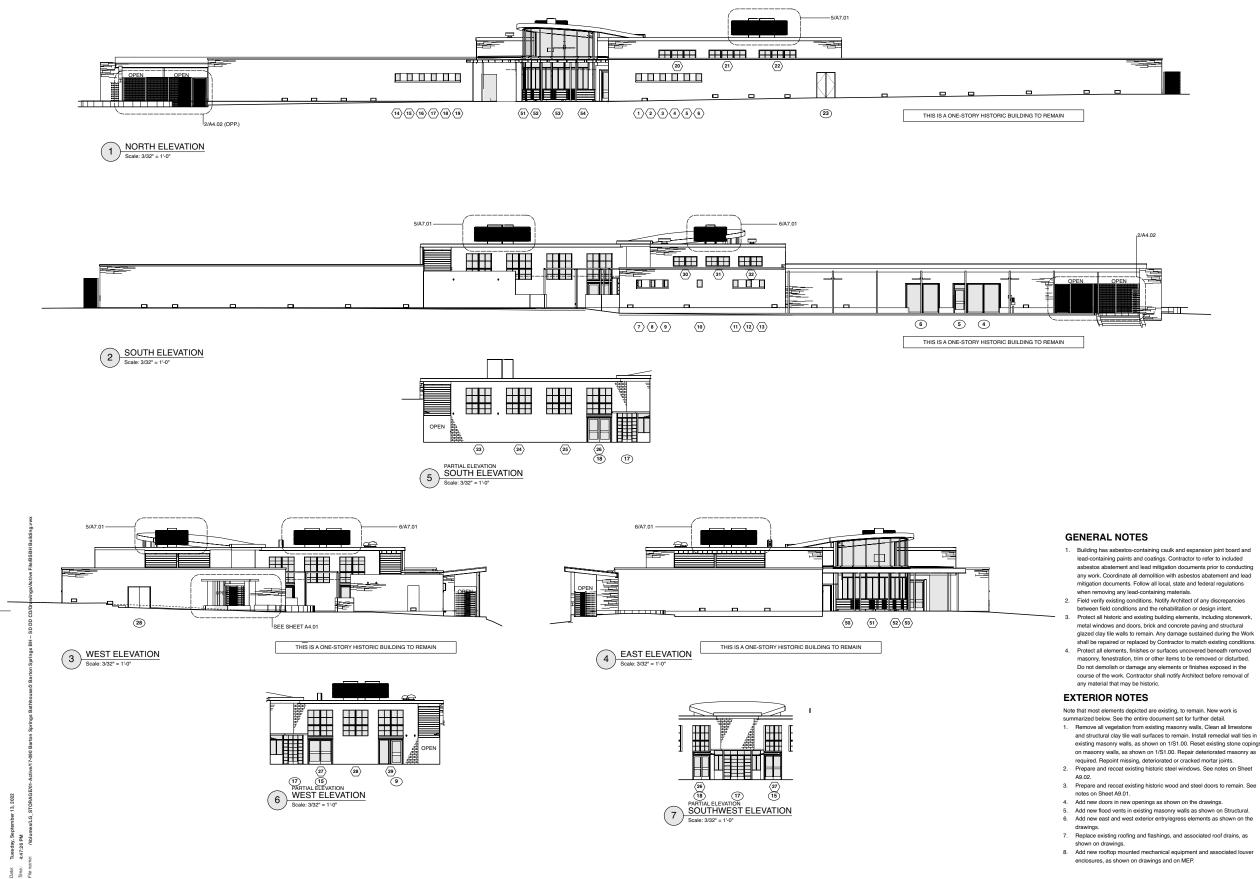


## Barton Springs Bathhouse Rehabilitation

HLC ARC COMMITTEE | February 8, 2023 23



- asbestos abatement and lead mitigation documents prior to conducting any work. Coordinate all demolition with asbestos abatement and lead mitigation documents. Follow all local, state and federal regulations
- Protect all historic and existing building elements, including stonework metal windows and doors, brick and concrete paving and structural glazed clay tile walls to remain. Any damage sustained during the Work
- masonry, fenestration, trim or other items to be removed or disturbed. Do not demolish or damage any elements or finishes exposed in the course of the work. Contractor shall notify Architect before removal of

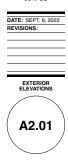
- and structural clay tile wall surfaces to remain. Install remedial wall ties in existing masonry walls, as shown on 1/S1.00. Reset existing stone copings on masonry walls, as shown on 1/S1.00. Repair deteriorated masonry as required. Repoint missing, deteriorated or cracked mortar joints.
- Prepare and recoat existing historic steel windows. See notes on Sheet

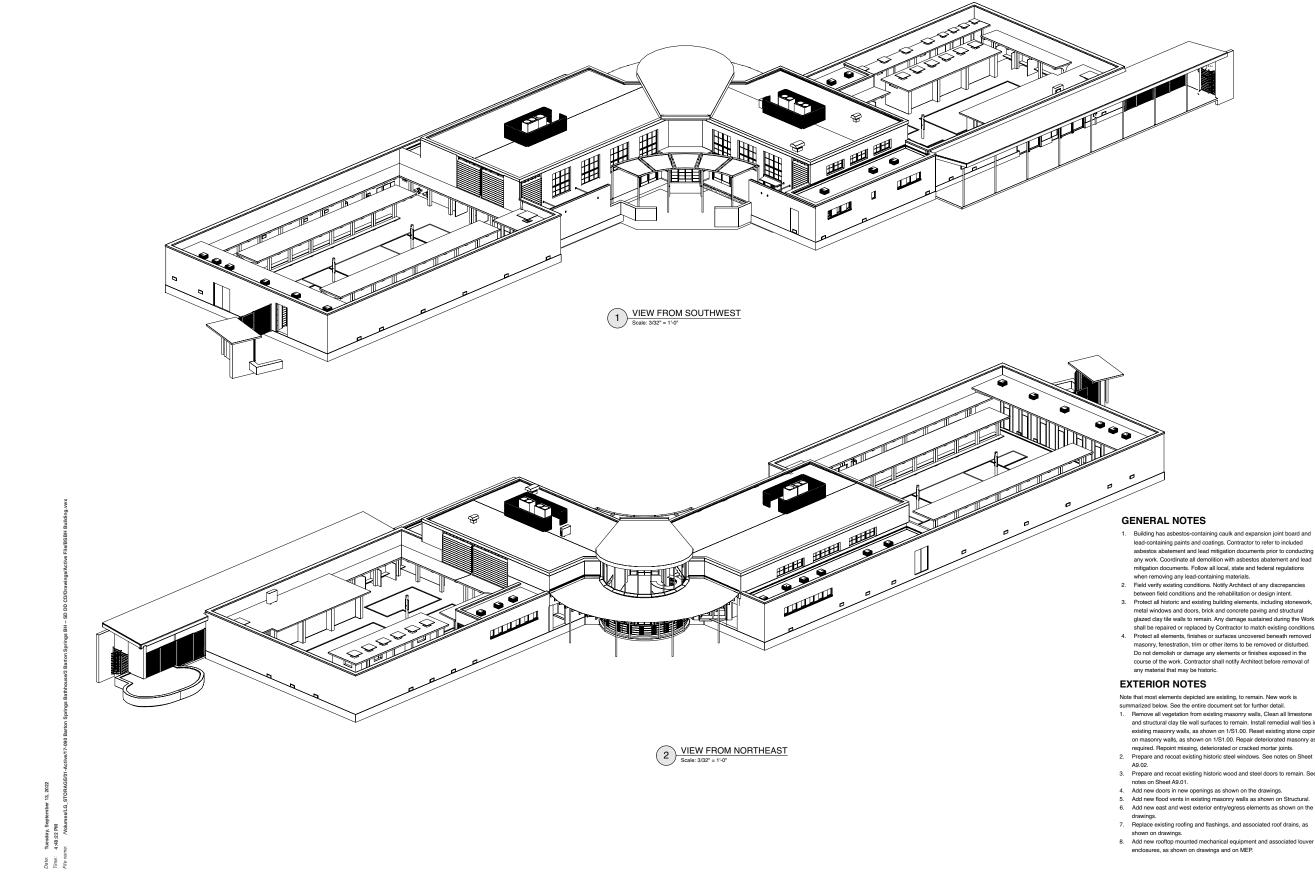


BATHHOUSE SPRINGS | 2131 William Barton Drive AUSTIN, TEXAS 78746 METRO-BARTON

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ZILKER





**Barton Springs Bathhouse Rehabilitation** 



- . Building has asbestos-containing caulk and expansion joint board and lead-containing paints and coatings. Contractor to refer to included asbestos abatement and lead mitigation documents prior to conducting any work. Coordinate all demolition with asbestos abatement and lead mitigation documents. Follow all local, state and federal regulations when removing any lead-containing materials.
- Field verify existing conditions. Notify Architect of any discrepancies between field conditions and the rehabilitation or design intent.
- metal windows and doors, brick and concrete paving and structural glazed clay tile walls to remain. Any damage sustained during the Work
- masonry, fenestration, trim or other items to be removed or disturbed. Do not demolish or damage any elements or finishes exposed in the course of the work. Contractor shall notify Architect before removal of

