

ABBREVIATIONS

@	At	FLR	Floor	P.T.	Pressure Treated
@FF	At Finished Floor	FLUOR	Fluorescent	PTD	Painted
A/C	Air Conditioning	FO	Finished Opening	PTN	Partition
A-V	Audio-Visual	FOF	Face of Finish	PUE	Public Utility Easement
ACCOM	Accommodate	FOS	Face of Stud	PVC	Polyvinyl Chloride
ACCOUST	Acoustical	FP	Fire Proof	PVMT	Pavement
ACT	Acoustical Tile	FR	Fire Resistant	PWD	Plywood
ADA	Americans w/ Disabilities Act	FS	Full Size		
ADD'L	Additional	FT	Feet/Foot	QTR	Quarter
ADJ	Adjacent	FTG	Footing		
ADMIN	Administration	FURN	Furnished/Furniture	R/A	Return Air
AFF	Above Finished Floor	FURR	Furring	RAD	Radius
AHU	Authority Having Jurisdiction	FUT	Future	RAG	Return Air Grill
AHU	Air Handling Unit	FV	Field Verify	RAP	Remote Annunciator Panel
ALT	Alternative/Alternate	FXD	Fixed	RCP	Reflected Ceiling Plan
ALUM	Aluminum			RD	Roof Drain
ANOD	Anodized	GA	Gauge	REC	Recommendation
AP	Access Panel	GALV	Galvanized	REF/REF	Refer/Reference
APPROX	Approximate	GC	General Contractor	REFG	Refrigerator
ARCH	Architect	GFI	Ground Fault Interrupt	REFL	Reflected
ASPH	Asphalt	GL	Glass	REINF	Reinforcement
ASST	Assistant	GLZ	Glazing	REQ'D	Required
ASTM	American Society for Testing & Materials	GPM	Gallons Per Minute	REQM'TS	Requirements
AUTO	Automatic	GR	Grade	RES	Resilient
AV	Audio Visual Alarm	GRND	Ground	RESID	Residual
AVG	Average	GYP BD	Gypsum Wall Board	RET	Retaining
				REV	Revision
BB	Ball-Bearing	HB	Hose Bib	R.F.	Roofing Felt
BRD	Board	HC	Hollow Core or Handicap	RFG	Roofing
BIT	Bitumen	HCW	Hot & Cold Water	RHS	Right Hand Side
BLDG	Building	HD	Hot Dipped	RM	Room
BLK(G)	Blocking	HDR	Header	RO	Rough Opening
B.M.	Benchmark	HDR	Hardware	ROW	Right Of Way
BM(S)	Beam(s)	HM	Hollow Metal	RR	Restroom(s)
BOC	Back of Curb	HORIZ	Horizontal	RSP	Rosin-Sized Paper
BOC	Bottom of Structure	HP	High Point or Horse Power		
BTM	Bottom	HR	Hour	S	South
BRK	Brick	HT	Height	SALV	Salvaged
BRNZ	Bronze	HTG	Heating	SAU	Self-Adhering Underlayment
BSMT	Basement	HVAC	Heat/Ventilation/Air Condition	SC	Solid Core
BTWN	Between	HWD	Hardwood	SCL	Scale
BUR	Built-up Roofing	HWH	Hot Water Heater	SCH'D	Scheduled
				SD	Storm Drain
C	Conduit	ID	Inside Diameter	SECT	Section
CAB	Cabinet	I.E.	Id Est (That Is)	SF	Square Feet
C.B.	Catch Basin	IN	Inches	SH	Single Hung
CF	Cubic Feet	INAC	Inaccessible	SHT	Sheet
CG	Corner Guard	INCL	Including	SIM	Similar
CHAN	Channel	INFO	Information	SHTG	Sheathing, Sheeting
CI	Cast Iron	INSUL	Insulation	SK	Sink
CJ	Control Joint	INT	Interior	SL	Slope
CL	Center Line	INV	Invert	SM	Smooth
CLG	Ceiling	JAN	Janitor	SMACNA	Sheet Metal & Air Conditioning National Association, Inc.
CLOS	Clear	JNT	Joint	SOS	Similar Opposite Side
CLR	Clear	JST	Joist	SPECS	Specifications
CMU	Concrete Masonry Unit			SPEC'D	Specified
CO	Cased Opening	L	Length	SQ	Square
COL	Column	LAMIN	Laminated	SS	Stainless Steel
COM	Communication	LAV	Lavatory	STD	Standard
CONC	Concrete	LBS	Pounds	STIFF	Stiffener
CONN	Connection	LF	Linear Foot	STL	Steel
CONST	Construction	LH	Left Hand	STO	Storage
CONT	Continuous	LHS	Left Hand Side	STRUCT	Structural
CONTR	Contractor	LL	Live Load	SUSP	Suspended
COORD	Coordination or Coordinate	LP	Light Pole OR Lightning Protection	SW	Switch
CORR	Corridor	LT	Light	SYM	Symmetrical
CST	Cast Stone	LTWT	Light Weight		
CT	Ceramic Tile	LVR	Louver	T&G	Tongue & Groove
CTR(D)	Center(ed)	MAS	Masonry	TAS	Texas Accessibility Standards
CU	Copper	MATL	Material	T.C.	Top of Curb
CVR	Cover	MANUF	Manufacturer	TEL	Telephone
CW	Cold Water	MAX	Maximum	TEMP	Tempered, Temporary
		MBR	Member	THC	Texas Historical Commission
DBL	Double	MDF	Medium Density Fiber Board	THK	Thickness
DED	Dedicated	MECH	Mechanical	TJ	Tooled Joint
DEMO	Demolish, Demolition	MED	Medium	T.O.C.	Top of Concrete or Curb
DET	Detail	MFG.	Manufacturer(er)(ing)	T.O.S.	Top of Steel
DET	Detail	MIN	Minimum	TOT	Total
DIA	Diameter	MISC	Miscellaneous	T.O.W.	Top of Wall
DIAG	Diagonal(ly)	MIR	Mirror	TS	Tube Steel
DIF	Diffuser	MGR	Manager	T-STAT	Thermostat
DISC	Disconnect	MKR	Marker	TRANSF	Transformer
DISP	Dispenser	MOD	Masonry Opening	TRTD	Pressure-Treated
DIM	Dimension	MTD	Modified/Modify	TSL	Top of Slab
DIV	Division	MTL	Mounted	TYP.	Typical
DN	Down	N	North	UL	Underwriter's Laboratory
DP	Deep	NA	Not Applicable	U/S	Underside
DPM	Damp-proof Membrane	NAC	Not Accessible	UNFIN.	Unfinished
DR	Door	NIC	Not In Contract	UNO	Unless Noted Otherwise
DS	Downspout	NO	Number	UP	Utility Pole
DW	Drywall	NOM	Nominal	UR	Urnal
DWG	Drawing	NTS	Not to Scale	VB	Vapor Barrier
DWLS	Dowels	OC	On Center	VCT	Vinyl Composition Tile
DWR	Drawer	OCEW	On Center Each Way	VEN	Veneer
		OD	Overflow Drain/Outside Diameter	VERT	Vertical
E	East	OH	Opposite Hand	VEST	Vestibule
EA	Each	OPG	Opening	VIF	Verify in Field
EJ	Expansion Joint	OPP	Opposite	VIFY	Verify
ELECT	Electrical	OSB	Oriented Strand Board	VOL	Volume
ELEV	Elevation	OVHD	Overhead		
EMER	Emergency	OZ	Ounce	W	Width, Wide, West
EML	Expanded Metal Lath	P & I	Provide and Install	WI	With
EQ	Equal Spacing, Equivalent to	PC	Photo Cell	WO	Without
EQUIP	Equipment	PG	Page	WC	Water Closet
EXH	Exhaust	PK	Parking	WD	Wood
EXP	Expansion	PL	Plate or Plateline	WDW	Window
EXP. BT.	Expansion Bolt	PLAST	Plaster	WG	Wire Glass
EXST'G	Existing	PLUM	Plumbing	WH	Water Heater
EXT	Exterior	PLUM	Plumbing	WM	Water Meter
EWC	Electric Water Cooler	P.LAM	Plastic Laminat	WP	Waterproof(ing)
		PM	Project Manual	WT	Weight
FACP	Fire Alarm Control Panel	PNL	Panel	WWM	Welded Wire Mesh
FB	Face Brick	PO	Plaster Opening	WWF	Welded Wire Fabric
FD	Face Drain	PP	Power Pole		
FDN	Foundation	PR	Prefabricated	YD	Yards
FE	Fire Extinguisher	PSF	Pounds per Square Foot	#	Pounds
FF(E)	Finished Floor (Elevation)	PSI	Pounds per Square Inch		
FH	Fire Hydrant				
FHC	Fire Hose Cabinet				
FIN	Finish(ed)				
FIXT	Fixture				
FL	Flow Line				
FLG	Flashing				

GENERAL NOTES

CODE COMPLIANCE: ALL WORK PERFORMED SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL CODES, ORDINANCES, AND LAWS, INCLUDING, AS A MINIMUM STANDARD, THE 2021 INTERNATIONAL RESIDENTIAL CODE.

PERMITTING: CONTRACTOR SHALL APPLY FOR AND FUND ALL APPLICABLE PERMITS AND COORDINATE ALL INSPECTIONS WITH THE CITY OF AUSTIN AS REQUIRED.

COORDINATION: CONTRACTOR SHALL COORDINATE WORK BETWEEN ALL TRADES IN THIS CONTRACT. ANY CONFLICTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE WORK BEING INSTALLED. FAILURE TO DO SO WILL MAKE THE CONTRACTOR RESPONSIBLE FOR THE COST TO CORRECT THE WORK.

BID DOCUMENTS: THE INFORMATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS (DRAWINGS) IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH ALL OF THE CONTRACT DOCUMENTS AND WITH ALL OF THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC. INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.

FAMILIARITY WITH CONDITIONS: THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED WORK AND FULLY ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS RELATING TO CONSTRUCTION AND LABOR, AND SHALL FULLY INFORM HIMSELF AS TO THE FACILITIES INVOLVED, THE DIFFICULTIES, RESTRICTIONS, AND LOGICAL EXTENSIONS OF SCOPE ATTENDING THE PERFORMANCE OF THE CONTRACT. THE CONTRACTOR SHALL THOROUGHLY EXAMINE AND FAMILIARIZE HIMSELF WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR BY THE EXECUTION OF THE CONTRACT SHALL IN NO WAY BE RELIEVED OF ANY OBLIGATION UNDER THE CONTRACT BECAUSE OF HIS FAILURE TO RECEIVE OR EXAMINE ANY FORM OR LEGAL DOCUMENT OR TO VISIT THE SITE AND INFORM HIMSELF THOROUGHLY REGARDING ANY AND ALL CONDITIONS AND REQUIREMENTS THAT MAY IN ANY MANNER AFFECT THE WORK TO BE PERFORMED UNDER THE CONTRACT. LACK OF KNOWLEDGE ON THE PART OF THE CONTRACTOR WILL IN NO WAY RELIEVE HIM OF THE OBLIGATIONS AND RESPONSIBILITIES ASSUMED UNDER THE CONTRACT.

WORK IN HISTORICAL BUILDINGS AND SITES: HISTORICAL DESIGNATION OF BUILDINGS ON SITE REQUIRES CONTRACTOR TO EXERCISE SPECIAL CAUTION IN EXECUTING ALL STAGES OF WORK TO PREVENT UNNECESSARY DAMAGE TO HISTORICAL FEATURES, CONDITIONS, OR MATERIALS. CONTRACTOR TO APPRISE ALL SUB-CONTRACTORS AND WORKMEN OF SPECIAL PRECAUTIONS REQUIRED WHEN WORKING WITH HISTORIC BUILDINGS. CONTRACTOR TO MONITOR THE WORK OF ALL TRADES TO PREVENT UNNECESSARY OR OTHERWISE AVOIDABLE DAMAGE TO HISTORICAL FEATURES, CONDITIONS, OR MATERIALS. CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT AND OWNER AS CONCEALED HISTORICAL CONDITIONS ARE UNCOVERED DURING THE COURSE OF THE WORK AND SHALL ALLOW AND FACILITATE THE DOCUMENTATION OF THOSE CONDITIONS.

IF, DURING THE COURSE OF EXCAVATION, ARTIFACTS ARE DISCOVERED BELOW GRADE, STOP WORK IN THE AREA AND IMMEDIATELY CONTACT THE OWNER AND THE ARCHITECT TO COORDINATE ARCHEOLOGICAL DOCUMENTATION.

VERIFICATION OF DIMENSIONS: CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, BUILDING ELEVATIONS, AND CONDITIONS BOTH EXISTING AND NEW. REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT BEFORE BEGINNING ANY PHASE OF WORK. DO NOT SCALE DRAWINGS. ALL NEW PARTITIONS SHALL BE MARKED ON THE EXISTING FLOOR SURFACE FOR REVIEW BY THE ARCHITECT PRIOR TO WALL CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ALL ACCURATE FIELD DIMENSIONS AND MEASUREMENTS INCLUDING SLOPE.

PROTECTION OF BUILDING AND SITE: CONTRACTOR SHALL PROTECT ALL SURFACES NOT SCHEDULED FOR WORK UNDER THIS CONTRACT. ANY DAMAGE TO THE EXISTING STRUCTURE AND SITE THAT OCCURS FOLLOWING THE NOTICE TO PROCEED SHALL BE CORRECTED TO PRE-CONSTRUCTION CONDITION AT NO EXPENSE TO THE OWNER. CONTRACTOR SHALL KEEP THE BUILDING SECURE AND WEATHER-TIGHT AT ALL TIMES. ALL NEW PENETRATIONS SHALL BE MARKED ON THE EXISTING SURFACES FOR REVIEW BY THE ARCHITECT PRIOR TO THEIR DEMOLITION.

INTERIOR CLIMATE CONTROLS: INTERIOR FINISH WORK SHALL NOT PROCEED UNTIL INTERIOR IS CLIMATE CONTROLLED. INTERIOR TEMPERATURE AND HUMIDITY CONTROLS SHALL BE STABLE FOR A MINIMUM OF 24 HOURS PRIOR TO COMMENCEMENT OF FINISH WORK AS REQUIRED IN APPLICABLE DIVISION 9 SECTIONS, AND REMAIN STABLE THROUGH PROJECT COMPLETION. TEMPORARY HEAT SHALL BE PROVIDED AS NEEDED TO PREVENT CONDENSATION ON THE WALLS AND CEILINGS THROUGHOUT THE COURSE OF THE WORK.

HAZARDOUS MATERIALS ABATEMENT/MANAGEMENT: THE ARCHITECT HAS NO RESPONSIBILITY OR LIABILITY FOR DESIGN, REMOVAL OF, OR TESTING FOR HAZARDOUS MATERIALS. CONTRACTOR SHALL FOLLOW ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS REGARDING THE PROPER AND SAFE MANAGEMENT, REMOVAL AND DISPOSAL OF LEAD-CONTAINING PAINTS AND WASTE MATERIALS GENERATED BY FINISH REMOVAL.

BUILDING MAINTENANCE: MAINTAIN AREAS FREE OF WASTE MATERIALS, DEBRIS, AND RUBBISH. MAINTAIN SITE IN A CLEAN AND ORDERLY CONDITION. AREAS USED AS PATHWAYS TO TRANSPORT MATERIALS OR TO REMOVE TRASH THAT ARE NOT DIRECTLY UNDER CONSTRUCTION ARE TO BE KEPT CLEAN. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, DUSTING, SWEEPING, AND MOPPING.

WARRANTY: ALL WORK SHALL BE WARRANTED BY THE GENERAL CONTRACTOR. REFER TO THE GENERAL CONDITIONS OF THE CONTRACT AND INDIVIDUAL SECTIONS OF DIVISIONS 2 THROUGH 26 FOR SPECIFIC WARRANTY DETAILS.

FIRE PROTECTION: NO SMOKING SHALL BE PERMITTED ON SITE. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY FIRE EXTINGUISHERS AT EACH FLOOR OF THE BUILDING UNTIL SUBSTANTIAL COMPLETION.

