



1205 east cesar chavez
austin, tx 78702
p 512.436.1901
www.forsitestudio.com

CONSULTANTS

DRAWING INDEX - PERMIT				
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Description	Current Revision Date
ARCHITECTURAL				
A0.00	COVER SHEET	01-10-2023		
A1.0	ACCESSIBILITY PLAN	01-10-2023		
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A1.2	FAR	01-10-2023		
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A6.0	WINDOWS & DOORS	01-10-2023		

TERRACE RESIDENCE

LEGEND

NOTES

REVISIONS

NO.	DESCRIPTION	DATE
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GENERAL NOTES	
1.	PROJECT TO COMPLY WITH 2021 INTERNATIONAL RESIDENTIAL CODE AND CITY OF AUSTIN LOCAL AMENDMENTS
2.	PROJECT TO COMPLY WITH 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE AND CITY OF AUSTIN LOCAL AMENDMENTS
3.	PROJECT TO COMPLY WITH 2021 FLOOD HAZARD AREAS AND CITY OF AUSTIN LOCAL AMENDMENTS
4.	PROJECT TO COMPLY WITH 2020 NATIONAL ELECTRICAL CODE AND CITY OF AUSTIN LOCAL AMENDMENTS
5.	PROJECT TO COMPLY WITH 2021 UNIFORM MECHANICAL CODE AND CITY OF AUSTIN LOCAL AMENDMENTS
6.	PROJECT TO COMPLY WITH 2021 UNIFORM PLUMBING CODE AND CITY OF AUSTIN LOCAL AMENDMENTS
7.	STAIR DESIGN CONFIGURATION AND CONSTRUCTION TO COMPLY WITH ALL 2021 IRC REQUIREMENTS.

GENERAL PROJECT NOTES	
1.	CONSTRUCTION DOCUMENTS MAKE NO WARRENT AS TO EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONSTRUCTION AND FRAMING PRIOR TO DEMOLITION AND CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NEW CONSTRUCTION WITH EXISTING CONDITIONS.
2.	THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND RELATED ITEMS REQUIRED TO COMPLETE THE DEMOLITION WORK AS INDICATED BY THE CONTRACT DOCUMENTS.
3.	CONTRACTOR TO VERIFY ALL DIMENSIONS.
4.	ALL ACCESSIBLE ROUTES (OTHER THAN RAMPS) SHALL NOT EXCEED A SLOPE OF 1:20, AND CROSS SLOPES SHALL NOT EXCEED A SLOPE OF 1:50
5.	THE DRAWINGS INDICATE BUILDING CONDITIONS PER EXISTING DRAWINGS AND ACTUAL PROJECT INVESTIGATION. THE CONTRACTOR SHALL ANTICIPATE POSSIBLE SLIGHT DEVIATION FROM THESE DRAWINGS. REFER TO ARCHITECTURAL & MEP DRAWINGS AND DETAILS FOR EXTENT OF DEMOLITION.
6.	THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
7.	INSTALL TEMPORARY DUST PARTITIONS WITH DOORS FOR CONSTRUCTION ACCESS AROUND AREAS OF WORK SO THAT OPERATIONS IN EXISTING ADJACENT AREAS REMAIN DUST FREE AND ACCESSIBLE TO BUILDING OCCUPANTS. MAINTAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
8.	REMOVE ALL BUILDING PARTS AND/OR OTHER ITEMS TO ALLOW FOR THE INSTALLATION AND CONNECTION OF NEW WORK, COORDINATE THE WORK WITH THE HVAC, PLUMBING AND ELECTRICAL DEMOLITION DRAWINGS.
9.	PROTECT EXISTING VEGETATION, INCLUDING EXISTING TREES DURING CONSTRUCTION. REVEGETATE DAMAGED AREAS ADJACENT TO NEW CONSTRUCTION; CONTRACTOR SHALL MAINTAIN VEGETATED AREAS FOR 3 WEEKS AFTER INITIAL PLANTING
10.	REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR OTHER WORK.
11.	SEAL ALL PENETRATIONS, NEW AND EXISTING, ABOVE CEILINGS AT RATED FIRE WALLS IN AREAS OF WORK.



TERRACE RESIDENCE

503 Terrace Dr.

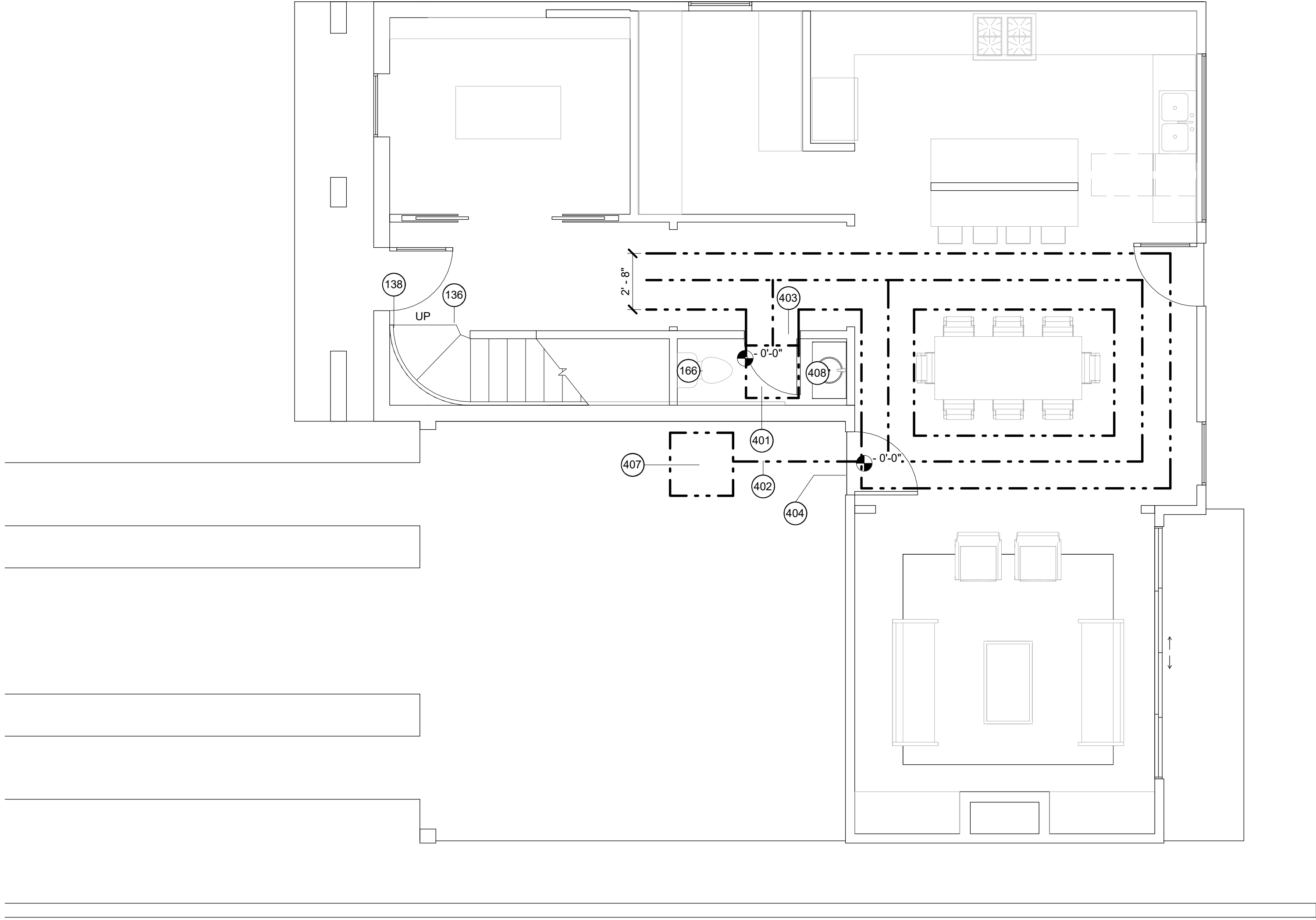
COVER SHEET

SHEET	A0.00
SCALE	3/16" = 1'-0"
ISSUE DATE	01-10-2023
JOB #	2210
DRAWN BY	EP

SYMBOLS LEGEND	CODE / SITE ANALYSIS	PROJECT DESCRIPTION
<div><div><div><div><div>X</div><div>WALL TAG</div></div><div><div>100</div><div>DOOR TAG</div></div><div><div>100</div><div>WINDOW TAG</div></div><div><div>ROOM NAME Length x Width</div><div>ROOM TAG</div></div><div><div>?</div><div>KEYNOTE</div></div><div><div>?</div><div>DEMO KEYNOTE</div></div><div><div>11</div><div>SPECIAL EQUIPMENT</div></div><div><div>11</div><div>PLUMBING FIXTURE</div></div><div><div>L-1</div><div>LIGHTING FIXTURE</div></div><div><div>XXXX-1</div><div>FLOOR TAG</div></div><div><div>©</div><div>CARBON MONOXIDE SENSOR</div></div><div><div>©</div><div>SMOKE DETECTOR</div></div><div><div>E</div><div>VENT</div></div><div><div>⊙</div><div>6" RECESSED CAN</div></div><div><div>○</div><div>PENDANT LIGHT MOUNT LIGHT</div></div><div><div>⌚</div><div>VANITY LIGHT</div></div><div><div>#</div><div>GRID</div></div><div><div>A</div><div>REVISION</div></div><div><div>1. A3.01</div><div>BUILDING ELEVATION</div></div><div><div>1</div><div>INTERIOR ELEVATION</div></div><div><div>A.F.F.</div><div>ELEVATION TAG</div></div><div><div>NAME ELEVATION</div><div>LEVEL</div></div><div><div>1</div><div>CALLOUT</div></div><div><div>#</div><div>SECTION</div></div><div><div>2</div><div>2-WAY SWITCH</div></div><div><div>3</div><div>3-WAY SWITCH</div></div><div><div>6</div><div>GFCI SWITCH</div></div><div><div>X</div><div>CEILING FAN</div></div></div></div></div>	<p>ZONING: SF-3-NP</p> <p>LAND USE: SINGLE FAMILY</p> <p>NEIGHBORHOOD: we</p> <p>LEGAL DESCRIPTION: LOT 3 BLK 3 BLUE BONNET HILLS</p> <p>TCAD ID: 0302020102</p>	<p>Interior remodel of exisitng single family structure. Existing structure to become accessory structure. New single family 2 story + habitable attic with 2 car attached garage.</p>
	<p>VICINITY MAP</p>	<p>PROJECT TEAM</p>
		<p>Design Architect: Forsite Studio 1205 E. Cesar Chavez St. Austin, TX 78702</p> <p>Landscape Architect:</p> <p>Structural Engineer:</p> <p>General Contractor:</p> <p>www.forsitestudio.com 512.436.1901 info@forsitestudio.com</p>

VISITABILITY NOTES	
1.	PER ORDINANCE NO. 20140130-21, IN REFERENCE TO LEVEL 1 BATHROOM.
2.	MINIMUM CLEAR OPENING OF 30" IS REQUIRED FOR BATHROOMS PER R320.3
3.	LATERAL 2" X 6" OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
4.	THE CENTERLINE OF THE BLOCKING MUST BE 34" FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF WALL LOCATED DIRECTLY BEHIND THE LAVATORY
5.	ALL ACCESSIBLE ROUTES (OTHER THAN RAMPS) SHALL NOT EXCEED A SLOPE OF 1:20, AND CROSS SLOPES SHALL NOT EXCEED A SLOPE OF 1:50.
6.	LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48 INCHES ABOVE THE INTERIOR FLOOR LEVEL
7.	OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15 INCHES ABOVE THE INTERIOR FLOOR LEVEL, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES
8.	VISITABILITY ROUTES MUST BE ACCESSIBLE BY A ROUTE WITH A MINIMUM CLEAR OPENING OF 32 INCHES BEGINING AT THE VISITABLE ENTRANCE

KEYNOTE LEGEND	
136	STAIRS TO COMPLY WITH IRC 2021 - REFERENCE GENERAL NOTES
138	HANDRAILS TO COMPLY WITH IRC - REFERENCE GENERAL STAIR NOTES
166	MIN 15" CLEAR FROM CENTERLINE OF TOILET TO WALL AND CABINET - IN COMPLIANCE WITH IRC R307.1 AND 2021 UPC - BATHROOM TO EXHAUST TO EXTERIOR - 2X6 NOMINAL WOOD BLOCKING PROVIDED AT 34" CENTERLINE ABOVE FINISHED FLOOR ALONG BATHROOM WALLS, EXCEPT BEHIND TOILET
401	30" x 30" CLEAR SPACE IN FRONT OF TOILET
402	PATH OF TRAVEL - 1:50 SLOPE WITH 0 CROSS-SLOPE
403	2'-8" MIN CLEAR OPENING FOR VISITABLE PATH
404	VISITABLE ENTRANCE WITH MIN 32" CLEAR DOOR OPENING. NO STEP THRESHOLD, SLAB TO BE FLUSH AT ENTRYWAYS, STRUCTURAL DOCUMENTS TO COORDINATE WITH ARCHITECTURAL
407	LANDING - 3'-0" X 3'-0"
408	VISITABLE BATHROOM WITH MIN 30" CLEAR DOOR OPENING PER R320



1 ACCESSIBILITY PLAN
SCALE: 1/4" = 1'-0"



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LEGEND

NOTES

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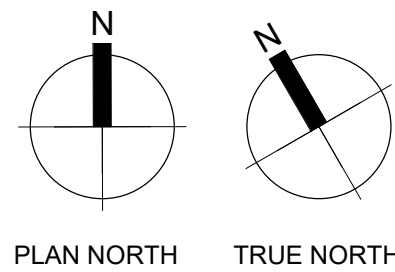


TERRACE RESIDENCE

503 Terrace Dr.

ACCESSIBILITY PLAN

SHEET		A1.0
SCALE (FOR 24" X 36")	As indicated	
SCALE (FOR 11' X 17")	HALF INDICATED	
ISSUE DATE	01-10-2023	
JOB #	2210	
DRAWN BY	EP	



LOT SIZE	
LOT	
LOT AREA	6,276 SF
	6,276 SF

TREE SCHEDULE			
1	LIVE OAK	YES	2' - 8"
2	PECAN	YES	1' - 9"
3	HACKBERRY	NO	1' - 4 1/2"
4	PECAN	YES	1' - 7"

KEYNOTE LEGEND	
009	STANDARD TYPE 1 RESIDENTIAL DRIVEWAY, 12'-0" WIDE AT PROPERTY AND WITH A 5'-0" RADIUS FLARE AT 45 DEGREE ANGLED CONNECTION AT RIGHT OF WAY - DETAILS FOR CONSTRUCTION WILL SATISFY ALL REQUIREMENTS OF CITY OF AUSTIN STANDARD NO. 433S-1
014	UNDERGROUND ELECTRICAL LINE
016	EXISTING GAS MAIN
021	EXISTING FOOTPRINT EXCEPTION TO BUILDING SETBACK LINE
050	1/4 CRITICAL ROOT ZONE - NO CUT OR FILL WITHIN THIS AREA

KEYNOTE LEGEND	
051	1/2 CRITICAL ROOT ZONE - NO CUT OR FILL GREATER THAN 4" WITHIN THIS AREA
063	EXISTING WATER METER
064	RETAINING WALL - LESS THAN 4'
238	CONCRETE DRIVEWAY STRIPS
601	FRONT PORCH SETBACK PER LDC: 25-2-1602
603	EXISTING NON-COMPLIANT STRUCTURE

FS

FORSITE STUDIO
ARCHITECTURE / CONSTRUCTION

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NOTES

REVISION

NO.	DESCRIPTION	DATE
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01/20/2023

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503 Terrace Dr.