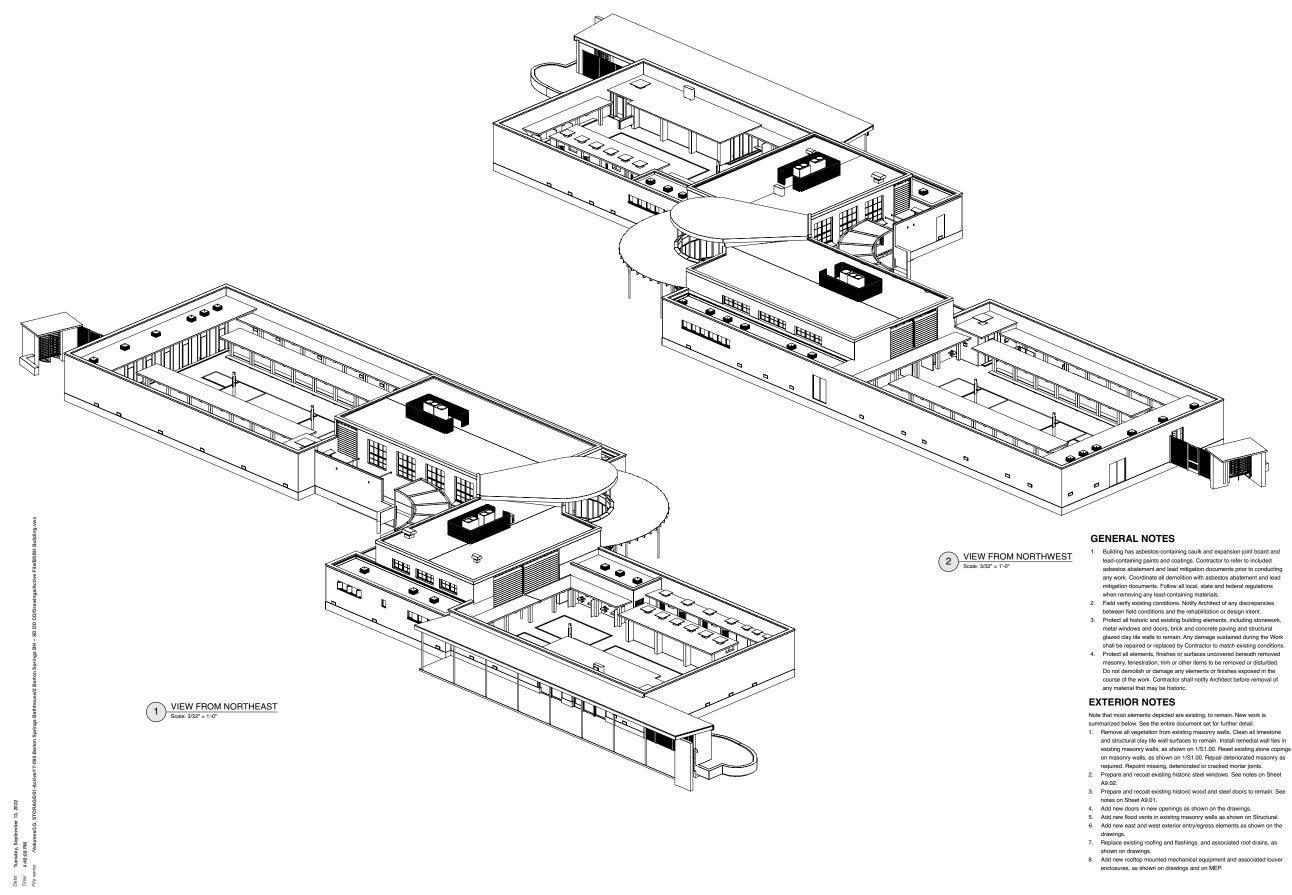
Note that most elements depicted are existing, to remain. New work is

- Note indit flost eleminis depicted are existing, if retriain i vew work is summarized below. See the entire document set for further detail for all imestone and structural clay tile wall surfaces to remain. Install remedial wall ties in existing masorry walls, as shown on 1/S1.00. Reset existing stone copings on masonry walls, as shown on 1/S1.00. Repair deteriorated masonry as
- 3. Prepare and recoat existing historic wood and steel doors to remain. See
- Add new doors in new openings as shown on the drawings.
- Add new flood vents in existing masonry walls as shown on Structural.
   Add new east and west exterior entry/egress elements as shown on the
- Replace existing roofing and flashings, and associated roof drains, as shown on drawings.
- 8. Add new rooftop mounted mechanical equipment and associated louver enclosures, as shown on drawings and on MEP.

BATHHOUSE METRO-BARTON SPRINGS 2131 William Barton Drive AUSTIN, TEXAS 78746 ZILKER







**Barton Springs Bathhouse Rehabilitation** 

- lead-containing paints and coatings. Contractor to refer to included asbestos abatement and lead mitigation documents prior to conducting any work. Coordinate all demolition with asbestos abatement and lead
- glazed clay tile walls to remain. Any damage sustained during the Work
- masonry, fenestration, trim or other items to be removed or disturbed. Do not demolish or damage any elements or finishes exposed in the course of the work. Contractor shall notify Architect before removal of

- on masonry walls, as shown on 1/S1.00. Repair deteriorated masonry as

- 8. Add new rooftop mounted mechanical equipment and associated louver

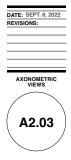


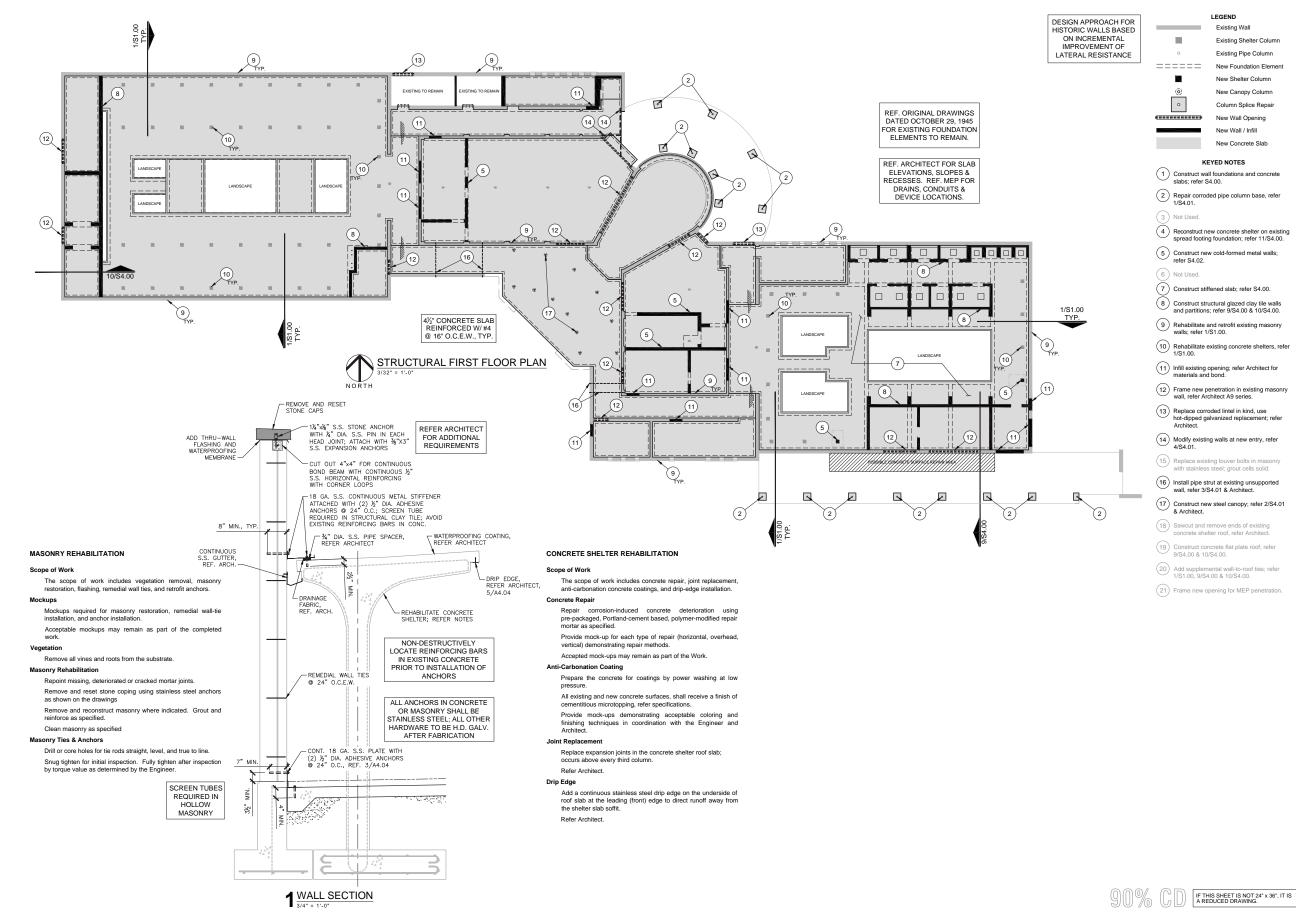






ZILKER





### LEGEND Existing Wall

\_\_\_\_ 0 \*\*\*\*\*\*\*\*\*\*\*

Existing Shelter Column Existing Pipe Column New Foundation Element New Shelter Column New Canopy Colum Column Splice Repa New Wall Opening New Wall / Infill New Concrete Slat

### KEYED NOTES

- Construct wall foundations and concrete slabs; refer S4.00.
- 2 Repair corroded pipe column base, refer 1/S4.01.
- 3 Not Used.
- Reconstruct new concrete shelter on existing spread footing foundation; refer 11/S4.00.
- 5 Construct new cold-formed metal walls; refer S4.02.
- 6 Not Used.
- (7) Construct stiffened slab; refer S4.00.
- 8 Construct structural glazed clay tile walls and partitions; refer 9/S4.00 & 10/S4.00.
- 9 Rehabilitate and retrofit existing m walls; refer 1/S1.00.
- (10) Rehabilitate existing concrete shelters, refer 1/S1.00.
- 11 Infill existing opening; refer Architect for materials and bond.
- (12) Frame new penetration in existing m wall, refer Architect A9 series.
- (13) Replace corroded lintel in kind, use hot-dipped galvanized replacement; refer Architect.
- (14) Modify existing walls at new entry, refer 4/S4.01.
- (15) Replace existing louver bolts in mason with stainless steel; grout cells solid.
- (16) Install pipe strut at existing unsupported wall, refer 3/S4.01 & Architect.