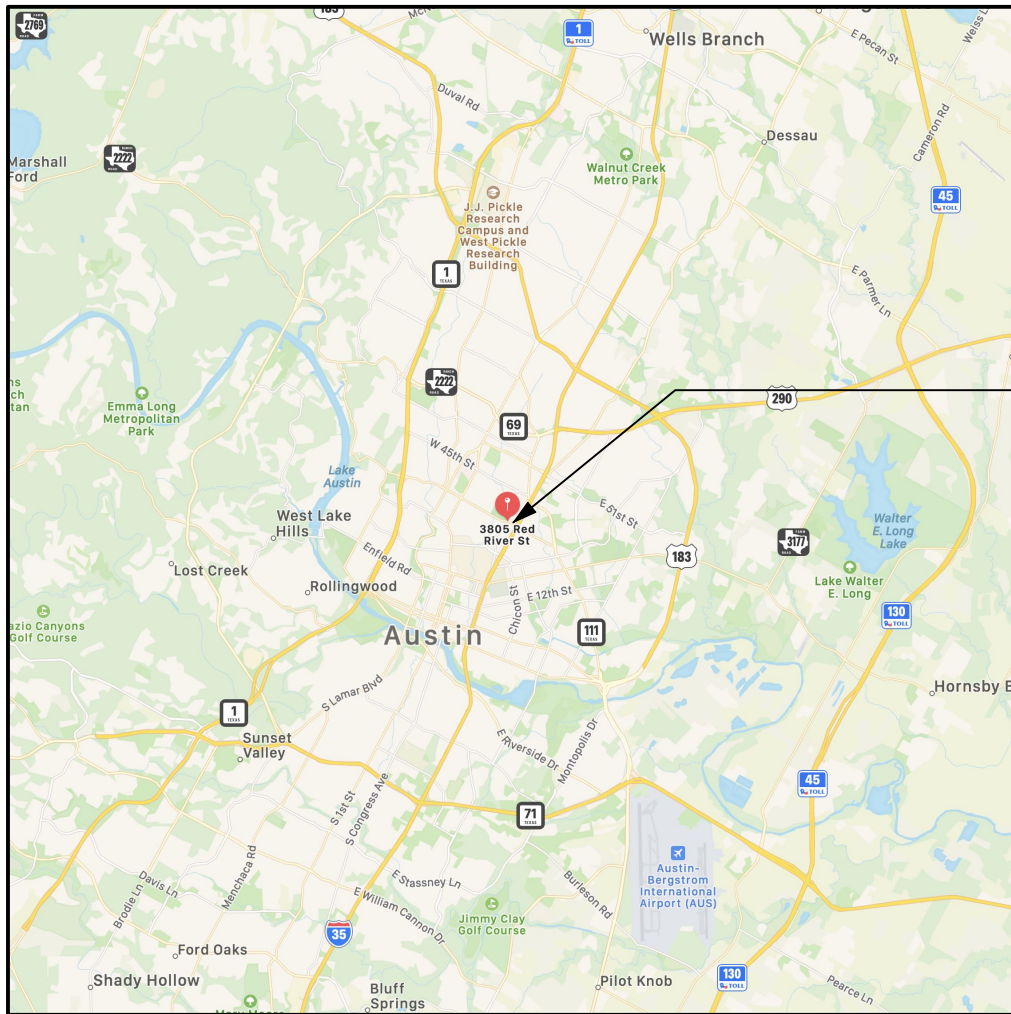
ACCESSIBILITY: WHERE INDICATED, NEW SIDEWALKS, STEPS, RAMPS, RESTROOMS, ETC. ARE TO COMPLY FULLY WITH THE TEXAS ACCESSIBILITY STANDARDS AND THE AMERICANS WITH DISABILITIES ACT.

TEMPORARY FACILITIES: COORDINATE LOCATION AND PLACEMENT OF CONSTRUCTION FENCE, FIELD OFFICE, MATERIAL STORAGE, PORTABLE TOILET, DUMPSTER, ETC. WITH ARCHITECT AND OWNER PRIOR TO CONSTRUCTION. REFER TO SECTION 015000 - TEMPORARY FACILITIES.

SAFETY: PERFORM ALL WORK IN A SAFE AND CONSCIENTIOUS MANNER TO PREVENT INJURIES AND DAMAGE TO THE BUILDING, ITS CONTENTS, OR ITS SURROUNDINGS. CONTRACTOR SHALL MAINTAIN OSHA STANDARDS FOR JOB SAFETY AND WORKER PROTECTION AND COMPLY WITH ALL REQUIREMENTS OF THE HEALTH AND SAFETY CODE OF TEXAS, CHAPTER 756, SUBCHAPTER C FOR ADEQUATE TRENCH PROTECTION, BARRICADES, SIGNS, ETC.

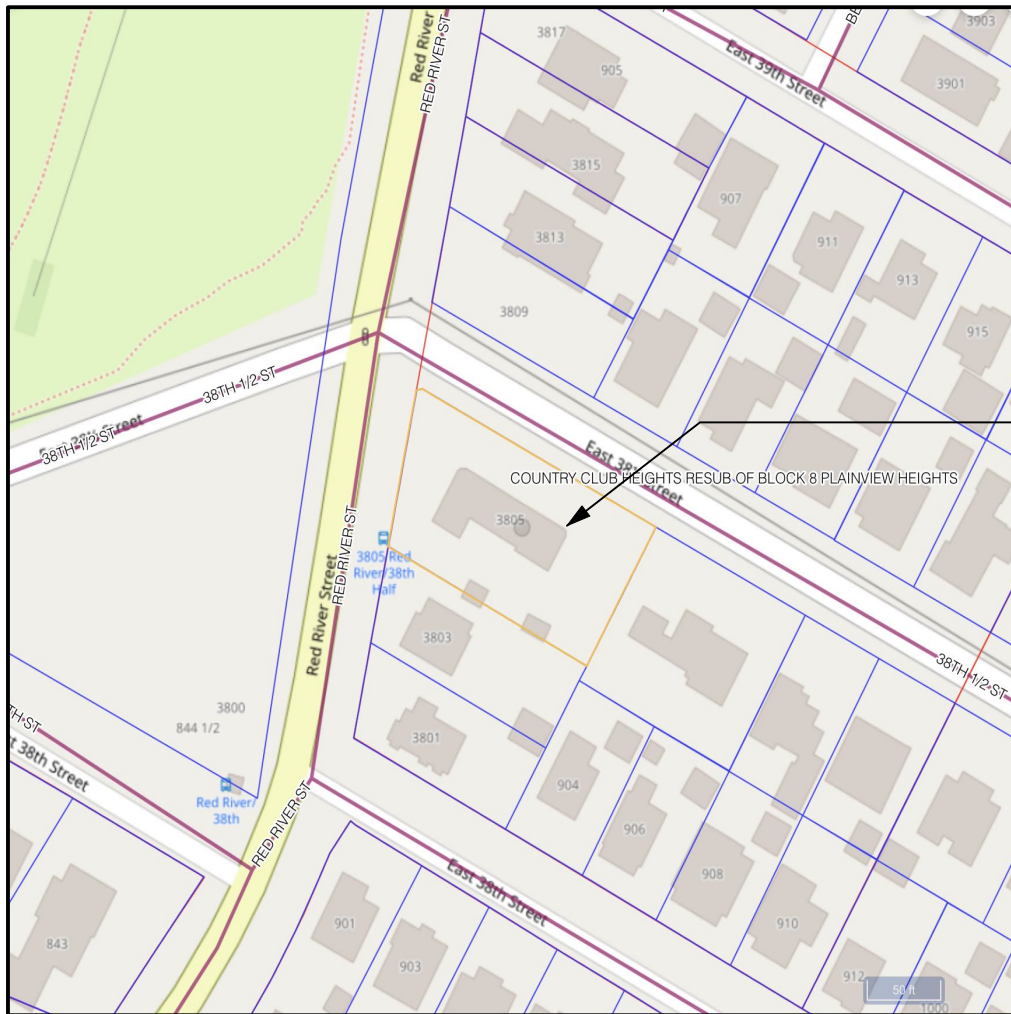
STORAGE: ESTABLISH A SECURE STORAGE AREA FOR ALL ITEMS MARKED "REMOVE FOR REINSTALLATION" OR "REMOVE AND SALVAGE". STORAGE IS TO BE A PROTECTED, SECURE, WEATHERPROOF LOCATION TO PREVENT DAMAGE TO MATERIALS. COORD W/ OWNER.

REGIONAL MAP



SUBJECT PROPERTY

SITE MAP



SUBJECT PROPERTY

SHEET LIST

- ARCHITECTURAL:**
- A-000 COVER SHEET
 - A-001 SPECIFICATIONS (NOT INCLUDED)
 - A-002 SPECIFICATIONS (NOT INCLUDED)
 - A-101 SITE PLAN & DETAILS
 - A-121 FIRST FLOOR PLAN
 - A-122 SECOND FLOOR PLAN
 - A-123 UPPER ROOF PLAN
 - A-131 FIRST FLOOR REFLECTED CLG PLAN
 - A-132 SECOND FLOOR REFLECTED CLG PLAN
 - A-300 EAVE SECTIONS & DETAILS
 - A-400 ENLARGED PLANS & ELEVATIONS
 - A-401 GARAGE PARAPET PLAN, ELEVATIONS & DETAILS

- STRUCTURAL:**
- S-1 STRUCTURAL NOTES (NOT INCLUDED)
 - S-2 SECOND FLOOR FRAMING PLAN
 - S-3 SECOND ROOF FRAMING PLAN

CODES / BUILDING DATA

TDLR PROJECT REGISTRATION # TO BE DETERMINED

LEGAL DESCRIPTION:
LOT #3, BLOCK 4, OLT 20-21 DIV C LOT 4 LESS N 5 SQ. FT., COUNTRY CLUB HEIGHTS IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS

DESCRIPTION OF WORK:

- RESTORATION OF HISTORIC MAIN BUILDING AND GARAGE EAVES
- NEW RESTROOM IN GARAGE SPACE.
- REPLACEMENT OF GARAGE ROOF.
- NEW GARAGE DOOR

YEAR BUILT:
1947 - MAIN BUILDING AND GARAGE

HISTORIC DESIGNATIONS:
NATIONAL REGISTER OF HISTORIC PLACES
RECORDED TEXAS HISTORIC LANDMARK (RTHL)
CITY OF AUSTIN LANDMARK

CODES AND OR STANDARDS:
BUILDING: 2021 INTERNATIONAL RESIDENTIAL CODE
CHAPTER 25-12, TECHNICAL CODES (LOCAL AMENDMENTS)
CHAPTER 25-2, LAND DEVELOPMENT CODE

OWNER CONTACT

PRESERVATION AUSTIN
P.O. BOX 2113
AUSTIN, TX 78768
CONTACT: LINDSEY DERRINGTON
PHONE: 512.474.5198
EMAIL: lindsey@preservationaustin.org

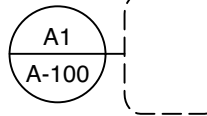
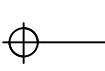
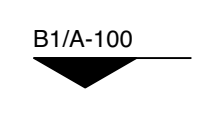
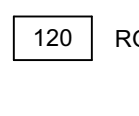
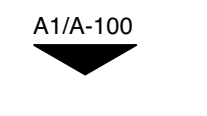
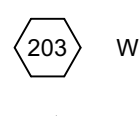
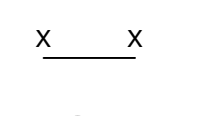
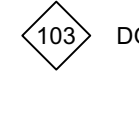
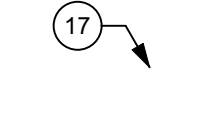
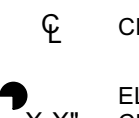

CONTRACTOR

T.B.D.

PERMITTING SERVICE

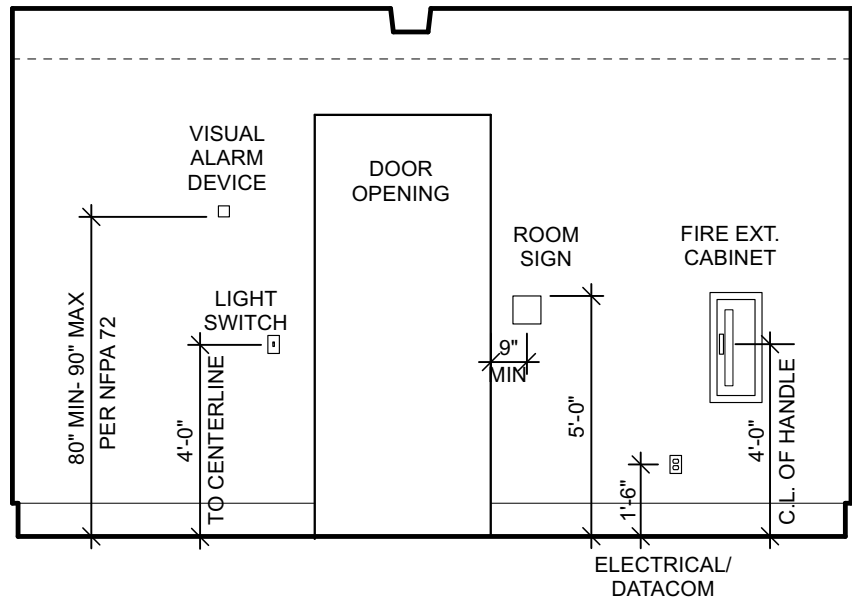
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SYMBOLS

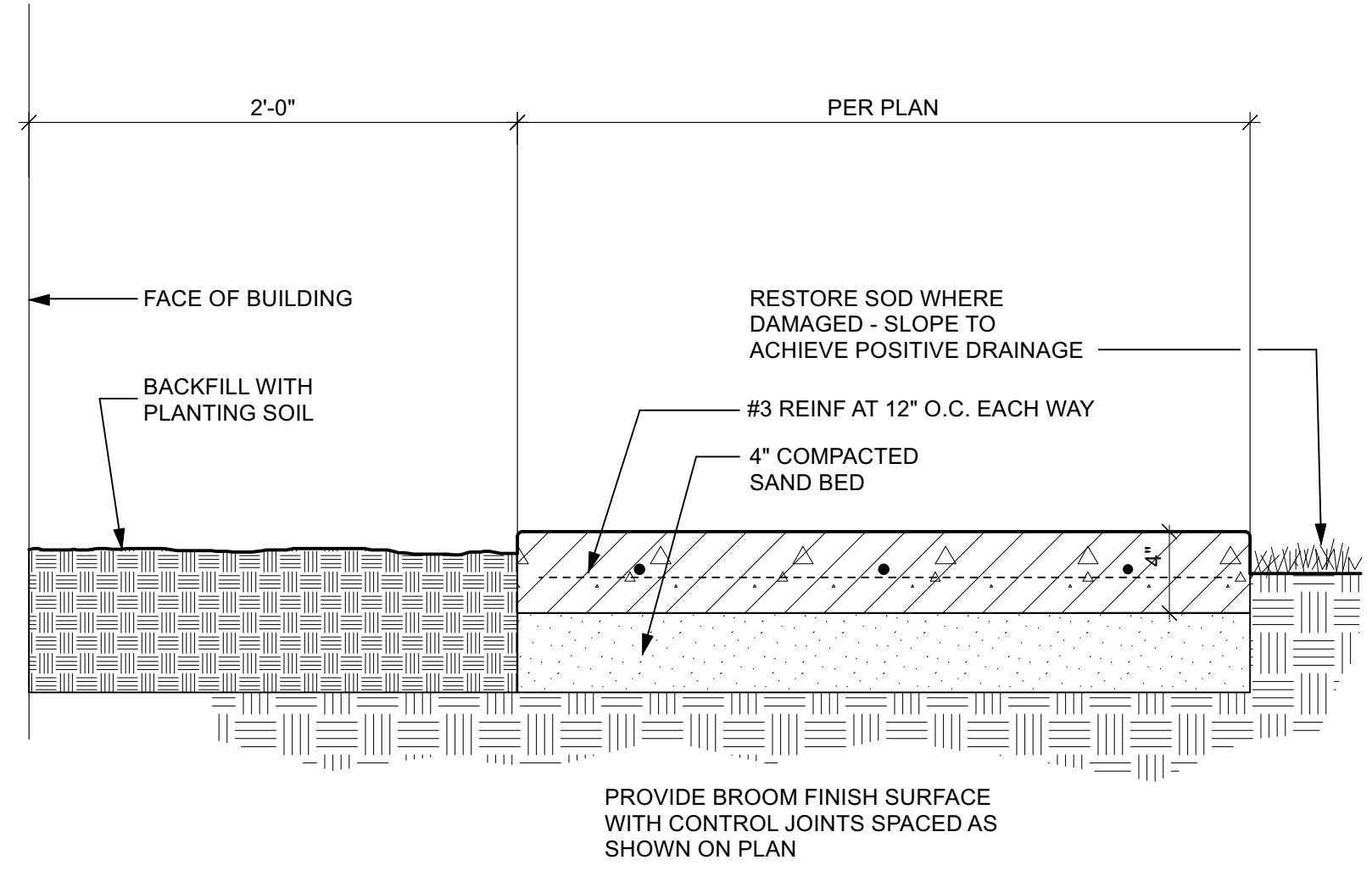
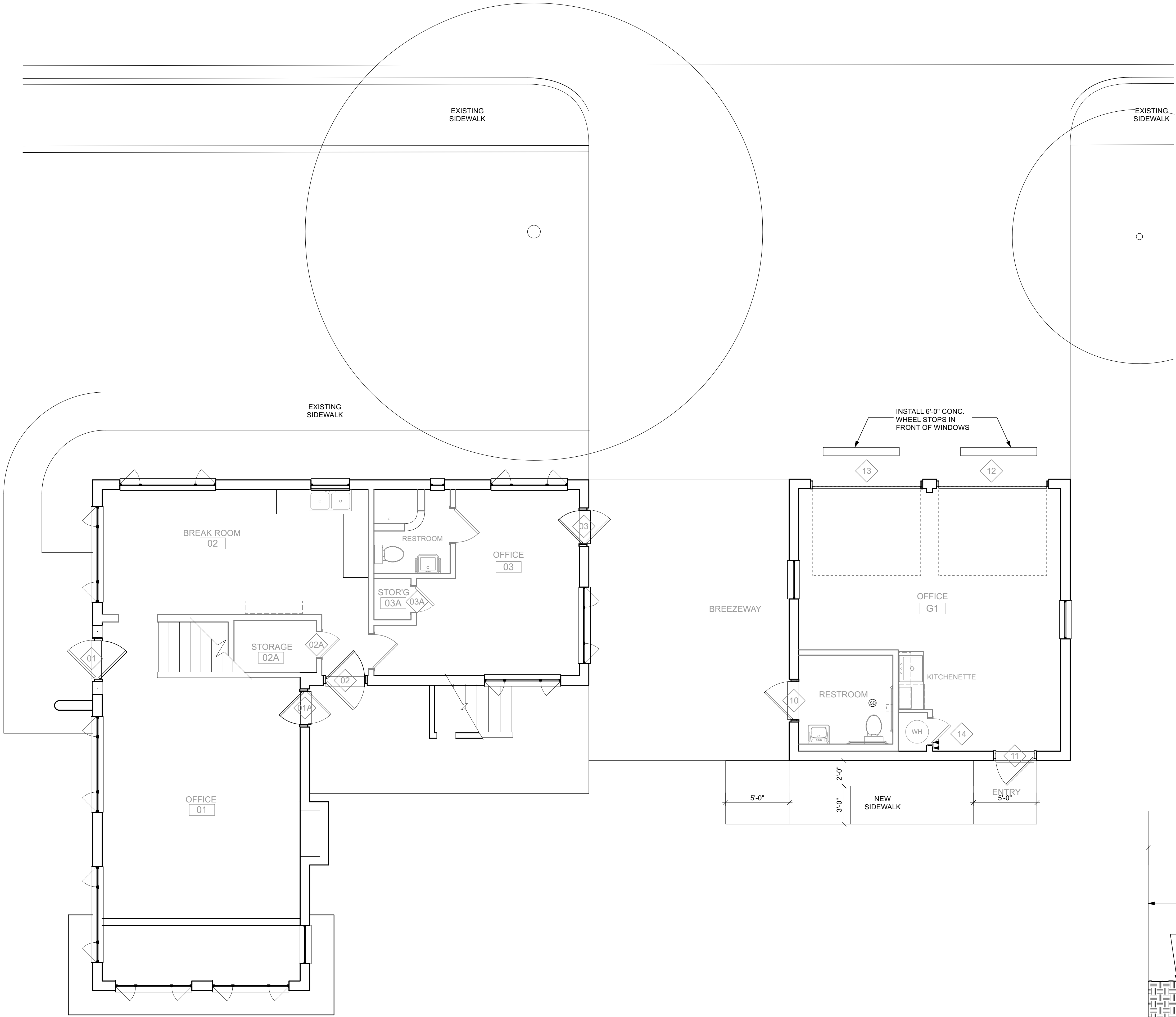
BRICK MASONRY	PLYWOOD		DETAIL REFERENCE		ELEVATION MARKER
BATT INSULATION	CONCRETE BLOCK MASONRY		DETAIL SECTION		ROOM NUMBER
CONCRETE	PLASTER OR STUCCO		DETAIL ELEVATION		WINDOW NUMBER
FRAMING WOOD	STEEL		WALL TYPE		DOOR NUMBER
BLOCKING	STONE		KEYED NOTES		CENTER LINE
FINISHED WOOD	NEW WOOD OR METAL STUD PARTITION OR SHAFT WALL				ELEVATION CHANGE @ STEP
EARTH					

