

From: [Tray Read](#)
To: [Sirwaitis, Sherri](#)
Cc: [Elizabeth Read](#)
Subject: C14-2023-0010 public hearing
Date: Monday, April 3, 2023 1:22:06 PM

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*** External Email - Exercise Caution ***

Hi Ms. Sirwaitis,

I'd like to register a comment on a zoning change for tomorrow's meeting. I tried this link which didn't have the case number selectable:

<https://forms.office.com/Pages/ResponsePage.aspx?id=9hleXXumRUux0L5GCKmmf5L1JjeUXPpPjNAYe0VPVQVUOUtBUE04SkYzRlpMUlAzRkdBNjNHR05UC4u&qrcode=true>

Is this an oversight?

Anyway I'd like to list my comment here:

CASE NUMBER: C14-2023-0010
NAME: Britton C. Read III
ADDRESS: 11617 Medallion Ln, Austin, TX
ZIP CODE: 78750
POSITION: I object
PHONE: 512-750-4832

COMMENTS: I don't think a used car lot would enhance the neighborhood in this location. There are 2 churches and residential areas abutting the property. The extra traffic turning into and out of a used car lot would make Anderson Mill Road even less safe. [As an avid biker who uses the wonderful new bike/pedestrian path along Anderson Mill Road, my safety would be reduced by having to watch out for extra traffic coming out of this new business.](#)

thanks
tray

If you are going to achieve excellence in big things, you develop the habit in little matters. Excellence is not an exception, it is a prevailing attitude.

-- Colin Powell - American General and Statesman April 5, 1937 - October 18, 2021