## (17) Construct new steel canopy; refer 2/S4.01 & Architect.

- (18) Sawcut and remove ends of existing concrete shelter roof, refer Architect
- (19) Construct concrete flat plate roof; refer 9/S4.00 & 10/S4.00.
- Add supplemental wall-to-roof ties 1/S1.00, 9/S4.00 & 10/S4.00.
- (21) Frame new opening for MEP pen





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2131 William Bartor AUSTIN, TEXAS

DATE: SEPT. 09, 2022 REVISIONS:





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**D**<u>SLAB EDGE REPAIR</u> x/x\* = 11.0\*



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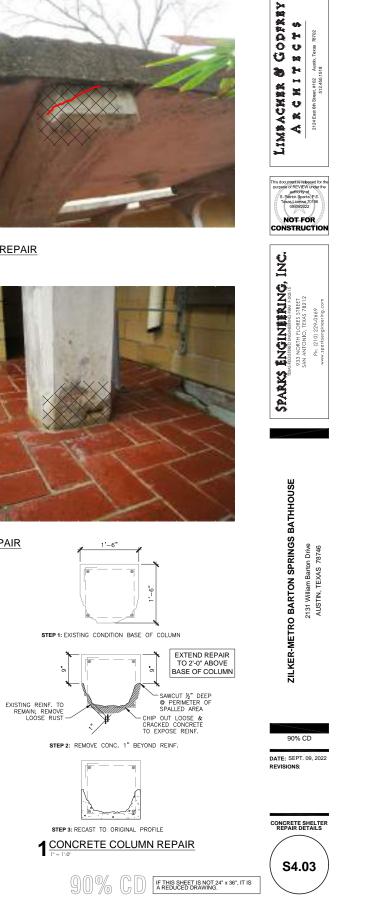


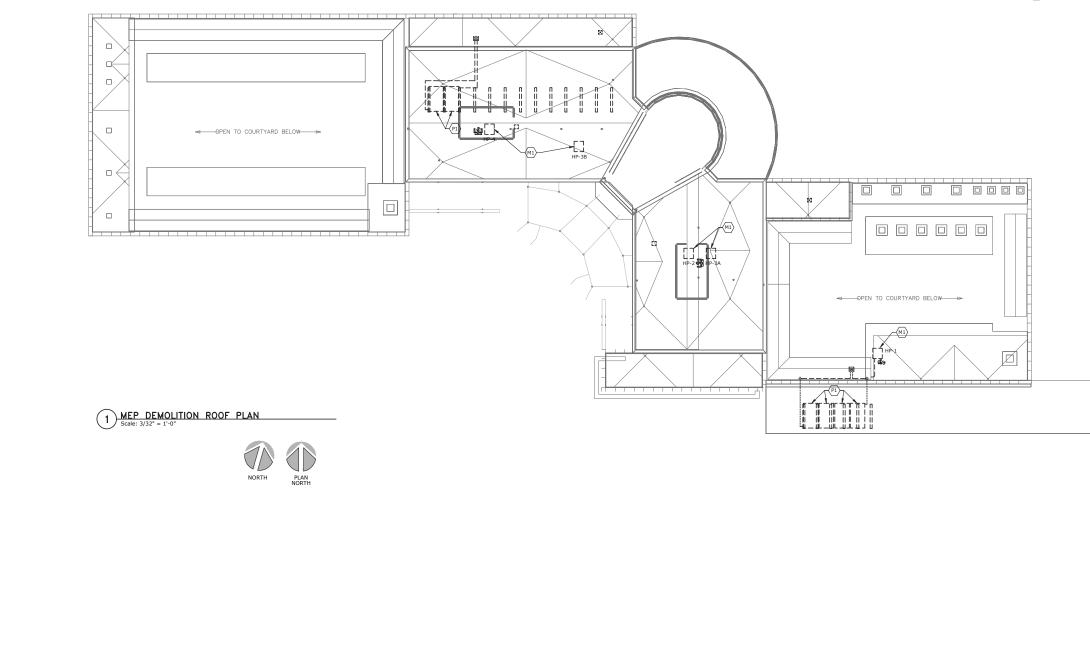
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COLUMN REPAIR







CADE

:128

## GENERAL DEMOLITION NOTES:

- DRAWINGS HEREIN ARE REPRODUCTIONS OF RECORD DRAWINGS PROVIDED TO JOSE I. GUERA, INC. BY THE OWNER AND ARE PROVIDED FOR INFORMATION ONLY.
- an outward order is diagrammatic and provides only approximate locations for mep, fire protection, security and/ or technology systems unless specifically dimensioned on these drawings, the contractor shall coordinate the exact installation location of all elements and related apprirtenances shown on this document with the architectural drawings.
- ALL MATERIAL AND EQUIPMENT REMOVED AND NOT SCHEDULED FOR REUSE SHALL BE PRESENTED TO THE OWNER'S REPRESENTATIVE FOR DISPOSITION. ITEMS DEEMED UNSALVAGEABLE BY OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE TRANSPORTED TO A LOCATION OFF THE PROJECT SITE AND LEGALLY DISPOSED OF. CONTRACTOR SHALL VISIT THE SITE FOR FIELD INVESTIGATION.
- 4. ANY INTERRUPTION AND/OR SHUTDOWN OF EXISTING SERVICES SHALL BE MADE ONLY WITH THE APPROVAL OF AND AT TIMES DESIGNATED BY THE OWNER.
- 5. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR PROJECT PHASING AND GENERAL EXTENTS OF BUILDING DEMOLITION.

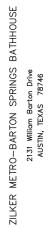
## DEMOLITION KEYED NOTES:

 $\left< M1 \right>$  Remove condensing units and associated piping and controls.

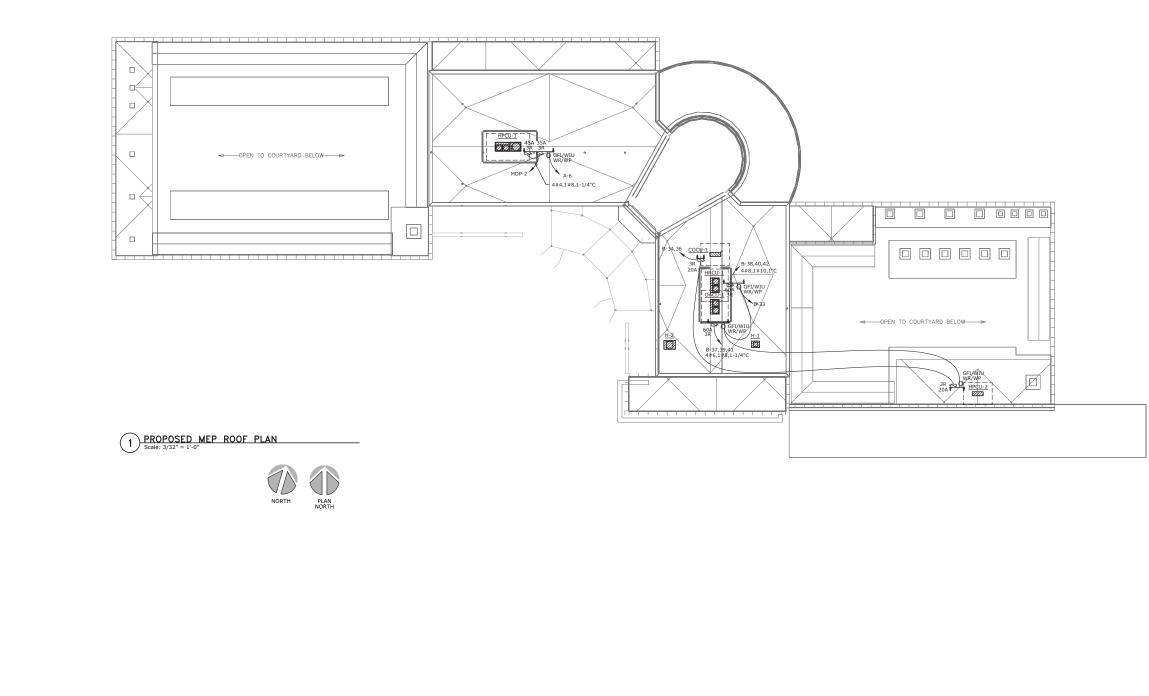


50% CD Not for regulatory approval, permitting or construction
JULIA WAGNER, ENGINEER Reg. # 117268 JULY 12, 2022
JULI 12, 2022









