERGY POWER POLE





1

Proposed Second Floor + Roof Plan

Scale: 3/8" = 1'-0"

ROOFING SPECIFICATION

MATERIAL:
ATTACHMENT METHOD:
INSULATION:
COLOR:
SRI:
EMITTANCE:

TPO
FULLY ADHERED OVER ROOFING BOARD
R-25 CI POLYISO RIGID INSULATION, TAPER AS SHOWN
U-VALUE EQUIVALENT = 0.04
GRAY
0.71 (INITIAL), 0.64 (3 YEAR AGED)
0.86 (INITIAL), 0.87 (3 YEAR AGED)



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SECOND FLOOR / ROOF PLAN

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A1.2

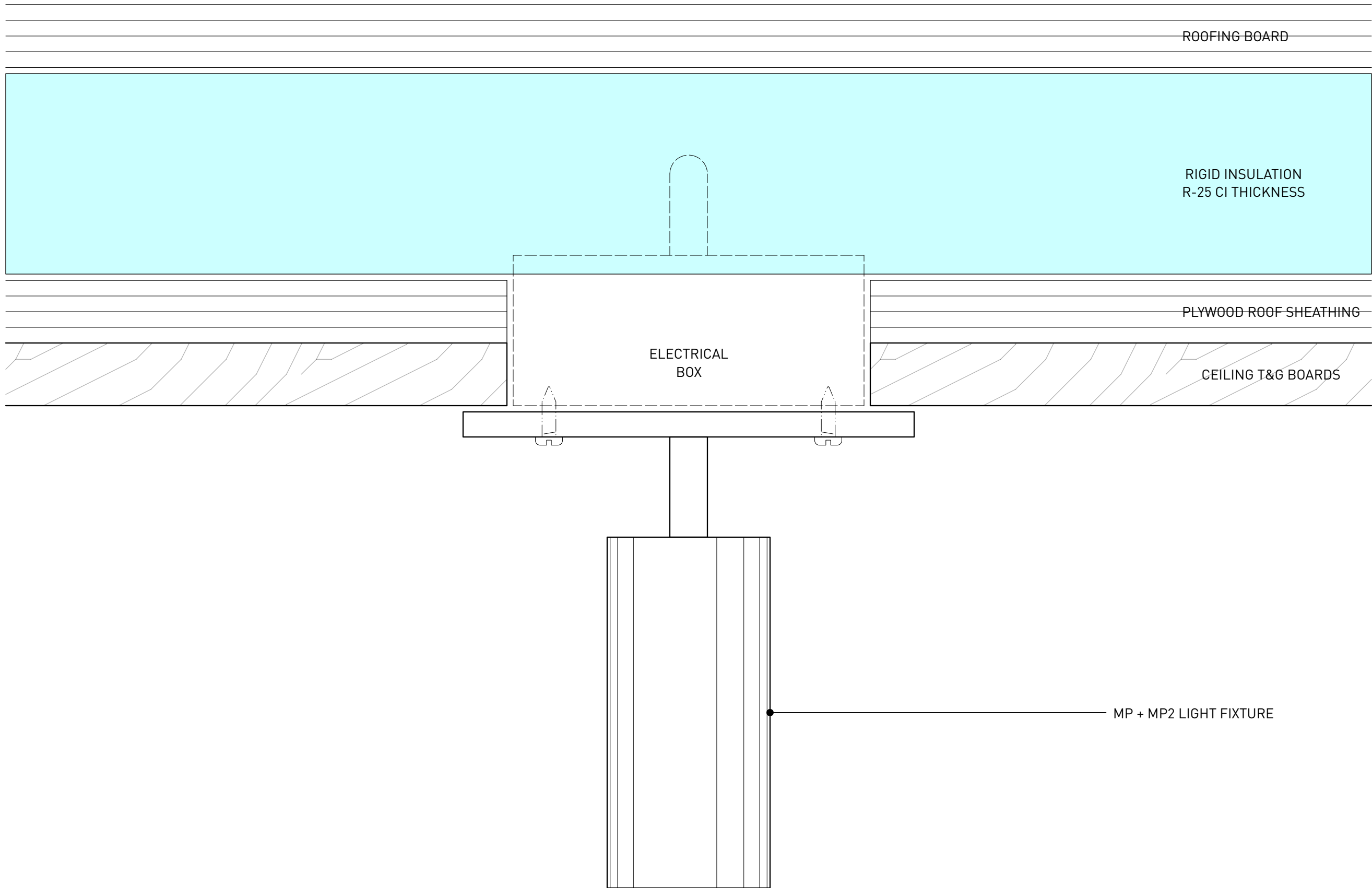
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SWITCH AND RECEPTACLE SPECIFICATIONS