SITE PLAN

SHEET

A1.1

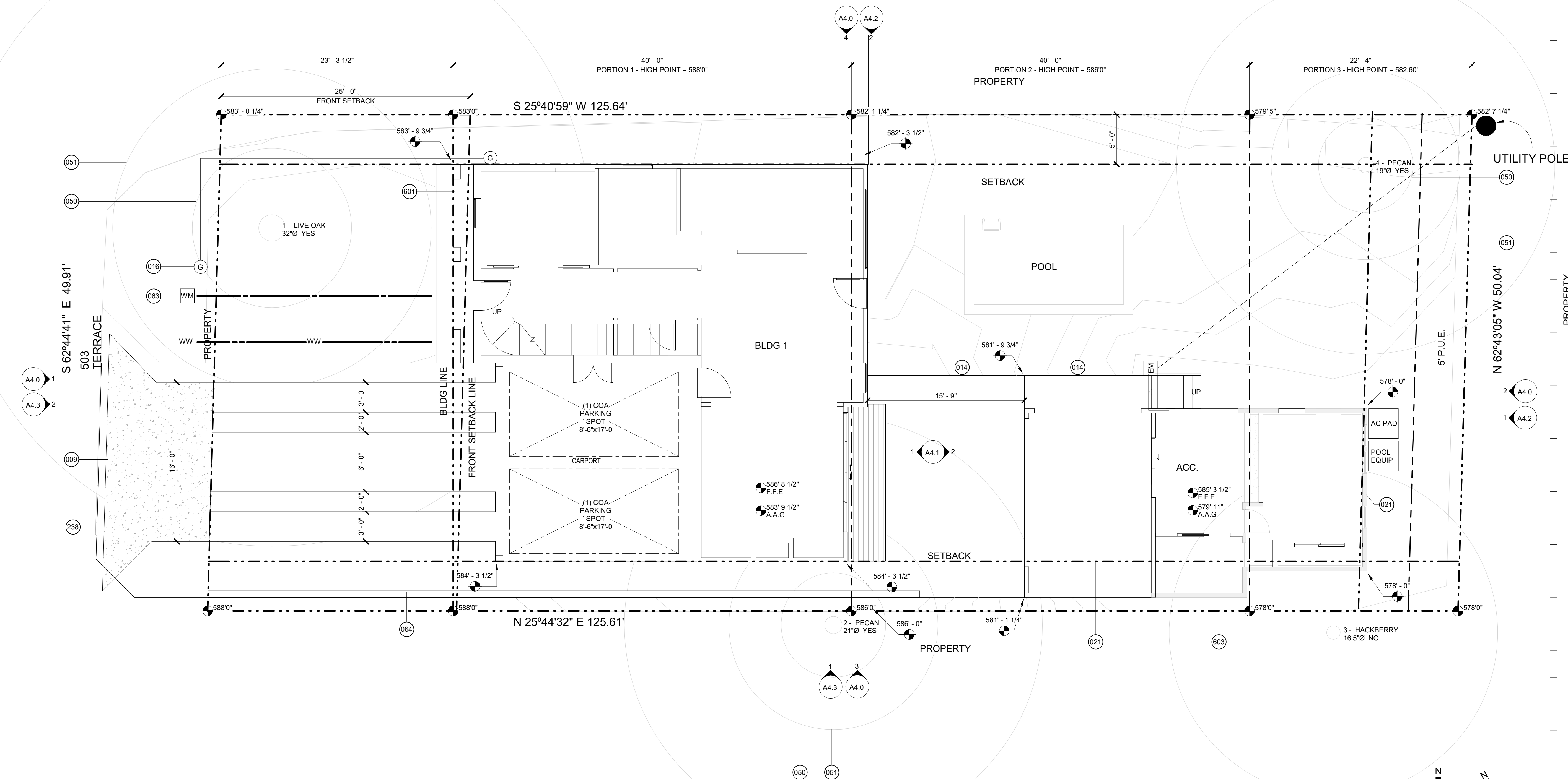
SCALE (FOR 24" X 36") As indicated

SCALE (FOR 11" X 17") HALF INDICATED

ISSUE DATE 01-10-2023

JOB # 2210

DRAWN BY EP



1 SITE PLAN
SCALE: 3/16" = 1'-0"

CONSULTANTS

LEGEND

NOTES

REVISION		
NO.	DESCRIPTION	DATE



TERRACE RESIDENCE

503 Terrace Dr.
FAR

SHEET		A1.2
SCALE (FOR 24" X 36")	As Indicated	
SCALE (FOR 11" X 17")	HALF INDICATED	
ISSUE DATE	01-10-2023	
JOB #	2210	
DRAWN BY	EP	

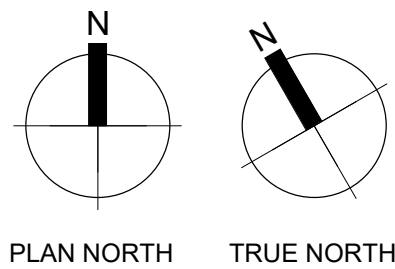
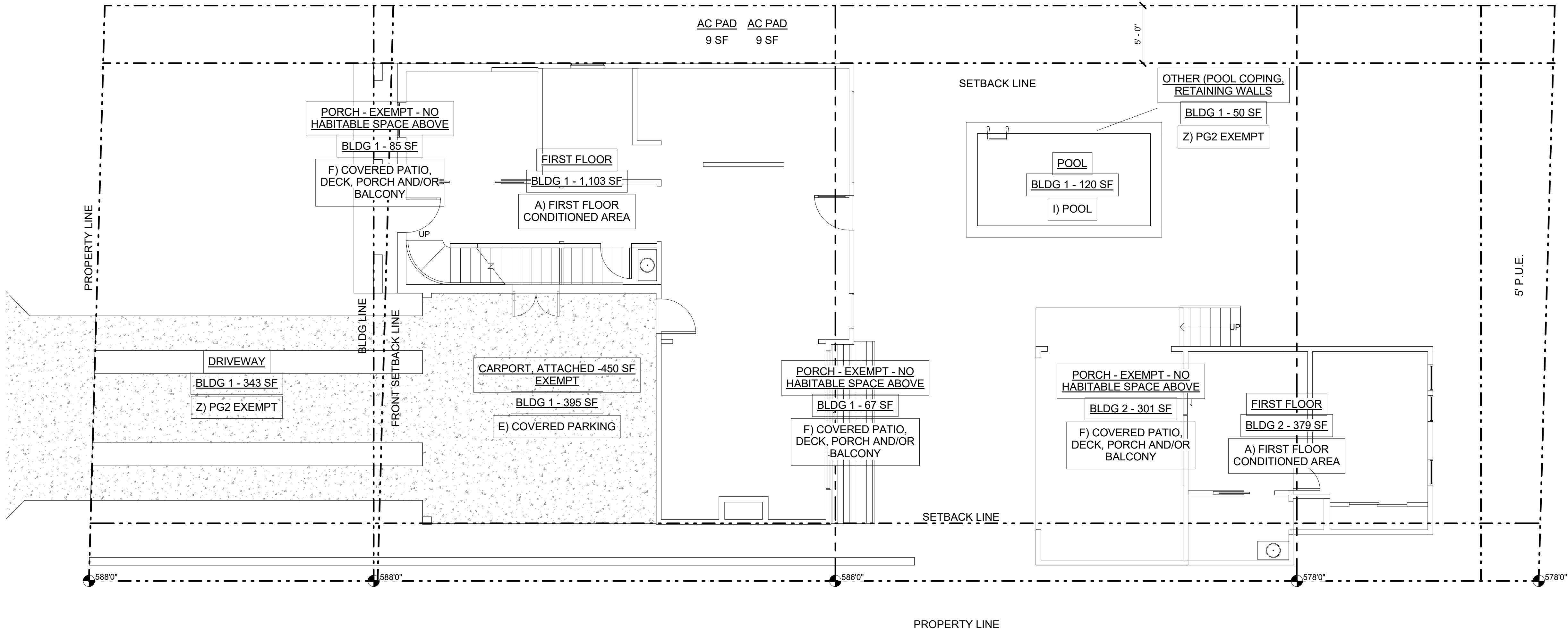
LOT SIZE	
LOT	
LOT AREA	6,276 SF
	6,276 SF

IMPERVIOUS COVER	
FIRST FLOOR	1482 SF
A) FIRST FLOOR CONDITIONED AREA	1482 SF
CARPORT, ATTACHED -450 SF EXEMPT	395 SF
E) ATTACHED COVERED PARKING	395 SF
PORCH - EXEMPT - NO HABITABLE SPACE ABOVE	452 SF
ABOVE	
I) COVERED PORCH	452 SF
TOTAL BUILDING AREA	2329 SF
DRIVEWAY	343 SF
L) DRIVEWAY	343 SF
OTHER (POOL COPING, RETAINING WALLS	50 SF
Q) OTHER (POOL COPING, RETAINING WALLS	50 SF
SITE IMPERVIOUS COVERAGE	393 SF
AC PAD	18 SF
P) AC PADS AND OTHER CONCRETE FLATWORK	18 SF
	18 SF
IMPERVIOUS COVER	2740 SF

FLOOR-TO-AREA RATIO	
FIRST FLOOR	1482 SF
SECOND FLOOR	1028 SF
FAR	2510 SF

FLOOR-TO-AREA EXEMPT	
E) GROUND FLOOR PORCH	
PORCH - EXEMPT - NO HABITABLE SPACE ABOVE	301 SF
PORCH - EXEMPT - NO HABITABLE SPACE ABOVE	85 SF
PORCH - EXEMPT - NO HABITABLE SPACE ABOVE	67 SF
	452 SF
G) ATTIC	
ATTIC - EXEMPT	533 SF
	533 SF
H) ATTACHED CARPORT	
CARPORT, ATTACHED -450 SF EXEMPT	395 SF
	395 SF

IMPERVIOUS COVER EXEMPT	
SECOND FLOOR	1,028 SF
ATTIC - EXEMPT	533 SF
BALCONY - EXEMPT	523 SF
POOL	120 SF



1 FIRST FLOOR
SCALE: 3/16" = 1'-0"

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LEGEND

NOTES

REVISION

NO.	DESCRIPTION	DATE
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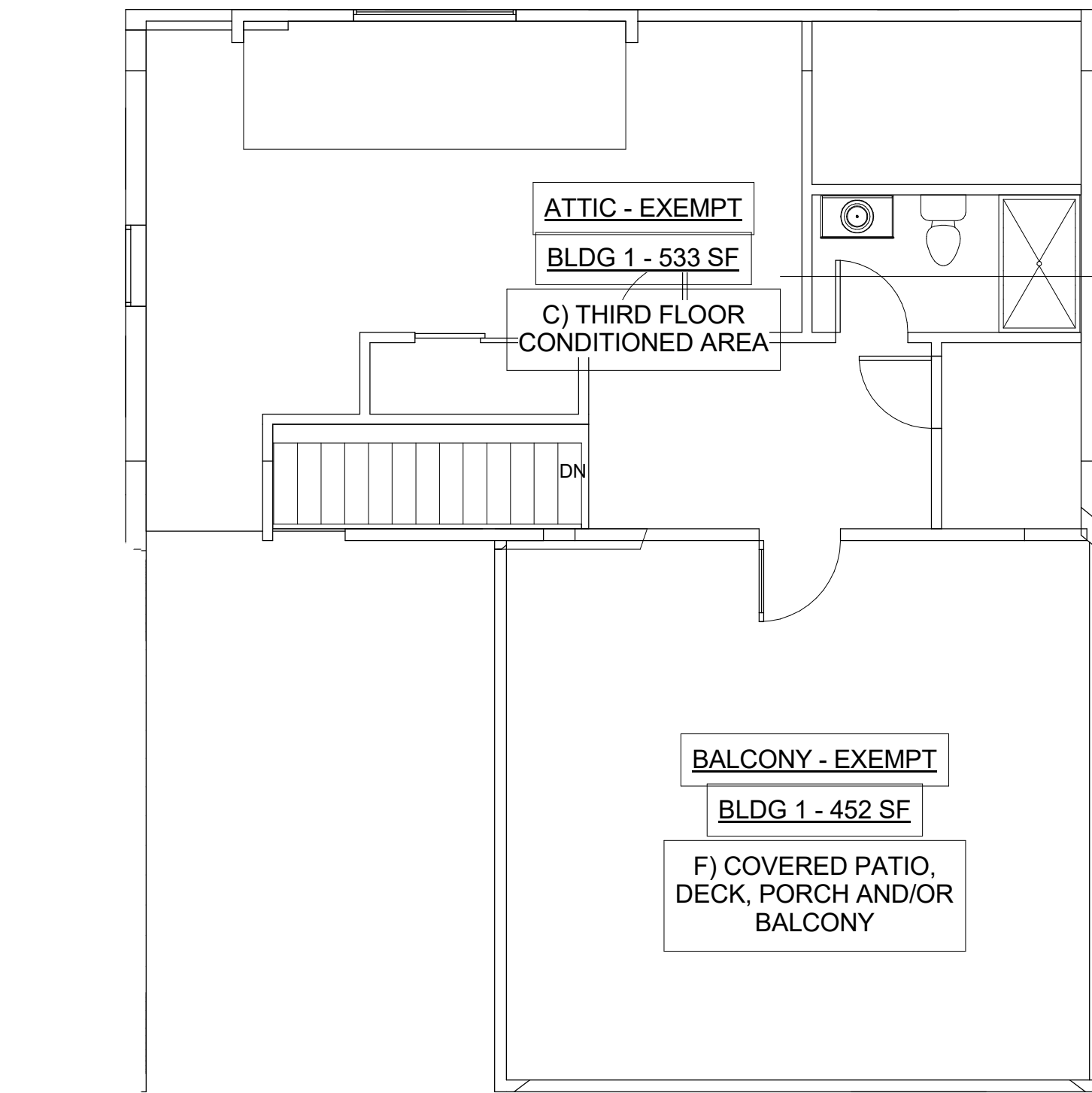
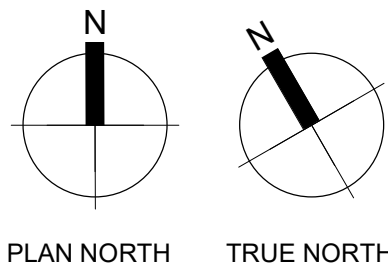


TERRACE RESIDENCE

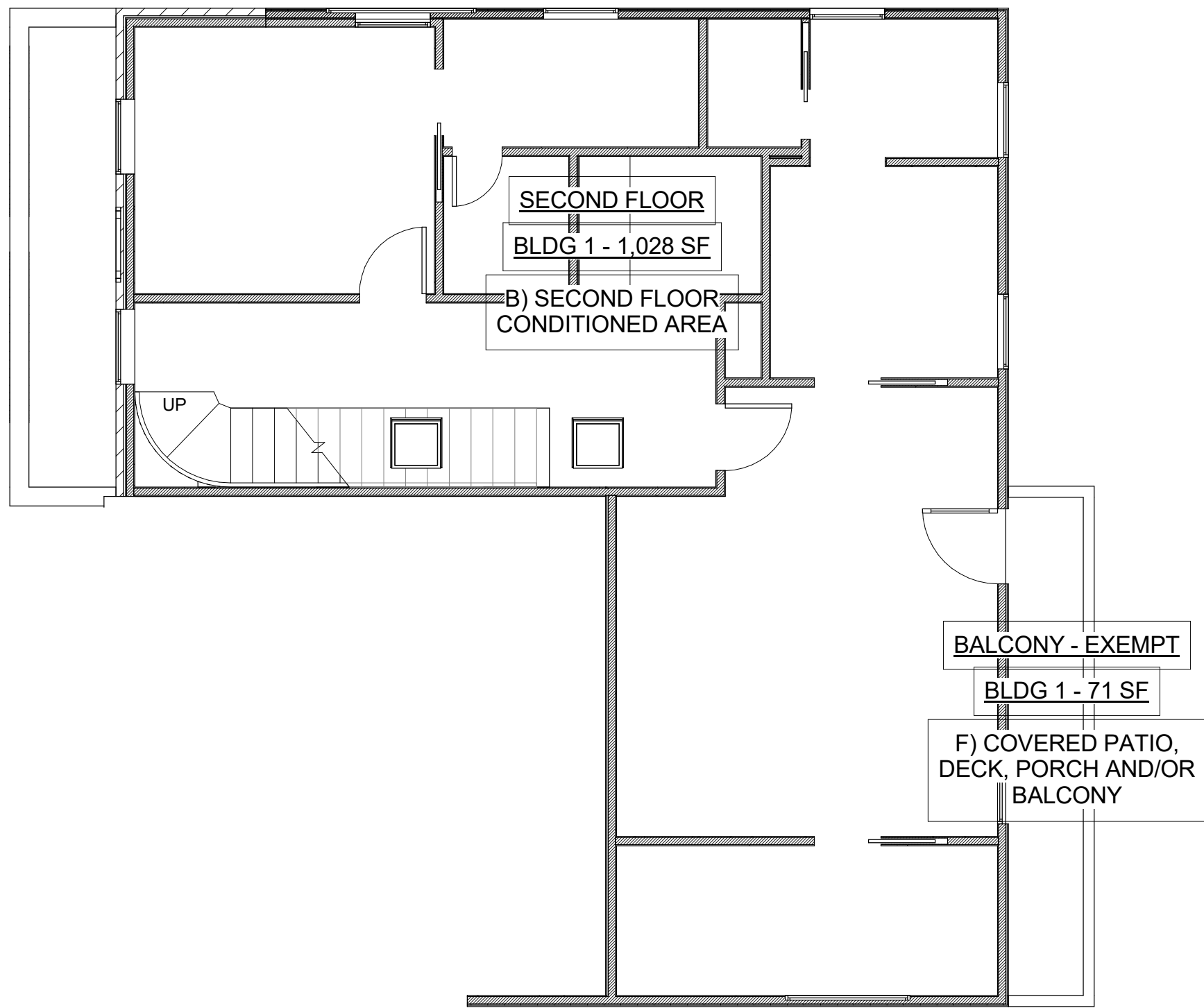
503 Terrace Dr.
FAR

SHEET
SCALE (FOR 24" X 36") As indicated
SCALE (FOR 11' X 17") HALF INDICATED
ISSUE DATE 01/10/2023
JOB # 2210
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A1.3