CADFILE:

1:128

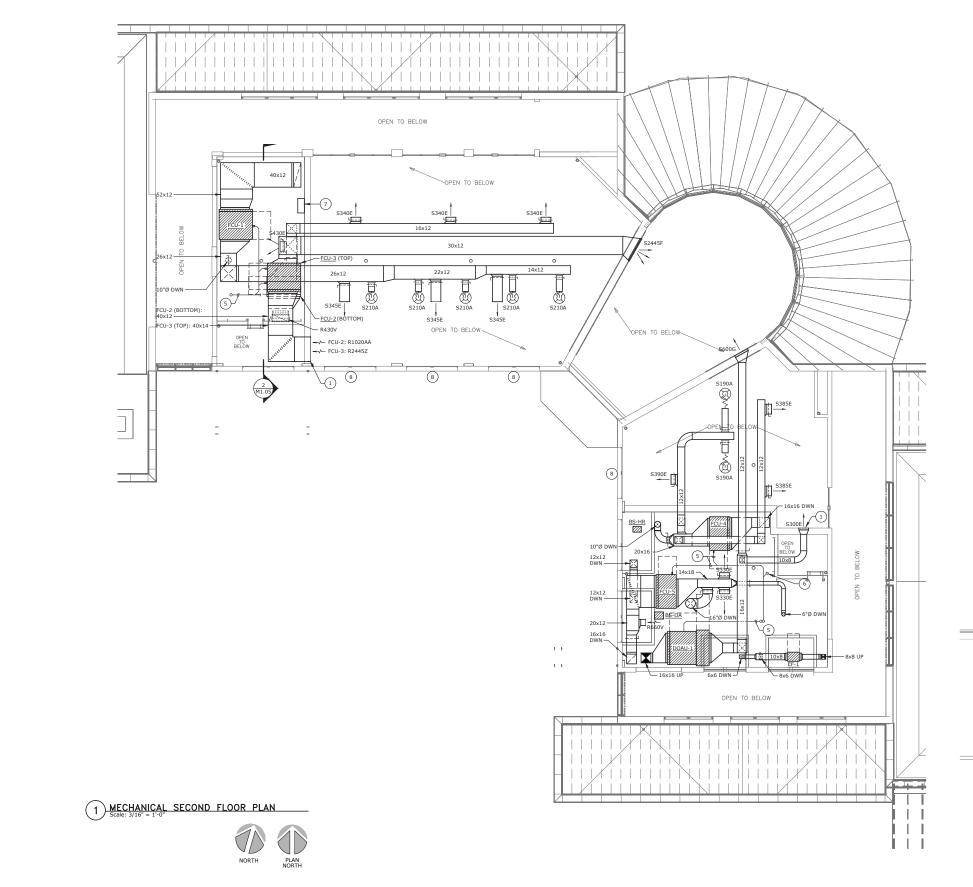
## GENERAL NOTES:

- THIS DOCUMENT IS DIAGRAMMATIC AND PROVIDES ONLY APPROXIMATE LOCATIONS FOR MEP SYSTEMS UNLESS SPECIFICALLY DIMENSIONED ON THESE DRAWINGS, THE CONTRACTOR SHALL COORDINATE THE INSTALLATION LOCATION OF ALL LELEMENTS SHOWN ON THIS DOCUMENT WITH THE ARCHITECTURAL DRAWINGS.
- 2. LOCATE ALL EQUIPMENT WITH CLEAR ACCESS TO ALL SERVICEABLE COMPONENTS.







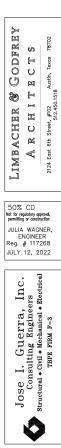


## **GENERAL NOTES:**

- THIS DOCUMENT IS DIAGRAMMATIC AND PROVIDES ONLY APPROXIMATE LOCATIONS FOR MEP SYSTEMS UNLESS SPECIFICALLY DIMENSIONED ON THESE DRAWINGS. THE CONTRACTOR SHALL COROBINATE THE INSTALLATION LOCATION OF ALL ELEMENTS SHOWN ON THIS DOCUMENT WITH THE ARCHITECTURAL DRAWINGS.
- PROVIDE MANUAL BALANCING DAMPERS WITH LOCKING QUADRANTS AT ALL BRANCH RUNOUT TO SUPPLY AND EXHAUST AIR DEVICES. ENSURE DAMPERS ARE ACCESSIBLE FOR ADJUSTMENT.
- PROVIDE NECESSARY OFFSETS, TRANSITIONS, AND CONNECTORS FOR ALL DUCTWORK, PIPING, AND WIRING CONNECTIONS TO EQUIPMENT.
- LOCATE ALL EQUIPMENT WITH CLEAR ACCESS TO ALL SERVICEABLE COMPONENTS. BALANCE ALL SUPPLY AND EXHAUST GRILLES TO VOLUME INDICTAED ON DRAWING.
- 6. ALL DUCT DIMENSIONS ARE INTERNAL CLEAR.
- IN LOCATIONS WHERE VOLUME DAMPERS ARE INACCESSIBLE, PROVIDE REMOTE DAMPER OPERATORS WITH A RIGID SHAFT.
- ALL SPIRAL AND FLEXIBLE DUCT RUNOUTS TO AIR DEVICES SHALL BE SAME SIZE AS DEVICE NECK SHOWN ON SCHEDULE UNLESS OTHERWISE NOTED. USE OF FLEXIBLE DUCT SHALL BE LIMITED TO 5' FOR ALIGNMENT PURPOSES ONLY.
- PROVIDE ALUMINUM CLADDING TO THE EXTERIOR OF ALL INSULATED DUCTS AND PIPING ON MECHANICAL SERVICE PLATFORMS.

## KEYED NOTES:

- () COORDINATE LOCATION OF AIR DEVICE WITH ARCHITECTURAL AND EXHIBIT DESIGNER'S INTERIOR ELEVATIONS.
- CONDENSATE LINE TO DISCHARGE THRU EXTERIOR WALL APPROXIMATELY 8 FT ABOVE EXTERIOR GRADE. SEAL PER SPECIFICATIONS AND PROVIDE ALUMINUM ESCUTCHEON AT PENETRATION.
- 3 PROVIDE 4" DIAMETER ALUMINUM OUTSIDE AIR INLET HOOD. HOOD TO HAVE INTEGRAL BIRD SCREEN.
- 4 THERMOSTAT MOUNTED 46" AFF TO MIDDLE OF DEVICE.
- CONDENSATE DISCHARGE LINE. MAINTAIN 1/8" PER 1' SLOPE TO DISCHARGE. PROPERLY SUPPORT AND SECURE PIPING ALONG ENTIRE LENGTH OF ROU. PROVIDE CLEARNOUTS AT ANY CHANGE IN DISCHTON OF PIPE. PROVIDE AN AIR GAP AT DISCHARGE. COORDINATE WITH PLUMBING. 5
- 6 PUMPED CONDENSATE UP FROM WMU-1 BELOW.
- BAS AND MECHANICAL SYSTEMS CONTROL PANELS MOUNTED ON THIS WALL. REFERENCE CONTROLS DRAWINGS AND COORDINATE WITH ELECTRICAL FOR POWER. Õ
- CONTROLS SYSTEM CONTRACTOR (CSC) SHALL PROVIDE TIMED CONTACT SWITCH AT OPERABLE WINDOW. WHEN WINDOW IS OPEN GREATER THAN 3 MINUTES, FAN COLI SHALL TURN OPEN. WHEN WINDOW IS CLOSED, FAN COLI SHALL AUTOMATICALLY RESUME OPERATION AT PREVIOUS SETPOINTS.