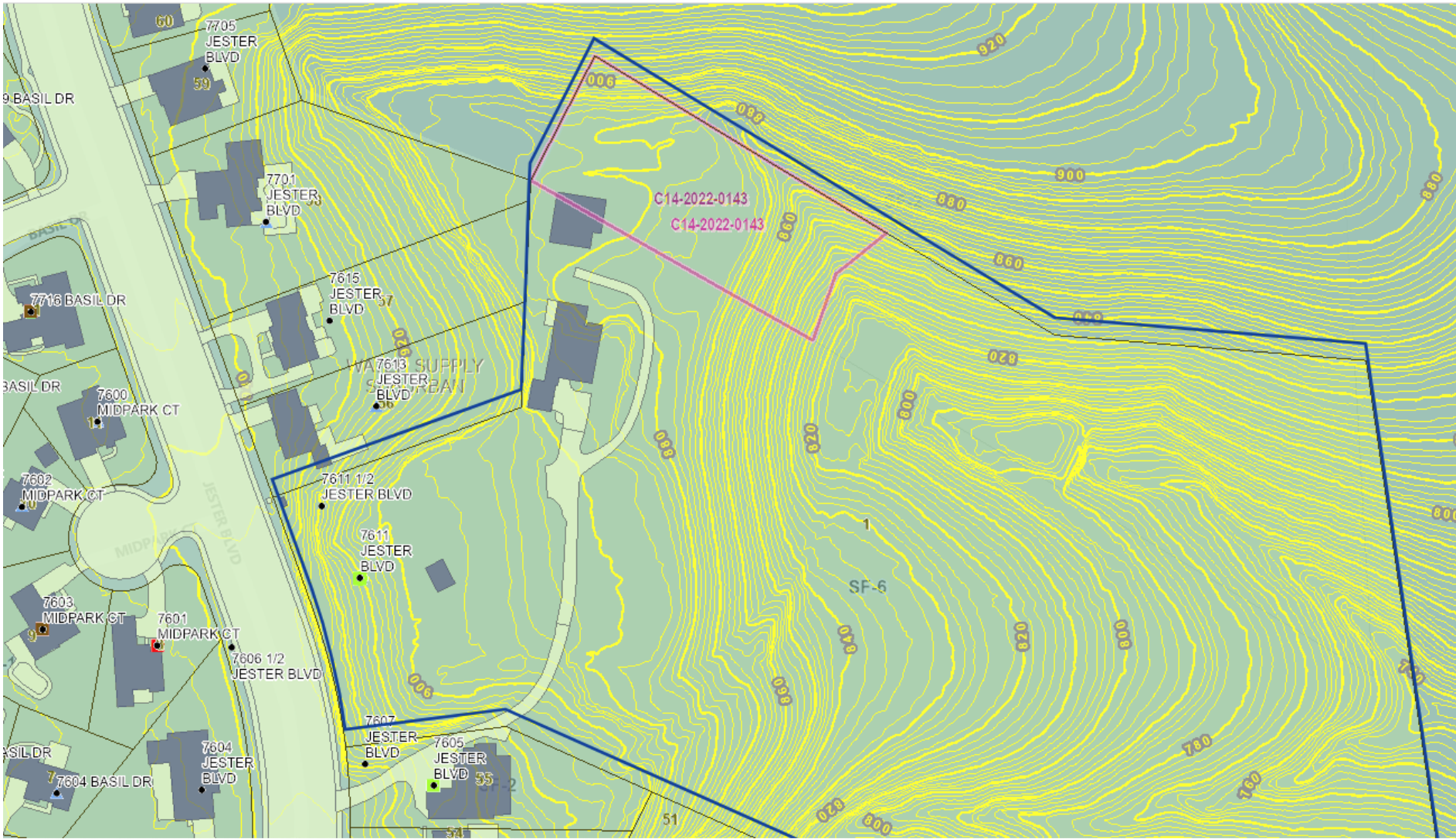
Britton C. (Tray) Read III
512-750-4832

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7611 Jester Rezoning

C14-2022-0143

Property Profile



From <https://maps.austintexas.gov/GIS/PropertyProfile/>

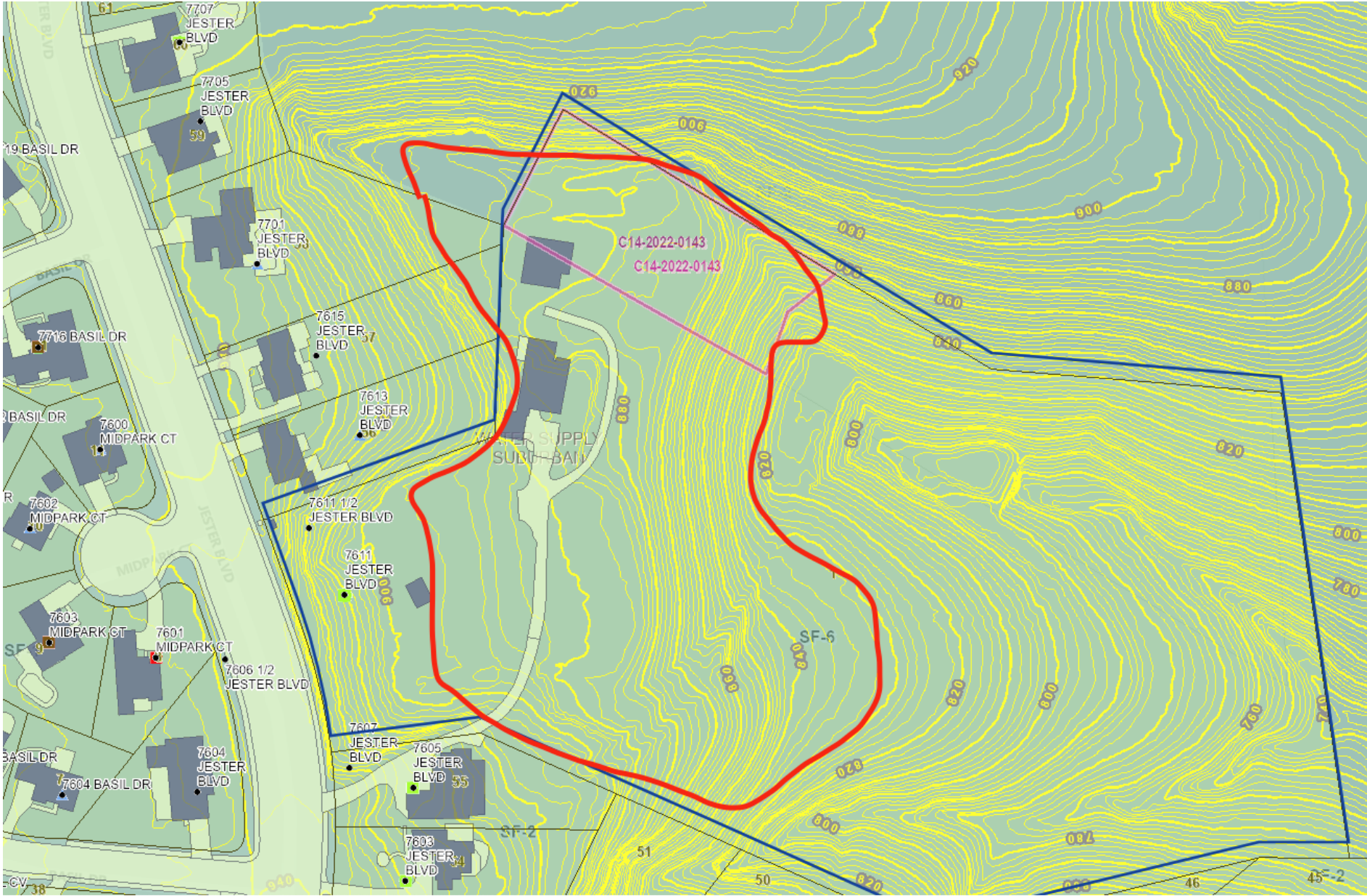
Key Points - Neighborhood

- The tract represents an **extreme fire risk** to existing homes in Jester because of the prevailing southerly winds and steep slopes that channel the winds.
- The **north** and **east** boundaries of 7611 Jester are the **Austin Wildlands tract of the Balcones Canyonland Conservation Lands**
- The area proposed for the zoning change is **contiguous with a steep slope of Austin Wildlands** and is not suitable for any construction

Key Points - Tract

- **40+ vertical foot elevation drop** from Jester Blvd to the 900 contour boundary, in less than 80 feet.
Roughly a 50% slope
- Access blocked by a guardrail running the full width of 7611 Jester's boundary with Jester Blvd.
- Access via an **easement** with the owners of 7605 Jester,
 - a narrow driveway running within 5 feet of the neighbor's house
- Existing storm drain at 7606 ½ Jester empties down the steep slope and flows across the driveway of 7611
- Owner must carry his trash, compost, recycling to curb using easement driveway today
- Owner is attempting also attempting to build a **2400 square foot ADU** (exceeding of Austin rules) for a **single person** to occupy

Property Profile + Layer Showing 1986-1991 Jester Land Management Landfill



Key Points - Landfill Consequences

- The area in **red boundary** is the approximate outline of the fill area
- Jester Land Management deposited more than **80 vertical feet of soil, rocks, trees, trunks brush** in an un-engineered landfill on 7611 Jester Blvd from about 1986 stopping about 1991
 - Buried organics, no packing or compression, no control over materials
- Jester Land Management buried the back of lot 58 (7701 Jester) in more than **30 feet of vertical fill**
 - This is acknowledged in **Travis County Records document 89004385**
 - Jester Land Management bound the tract to limits on fill and grade per agreement in that document