REFERENCES

TYPICAL MOUNTING HEIGHTS

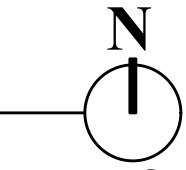


PROJECT NO:
DATE: 01/12/2023
REV:
SHEET NAME:
COVER SHEET
SHEET NO:



1 SITE PLAN
SCALE: 1/4" = 1'-0"

2 SIDEWALK DETAIL
SCALE: 1 1/2" = 1'-0"



PLAN GENERAL NOTES

- NOTES APPLY TO ALL SPACES

- A. REFER TO SPECIFICATIONS FOR DETAILED REQUIREMENTS RELATED TO ALL SCOPES OF WORK. KEY NOTES SUMMARIZE SCOPE THAT IS DEFINED WITHIN THE SPECIFICATIONS.
- B. PROTECT ALL SURFACES NOT SCHD FOR WORK UNDER THIS CONTRACT. DAMAGE TO EXSTG FINISH SURFACES TO REMAIN BY THE CONTRACTOR OR SUBCONTRACTORS SHALL BE CORRECTED AT NO EXPENSE TO THE OWNER.
- C. MARK ALL CUTS IN EXIST'G BUILDINGS REQ'D FOR NEW UTILITY AND SYSTEMS INSTALLATIONS AND ALLOW REVIEW BY OWNER AND ARCHITECT BEFORE PROCEEDING.
- D. REPAIR ALL HOLES IN WALLS & CEILINGS. MATCH ADJACENT FINISHES IN PREPARATION TO RECEIVE NEW FINISHES UNLESS NOTED OTHERWISE.
- E. CONCEAL ALL NEW ELEC. CONDUIT & LOW VOLTAGE WIRING IN WALLS THROUGHOUT UNLESS OTHERWISE NOTED. WHERE EXPOSED, PAINT TO MATCH ADJACENT WALL OR CEILING COLOR.
- F. REFER TO STRUCTURAL SHEETS FOR MAIN BUILDING EAVE AND GARAGE PARAPET RESTORATION.
- G. IN ORDER TO PROVIDE AN ACCESSIBLE ROUTE, SCREEN DOOR(S) SHALL BE REMOVED WHERE INDICATED ON THE PLAN & RETURNED TO OWNER. PATCH HINGE LOCATIONS WITH A DUTCHMAN REPAIR.

PLAN KEYNOTES

- R01** REPAIR GYP. BD. WALL TO MATCH ADJACENT FINISHES - REF. INTERIOR ELEVATIONS

R02 REMOVE EXISTING DOOR & FRAME. CUT MASONRY OPENING TO ACCEPT NEW, WIDER DOOR - INSTALL NEW LINTERL PER STRUCT. - REPAIR CMU MASONRY AND STUCCO AT PERIMETER

R03 REMOVE ALL EXISTING ROOFING AND UNDERLAYMENT. THOROUGHLY CLEAN & PREP FOR NEW INSULATION & PVC ROOF - REPAIR DAMAGED WOOD UNDER ALLOWANCE

R04 PROVIDE & INSTALL NEW THROUGH WALL SCUPPER - REF. DETAILS ON THIS SHEET

R05 WINDOW REPAIRS T.B.D.

R06 SHORE AND RAISE EXIST'G BEAM TO LEVEL - INSTALL NEW STEEL COL. PER STRUCT. - PAINT COL. AND BASE PLATE PER SPECS
- R07** REMOVE EXISTING PLASTER AND LATH AT CEILING AND BEAM - INSTALL NEW 5/8" GYP. BD.

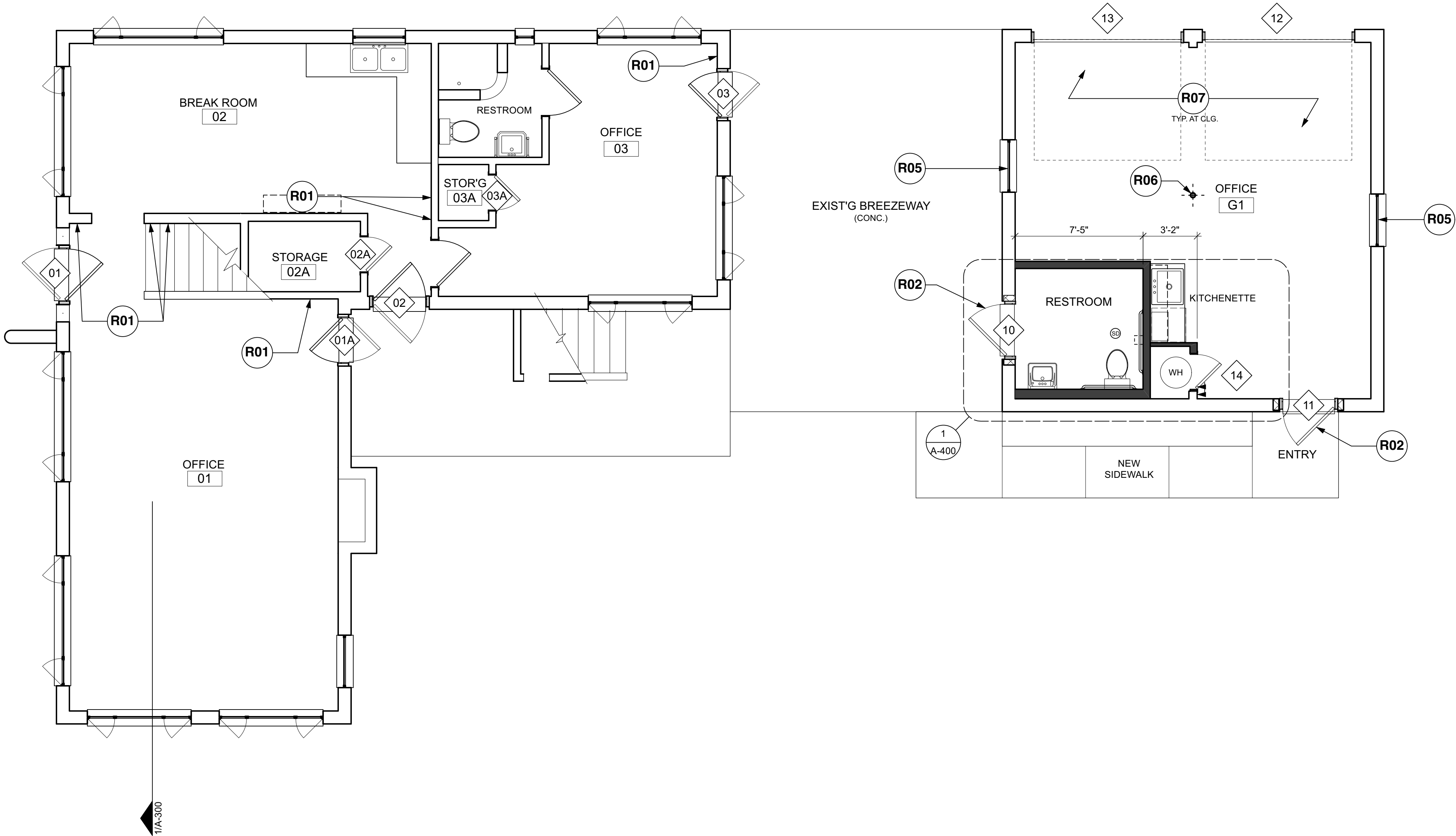
R08 T.B.D.

R09 T.B.D.

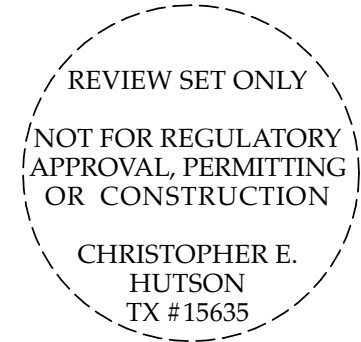
R10 T.B.D.

R11 T.B.D.

R12 T.B.D.



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



Hutson | Gallagher
1206 Quail Park Drive
Austin, Texas 78758
Phone: (512) 960-0013
www.HutsonGallagher.com

MCFARLAND HOUSE
INTERIOR AND EXTERIOR RESTORATION
3805 Red River Street • Austin, Texas

PROJECT NO:
DATE: 01/12/2023
REV:
SHEET NAME:
FIRST FLOOR PLAN
SHEET NO:

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- E. CONCEAL ALL NEW ELEC. CONDUIT & LOW VOLTAGE WIRING IN WALLS THROUGHOUT UNLESS OTHERWISE NOTED. WHERE EXPOSED, PAINT TO MATCH ADJACENT WALL OR CEILING COLOR.
- F. REFER TO STRUCTURAL SHEETS FOR MAIN BUILDING EAVE AND GARAGE PARAPET RESTORATION.
- G. IN ORDER TO PROVIDE AN ACCESSIBLE ROUTE, SCREEN DOOR(S) SHALL BE REMOVED WHERE INDICATED ON THE PLAN & RETURNED TO OWNER. PATCH HINGE LOCATIONS WITH A DUTCHMAN REPAIR.

PLAN KEYNOTES

- R01

REPAIR GYP. BD. WALL TO MATCH ADJACENT FINISHES - REF. INTERIOR ELEVATIONS

R07

T.B.D.
- R02

REMOVE EXISTING DOOR & FRAME. CUT MASONRY OPENING TO ACCEPT NEW, WIDER DOOR - SEE STRUCT. DWGS. FOR HEADER REINFORCEMENT

R08

T.B.D.
- R03

T.B.D.

R09

T.B.D.
- R04

T.B.D.

R10

T.B.D.
- R05

T.B.D.

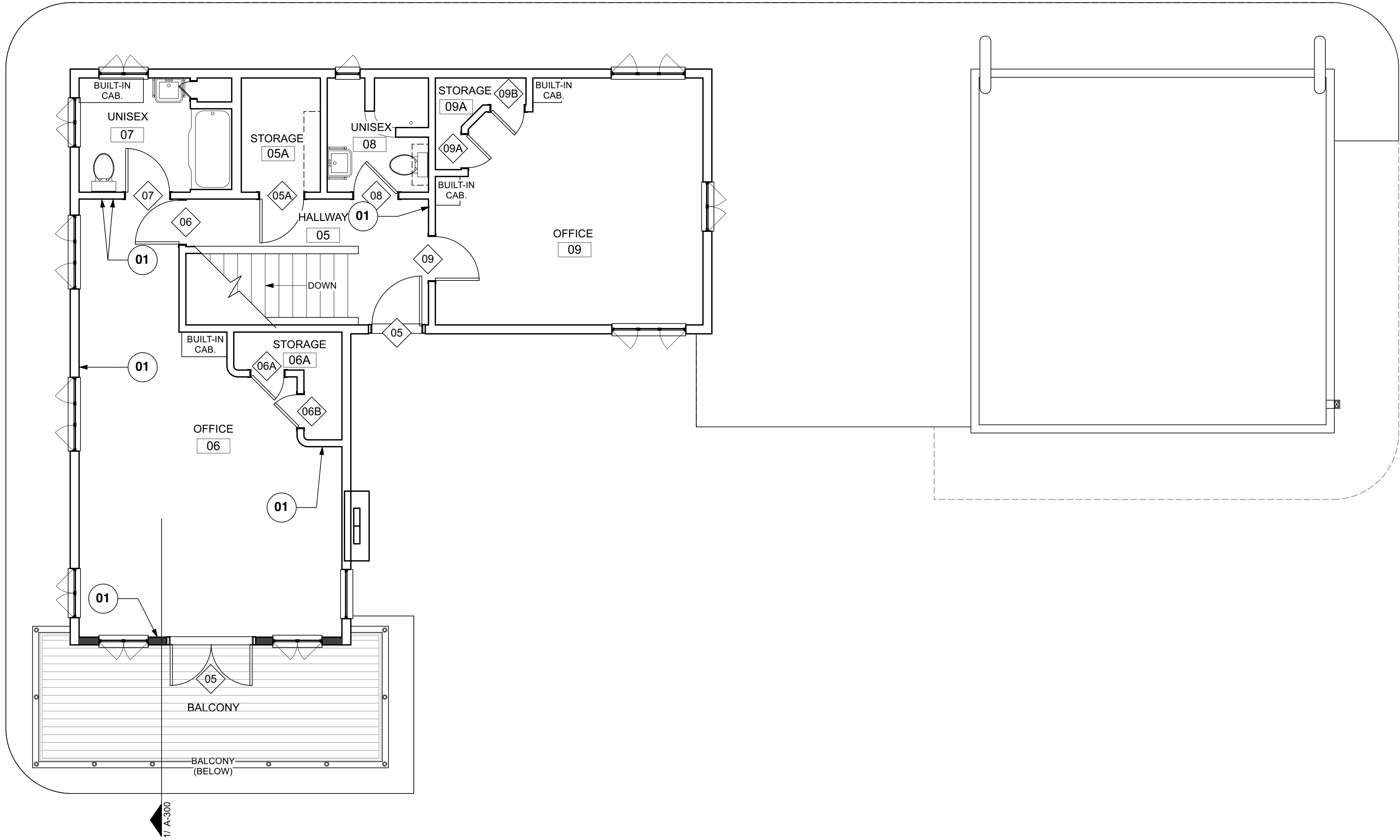
R11

T.B.D.
- R06

T.B.D.