BATHHOUSE

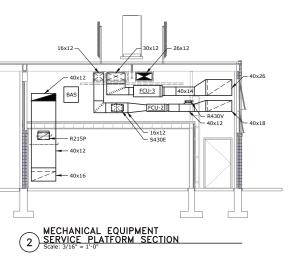
METRO-BARTON SPRINGS E 2131 William Barton Drive AUSTN, TEXAS 78746

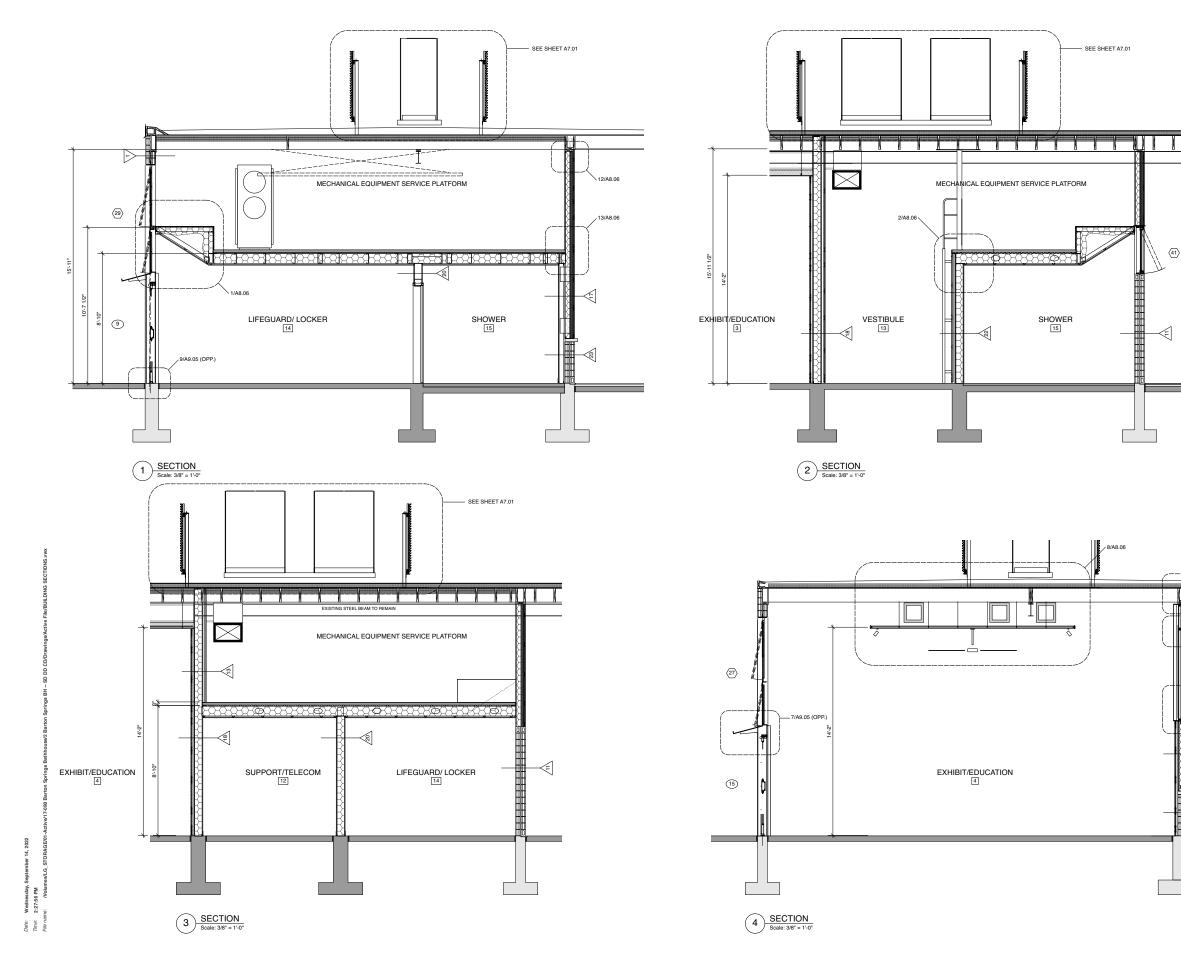
ZILKER

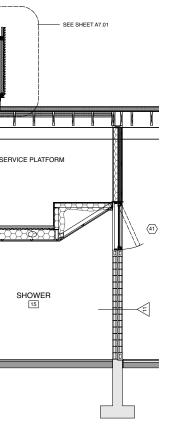
MECHÀNICAL SECOND FLOOR PLAN

M1.05

REVISIONS:



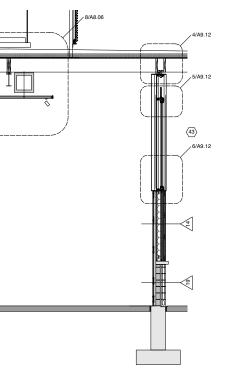




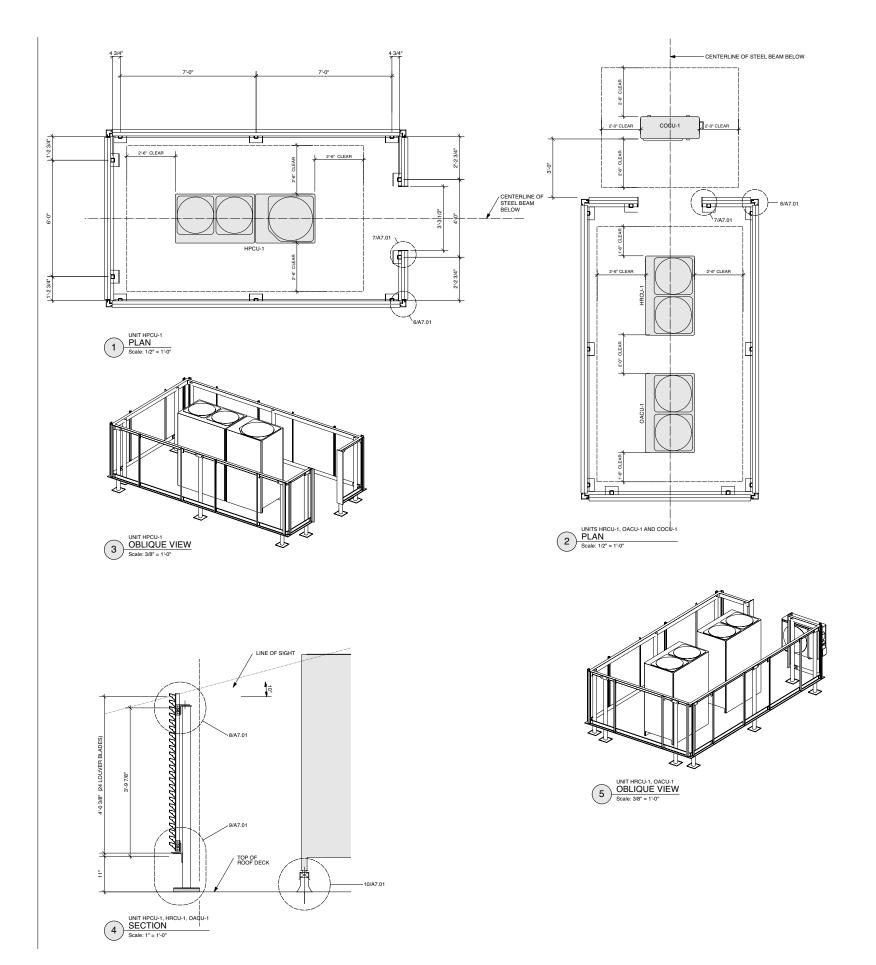


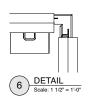
PRELIMINARY
Not for regulatory approval,
permitting or construction

ALFRED GODFREY, ARCHITECT September 6, 2022



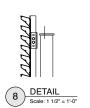
ZILKER METRO-BARTON SPRINGS BATHHOUSE	2131 William Barton Drive AUSTIN, TEXAS 78746
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DATE: SEP REVISIONS	
BUILDING	SECTIONS
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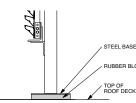