2 ATTIC
SCALE: 3/16" = 1'-0"



1 SECOND FLOOR
SCALE: 3/16" = 1'-0"

PAGE 2 - EXISTING

Name	Area
BLDG 2	
A) FIRST FLOOR CONDITIONED AREA	
FIRST FLOOR	379 SF
A) FIRST FLOOR CONDITIONED AREA	379 SF
BLDG 2	379 SF
TOTAL BUILDING AREA	379 SF

PAGE 2 - NEW

Name	Area
BLDG 1	
A) FIRST FLOOR CONDITIONED AREA	
FIRST FLOOR	1103 SF
A) FIRST FLOOR CONDITIONED AREA	1103 SF
B) SECOND FLOOR CONDITIONED AREA	
SECOND FLOOR	1028 SF
B) SECOND FLOOR CONDITIONED AREA	1028 SF
C) THIRD FLOOR CONDITIONED AREA	
ATTIC - EXEMPT	533 SF
C) THIRD FLOOR CONDITIONED AREA	533 SF
E) COVERED PARKING	
CARPORT, ATTACHED -450 SF EXEMPT	395 SF
E) COVERED PARKING	395 SF
F) COVERED PATIO, DECK, PORCH AND/OR BALCONY	
BALCONY - EXEMPT	523 SF
PORCH - EXEMPT - NO HABITABLE SPACE ABOVE	151 SF
F) COVERED PATIO, DECK, PORCH AND/OR BALCONY	674 SF
I) POOL	
POOL	120 SF
I) POOL	120 SF
BLDG 1	3854 SF
BLDG 2	
F) COVERED PATIO, DECK, PORCH AND/OR BALCONY	
PORCH - EXEMPT - NO HABITABLE SPACE ABOVE	301 SF
F) COVERED PATIO, DECK, PORCH AND/OR BALCONY	301 SF
BLDG 2	301 SF
TOTAL BUILDING AREA	4155 SF

PAGE 3

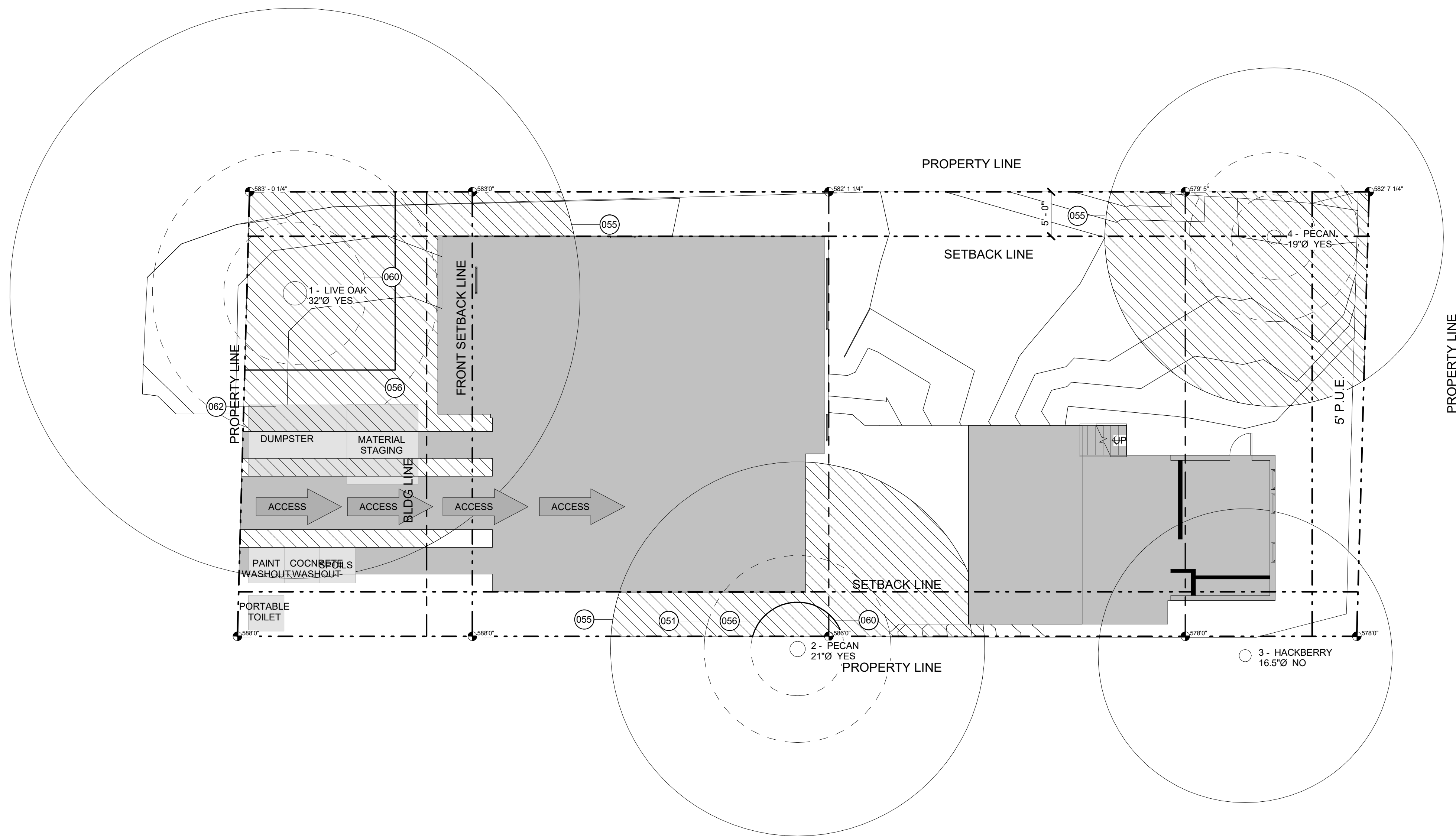
Page 3 Line	Area
A) 1ST FLOOR	379 SF
EXISTING	379 SF
A) 1ST FLOOR	1103 SF
NEW	1103 SF
A) 1ST FLOOR	1482 SF
B) SECOND FLOOR	1028 SF
NEW	1028 SF
B) SECOND FLOOR	1028 SF
E) GROUND FLOOR PORCH	452 SF
NEW	452 SF
E) GROUND FLOOR PORCH	452 SF
G) ATTIC	533 SF
NEW	533 SF
G) ATTIC	533 SF
H) ATTACHED CARPORT	395 SF
NEW	395 SF
H) ATTACHED CARPORT	395 SF

PAGE 7

Name	Area
A) FIRST FLOOR CONDITIONED AREA	
FIRST FLOOR	1482 SF
A) FIRST FLOOR CONDITIONED AREA	1482 SF
B) 2ND FLOOR CONDITIONED AREA	
SECOND FLOOR	1028 SF
B) 2ND FLOOR CONDITIONED AREA	1028 SF
C) 3RD FLOOR CONDITIONED AREA	
ATTIC - EXEMPT	533 SF
C) 3RD FLOOR CONDITIONED AREA	533 SF
E) ATTACHED COVERED PARKING	
CARPORT, ATTACHED -450 SF EXEMPT	395 SF
E) ATTACHED COVERED PARKING	395 SF
I) COVERED PORCH	
PORCH - EXEMPT - NO HABITABLE SPACE ABOVE	452 SF
I) COVERED PORCH	452 SF
J) BALCONY	
BALCONY - EXEMPT	523 SF
J) BALCONY	523 SF
L) DRIVEWAY	
DRIVEWAY	343 SF
L) DRIVEWAY	343 SF
P) AC PADS AND OTHER CONCRETE FLATWORK	
AC PAD	18 SF
P) AC PADS AND OTHER CONCRETE FLATWORK	18 SF
Q) OTHER (POOL COPING, RETAINING WALLS)	
OTHER (POOL COPING, RETAINING WALLS)	50 SF
Q) OTHER (POOL COPING, RETAINING WALLS)	50 SF
R) POOL	
POOL	120 SF
R) POOL	120 SF
Grand total	4945 SF

C:\Users\jfraser\OneDrive\Documents\Projects\503 Terrace Dr\503 Terrace Dr.dwg (2/20/23) - Terrain - 1/8" = 1'-0"

1 TREE PROTECTION PLAN
SCALE: 1/8" = 1'-0"



KEYNOTE LEGEND	
051	1/2 CRITICAL ROOT ZONE - NO CUT OR FILL GREATER THAN 4" WITHIN THIS AREA
055	MULCH TO BE PROVIDED WITHIN FULL CRZ 500
056	FENCE POST TO BE PLACED OUTSIDE OF 1/4 CRZ
060	AN 8" LAYER OF MULCH TO BE PROVIDED OUTSIDE OF FENCING TO THE EXTENT OF THE FULL CRZ
062	CONSTRUCTION ACCESS PATH - 4 FOOT WIDE MINIMUM. 3/4 INCH SHEETS OF PLYWOOD ON TOP OF 2 X 6 PLANKS ON TOP OF 8" HARDWOOD MULCH ON TOP OF EXISTING (UNDISTURBED GRADE)

TREE SCHEDULE			
1	LIVE OAK	YES	2' - 8"
2	PECAN	YES	1' - 9"
3	HACKBERRY	NO	1' - 4 1/2"
4	PECAN	YES	1' - 7"



CONSULTANTS

LEGEND

NOTES

REVISION		
NO.	DESCRIPTION	DATE



01/20/2023

TERRACE RESIDENCE

503 Terrace Dr.

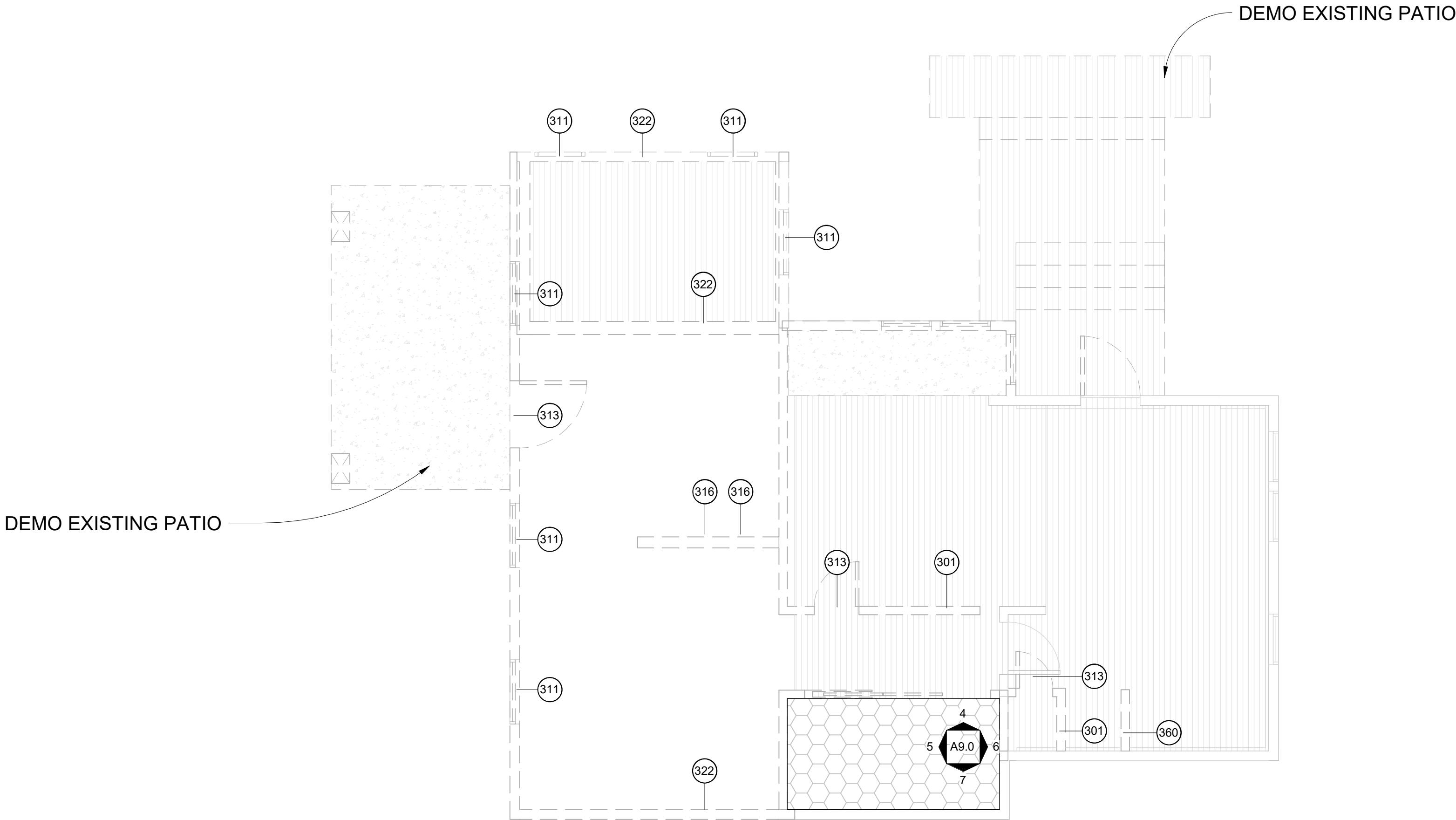
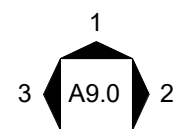
TREE PROTECTION

SHEET		A1.4
SCALE (FOR 24" X 36")	As indicated	
SCALE (FOR 11' X 17")	HALF INDICATED	
ISSUE DATE	01-10-2023	
JOB #	2210	
DRAWN BY	EP	

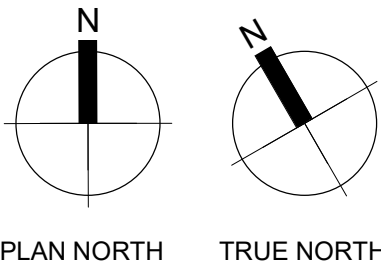
GENERAL DEMOLITION NOTES	
1.	THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND RELATED ITEMS REQUIRED TO COMPLETE THE DEMOLITION WORK AS INDICATED BY THE CONTRACT DOCUMENTS
2.	THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL DEMOLITION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
3.	THE CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES AND INSPECTIONS REQUIRED FOR THE EXECUTION OF THE WORK
4.	SERVICE CONNECTIONS SHALL BE SAFELY REMOVED, CAPPED OR PLUGGED IN CONFORMITY WITH LOCAL LAWS AND ORDINANCES, REQUIREMENTS OF LOCAL UTILITY COMPANIES, AND THE NATIONAL BOARD OF FIRE UNDERWRITERS, AND IN SUCH MANNER AS TO NOT TO INTERFERE WITH USE OF THE OCCUPIED SPACES IN THE BUILDING