R12

T.B.D.



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN GENERAL NOTES

- NOTES APPLY TO ALL SPACES

- A. REFER TO SPECIFICATIONS FOR DETAILED REQUIREMENTS RELATED TO ALL SCOPES OF WORK. KEY NOTES SUMMARIZE SCOPE THAT IS DEFINED WITHIN THE SPECIFICATIONS.
- B. PROTECT ALL SURFACES NOT SCH'D FOR WORK UNDER THIS CONTRACT. DAMAGE TO EXST'G FINISH SURFACES TO REMAIN BY THE CONTRACTOR OR SUBCONTRACTORS SHALL BE CORRECTED AT NO EXPENSE TO THE OWNER.
- C. MARK ALL CUTS IN EXIST'G BUILDINGS REQ'D FOR NEW UTILITY AND SYSTEMS INSTALLATIONS AND ALLOW REVIEW BY OWNER AND ARCHITECT BEFORE PROCEEDING.
- D. REPAIR ALL HOLES IN WALLS & CEILINGS. MATCH ADJACENT FINISHES IN PREPARATION TO RECEIVE NEW FINISHES UNLESS NOTED OTHERWISE.
- E. CONCEAL ALL NEW ELEC. CONDUIT & LOW VOLTAGE WIRING IN WALLS THROUGHOUT UNLESS OTHERWISE NOTED. WHERE EXPOSED, PAINT TO MATCH ADJACENT WALL OR CEILING COLOR.
- F. REFER TO STRUCTURAL SHEETS FOR MAIN BUILDING EAVE AND GARAGE PARAPET RESTORATION.
- G. IN ORDER TO PROVIDE AN ACCESSIBLE ROUTE, SCREEN DOOR(S) SHALL BE REMOVED WHERE INDICATED ON THE PLAN & RETURNED TO OWNER. PATCH HINGE LOCATIONS WITH A DUTCHMAN REPAIR.

PLAN KEYNOTES

- R01

REPAIR GYP. BD. WALL TO MATCH ADJACENT FINISHES - REF. INTERIOR ELEVATIONS

R07

T.B.D.
- R02

REMOVE EXISTING DOOR & FRAME. CUT MASONRY OPENING TO ACCEPT NEW, WIDER DOOR - SEE STRUCT. DWGS. FOR HEADER REINFORCEMENT

R08

T.B.D.
- R03

REMOVE ALL EXISTING ROOFING AND UNDERLAYMENT, THOROUGHLY CLEAN & PREP FOR NEW INSULATION & PVC ROOF - REPAIR DAMAGED WOOD UNDER ALLOWANCE

R09

T.B.D.
- R04

PROVIDE & INSTALL NEW THROUGH WALL SCUPPER - REF. DETAILS ON THIS SHEET

R10

T.B.D.
- R05

T.B.D.

R11

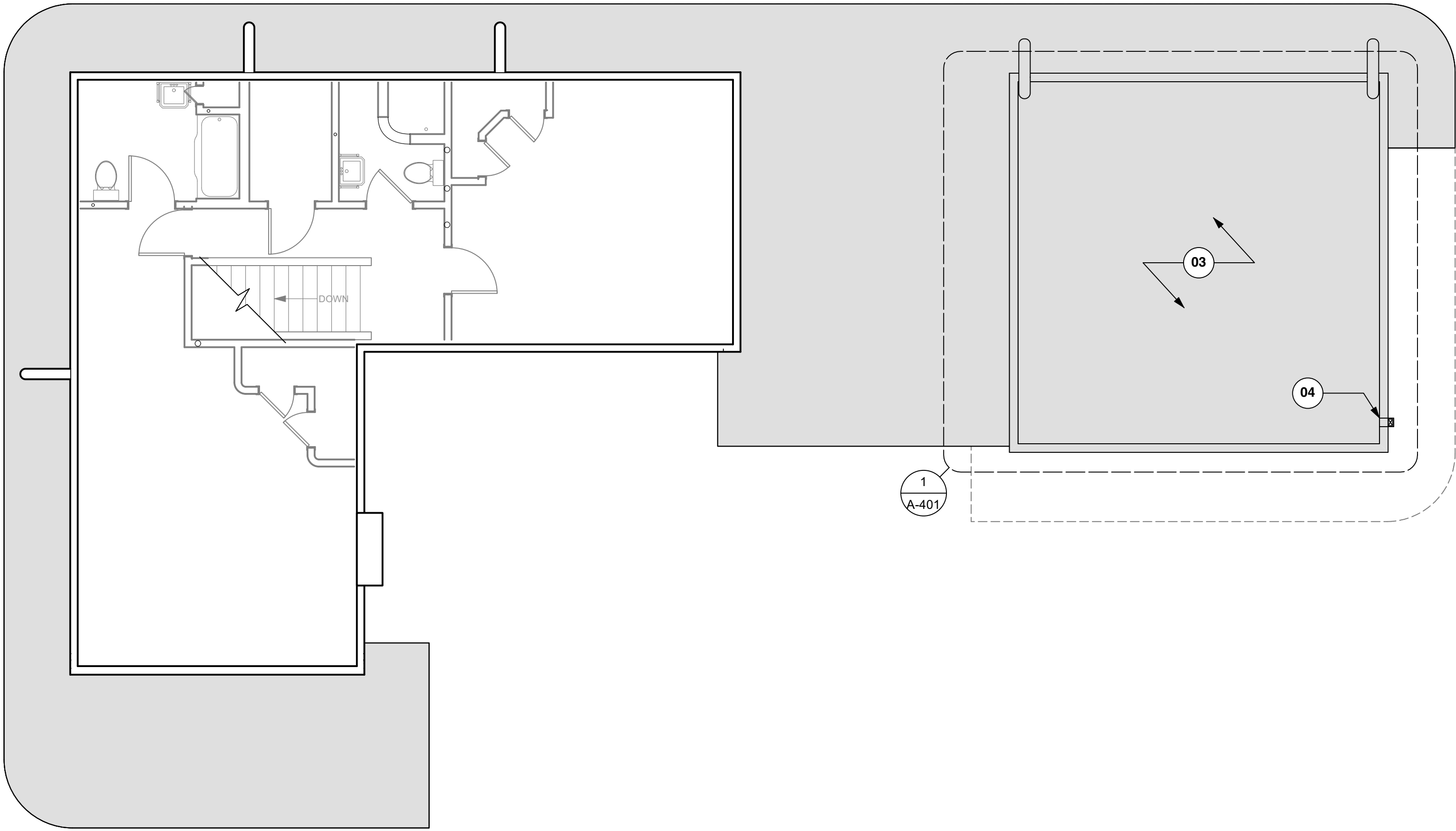
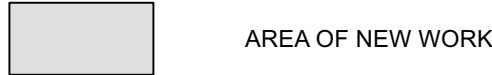
T.B.D.
- R06

T.B.D.

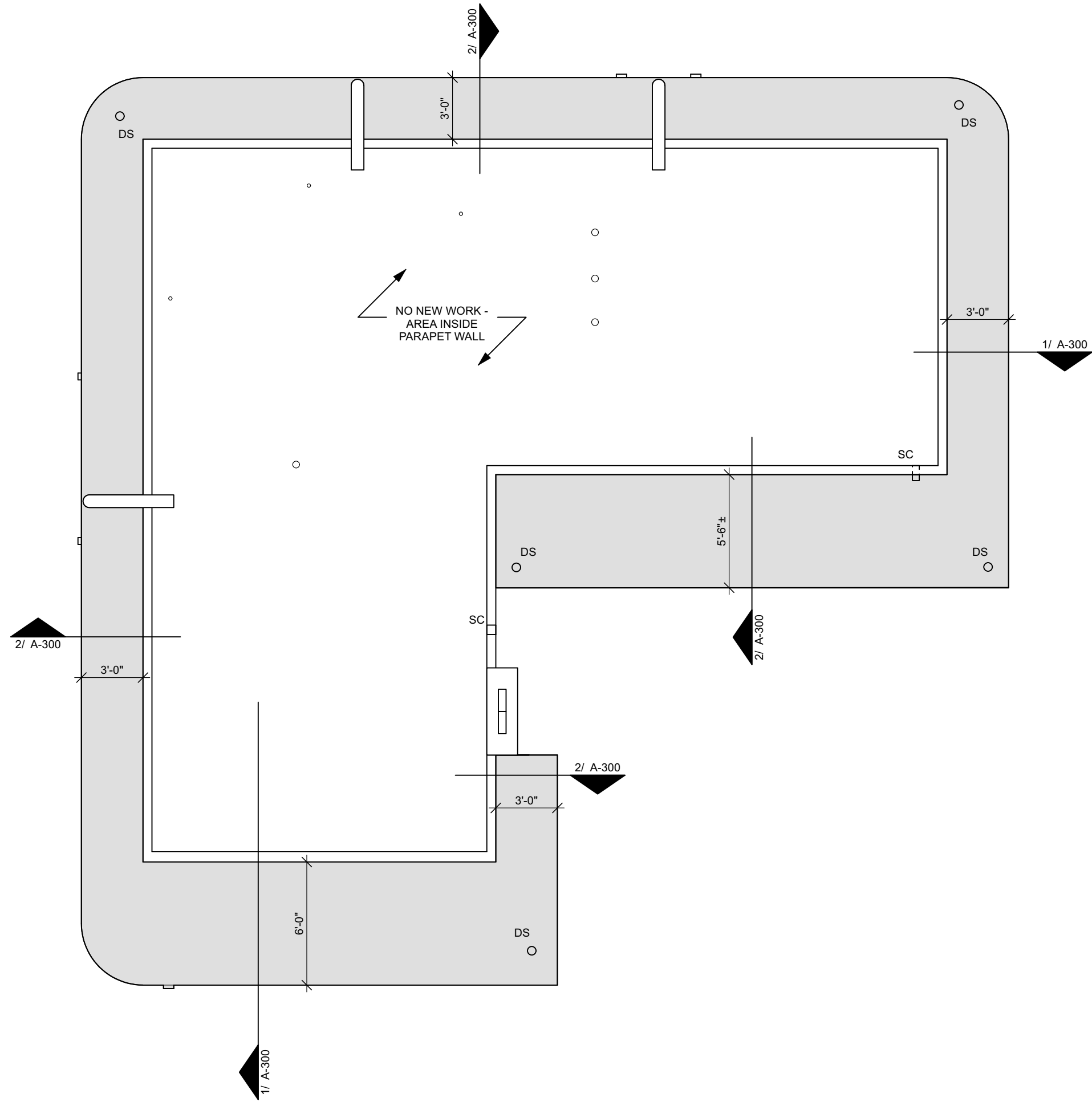
R12

T.B.D.

KEY

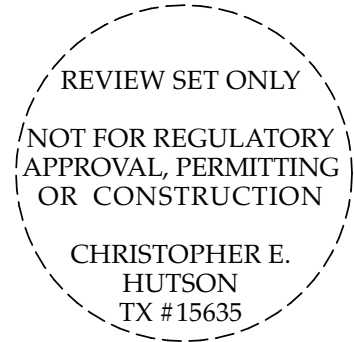


1 LOWER ROOF PLAN
SCALE: 3/16" = 1'-0"



1 UPPER ROOF PLAN
SCALE: 3/16" = 1'-0"

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PROJECT NO:
DATE: 01/12/2023
REV:
SHEET NAME:
UPPER ROOF PLAN
SHEET NO:

A-123

CEILING GENERAL NOTES

- NOTES APPLY TO ALL SPACES

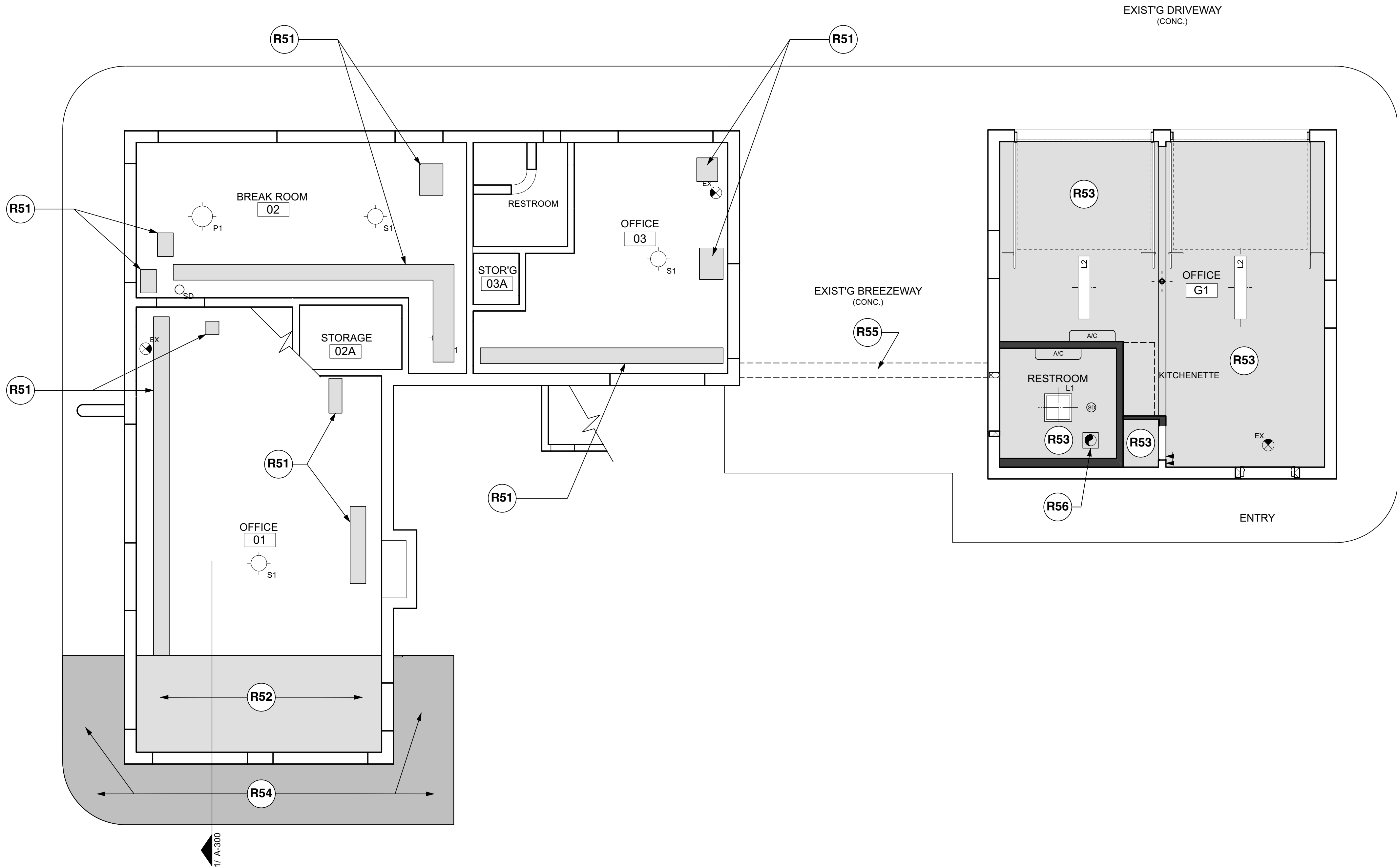
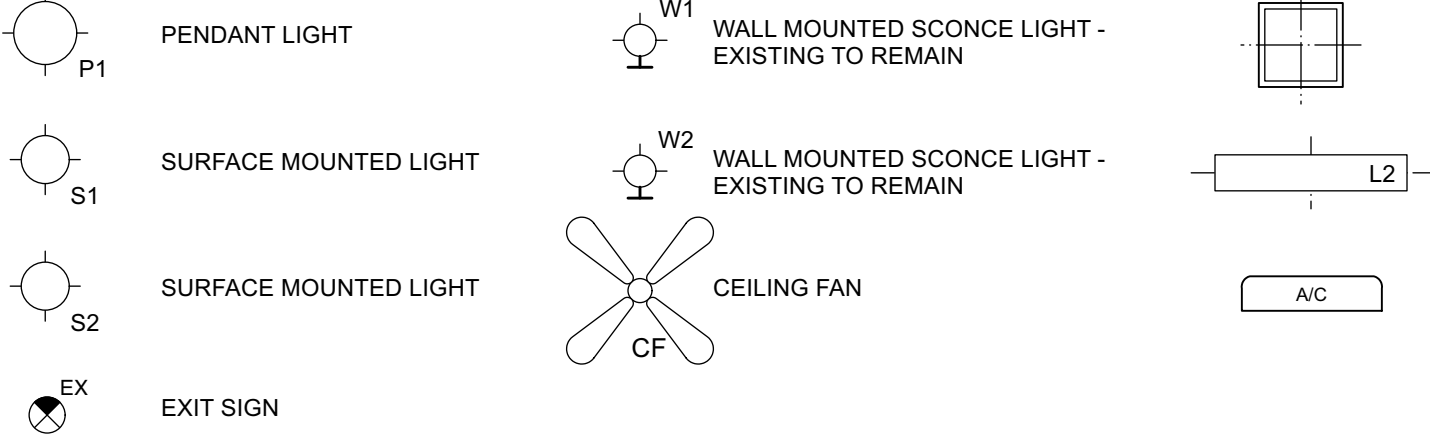
- A. T.B.D.
- B. NEW GYP BOARD CEILING TO BE 1-HR FIRE RATED - SEAL ALL PENETRATIONS THROUGH EXIST'G TOP PLATE WITH FIRE-RATED SEALANT
- C. T.B.D.