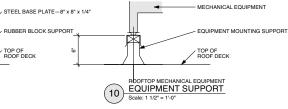






9 DETAIL Scale: 1 1/2" = 1'-0"





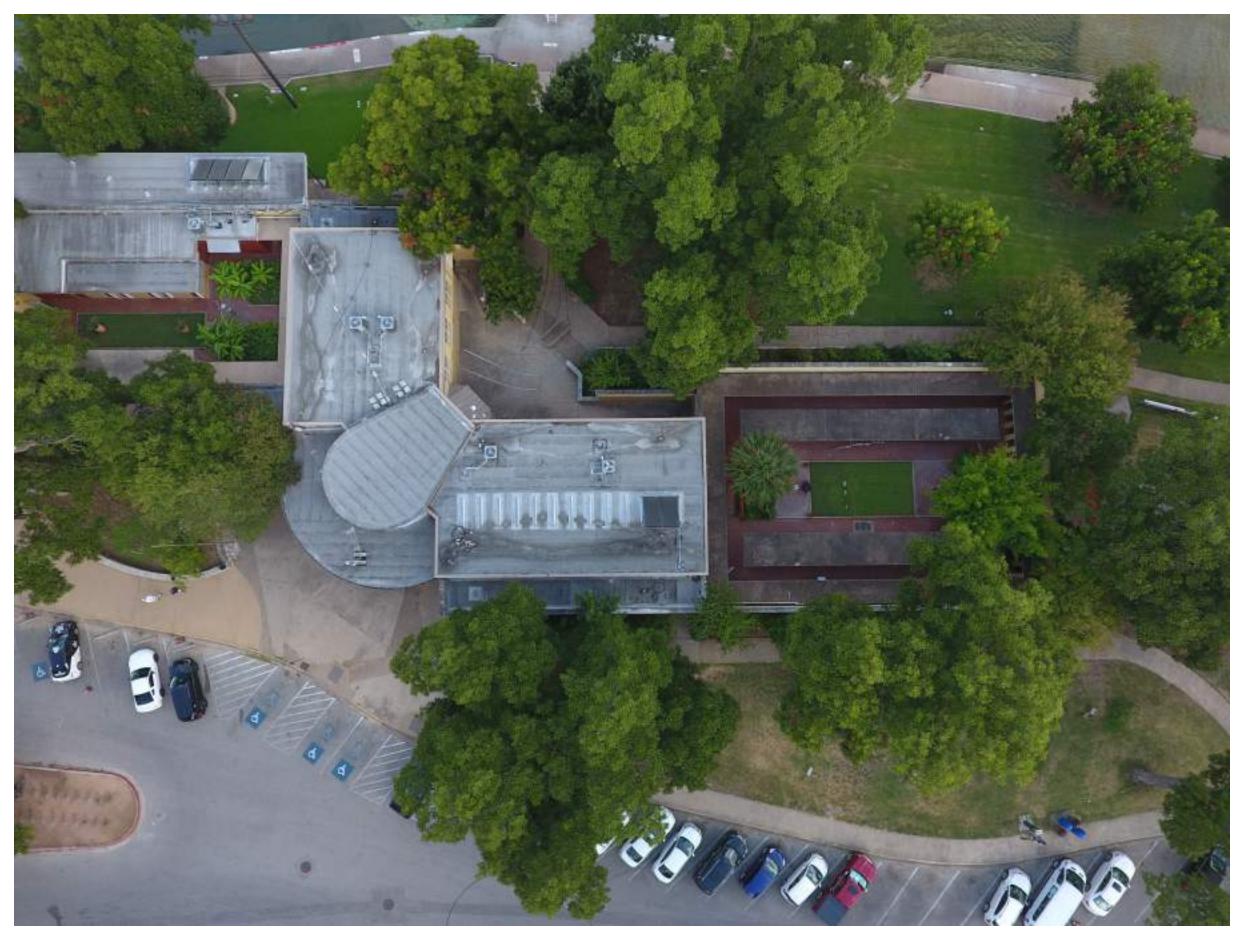
## EQUIPMENT LOUVER

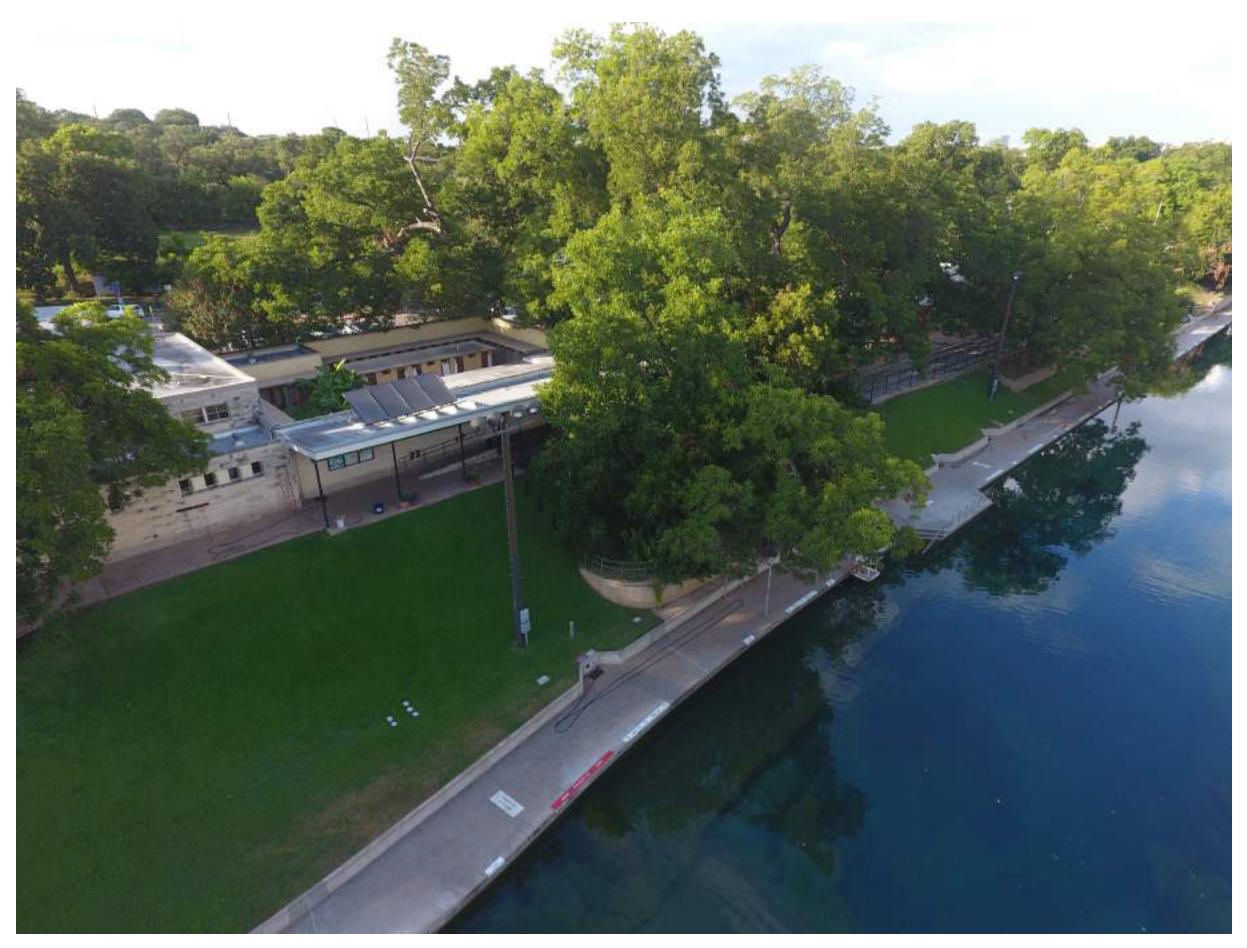
ARCHITECTURAL LOUVERS

266 West Mitchell Avenue Cincinnati, OH 45232 888.568.8371 www.archlouvers.com MODEL NO: V2KS 2" DEEP INVERTED K BLADE EXTRUDED ALUMINUM LOUVERED EQUIPMENT SCREEN

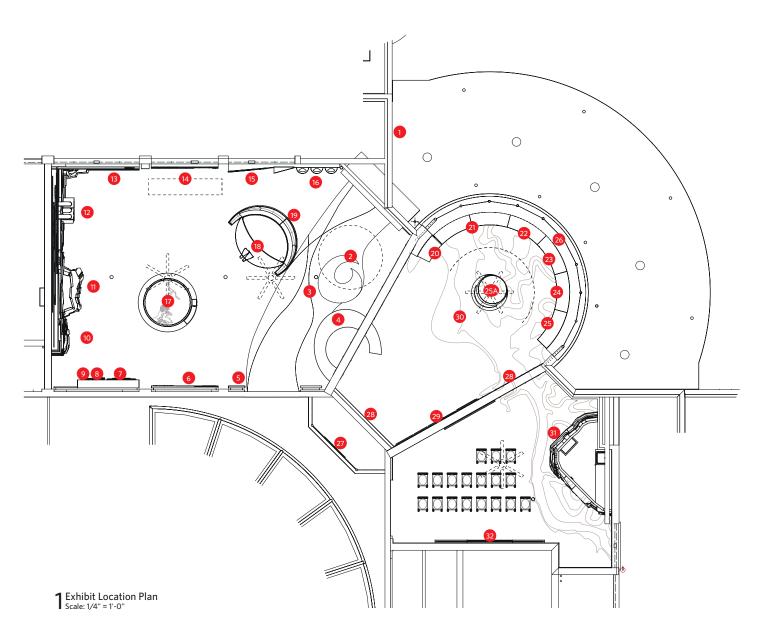
FINISH: CLEAR ANODIZE

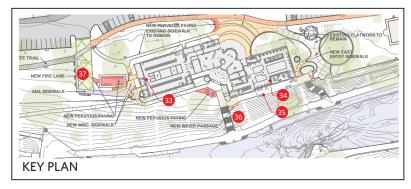
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HLC ARC COMMITTEE | February 8, 2023 35





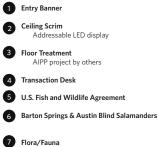
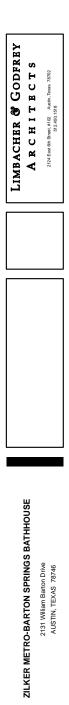


Exhibit includes text and graphic panels, & a large scale sculpted salamander.