GENERAL DEMOLITION NOTES	
5.	REMOVE ALL MISCELLANEOUS DEVICES AS REQUIRED TO INSTALL NEW FINISHES, INCLUDED BUT NOT LIMITED TO PLUMBING FIXTURES, SIGNAGE, SWITCH PLATES, TELEVISION BRACKETS, WALL OUTLET COVERS, ETC. SAVE FOR REINSTALLATION AFTER COMPLETION OF FINISH WORK
6.	CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE FOR INFECTIOUS CONTROL MEASURES DURING CONSTRUCTION
7.	DASHED WALLS INDICATE WALLS, DOORS, FIXTURES, CASEWORK, ETC. TO BE REMOVED IN THEIR ENTIRETY
8.	ANY QUESTIONS CONCERNING OWNERSHIP OF SALVAGEABLE MATERIAL SHALL BE ANSWERED BY THE OWNER, OR THE OWNERS'S REPRESENTATIVE
9.	INSTALL TEMPORARY DUST PARTITIONS WITH DOORS FOR CONSTRUCTION ACCESS AROUND AREAS OF WORK SO THAT OPERATIONS IN EXISTING ADJACENT AREAS REMAIN DUST FREE. MAINTAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION
10.	IMMEDIATELY SEAL ALL PENETRATIONS IN EXISTING SLAB OPEN DURING DEMOLITION WITH FIRESTOPPING MATERIAL AND WATERPROOFING
11.	SEAL ALL PENETRATIONS, NEW AND EXISTING, ABOVE CEILING AT FIRE RATED AND SMOKE PARTITIONS IN AREAS OF WORK AS REQUIRED TO MAINTAIN RATING

KEYNOTE LEGEND	
301	REMOVE ALL INTERIOR PARTITIONS AND INTERIOR DOORS IN THIS AREA
311	REMOVE EXISTING WINDOW - INFILL TO MATCH ADJACENT INTERIOR AND EXTERIOR FINISHES
313	REMOVE EXISTING DOOR
316	REMOVE ALL PLUMBING FIXTURES AND APPLIANCES IN THIS AREA - SALVAGE ALL FIXTURES AND APPLIANCES EVALUATE FOR REINSTALLATION - VERIFY WITH OWNER FOR DISPOSAL OR REINSTALL
322	DEMO WALL TO EXTENT INDICATED - COORDINATE WITH NEW CONSTRUCTION
360	REMOVE WALLS AS INDICATED, PROTECT ALL ADJACENT WALLS



1 DEMO PLAN
SCALE: 1/4" = 1'-0"



CONSULTANTS

LEGEND

NOTES

REVISION		
NO.	DESCRIPTION	DATE



TERRACE RESIDENCE

503 Terrace Dr.

DEMO PLAN

SHEET		A2.0
SCALE (FOR 24" X 36")	As indicated	
SCALE (FOR 11' X 17")	HALF INDICATED	
ISSUE DATE	01-10-2023	
JOB #	2210	
DRAWN BY	EP	

GENERAL PLAN NOTES

- ALL INTERIOR WALLS TO BE TYPE "A", 4 1/2" ASSEMBLY WITH 1/2" GYP. BOARD, 3 1/2" WOOD STUD, 1/2" GYP. BOARD, UNO.
- ALL INTERIOR WALLS TAGGED "B" TO BE 6 1/2" ASSEMBLY WITH 1/2" GYP. BOARD, 5 1/2" WOOD STUD, 1/2" GYP. BOARD
- ALL WALLS TAGGED "F" TO BE FIRE RATED TO 1 HOUR: 1/2" TYPE X GYP. 3 1/2" WOOD STUD AND 1/2" TYPE X GYP, UNO
- ALL WALLS TAGGED "F1" TO BE FIRE RATED TO 1 HOUR: 5/8" TYPE X GYP. 3 1/2" WOOD STUD AND 5/8" TYPE X GYP, UNO
- ALL EXTERIOR WALLS TO BE TYPE H1: 6 1/2" ASSEMBLY WITH 1/2" GYP. BOARD, 5 1/2" WOOD STUD, 1/2" SHEATHING, 1/2" HORIZONTAL HARDY BOARD, UNO.
- ALL SWING DOORS TO BE LOCATED 4" OFF OF ADJACENT WALL, UNO
- ALL POCKET DOORS TO BE LOCATED 1" FROM ADJACENT WALL, UNO
- ALL CLOSET DOORS TO BE CENTERED ON CLOSET, UNO

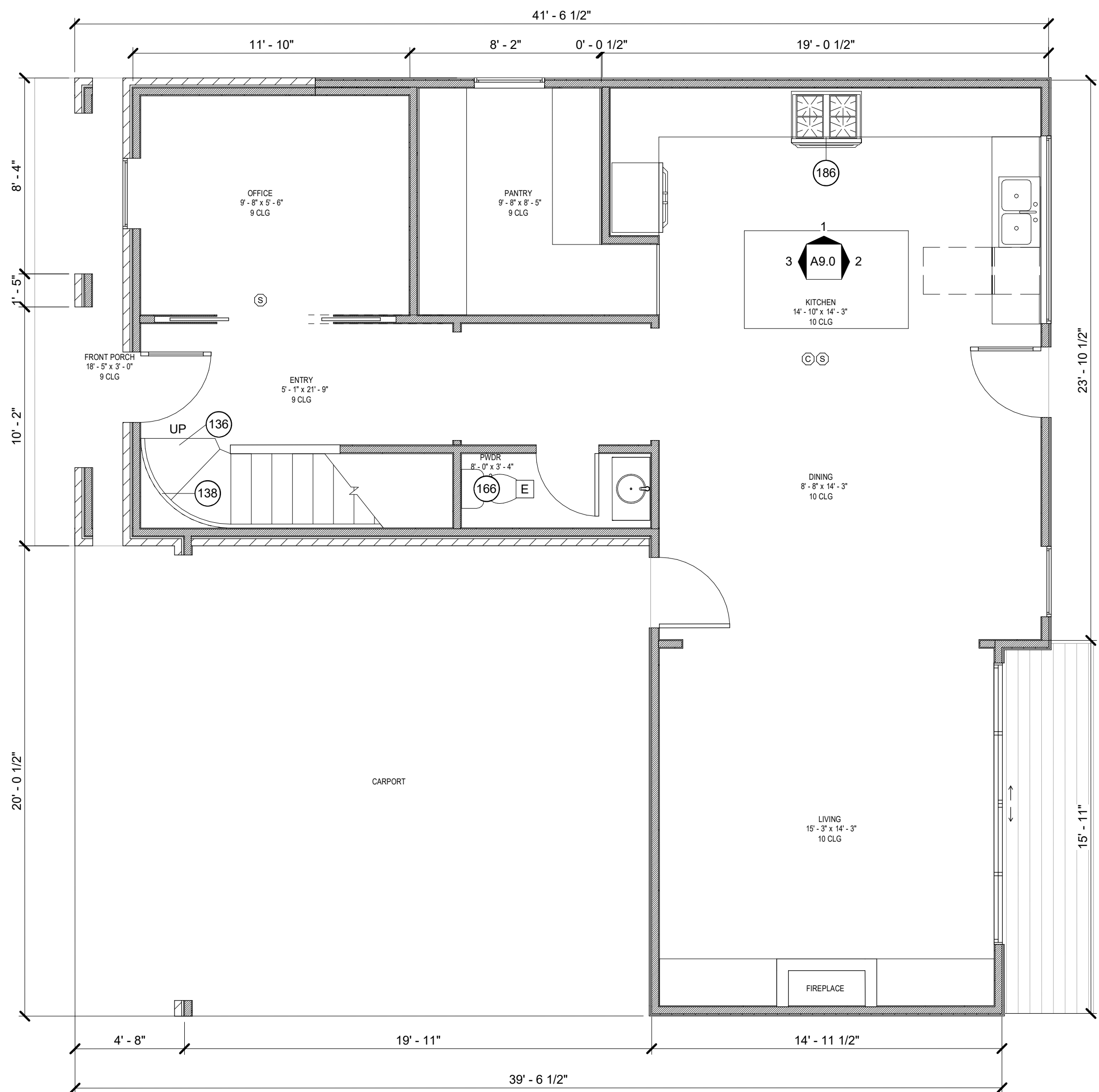
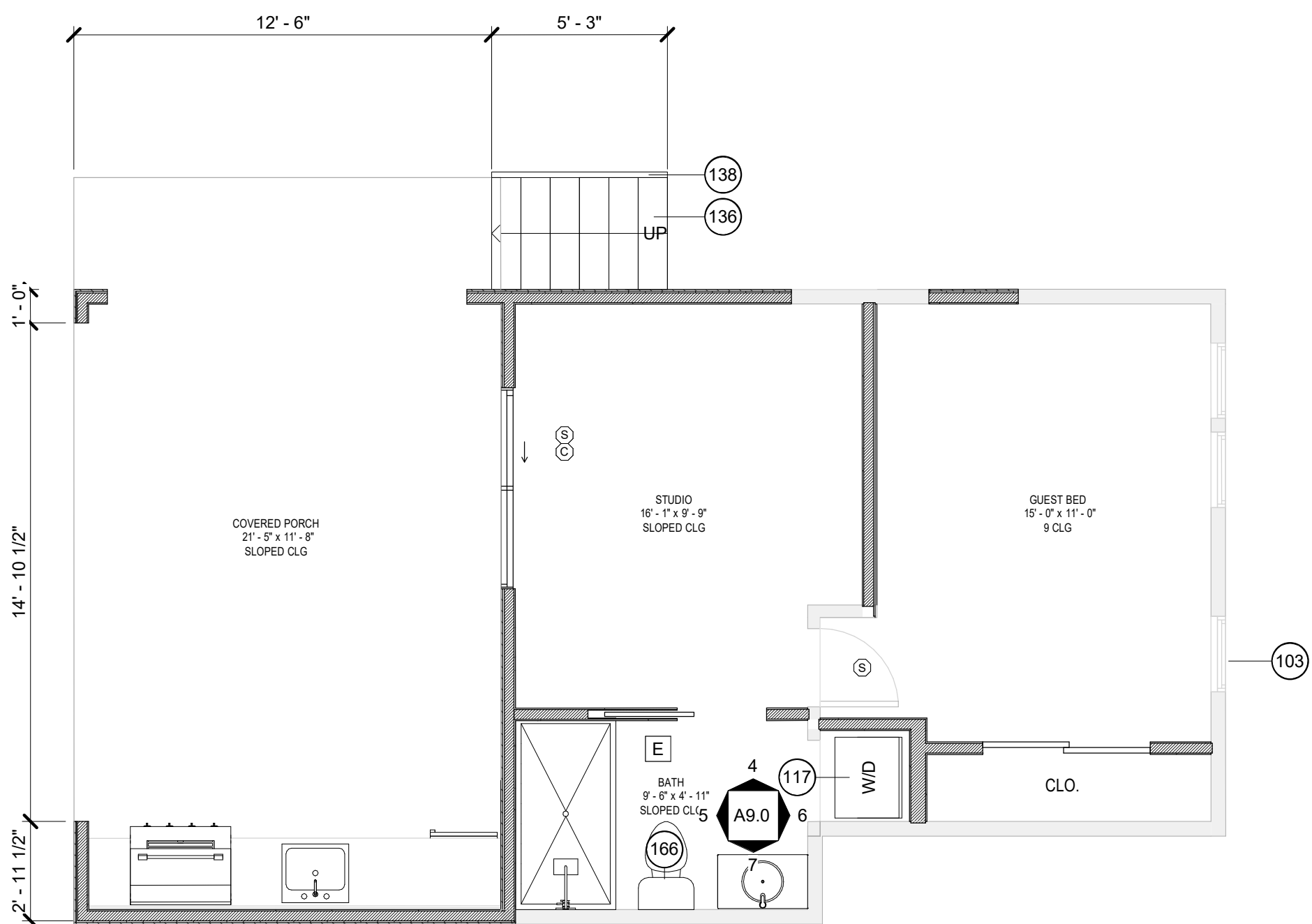
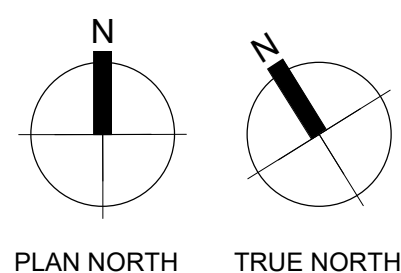
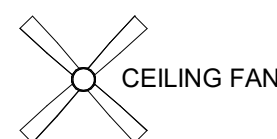
KEYNOTE LEGEND

- | | |
|-----|---|
| 103 | EGRESS WINDOW - MINIMUM SIZE 5.7SF, 24"H X 20"W |
| 117 | WASHER DRYER WITH W/D SERVICE BOX - EXHAUST TO EXTERIOR |
| 136 | STAIRS TO COMPLY WITH IRC 2021 - REFERENCE GENERAL NOTES |
| 138 | HANDRAILS TO COMPLY WITH IRC - REFERENCE GENERAL STAIR NOTES |
| 166 | MIN 15" CLEAR FROM CENTERLINE OF TOILET TO WALL AND CABINET - IN COMPLIANCE WITH IRC R307.1 AND 2021 UPC - BATHROOM TO EXHAUST TO EXTERIOR - 2X6 NOMINAL WOOD BLOCKING PROVIDED AT 34" CENTERLINE ABOVE FINISHED FLOOR ALONG BATHROOM WALLS, EXCEPT BEHIND TOILET |
| 186 | ISLAND STYLE VENT HOOD ABOVE RANGE - EXHAUST TO EXTERIOR |

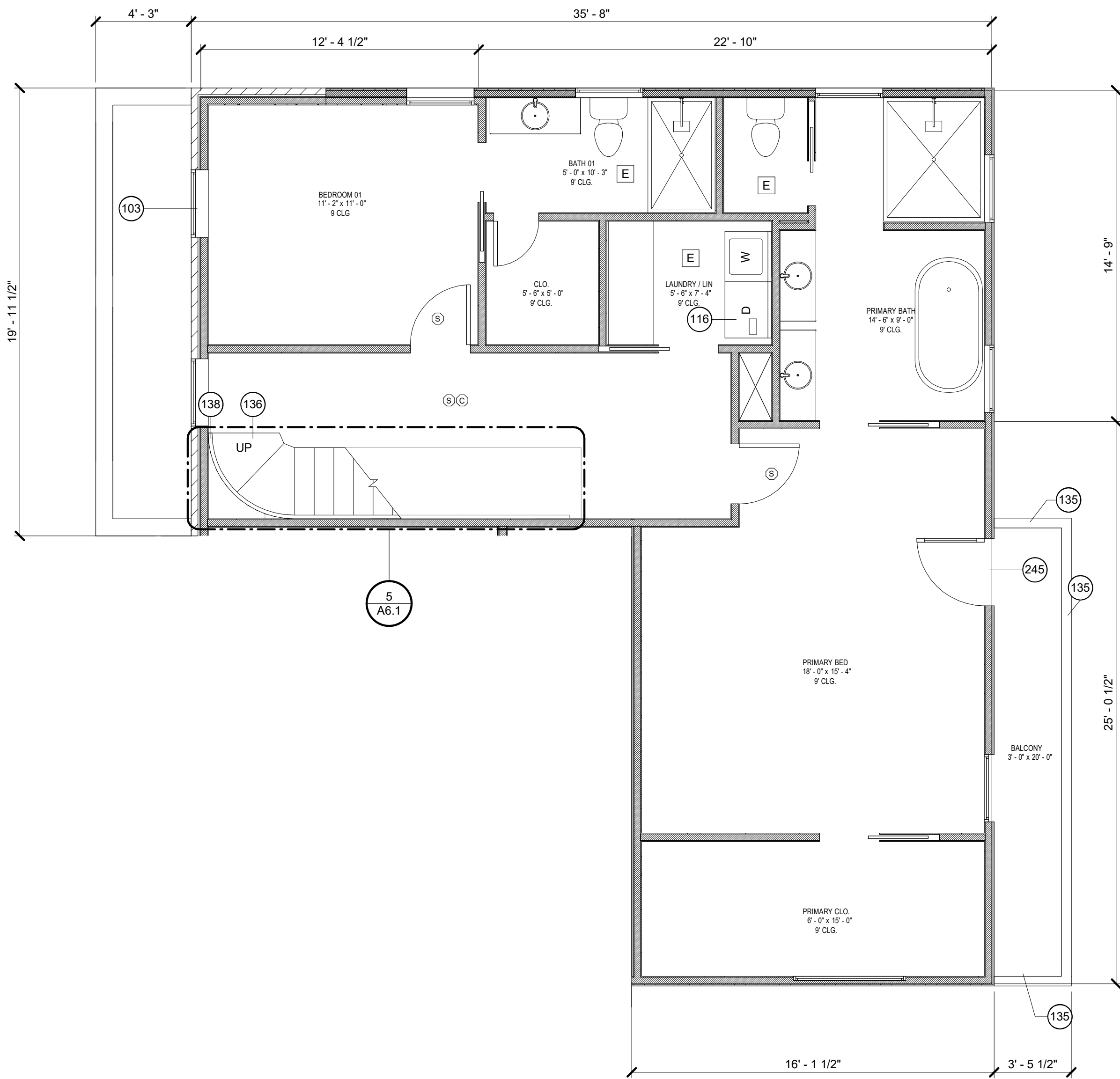
GENERAL STAIR NOTES

- STAIRS TO COMPLY WITH IRC 2021
- STAIRWAY WIDTH TO BE A MINIMUM OF 36" - HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" INTO CLEAR WIDTH
- MINIMUM HEADROOM TO BE 6' - 8"
- STAIRWAY VERTICAL RISE NOT TO EXCEED 12'-0"
- MAXIMUM RISER HEIGHT TO BE 7 3/4" MEASURED VERTICALLY BETWEEN LEADING EDGES
- MINIMUM TREAD DEPTH TO BE 10" MEASURED VERTICALLY BETWEEN VERTICAL SURFACES
- LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STAIRWAY - MINIMUM WIDTH AND DEPTH SHALL NOT BE LESS THAN THE MINIMUM WIDTH OF THE STAIR SERVED
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS STAIR RUN
- HANDRAILS ADJACENT TO WALLS WILL HAVE A MINIMUM OF 1 1/2" CLEAR SPACE BETWEEN WALL
- TYPE 1 HANDRAIL: CIRCULAR GRIP SIZE TO HAVE AN OUTSIDE DIAMETER OF 1 1/2" TO 2" - IF NOT CIRCULAR, GRIP TO HAVE A MAXIMUM CROSS SECTION DIMENSION OF 2 1/4" WITH A PERIMETER BETWEEN 4" AND 6 1/4"
- WHERE GUARDRAILS ARE USED AS HANDRAILS AT STAIRS - GUARDRAILS SHALL NOT BE LESS THAN 34" AND NO MORE THAN 36" IN HEIGHT
- AT ALL OTHER LOCATIONS WHERE GUARDRAILS ARE LOCATED THEY WILL BE A MINIMUM OF 36" IN HEIGHT
- GUARDRAILS SHALL BE DESIGNED SO A 4" SPHERE SHALL NOT BE ABLE TO PASS