- Any flat contours exist only because a bulldozer drove over the top of the landfill
- The **existing house sits on cement columns 25' to 45' feet deep.**
 - It was the only way original home owner could have a stable slab
 - The only reason those columns were not longer, was because the **house was jammed up on the west edge** of the lot near the unspoiled natural land, sacrificing the view
- The only reason there is already SF6 zoning, is because Jester Land Management inherited it from the 1980s zoning and nobody ever changed it when 7611 was formed as a lot from the landfill and sold to Kehne
- The ADU the new owner is requesting will also be sited on the fill area and require extensive slab columns or other foundation safety

Risks of Concentrated Zoning (SF-5 SF-6 MF) and the Landfill

- **Dangerous ingress and egress.** Basically none except through a narrow easement
- **Even worse wildfire risks** to the existing neighbor, that worsens if more houses are concentrated in the fire generation area
- **Unsafe foundations** that will be built on poorly packed, organic laden fill in an undocumented landfill
- **No way for fire trucks to enter the property** today past the house on 7605 via the easement
- **Hard for city services like police to find the current house** on the narrow easement driveway
- **Hugely expensive grading and slope development** to allow access for fire trucks, sanitation trucks, delivery trucks, and all the other vehicles that would serve an SF-6 undertaking
- **Hugely expensive sewer, water, electric development** for new houses due to poor landfill

Recommendations

- This is **no place** for townhouses, condos, ADUs, short term rentals, bed and breakfast
- **The landfill area is unsuitable** for pavement or for addition of water and sewer lines
- **Deny** the requested zoning change
- **Change to SF-2 the rest of the lot**, which incorrectly inherited SF-6 zoning on the other parts of the 7611
- **Remove the SF-6 zoning of the Austin Wildlands tracts** to something that reflects that it is a preserve
- **Revoke the permit for the ADU** as it current stands or force it to comply with current guidelines