8 Microorganisims and Invertebrates Organisims behind glass panels with a magnifying glass on a rail system to allow for closer inspection. With text and graphics

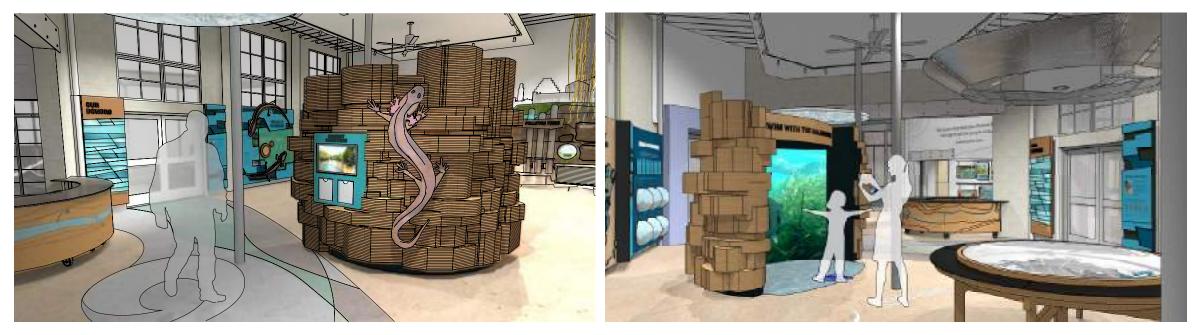
- 9 Bug Inspector Display Tactile bug station for kids to insert hands in.
- 10 Edwards Aquifer
- 1 Karst Wall Display with Cave Crawl and Aquarium Text/graphic panels and aquarium. Power needed for lighting, water circulation and filtration.
- Pollution Tubes Oversized plexi tubes to hold water with dye & display items. Power needed to 'agitate' the water and draw attention to the effects of pollution.
- 13 Water Quality Text and graphic panels
- Storm Events/Root Systems Text and graphic panels with overhead tactile display.
- Protection Lands Possible fiberoptic or projected features to highlight protected lands.
- 16 Stewardship Pledge With tactile interactive display element.
- 17 Watershed Model Projection-based interactive display.
- 18 Swim with the Salamanders A digitally interactive experience with motion sensors and digital projection. [1] Large scale sculpted salamander

19	Current Conditions + Pool Stats Monitor and pockets for paper inserts
20	Digital Scrapbook
21	Pre-history of Park and Local Area Integrated display case with text and graphic panels.
22	Early Historical Figures Development of Park Zilker and other key figures
23	Early Historical Figures Development of Park Zilker and other key figures
24	Building of Park and Bathhouse Art Moderne
25	Desegregation and Swim-ins / Activism and SOS Content Bertha Means, Sandra Kirk, video presentation
25A	Video Docent & Display Cases Living Springs Video with additional Activisim/SOS Content
26	Rotunda Window Graphics
27	Rotunda Window Graphics
28	Bulkhead Projection Surface
29	Changing Exhibits Community art program, etc.
30	Floor Graphics
31	Salamander Aquarium 28 gallon, Video Display
32	Curricula-based Display (Living Springs Group Orientation) 55" touchscreen display flanked by whiteboards
33	Men's Changing Room Graphic panels
34	Women's Changing Room Graphic panels
35	Spectators Gallery Flora Fauna and Major Storm Events
36	Flood Gauge
37	Human History and Impact, Archeology

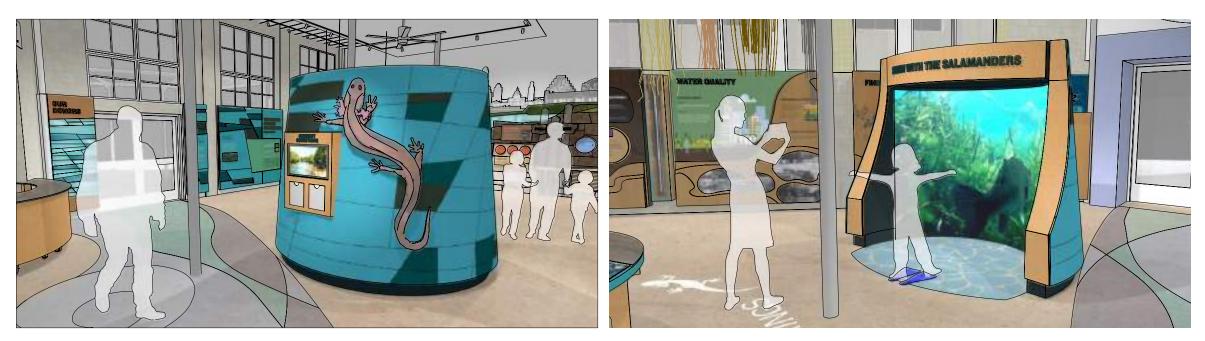






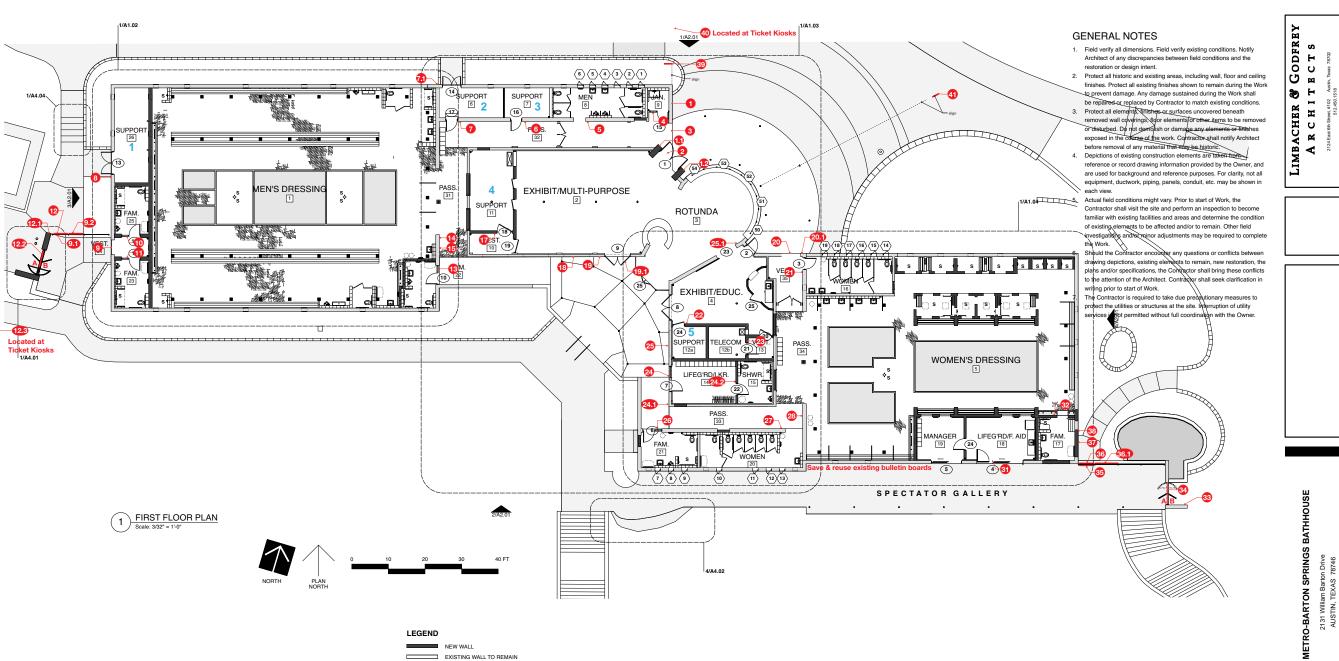


 $\label{eq:scales} 1_{\text{Scale: N/A}} \text{Swim with the Salamanders - Context Views}$ 



 $2^{\text{Swim}}_{\text{Scale: N/A}}$  with the Salamanders (Alternate) - Context Views

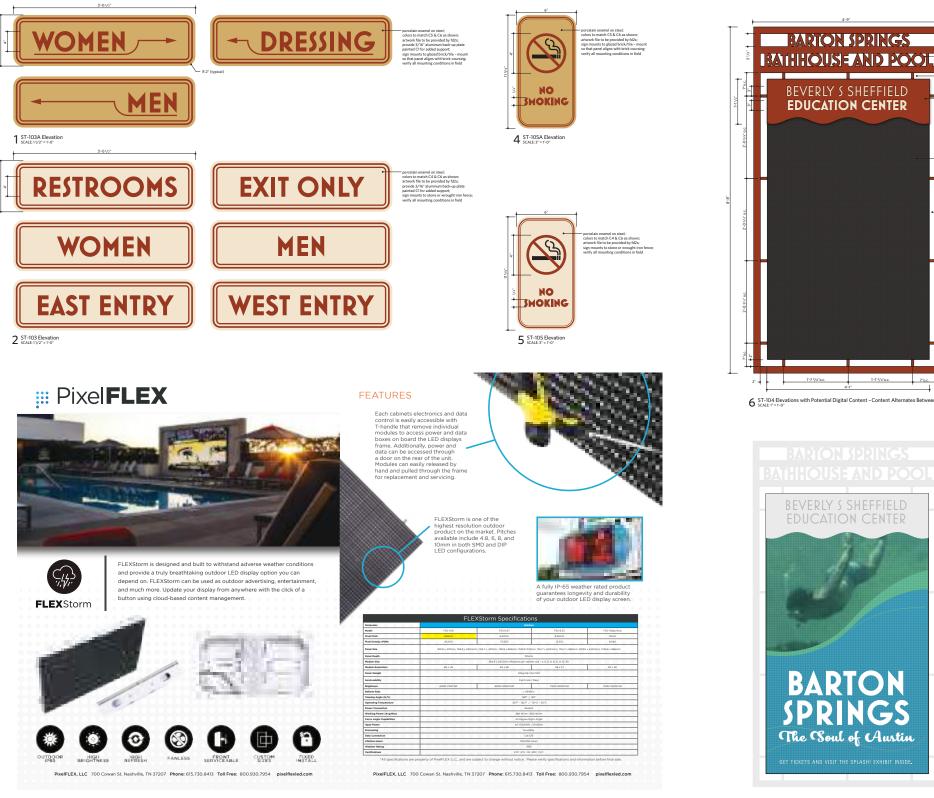
ZILKER METRO-BARTON SPRINGS BATHHOUSE 2131 William Barton Diive AUSTIN, TEXAS 78746
N