- | | | | |
|---|---------------------------|----------------|--------------|
| Ⓢ | CARBON MONOXIDE SENSOR | Ⓢ ₂ | 2-WAY SWITCH |
| Ⓢ | SMOKE DETECTOR | Ⓢ ₃ | 3-WAY SWITCH |
| E | VENT | Ⓢ ₆ | GFCI SWITCH |
| ⊙ | 6" RECESSED CAN | | |
| ○ | PENDANT LIGHT MOUNT LIGHT | | |
| ⌚ | VANITY LIGHT | | |



1 FLOOR PLAN - FIRST
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN - SECOND
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND	
103	EGRESS WINDOW - MINIMUM SIZE 5.75F, 24"H X 20"W
116	DRYER TO EXHAUST TO EXTERIOR
135	PER R312 - MINIMUM GUARD HEIGHT 36"
136	STAIRS TO COMPLY WITH IRC 2021 - REFERENCE GENERAL STAIR NOTES
138	HANDRAILS TO COMPLY WITH IRC - REFERENCE GENERAL STAIR NOTES
245	EGRESS DOOR

GENERAL PLAN NOTES	
1.	ALL INTERIOR WALLS TO BE TYPE "A", 4 1/2" ASSEMBLY WITH 1/2" GYP. BOARD, 3 1/2" WOOD STUD, 1/2" GYP. BOARD, UNO.
2.	ALL INTERIOR WALLS TAGGED "B" TO BE 6 1/2" ASSEMBLY WITH 1/2" GYP. BOARD, 5 1/2" WOOD STUD, 1/2" GYP. BOARD
3.	ALL WALLS TAGGED "F" TO BE FIRE RATED TO 1 HOUR: 1/2" TYPE X GYP. 3 1/2" WOOD STUD AND 1/2" TYPE X GYP. UNO
4.	ALL WALLS TAGGED "F1" TO BE FIRE RATED TO 1 HOUR: 5/8" TYPE X GYP. 3 1/2" WOOD STUD AND 5/8" TYPE X GYP. UNO
5.	ALL EXTERIOR WALLS TO BE TYPE H1: 6 1/2" ASSEMBLY WITH 1/2" GYP. BOARD, 5 1/2" WOOD STUD, 1/2" SHEATHING, 1/2" HORIZONTAL HARDY BOARD, UNO.
6.	ALL SWING DOORS TO BE LOCATED 4" OFF OF ADJACENT WALL, UNO
7.	ALL POCKET DOORS TO BE LOCATED 1" FROM ADJACENT WALL, UNO
8.	ALL CLOSET DOORS TO BE CENTERED ON CLOSET, UNO

- Ⓒ

CARBON MONOXIDE SENSOR
- Ⓔ

SMOKE DETECTOR
- E

VENT
- ⊙

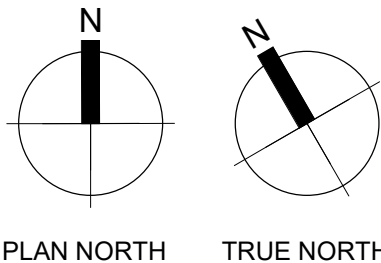
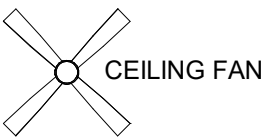
6" RECESSED CAN
- PENDANT LIGHT MOUNT LIGHT
- ⌚

VANITY LIGHT
- ⌚

2-WAY SWITCH
- ⌚

3-WAY SWITCH
- ⌚

GFCI SWITCH



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LEGEND

NOTES

REVISION		
NO.	DESCRIPTION	DATE

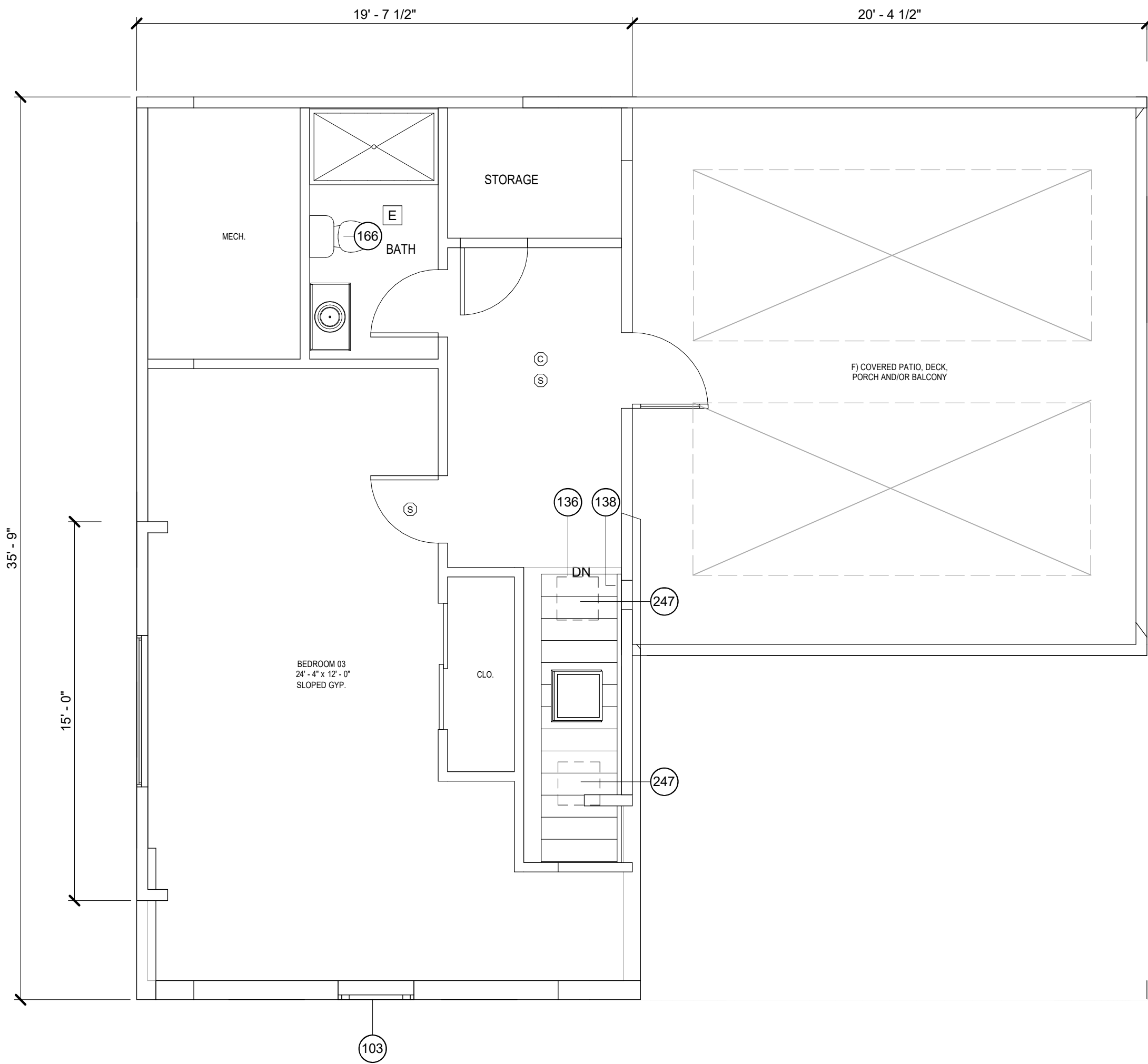


TERRACE RESIDENCE

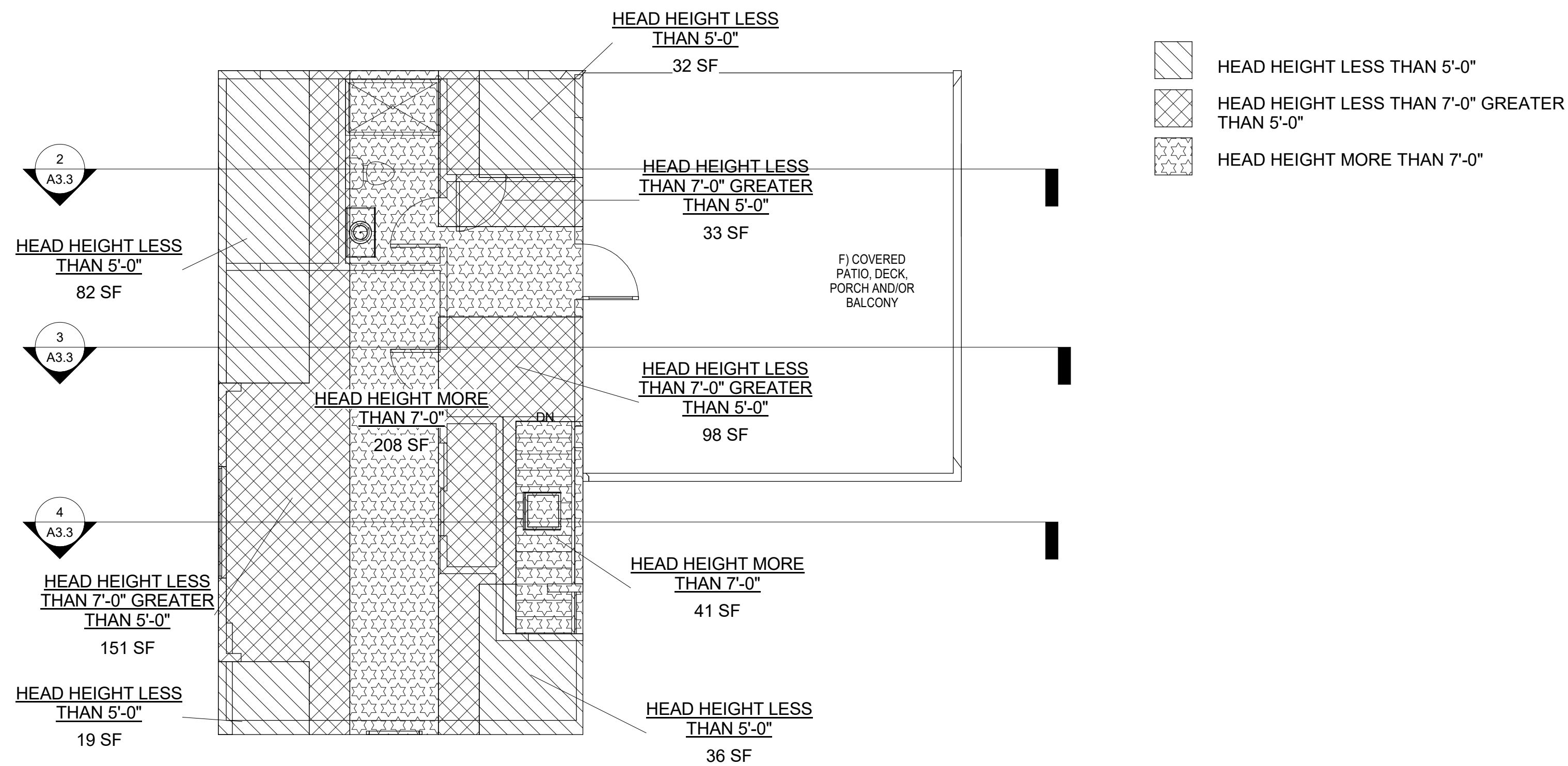
503 Terrace Dr.
SECOND FLOOR PLAN

SHEET	
SCALE (FOR 24" X 36")	As indicated
SCALE (FOR 11' X 17")	HALF INDICATED
ISSUE DATE	01-10-2023
JOB #	2210
DRAWN BY	EP

A3.2



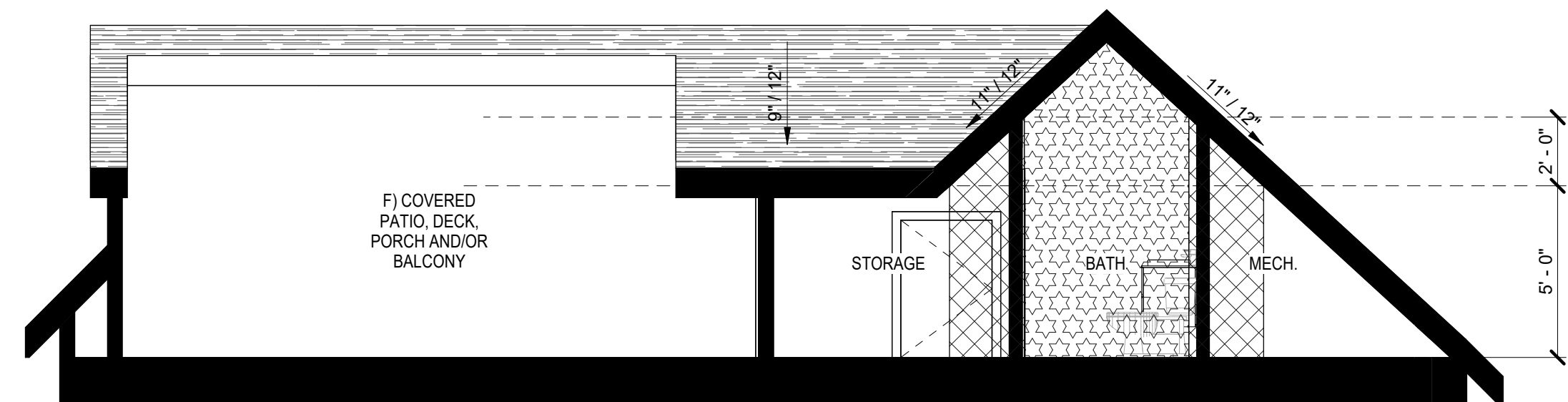
5 ATTIC
SCALE: 1/4" = 1'-0"