D. REFERENCE MEP FOR ADDITIONAL ELEC. REQUIREMENTS.

CEILING PLAN KEYNOTES

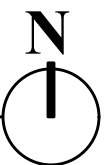
- R51** REPAIR EXIST'G GYP. BD. CEILING TO MATCH ADJACENT FINISHES
- R52** REMOVE EXIST'G GYP. BD. CEILING AS REQUIRED TO PERFORM STRUCTURAL REPAIRS - INSTALL NEW CLG UPON COMPLETION TO MATCH ADJACENT
- R53** REMOVE EXIST'G PLASTER & LATH CEILING THROUGHOUT EXIST'G GARAGE - INSTALL NEW GYP. BD. CLG UPON COMPLETION
- R54** REMOVE PLASTER AT UNDERSIDE OF EAVES - INSTALL NEW PLASTER AND LATH AFTER COMPLETION OF STRUCTURAL REPAIRS AND ROOF WORK
- R55** VERIFY SCOPE (BREEZEWAY)
- R56** NEW EXHAUST FAN - VERIFY ROUTING AND PENETRATION THROUGH ROOF W/ ARCHITECT
- R57** T.B.D.

KEY

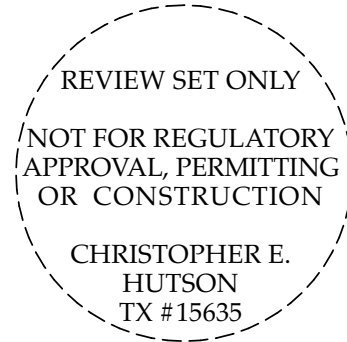


1 FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



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PROJECT NO:
DATE: 01/12/2023
REV:
SHEET NAME:
FIRST FLOOR RCP
SHEET NO:

A-131

CEILING GENERAL NOTES

- NOTES APPLY TO ALL SPACES

- A. T.B.D.
- B. NEW GYP BOARD CEILING TO BE 1-HR FIRE RATED - SEAL ALL PENETRATIONS THROUGH EXIST'G TOP PLATE WITH FIRE-RATED SEALANT
- C. T.B.D.
- D. REFERENCE MEP FOR ADDITIONAL ELEC. REQUIREMENTS.

CEILING PLAN KEYNOTES

- R51REPAIR EXIST'G GYP. BD. CEILING TO MATCH ADJACENT FINISHES
- R52REMOVE EXIST'G GYP. BD. CEILING AS REQUIRED TO PERFORM STRUCTURAL REPAIRS - INSTALL NEW CLG UPON COMPLETION TO MATCH ADJACENT
- R53REMOVE EXIST'G PLASTER & LATH CEILING THROUGHOUT EXIST'G GARAGE - INSTALL NEW GYP. BD. CLG UPON COMPLETION
- R54REMOVE PLASTER AT UNDERSIDE OF EAVES - INSTALL NEW PLASTER AND LATH AFTER COMPLETION OF STRUCTURAL REPAIRS AND ROOF WORK
- R55VERIFY SCOPE (BREEZWAY)
- R56NEW EXHAUST FAN - VERIFY ROUTING AND PENETRATION THROUGH ROOF W/ ARCHITECT
- R57T.B.D.

KEY

- P1

PENDANT LIGHT
- S1

SURFACE MOUNTED LIGHT
- S2

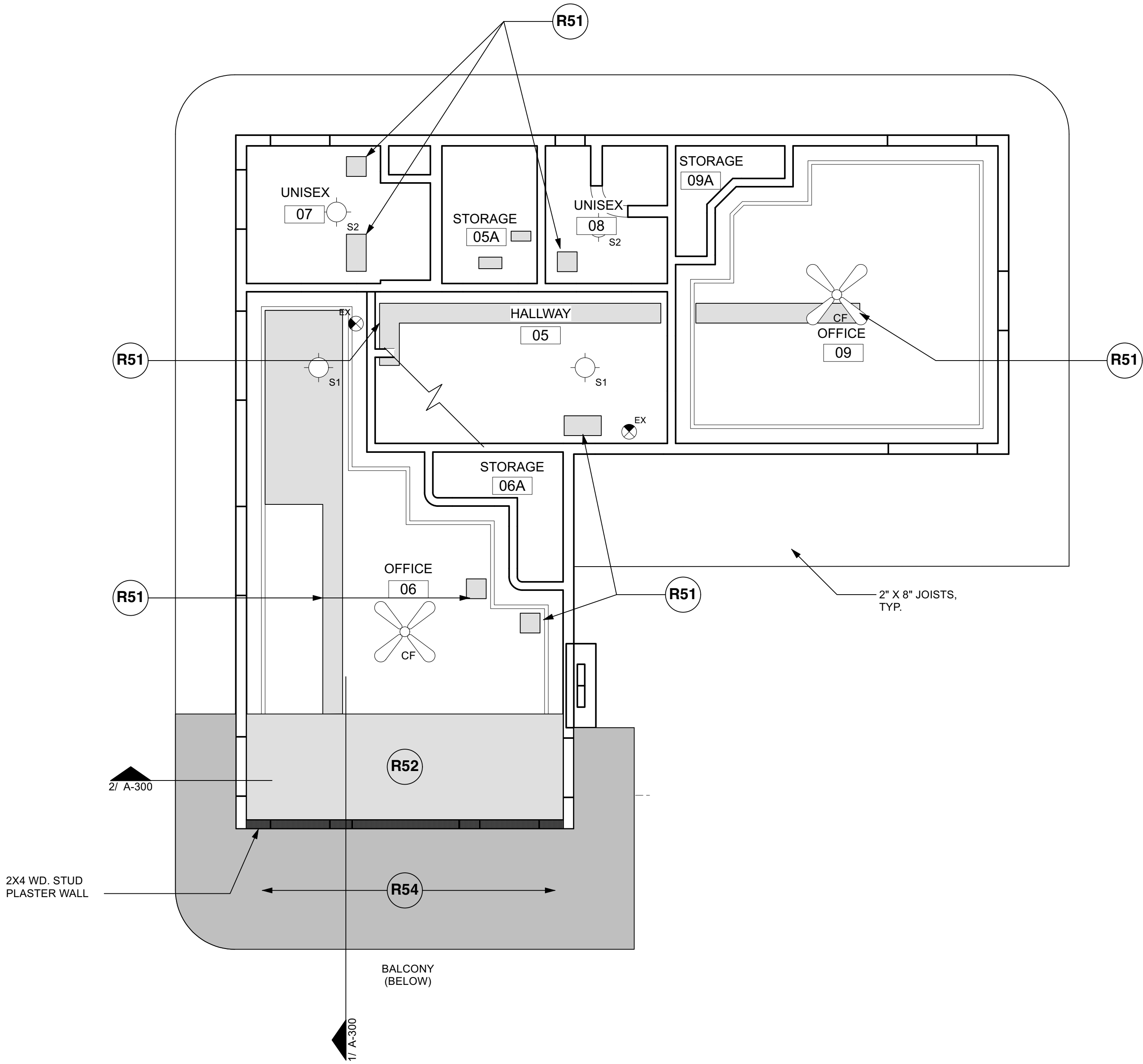
SURFACE MOUNTED LIGHT
- EX

EXIT SIGN
- W1

WALL MOUNTED SCONCE LIGHT - EXISTING TO REMAIN
- W2

WALL MOUNTED SCONCE LIGHT - EXISTING TO REMAIN
- CF

CEILING FAN



1 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

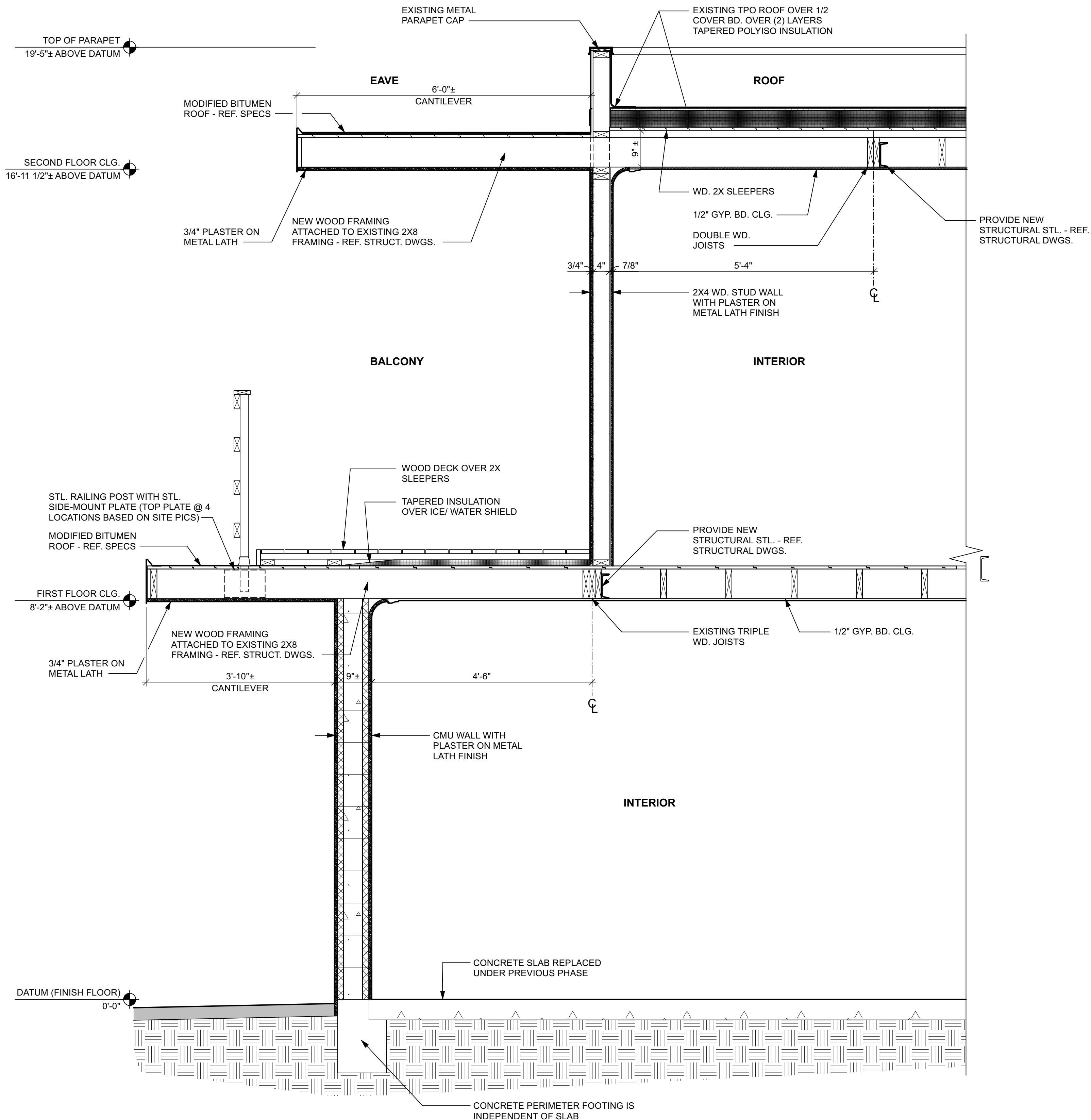
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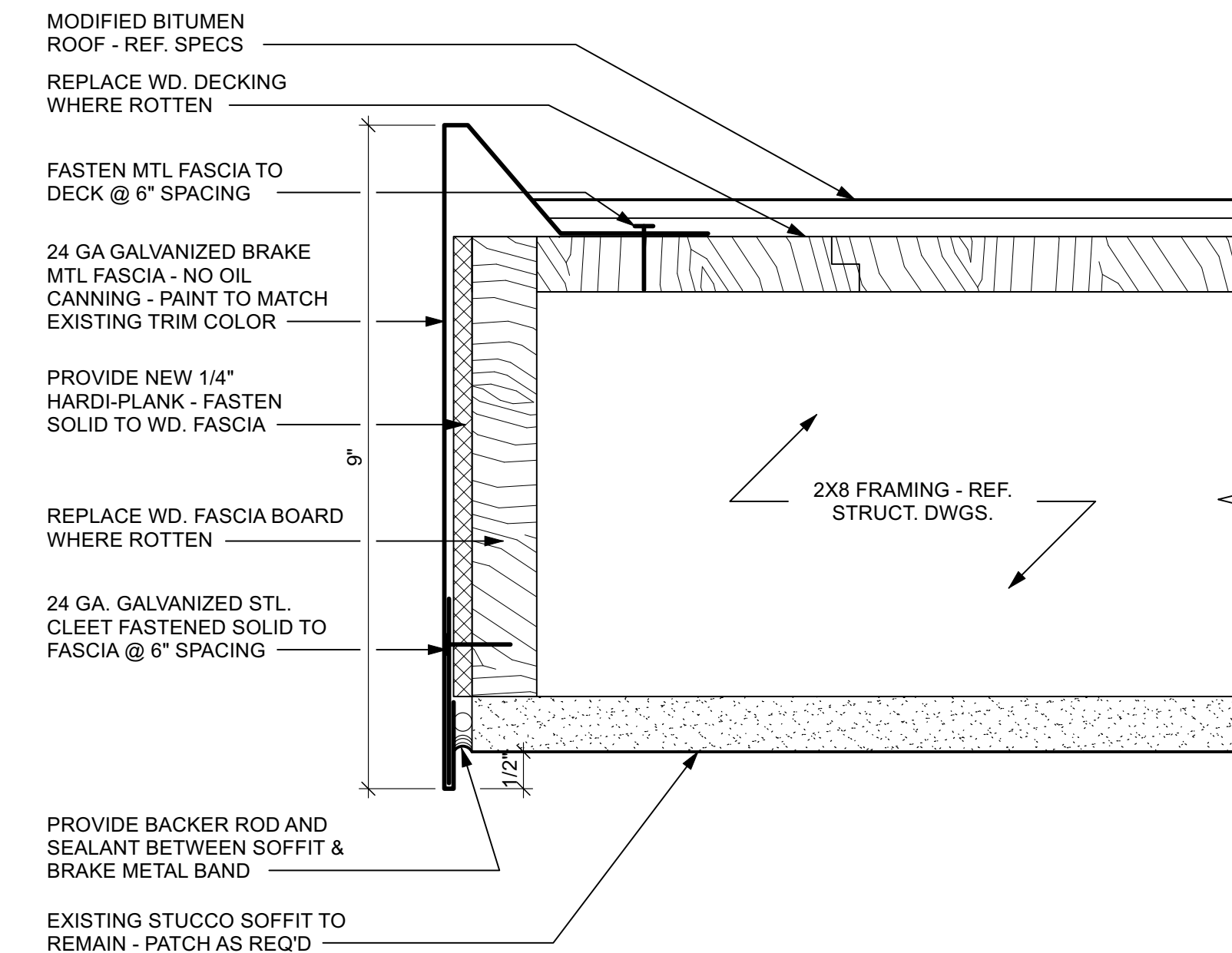
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3805 Red River Street • Austin, Texas

PROJECT NO:
DATE: 01/12/2023
REV:
SHEET NAME:
SECOND FLOOR RCP
SHEET NO:

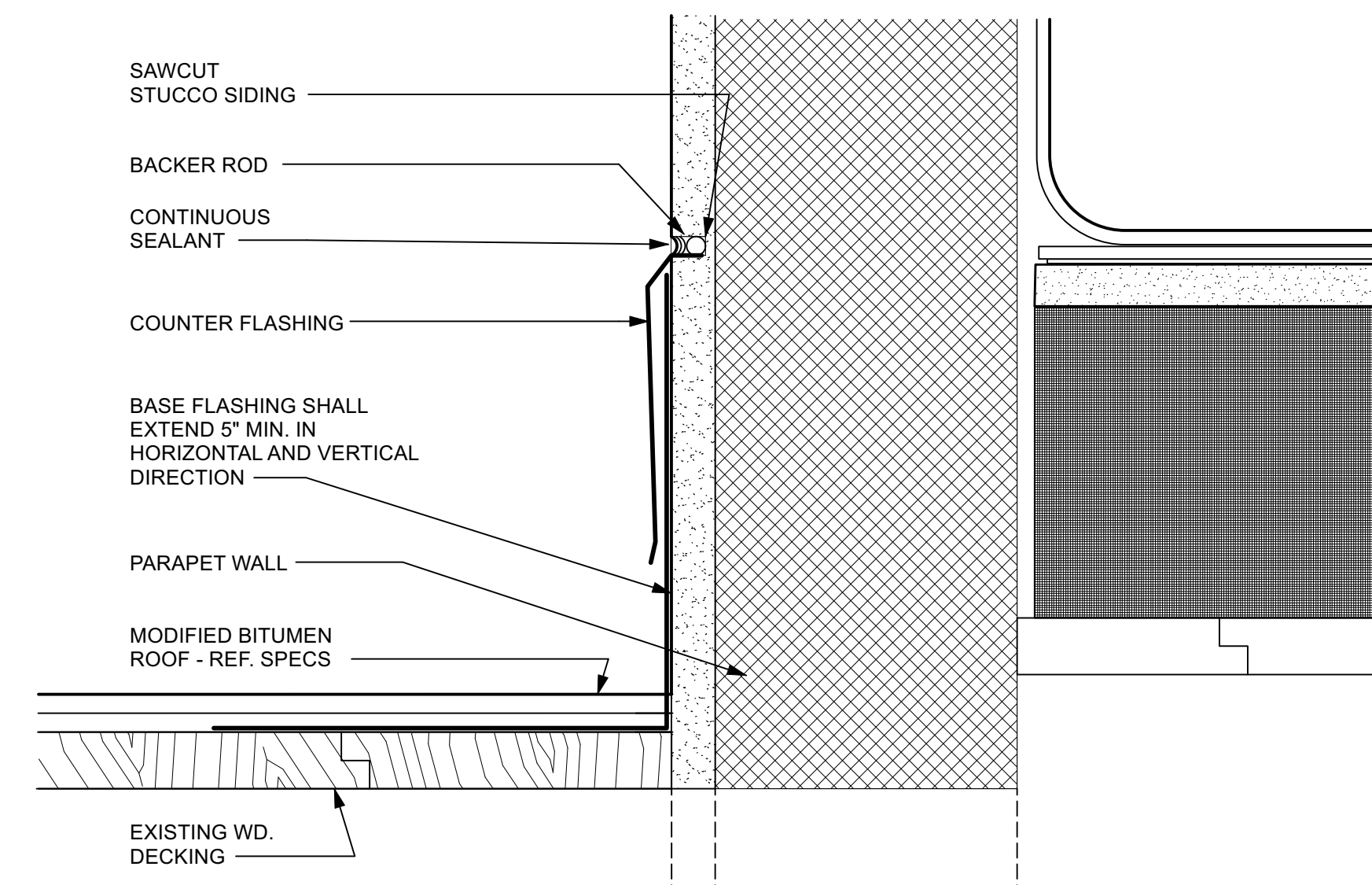
A-132



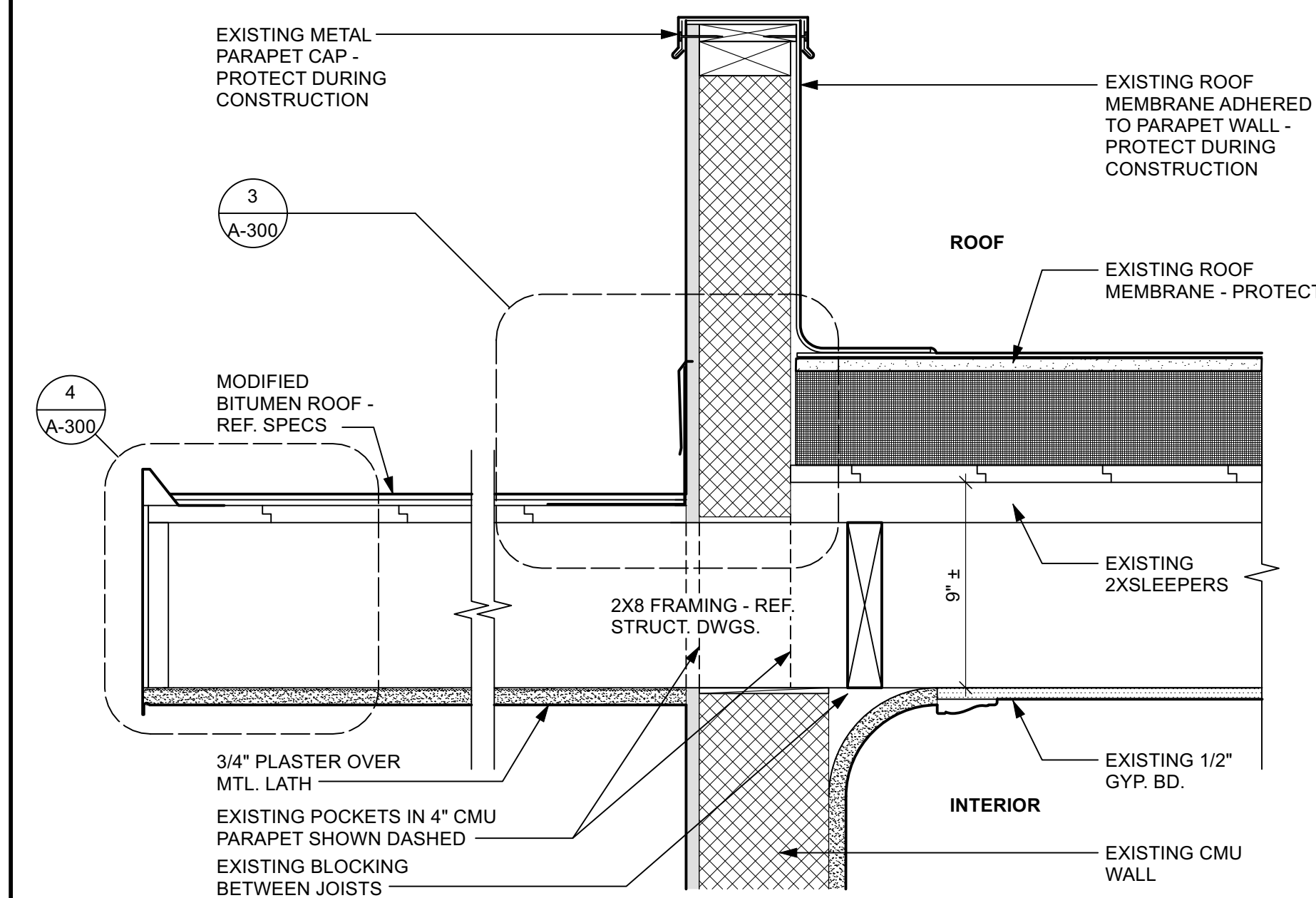
1 SECTION @ SOUTH BALCONY & EAVE
SCALE: 3/4" = 1'-0"



4 SECTION DETAIL - BRAKE METAL FASCIA
SCALE: Half Actual Size



3 SECTION DETAIL - FLASHING AT PARAPET
SCALE: Half Actual Size



2 SECTION DETAIL - PARAPET WALL @ 2ND FLOOR ROOF
SCALE: 2" = 1'-0"

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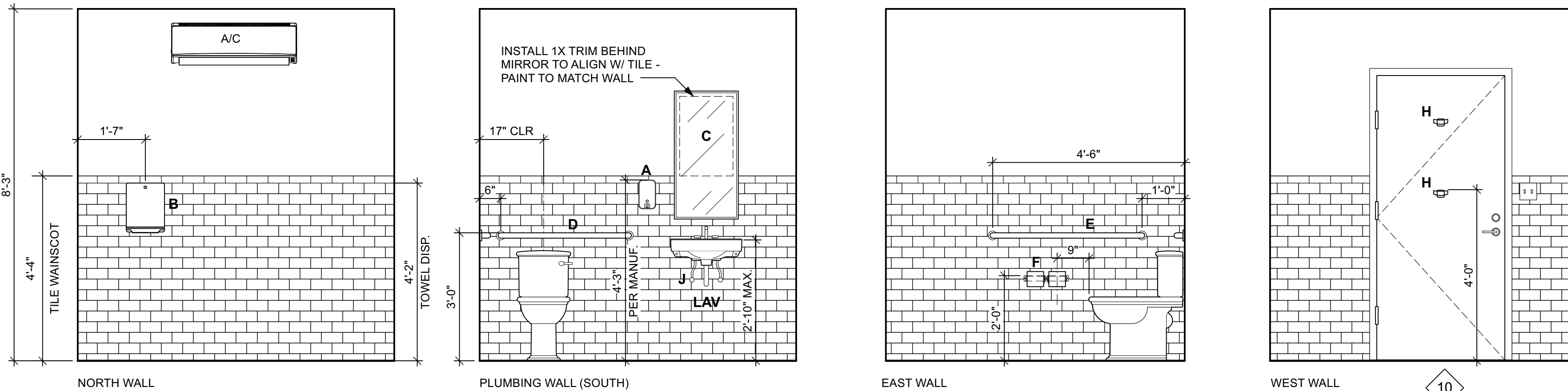
PROJECT NO:
DATE: 01/12/2023
REV:
SHEET NAME:
EAVE SECTIONS &
DETAILS
SHEET NO:

A-300

TOILET ACCESSORIES SCHEDULE		
REF.	TYPE	MANUF/MODEL
A	SOAP DISPENSER	BOBRICK B-2111
B	TOWEL DISP. & WASTE RECEPT.	BOBRICK B-262
C	MIRROR	BOBRICK B-165 (18" x 36")
D	GRAB BAR - 36"	BOBRICK B-6806X36 (CONCEALED MOUNT)
E	GRAB BAR - 42"	BOBRICK B-6806X42 (CONCEALED MOUNT)
F	TOILET PAPER DISP.	BOBRICK B-2740
G	TOILET SEAT COVER DISP.	BOBRICK B-221(VERIFY LOCATION)
H	HOOK (2 PER RESTROOM)	BOBRICK B-6707 (VERIFY HEIGHTS)
J	UNDERSINK PIPE PROTECTION	TRUEBRO VINYL COVER (WHITE)

RESTROOM NOTES

- TOILET TO BE TOTO PROMENADE II WHITE - LEVER TO BE LEFT HANDED (OPPOSITE WALL)
- LAVATORY TO BE AMERICAN STANDARD DECORUM WALL HUNG 3-HOLE SINK - WHITE (MODEL 9024004EC.020) - PROVIDE UNDERSINK PIPE PROTECTION AS REQUIRED BY ADA/TAS.
- ALL ACCESSORIES TO BE BOBRICK OR APPROVED EQUAL. FINISH TO BE SATIN STAINLESS UNLESS NOTED OTHERWISE.
- LOCATIONS AND HEIGHTS FOR ALL ACCESSORIES SHALL COMPLY WITH TEXAS ACCESSIBILITY STANDARDS 2012 EDITION.
- PROVIDE SECURE MOUNTING FOR ALL ACCESSORIES. GRAB BARS TO MEET ADA/TAS REQUIREMENTS OF 250 LBS. (SEE TAS 609.8)



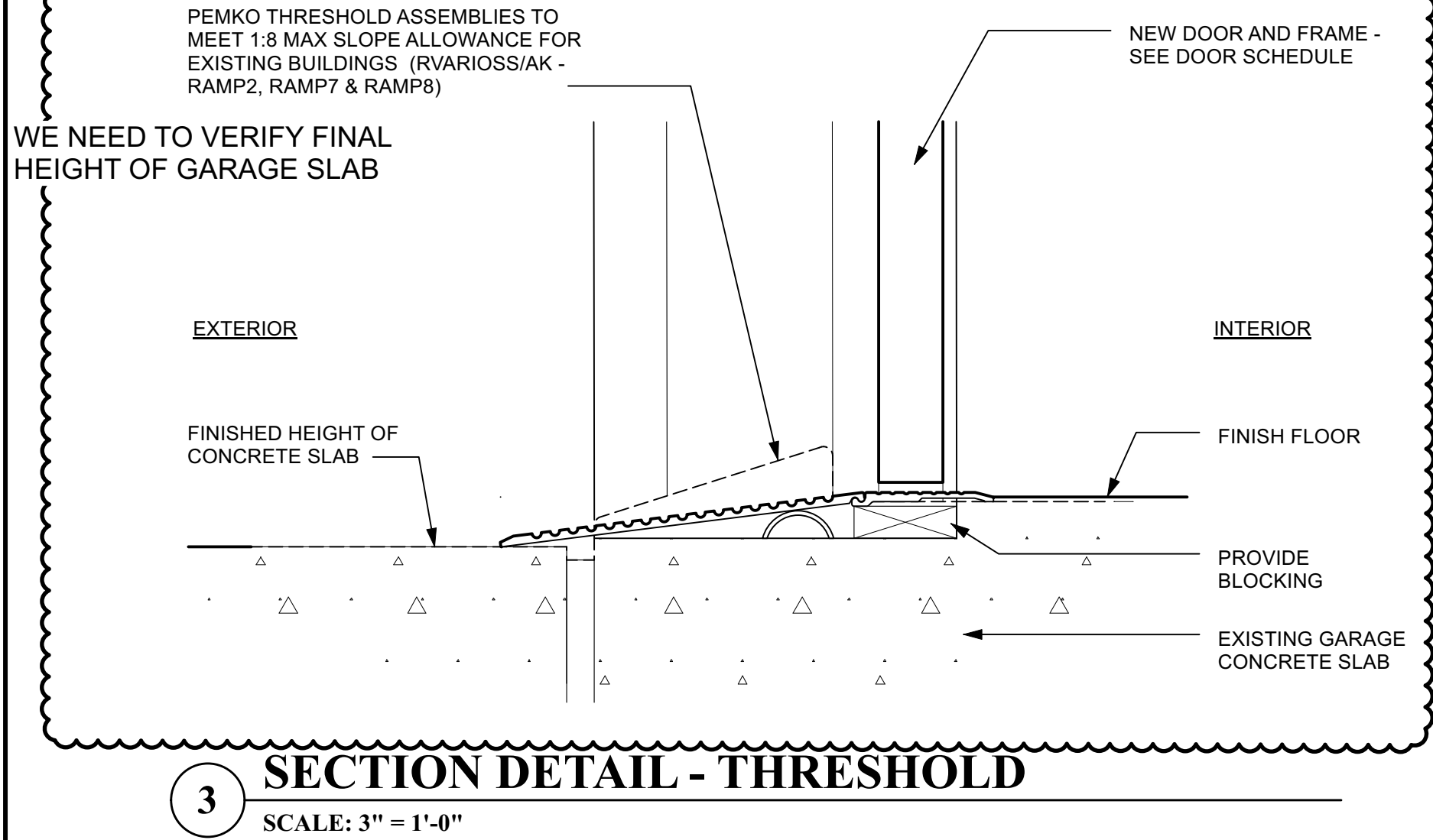
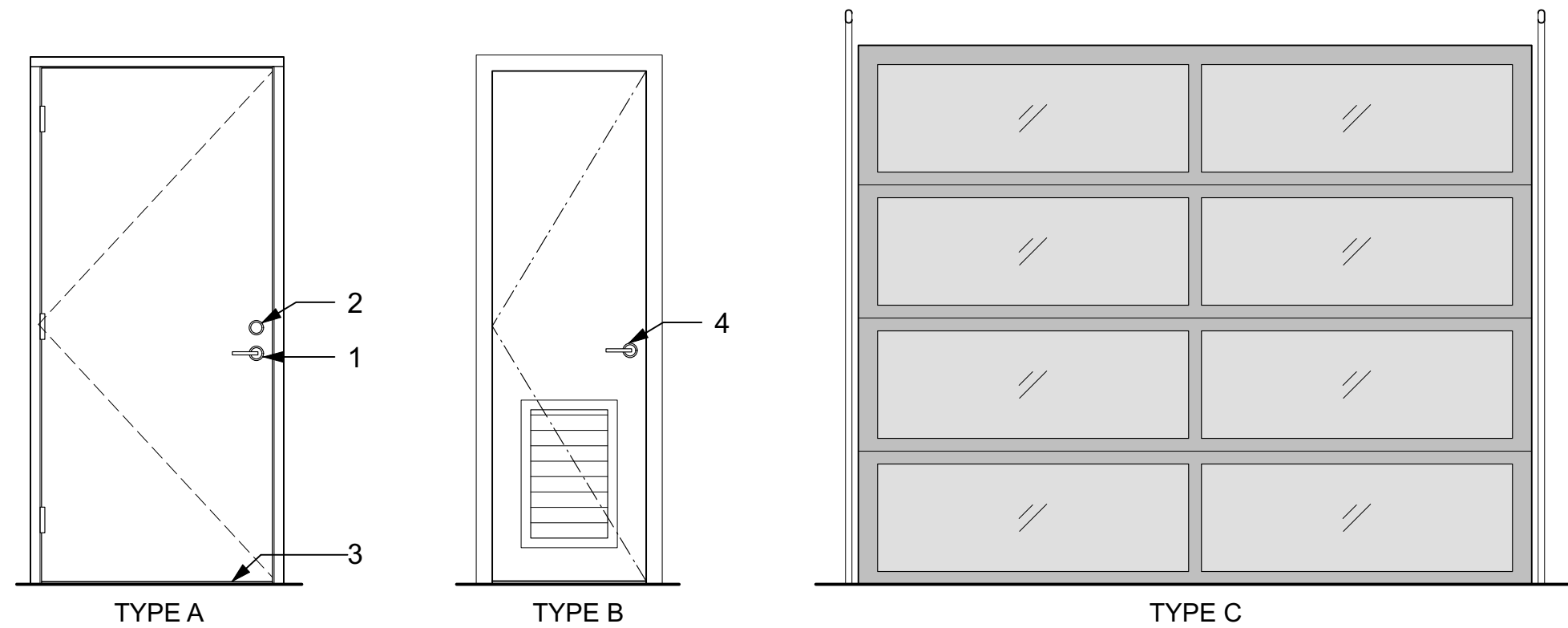
3 RESTROOM INTERIOR ELEVATIONS
SCALE: 1/2" = 1'-0"