EXISTING WALL TO REMAIN



ZILKER



3 ST-104 Cut Sheet (basis of design) SCALE NONE

8 ST-104 Elevations with Potential Digital Content - Content Alternates Between Barton Springs and Splash! Exhibit Information ScALE 17= 17-07

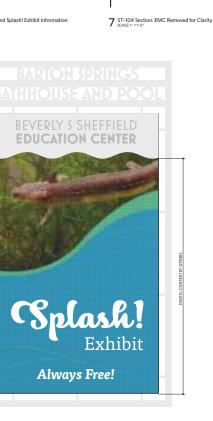
BARTON

SPRINGS The Soul of Austin

BARTON SPRINGS

BEVERLY 5 SHEFFIELD EDUCATION CENTER





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panel paints C6 with copy fills with paint mounts over EMC

rectangle frame and painted C6 with mount letters flush with face of fram

LIMBACHER & GODFREY А в с н і т в с т s

METRO-BARTON SPRINGS BATHHOUSE

ZILKER

0% Construction Document

DATE: SEPT. 01, 2022 REVISIONS:

ST-103, ST-104 & ST-105

WF23.0

2131 William Barton Drive AUSTIN, TEXAS 78746

t, #102 12 450 1



1 ST-103 Mounting at North Elevation SCALE: 1/4" = 1'-0"

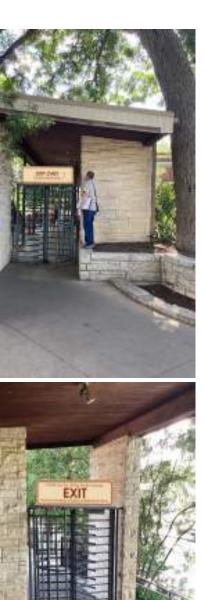


center on window and \_\_\_\_\_ align panel with brick coursing

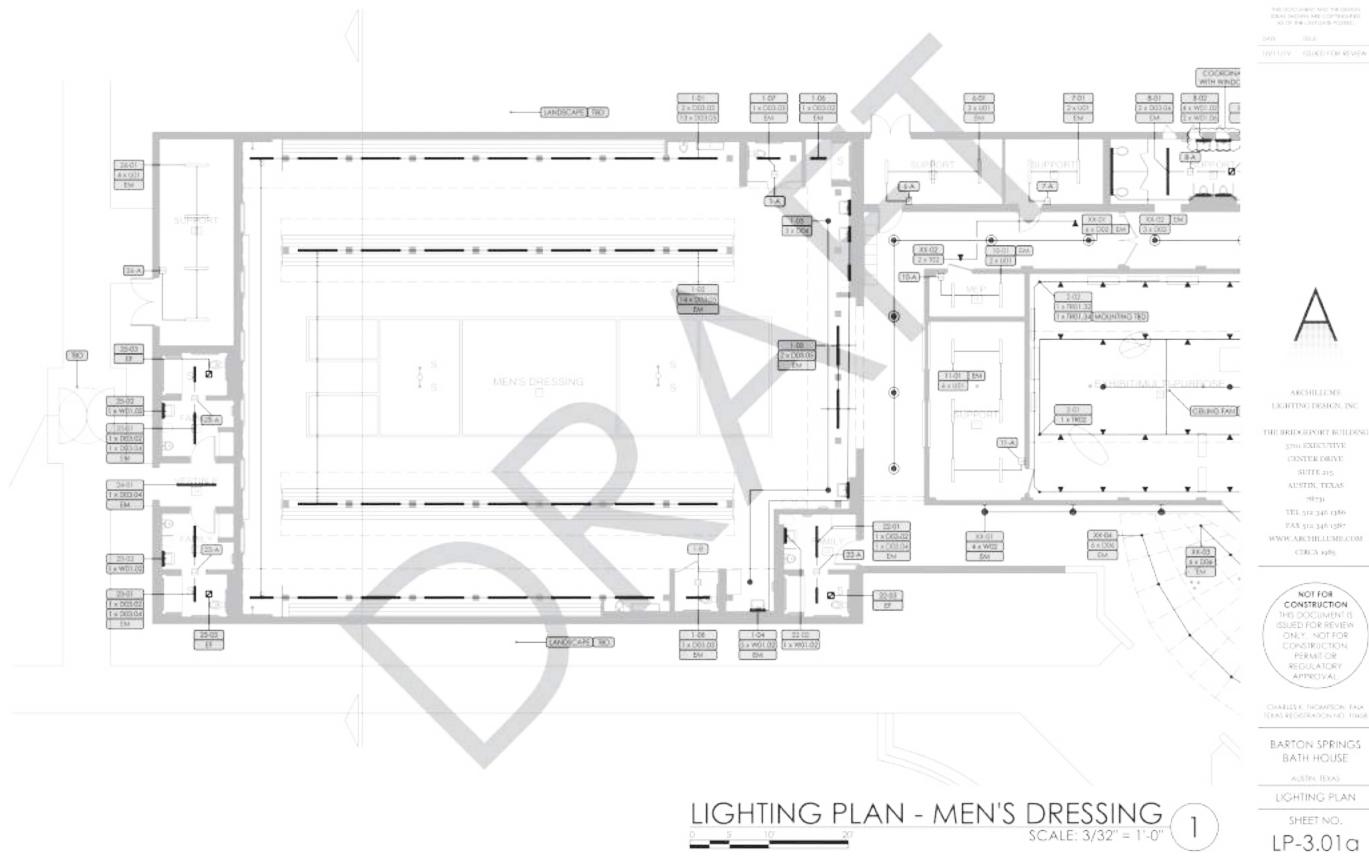


 $2_{\scriptscriptstyle SCALE:3/8^{=11\cdot0^{\circ}}}^{\scriptscriptstyle ST-104\,Mounting\,Elevation}$ 

3 Photomontages SCALE: NONE







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DAD		
	ISTUED FOR REVIEW	

ARCHILLUME LIGHTING DESIGN, INC.

LED

JOB:



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The **AQUAS 22** series by FORUM is a line of extruded aluminum rectilinear luminaires approved for wet location, allowing for design consistency throughout wet and dry locations. The 22 is a 2 " wide housing with a 2" aperture. Multiple mounting configurations are available including rigid stem, surface as well as wall mounted. **AQUAS 22** can be lamped with LED.

TYPE:

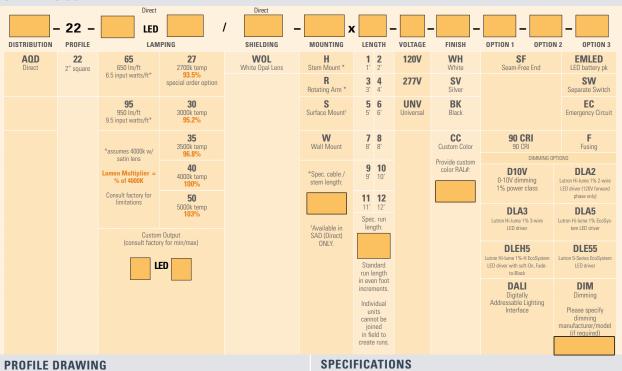


FIXTURE TYPE D03

Page 1 of 3

ORDERING CODE

T



LISTING All fixtures bare an AFL-CIO/IBEW union label and are UL listed for surface mounting and damp location rated. For alternative environmental certifications, please consult factory.

**DRIVER** 120V, 277V, and Universal Voltage available standard. Five year warranty. Please consult factory for special driver requirements.

**SHIELDING** White opal lenses are snap in.

**MOUNTING** The Alumina22 fixture can be mounted in various orientations including wall mount, cable mount, stem mount, and surface mount. Please see supplemental documentation for mounting details.

**HOUSING** Consists of a single solid 6063-T5 extruded alloy profile. Built in individual pieces up to 12 ft in length. Individual fixtures cannot be joined in field to form continuous runs. Fixtures longer than 12 ft must be ordered as continuous runs.

**GEARTRAY / REFLECTOR** Integrated geartray and reflector made from 18 GA cold rolled steel in a pre-paint white finish. Fully wired unit remains completely accessible from below via ballast panel.

**END FITTING** Applied end fitting is a standard .375" machined aluminum piece with concealed fasteners.

**LED SYSTEM** Forum utilizes a tunable LED system capable of supplying between 350-950 lumens per foot. To specify specific lumen output other than standard 950 or 650, drop the last digit of the per foot lumen output desired, i.e. 400Im/ft.= 40LED35

\* Forum reserves the right to change this information at any time. UPDATED 12/21/2018
† Dimensions provided as general information. Please see shop drawings for specific rough-in dimensional dimensionada dimensionada dimensioda dimensio

<u>\_fh\_fh</u>

- 2" —

2 <sup>3</sup>/<sub>16</sub>"

Forum, Inc. | 100 Chapel Harbor Dr. | Pittsburgh, Pennsylvania 15238 | T: (412) 781-5970 F: (412) 781-5971 | www.forumlighting.com
BARTON SPRINGS BATH HOUSE
09/18/2019



Thank You