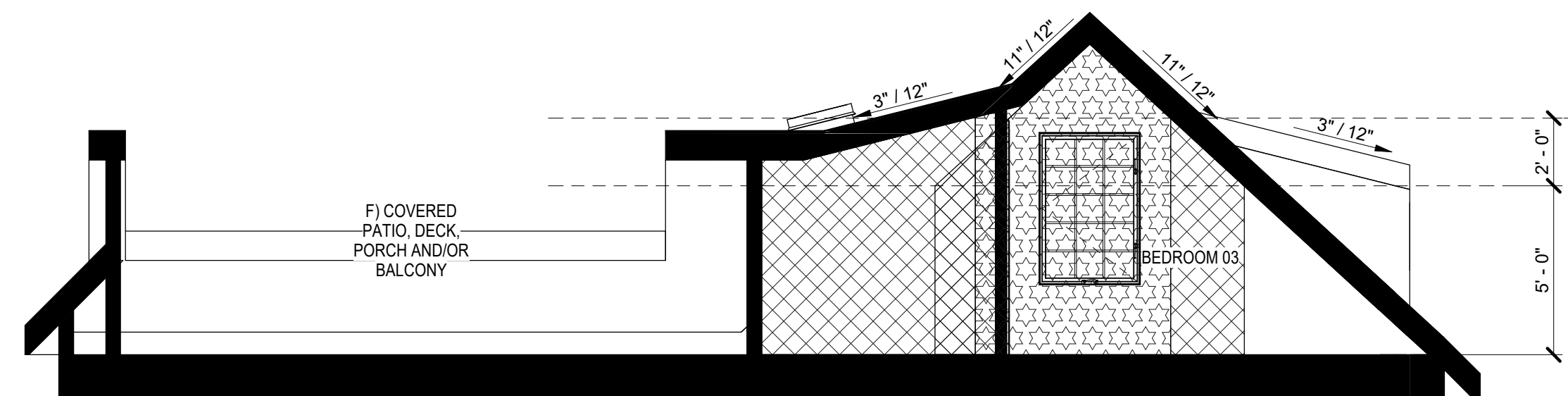
1 ATTIC.
SCALE: 3/16" = 1'-0"

ATTIC AREAS	
HEAD HEIGHT LESS THAN 5'-0"	169 SF
HEAD HEIGHT LESS THAN 7'-0" GREATER THAN 5'-0"	283 SF
HEAD HEIGHT MORE THAN 7'-0"	250 SF
	702 SF

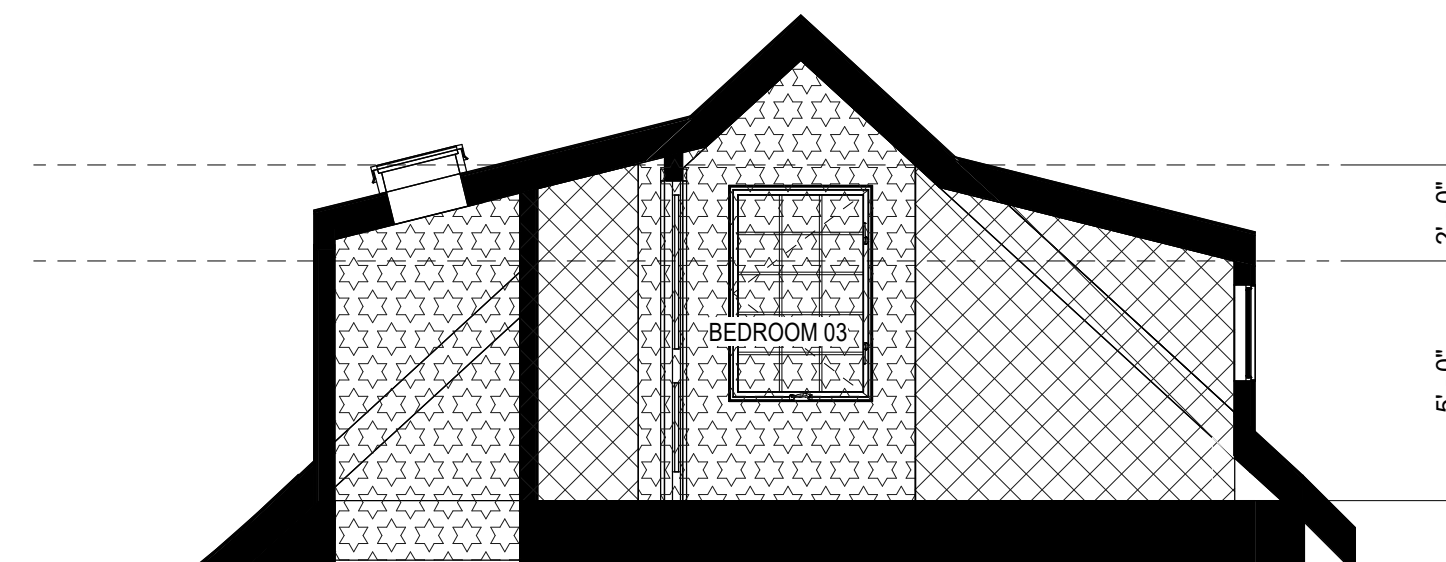
KEYNOTE LEGEND	
103	EGRESS WINDOW - MINIMUM SIZE 5.7SF, 24"H X 20"W
136	STAIRS TO COMPLY WITH IRC 2021 - REFERENCE GENERAL NOTES
138	HANDRAILS TO COMPLY WITH IRC - REFERENCE GENERAL STAIR NOTES
166	MIN 15" CLEAR FROM CENTERLINE OF TOILET TO WALL AND CABINET - IN COMPLIANCE WITH IRC R307.1 AND 2021 UPC - BATHROOM TO EXHAUST TO EXTERIOR - 2x6 NOMINAL WOOD BLOCKING PROVIDED AT 34" CENTERLINE ABOVE FINISHED FLOOR ALONG BATHROOM WALLS, EXCEPT BEHIND TOILET
247	SKYLIGHT



2 ATTIC 01
SCALE: 1/4" = 1'-0"

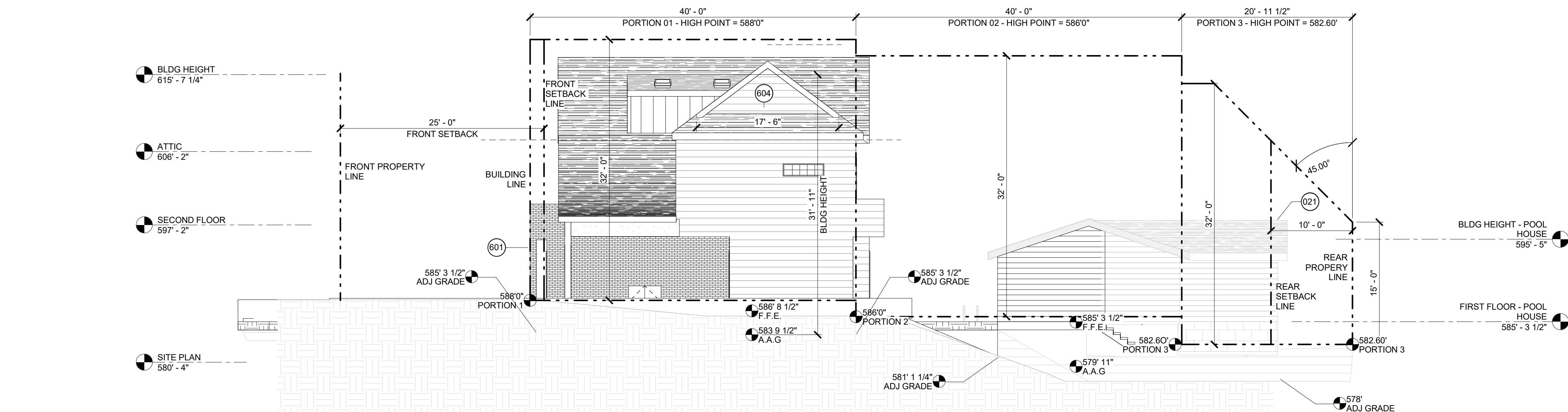


3 ATTIC 02
SCALE: 1/4" = 1'-0"

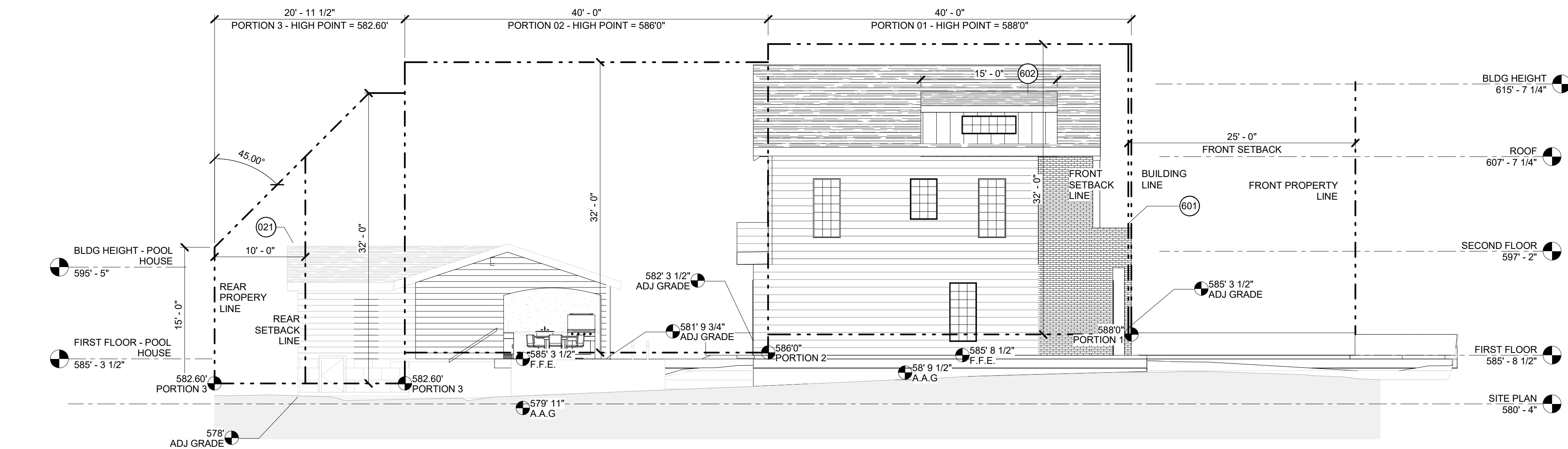


4 ATTIC 03
SCALE: 1/4" = 1'-0"

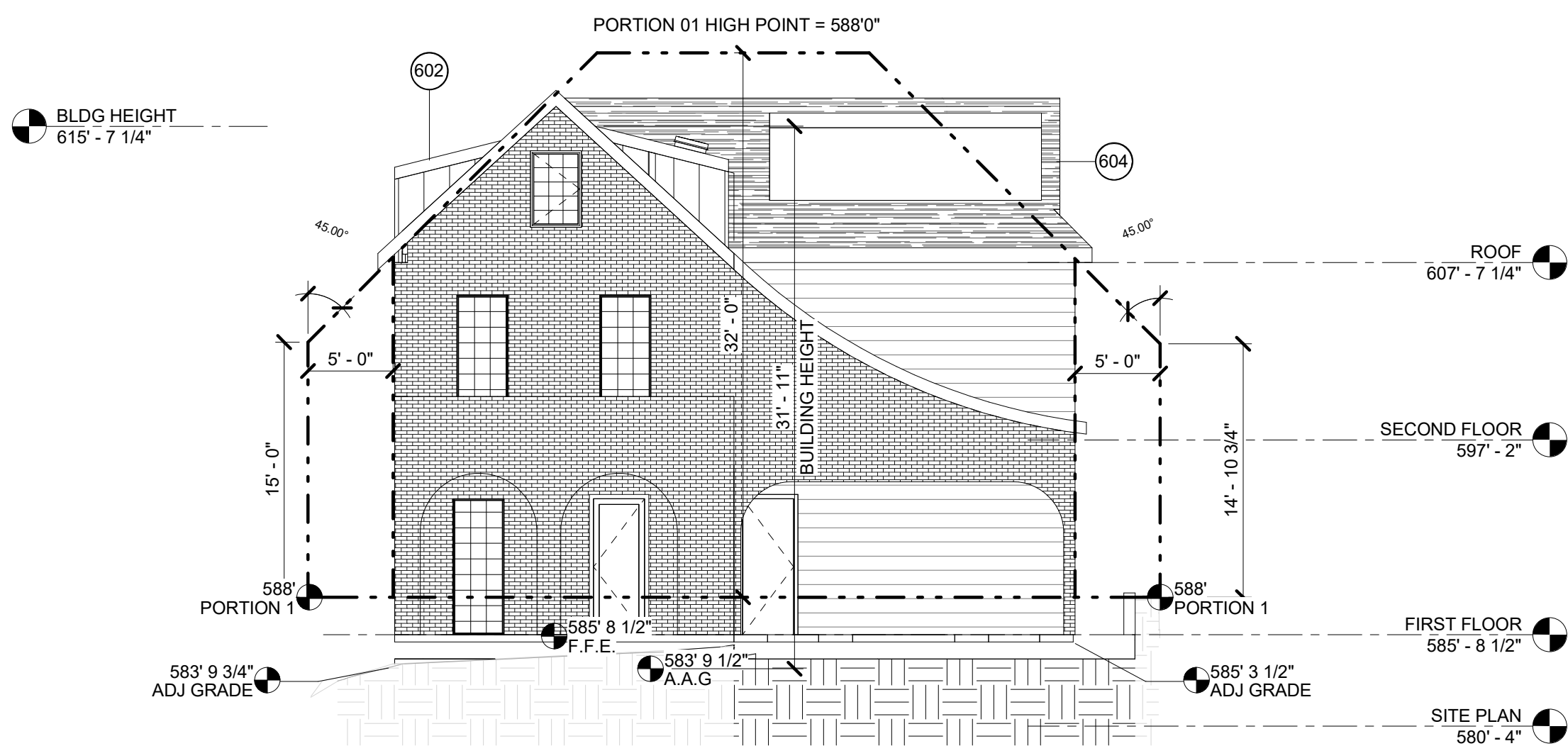
KEYNOTE LEGEND	
021	EXISTING FOOTPRINT EXCEPTION TO BUILDING SETBACK LINE
601	FRONT PORCH SETBACK PER LDC: 25-2-1602
602	DORMER EXEMPTION - DORMER OR GABLE 15' OR LESS PROJECTING THROUGH SETBACK PLANE
603	EXISTING NON-COMPLIANT STRUCTURE
604	SIDE GABLE EXEMPTION - HORIZONTAL LENGTH NOT MORE THAN 18' ALONG INTERSECTION OF SETBACK PLANE