DOOR SCHEDULE

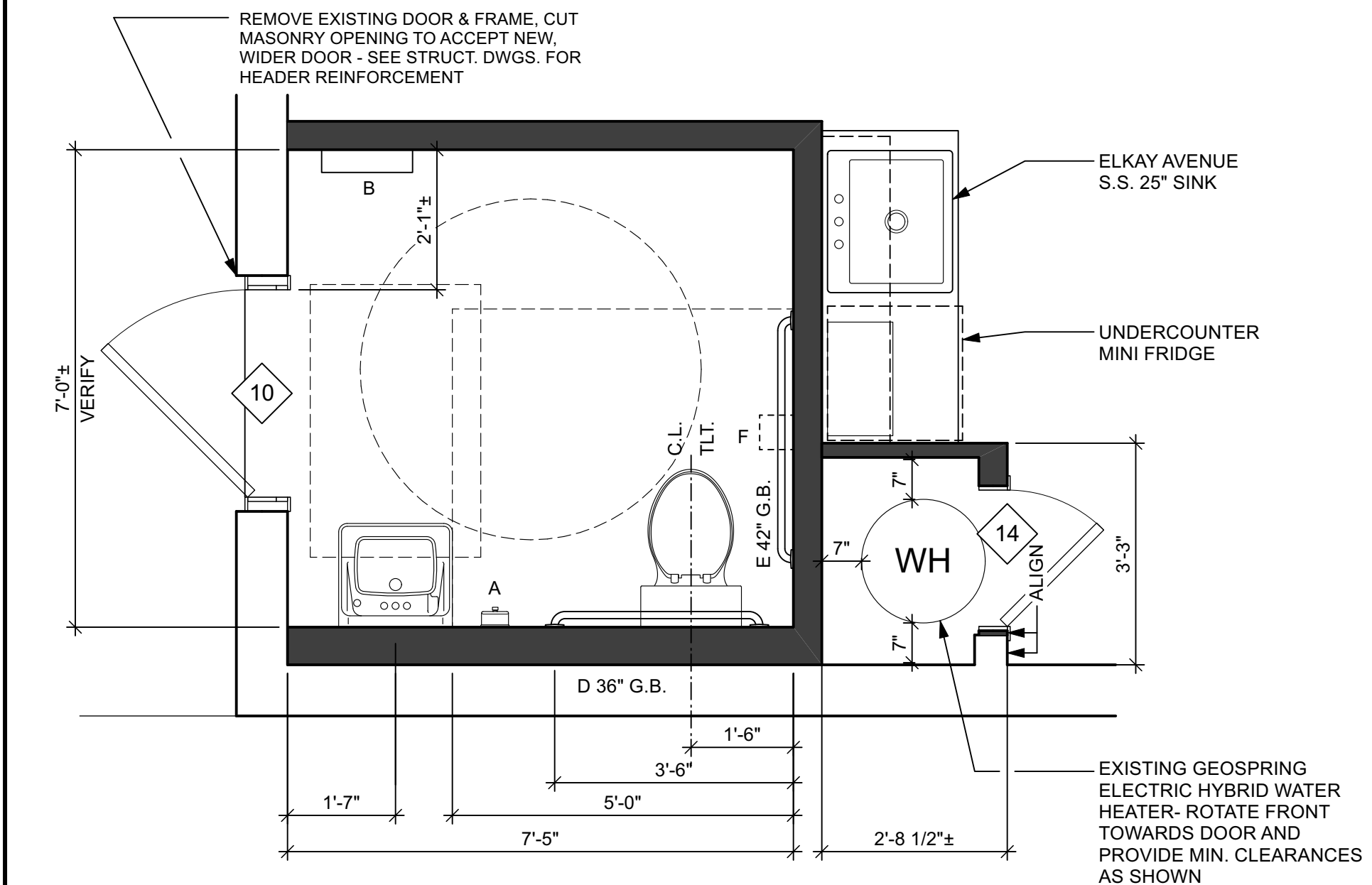
GARAGE OFFICE				HARDWARE				REMARKS
DOOR #	ROOM	TYPE	SIZE	HINGE	CLOSER	LOCKSET	THRESHOLD	
110	UNISEX	A	3'-0" x 6'-8"	BUTT (3)	LCN 4020	ENTRY /DEADBOLT	EXTERIOR	INSULATED HOLLOW METAL DOOR
111	OFFICE ENTRY	A	3'-0" x 6'-8"	BUTT (3)	LCN 4020	ENTRY /DEADBOLT	EXTERIOR	INSULATED HOLLOW METAL DOOR
112	OFFICE FRONT	C	8'-10" x 7'-0"	TRACK	NONE	2-POINT	NONE	METAL FRAME OVERHEAD DOOR WITH GLASS PANELS
113	OFFICE FRONT	C	8'-10" x 7'-0"	TRACK	NONE	2-POINT	NONE	METAL FRAME OVERHEAD DOOR WITH GLASS PANELS
114	CLOSET	B	2'-0" x 6'-8"	BUTT (2)	NONE	PASSAGE	NONE	WOOD HOLLOW CORE DOOR WITH LOUVERED PANEL

DOOR NOTES

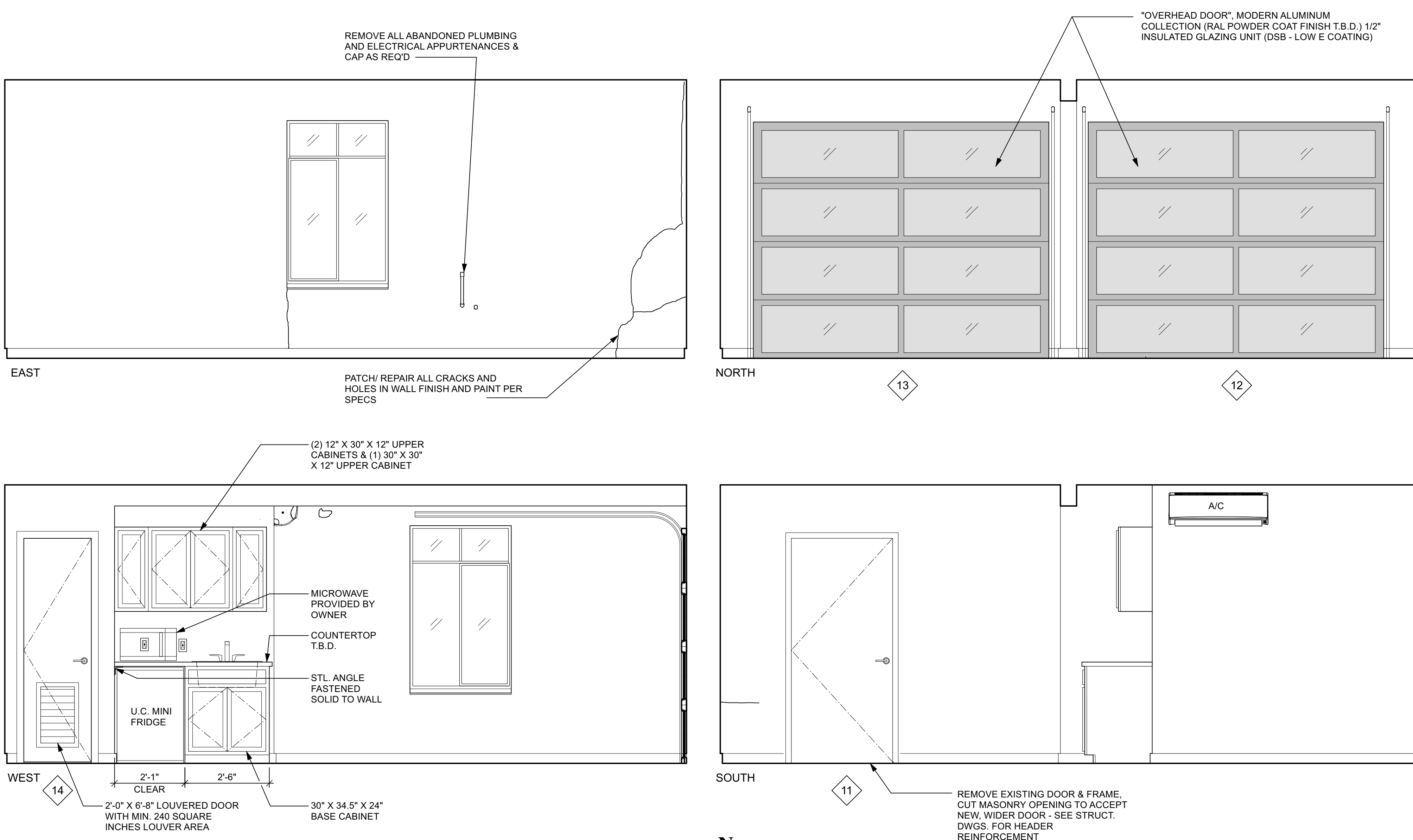
- ENTRY LOCKSET. REF. DOOR SCHEDULE AND SPECS
- DEADBOLT LOCK. REF. DOOR SCHEDULE AND SPECS
- REFER TO SPECS FOR ALL DOOR THRESHOLDS AND WEATHERSTRIPPING
- PASSAGE SET. REF. DOOR SCHEDULE AND SPECS