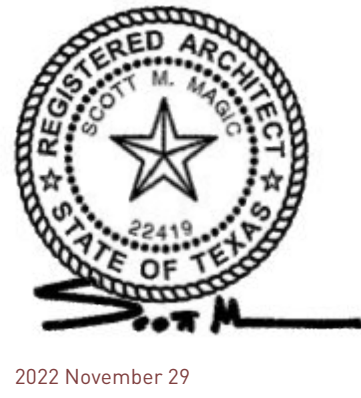
MANUFACTURER: LEVITON OR LUTRON
COVERPLATE: PEBBLE GRAY OR OYNX BLACK
RECEPTACLE COLOR: MATCH COVERPLATE
TYPE: PADDLE TYPE



MONOPOINT MOUNTING DETAIL IN LIVING ROOM
SCALE: FULL SIZE

LIGHT FIXTURE SCHEDULE

Symbol	Tag	Fixture Type	Location	Manufacturer	Fixture Model + Number	Wattage / Color Temp	Finish	Dimming	Accessories + Installation Notes
	ART	Picture Light	Walls	House of Troy	Slim-line Picture Light #DXLED230-71	9W LED 2700K	Antique Brass	Yes	-
	IG	Exterior Wall Sconce	EXTERIOR SLAB	HUNZA LIGHTING	Model: CAST SOLID BRONZE SAFETOUGH 50 Model#: ST50CSB-R-SBZ-30-2-LENSTOFR DRIVER: Remote (Series) Driver, Retro 110 Driver, Integral 24VDC Driver	30 DEGREES 2700K 12W	SOLID BRASS	PHOTOCELL OR SWITCH	COORDINATE LOW VOLTAGE TRANFORMER LOCATION IN LAUDNRY ROOM WITH OWNER
	MP	Monopoint Adjustable	Coffered Ceilings	Contech	Model: Gallery XL Canopy Mount Luminaire Warm Dim LED Model #: TL940CMEWDMVD-B OPTIC: LA-45 (HONEYCOMB)	13W 1800 - 3000K WARM DIMMING LED MEDIUM FLOOD	Black	Yes	Recess J-Box into decking and run conduit above roof deck
	MP2	Monopoint flood	Island	Contech	Model: Gallery XL Canopy Mount Luminaire Warm Dim LED Model #: TL940CFLWDMVD-B OPTIC: LA-45 (HONEYCOMB)	13W 1800 - 3000K WARM DIMMING LED FLOOD	Black	Yes	Recess J-Box into decking and run conduit above roof deck
	P1	Pendant Light	Nook	TBD	TBD	60W Incandscnt	TBD	Yes	-
	R1	Adjustable Recessed Light	Drywall Ceilings	Modular Lighting Instruments	Model: Smart Iotis Adjustable Model #: Iotis-3.8-adj_27k_FL_dp_de_blk Housing: ic-uat-Iotis-3.8-adj_1L_0-10v-10_500	9.2w 2700k	Black	Yes	-
	R2	Pinhole	Island	Modular Lighting Instruments	Model: Qbini round in LED warm dim DE Model #: QBINI-RI-WD_FL_DP_DE_BLK Driver: IC-RD_DP_0-10V-ELDD-1_250 Housing: ICB-QBINI-TF-RD_1L_250	4w 1800-3000k	Black	Yes Warm Dim	-
	SM-WET	Exterior Ceiling Downlight	EXTERIOR TRELLIS	HUNZA LIGHTING	Model: DOWNLITE CEILING MOUNT Model#: DLCM/L-D10-ESTAR-15-2-SNT-LF	LOW VOLTAGE 4W 2700K	SILVER, SNOOT + FROSTED LENS	PHOTOCELL OR SWITCH	COORDINATE LOW VOLTAGE TRANFORMER LOCATION IN LAUDNRY ROOM WITH OWNER
	WS-WET	EXTERIOR WALL SCONCE	EXTERIOR BRICK	ORIGINAL BTC / DAVEY	Model: MAST LIGHT Model#: US-DP0749/GM/PO	35W GU10	POLISHED BRONZE OR POLISHED CHROME	PHOTOCELL OR SWITCH	COORDINATE LOW VOLTAGE TRANFORMER LOCATION IN LAUDNRY ROOM WITH OWNER
	UC	Undercabinet Light	Kitchen	DIODE	Model: Track: Driver: Lens:	2700K LED 12W	x	Dimmer	Mount behind cabinet front panels



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