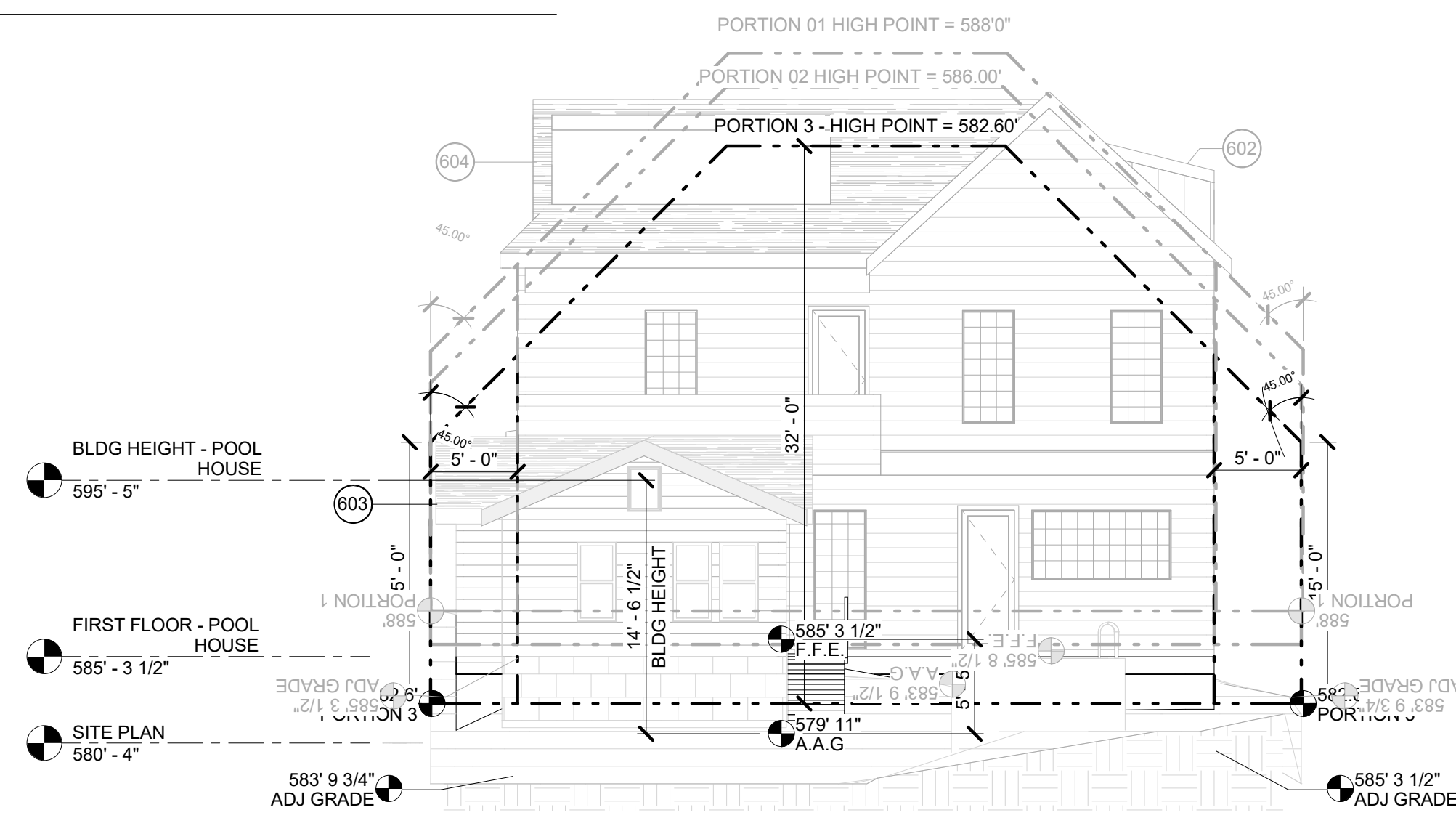
3 MCMANSION - EAST
 SCALE: 1/8" = 1'-0"



4 MCMANSION - WEST
 SCALE: 1/8" = 1'-0"



1 MCMANSION - SOUTH
 SCALE: 1/8" = 1'-0"



2 MCMANSION - NORTH
 SCALE: 1/8" = 1'-0"

CONSULTANTS

LEGEND

NOTES

REVISION		
NO.	DESCRIPTION	DATE



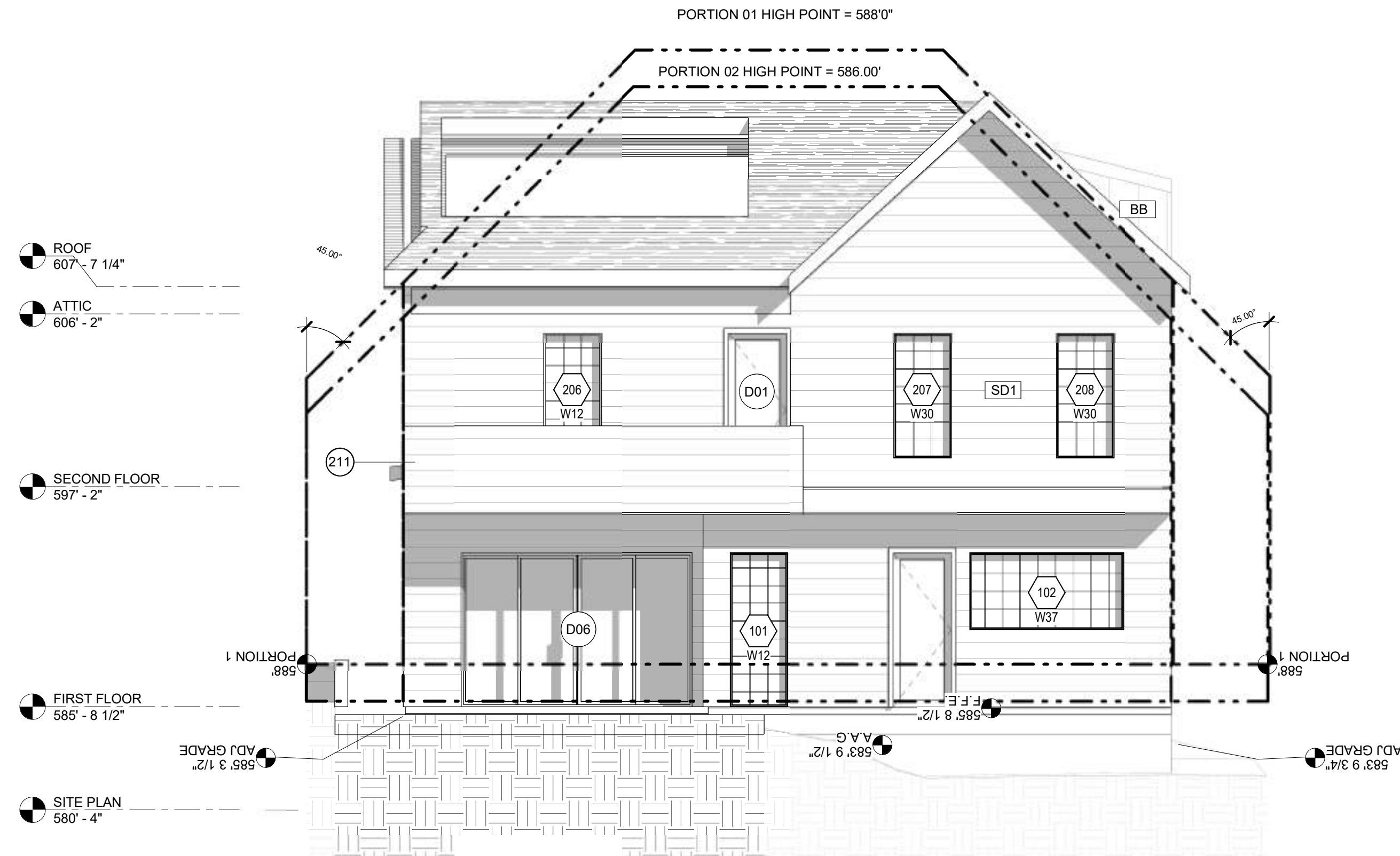
01/20/2023

TERRACE RESIDENCE

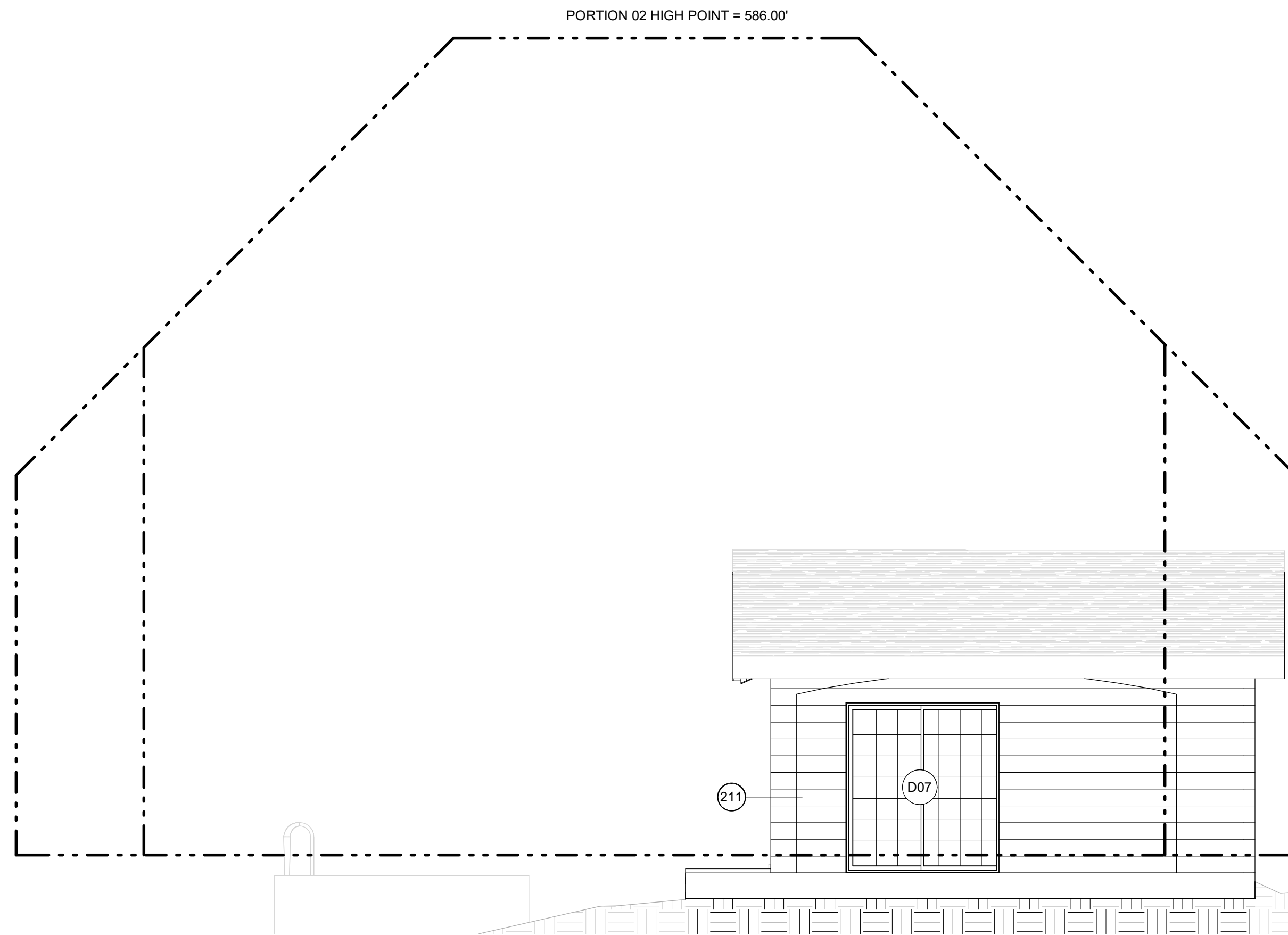
503 Terrace Dr.

**MCMANSION
ELEVATIONS**

SHEET		A4.1
SCALE (FOR 24" X 36")	As indicated	
SCALE (FOR 11" X 17")	HALF INDICATED	
ISSUE DATE	01-10-2023	
JOB #	2210	
DRAWN BY	EP	



1 INTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



FIRST FLOOR - POOL
HOUSE
585' - 3 1/2"

2 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

CONSULTANTS

LEGEND

NOTES

REVISION		
NO.	DESCRIPTION	DATE

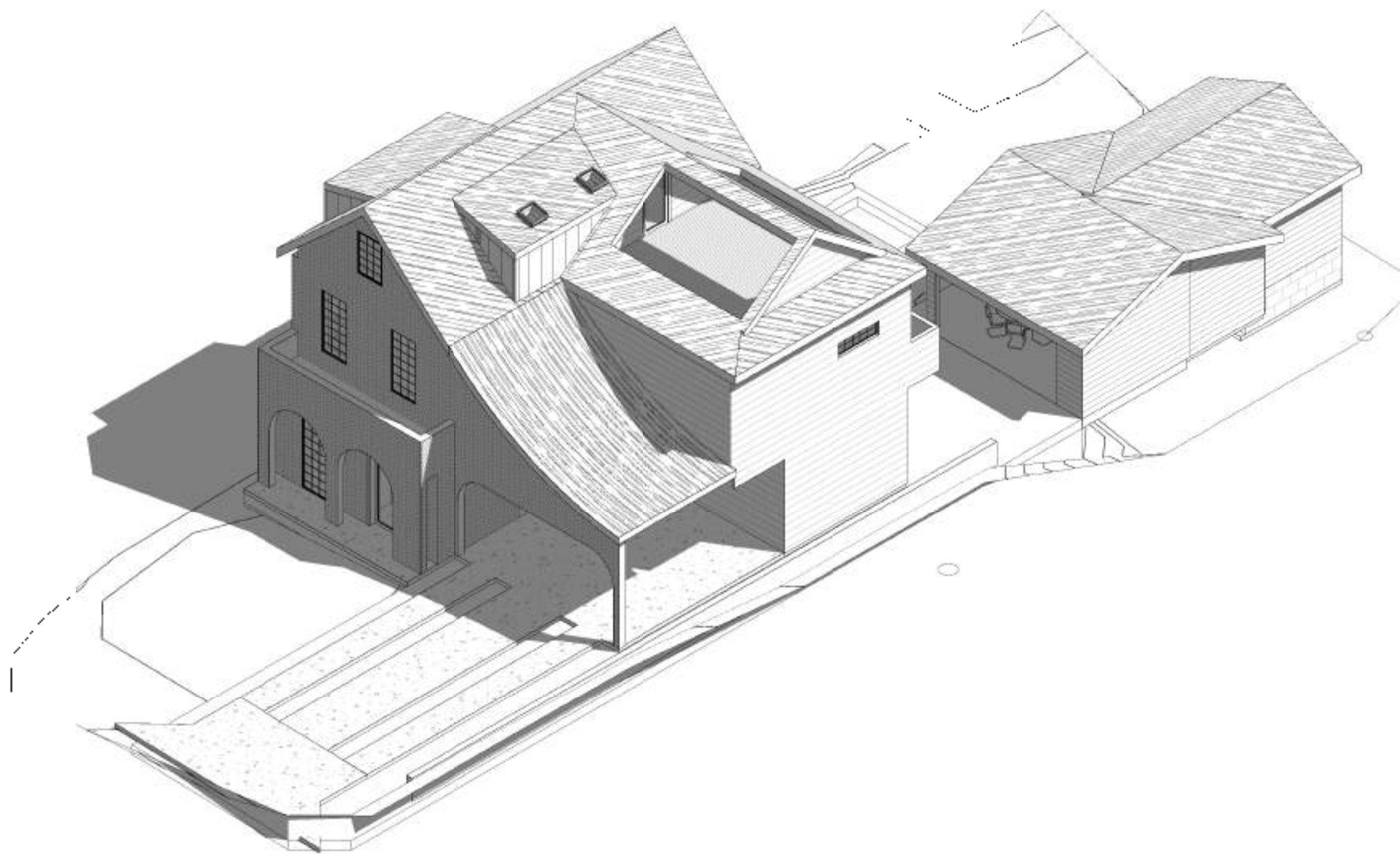


01/20/2023

TERRACE RESIDENCE

503 Terrace Dr.
3D SECTIONS

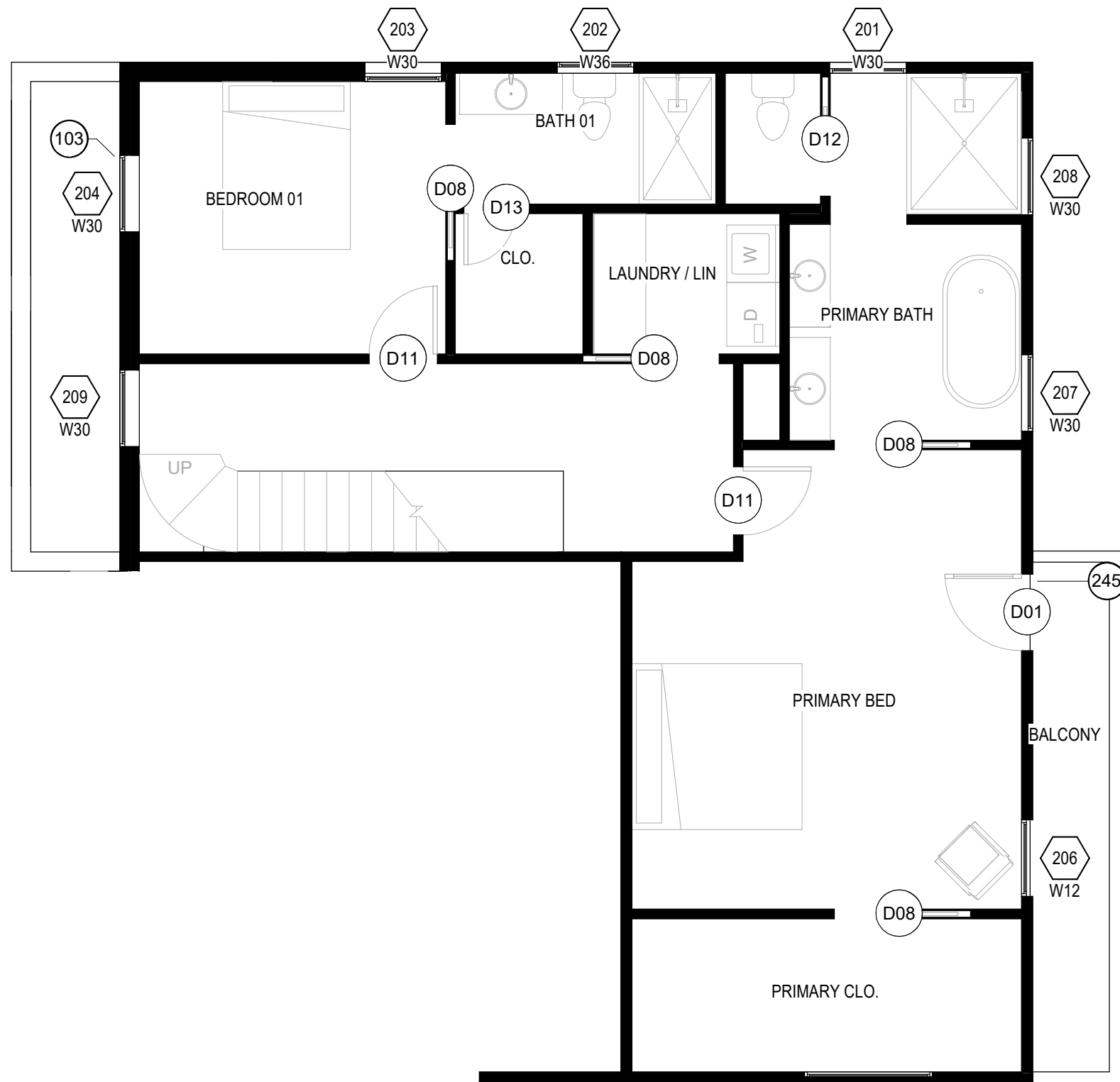
SHEET		A4.6
SCALE (FOR 24" X 36")		
SCALE (FOR 11' X 17")		HALF INDICATED
ISSUE DATE		01-10-2023
JOB #		2210
DRAWN BY		EP



1 3D Ortho 1
SCALE:



2 3D Ortho 2
SCALE:



WINDOW SCHEDULE					
MARK	#	WIDTH	HEIGHT	SILL HEIGHT	DESCRIPTION
101	W12	3' - 0"	8' - 0"	0' - 0"	ALUMINIUM WINDOW
102	W37	8' - 0"	4' - 0"	4' - 0"	ALUMINIUM WINDOW
103	W30	3' - 0"	6' - 6"	1' - 6"	ALUMINIUM WINDOW
104	W12	3' - 0"	8' - 0"	0' - 0"	ALUMINIUM WINDOW
105	W25	2' - 3"	4' - 6 3/4"	2' - 0"	ALUMINIUM WINDOW
106	W25	2' - 3"	4' - 6 3/4"	2' - 0"	ALUMINIUM WINDOW
107	W25	2' - 3"	4' - 6 3/4"	2' - 0"	ALUMINIUM WINDOW
201	W30	3' - 0"	6' - 6"	1' - 6"	ALUMINIUM WINDOW
202	W36	3' - 0"	4' - 6"	3' - 6"	ALUMINIUM WINDOW
203	W30	3' - 0"	6' - 6"	1' - 6"	ALUMINIUM WINDOW
204	W30	3' - 0"	6' - 6"	2' - 0"	ALUMINIUM WINDOW
205	W11	5' - 0"	1' - 6"	6' - 0"	ALUMINIUM WINDOW
206	W12	3' - 0"	8' - 0"	0' - 0"	ALUMINIUM WINDOW
207	W30	3' - 0"	6' - 6"	1' - 6"	ALUMINIUM WINDOW
208	W30	3' - 0"	6' - 6"	1' - 6"	ALUMINIUM WINDOW
209	W30	3' - 0"	6' - 6"	2' - 0"	ALUMINIUM WINDOW
233	W27	1' - 11"	2' - 7"	8' - 4"	ALUMINIUM WINDOW
302	W35	1' - 10 1/2"	1' - 10 1/2"		SKYLIGHT
303	W33	6' - 0"	2' - 0"	2' - 6"	ALUMINIUM WINDOW
304	W40	3' - 0"	4' - 6"	3' - 6"	ALUMINIUM WINDOW
305	W35	1' - 10 1/2"	1' - 10 1/2"		SKYLIGHT
306	W36	3' - 0"	4' - 6"	3' - 6"	ALUMINIUM WINDOW
307	W30	3' - 0"	6' - 6"	1' - 6"	ALUMINIUM WINDOW

GENERAL WINDOW NOTES	
1.	WINDOWS MUST HAVE GUARDS OR SAFETY GLAZING IF THEY MEET ONE OF THE FOLLOWING FOUR (4) CONDITIONS: AREA OF GLAZING IS 9 SF OR LARGER, SILL HEIGHT IS LESS THAN 18" AFF, HEAD HEIGHT IS MORE THAN 36" AFF AND GLAZING IS WITHIN 36" OF A WALKWAY PER IRC R312.2
2.	WINDOWS WITHIN 24" INCHES OF ALL DOORS AND WITH A SILL LESS THAN 60" TO BE SAFETY GLAZING PER IRC R308.4.2
3.	ALL OTHER WINDOWS TO HAVE SAFETY GLAZING AS NOTED
4.	EGRESS WINDOWS TO BE A MINIMUM SIZE OF 20" X 24" / 5.7 SQ FT, PER IRC R310

KEYNOTE LEGEND	
103	EGRESS WINDOW - MINIMUM SIZE 5.7SF, 24"H X 20"W
245	EGRESS DOOR

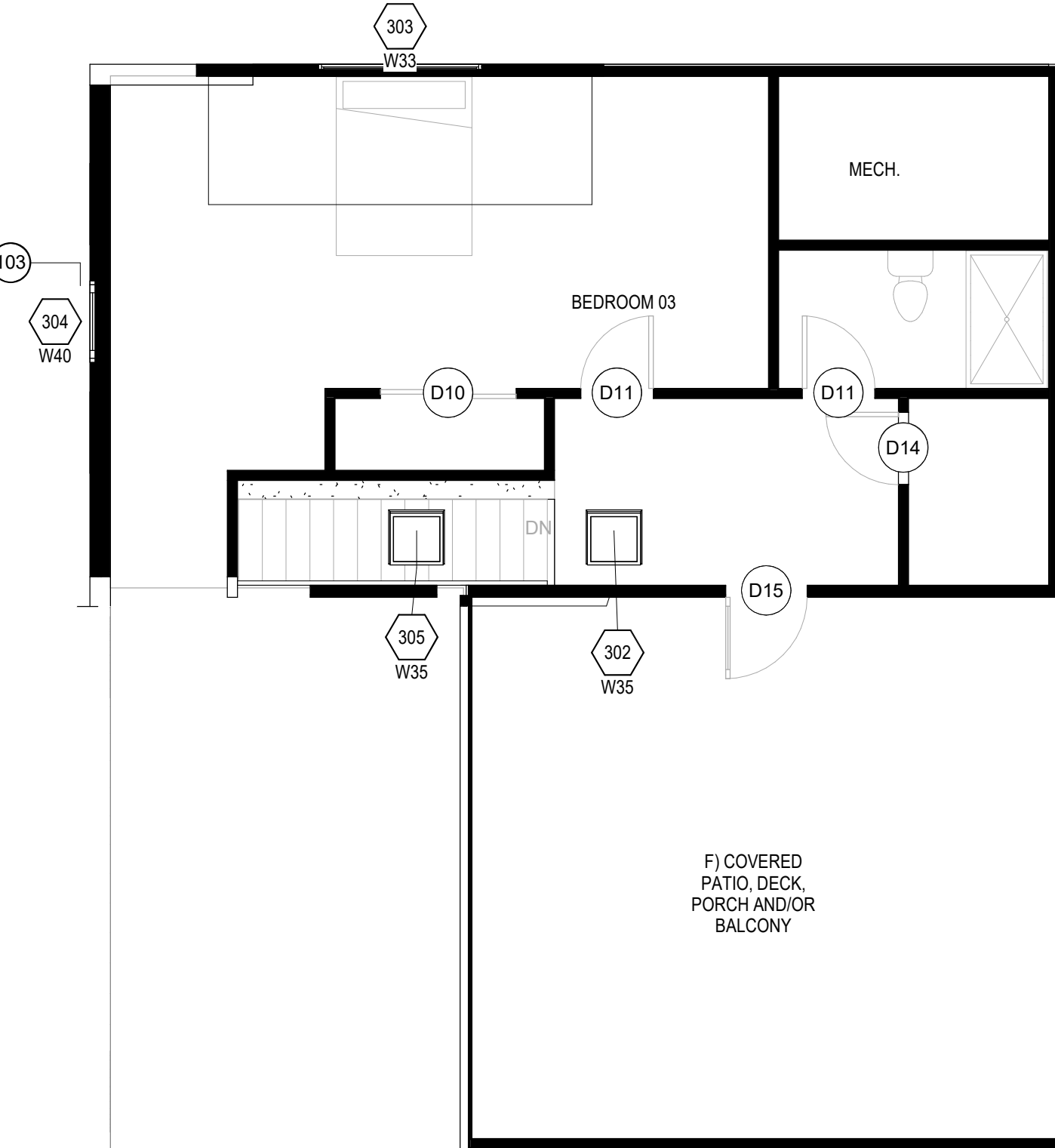
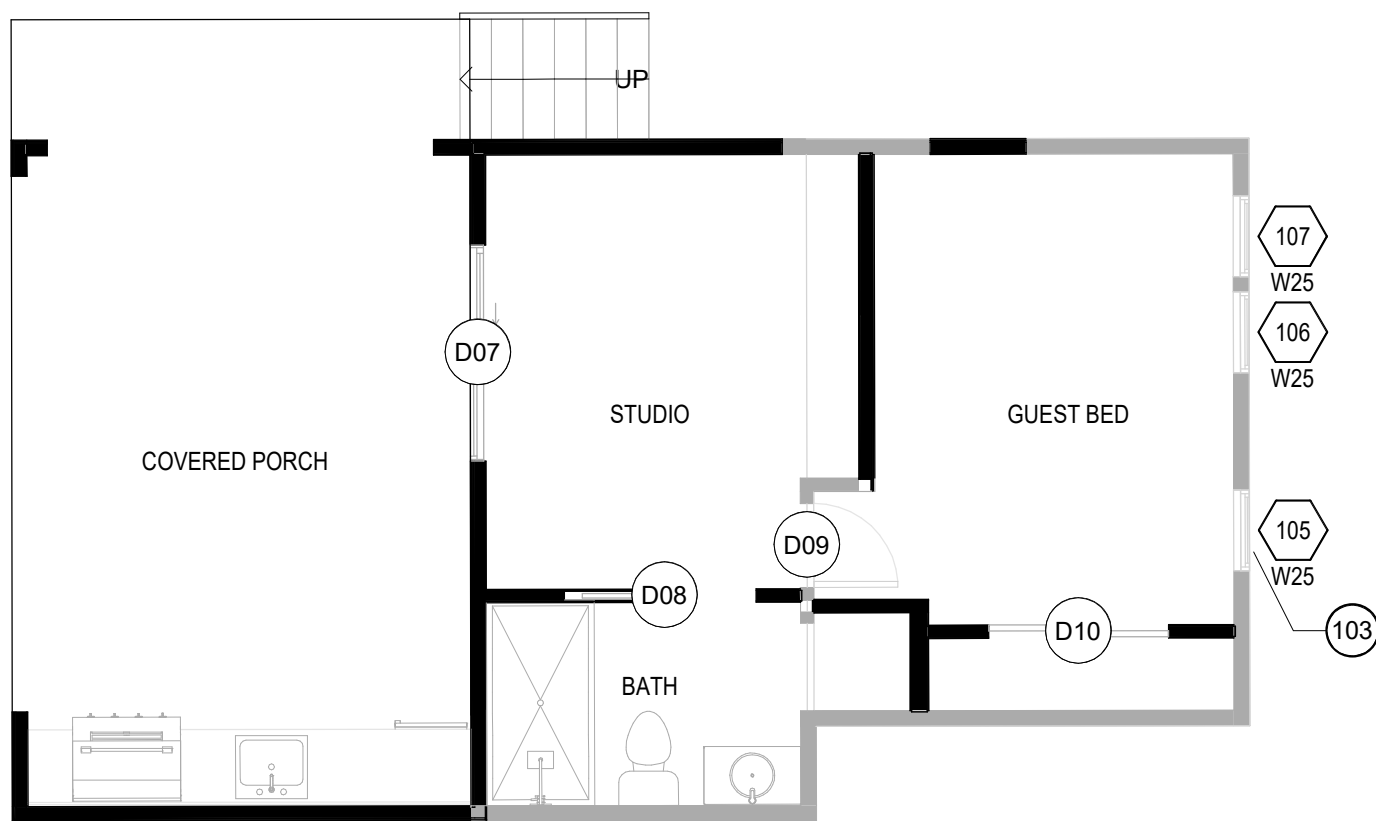
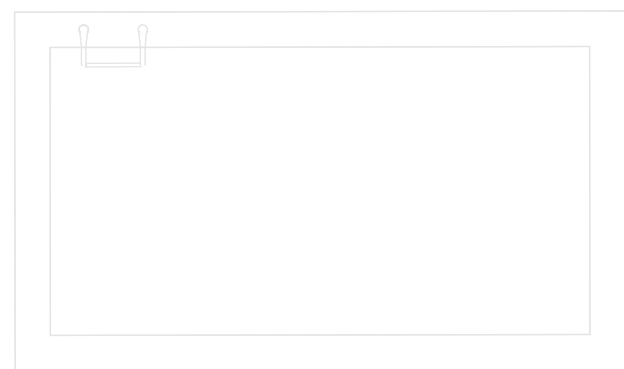
EXTERIOR DOOR LEGEND			
TYPE MARK	DOOR		DESCRIPTION
	SIZE		
	WIDTH	HEIGHT	
D01	3' - 0"	8' - 0"	EXTERIOR SWING DOOR
D03	4' - 0"	4' - 0"	DOUBLE EXTERIOR UTILITY DOOR
D05	3' - 0"	8' - 0"	EXTERIOR SWING DOOR
D06	12' - 0"	8' - 0"	4-PANEL ALUMINUM SLIDING DOOR
D15	3' - 0"	6' - 8"	EXTERIOR SWING DOOR
Grand total: 5			

INTERIOR DOOR LEGEND			
TYPE MARK	DOOR		DESCRIPTION
	SIZE		
	WIDTH	HEIGHT	
D01	3' - 0"	8' - 0"	EXTERIOR SWING DOOR
D02	2' - 6"	6' - 8"	POCKET DOOR
D04	2' - 8"	7' - 0"	SWING DOOR
D5	3' - 0"	6' - 8"	SWING DOOR
D07	6' - 0"	6' - 8"	ALUMINIUM SLIDING DOOR
D08	2' - 8"	6' - 8"	POCKET DOOR
D10	5' - 0"	6' - 8"	CLOSET SLIDING DOOR
D11	2' - 8"	6' - 8"	SWING DOOR
D12	2' - 0"	6' - 8"	POCKET DOOR
D13	2' - 0"	6' - 8"	SWING DOOR
D14	2' - 8"	4' - 0"	SWING DOOR
Grand total: 22			

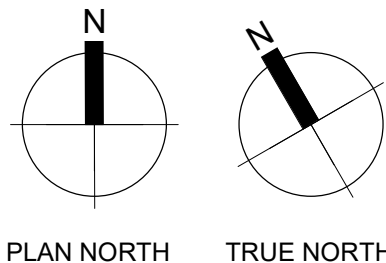
1 WINDOWS - SECOND FLOOR
SCALE: 3/16" = 1'-0"



2 WINDOWS - FIRST FLOOR
SCALE: 3/16" = 1'-0"



3 ATTIC. Copy 1
SCALE: 3/16" = 1'-0"



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NOTES

REVISION		
NO.	DESCRIPTION	DATE



TERRACE RESIDENCE

503 Terrace Dr.
WINDOWS & DOORS

SHEET		A6.0
SCALE (FOR 24" X 36")	As indicated	
SCALE (FOR 11" X 17")	HALF INDICATED	
ISSUE DATE	01-10-2023	
JOB #	2210	
DRAWN BY	EP	