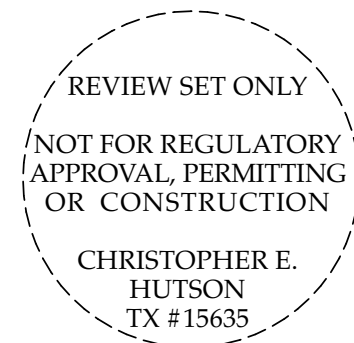
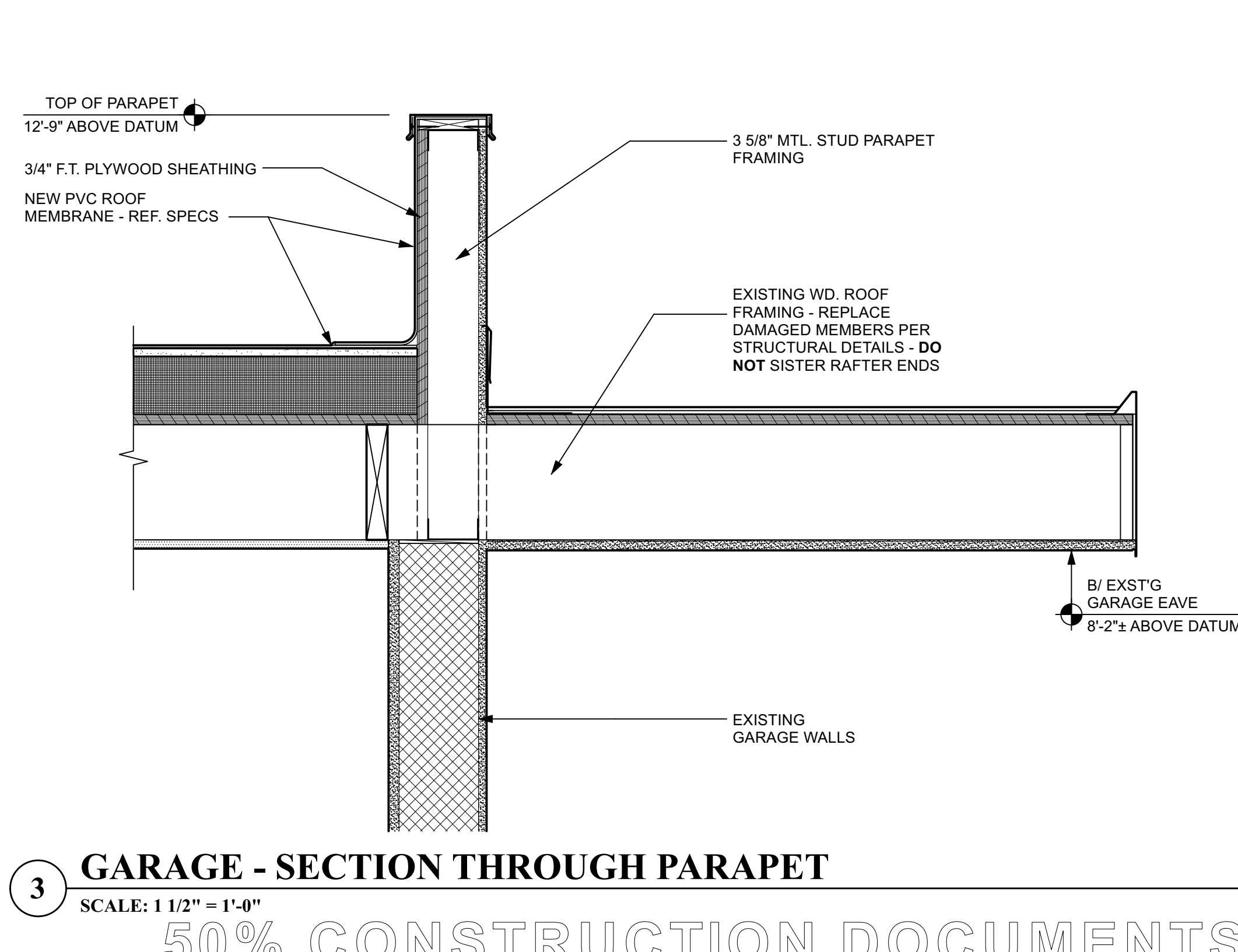
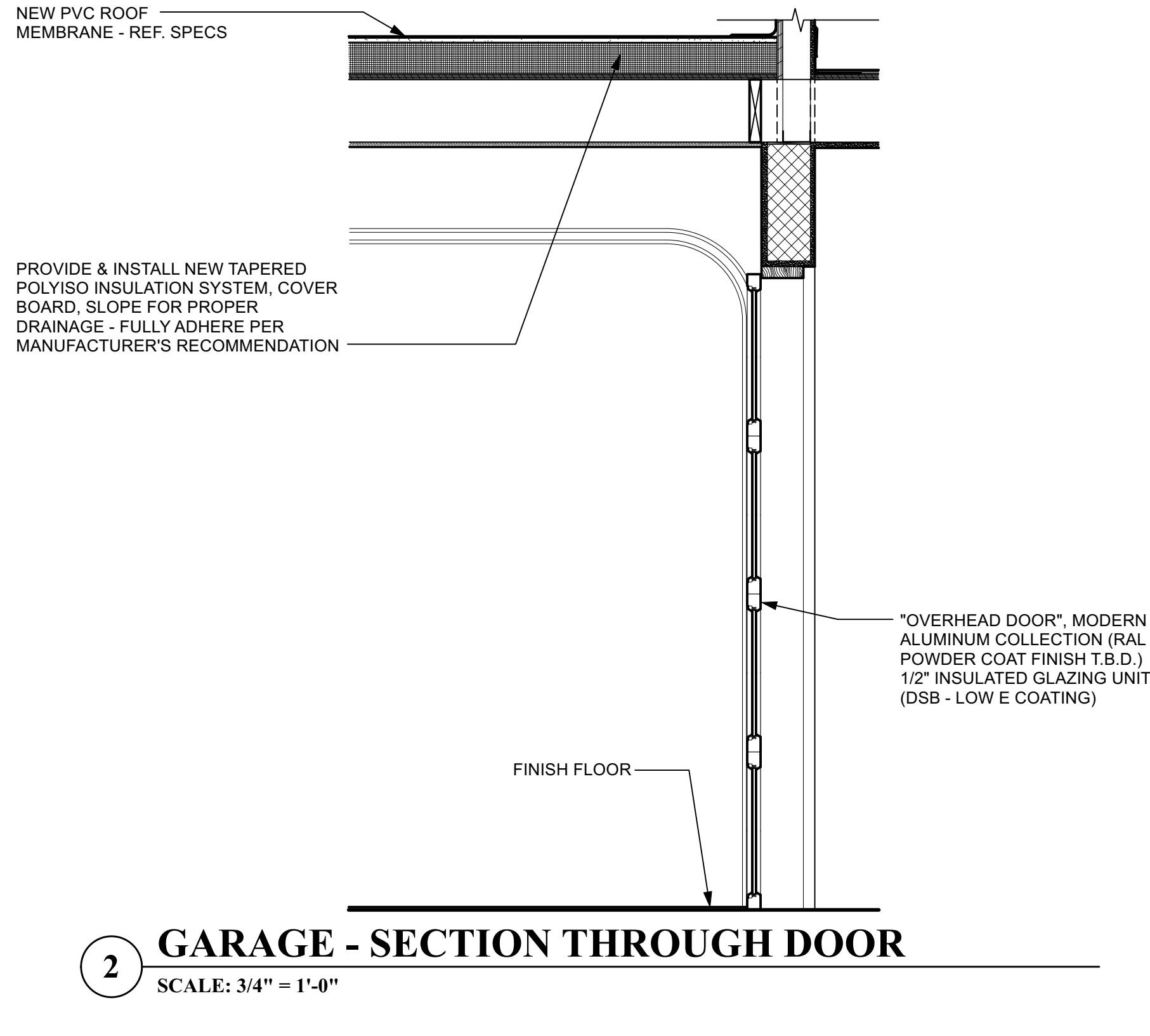
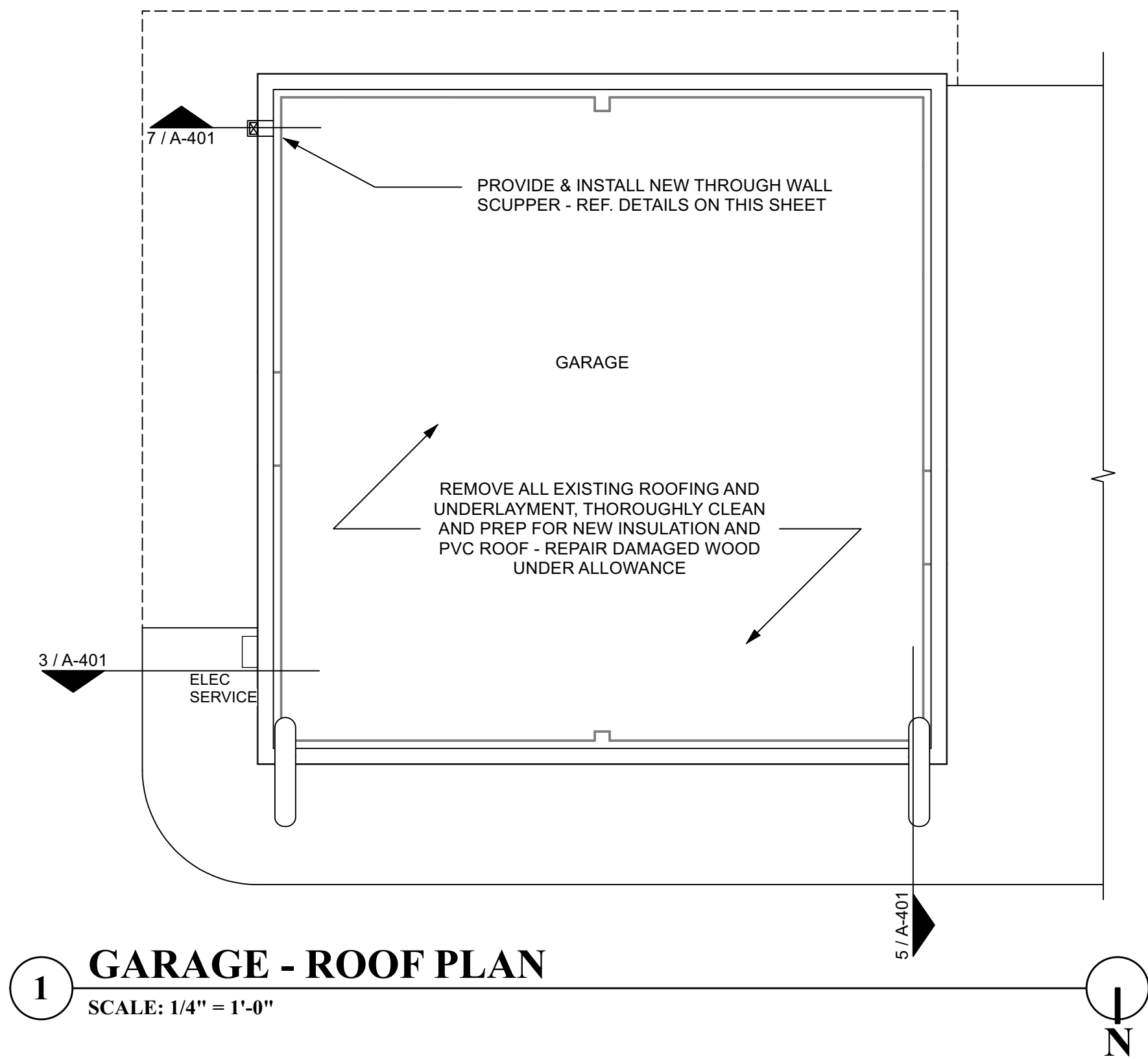
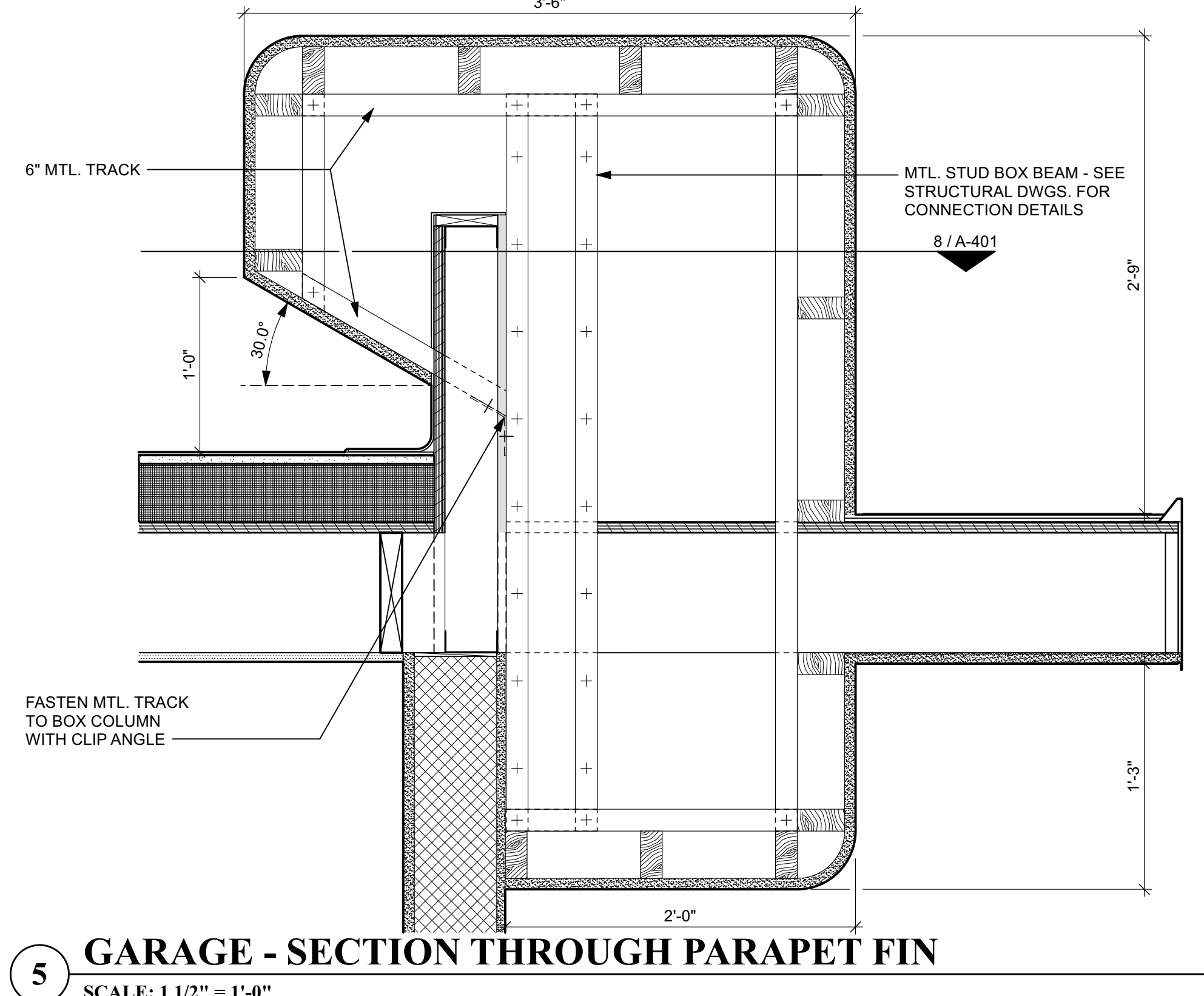
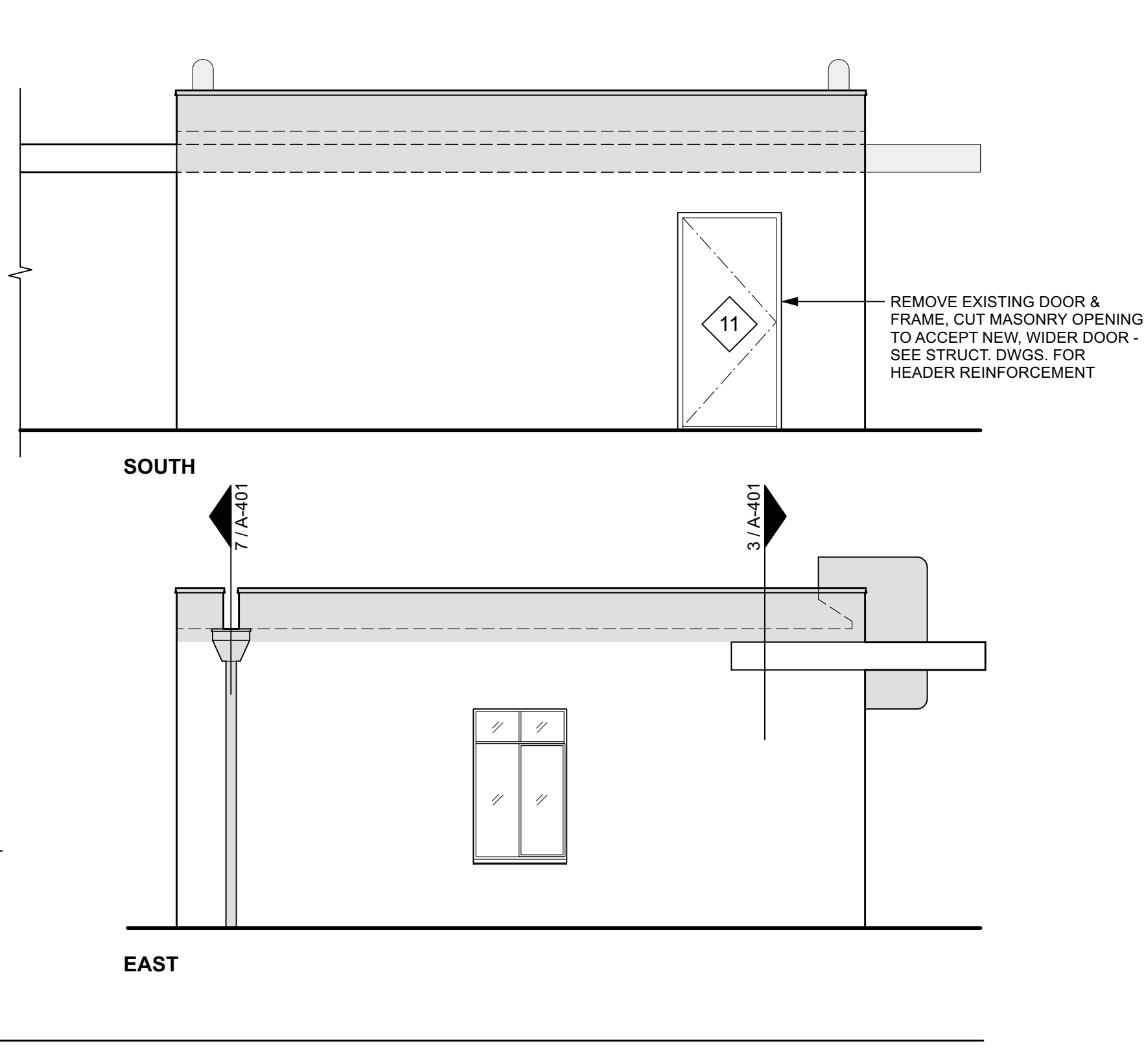
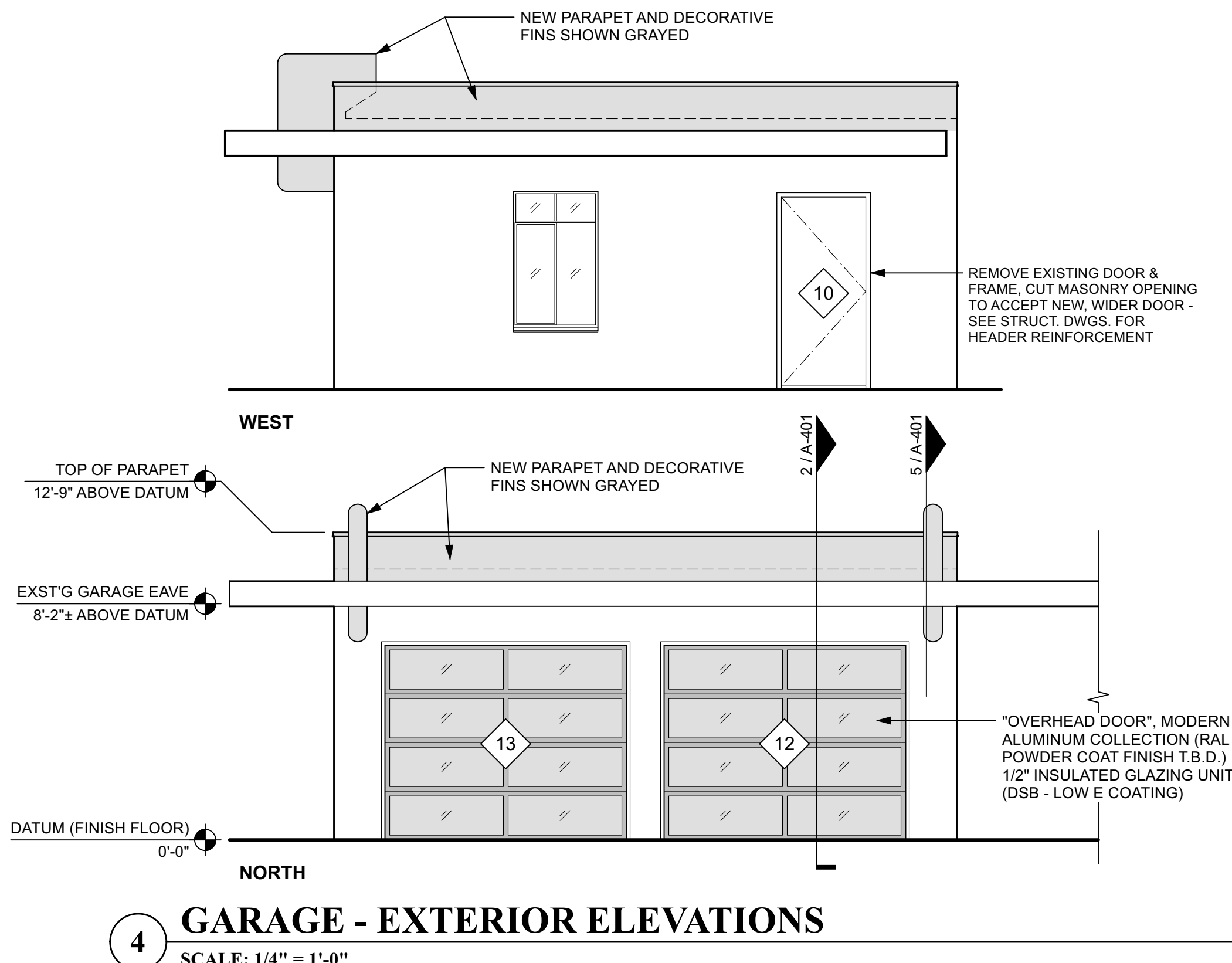
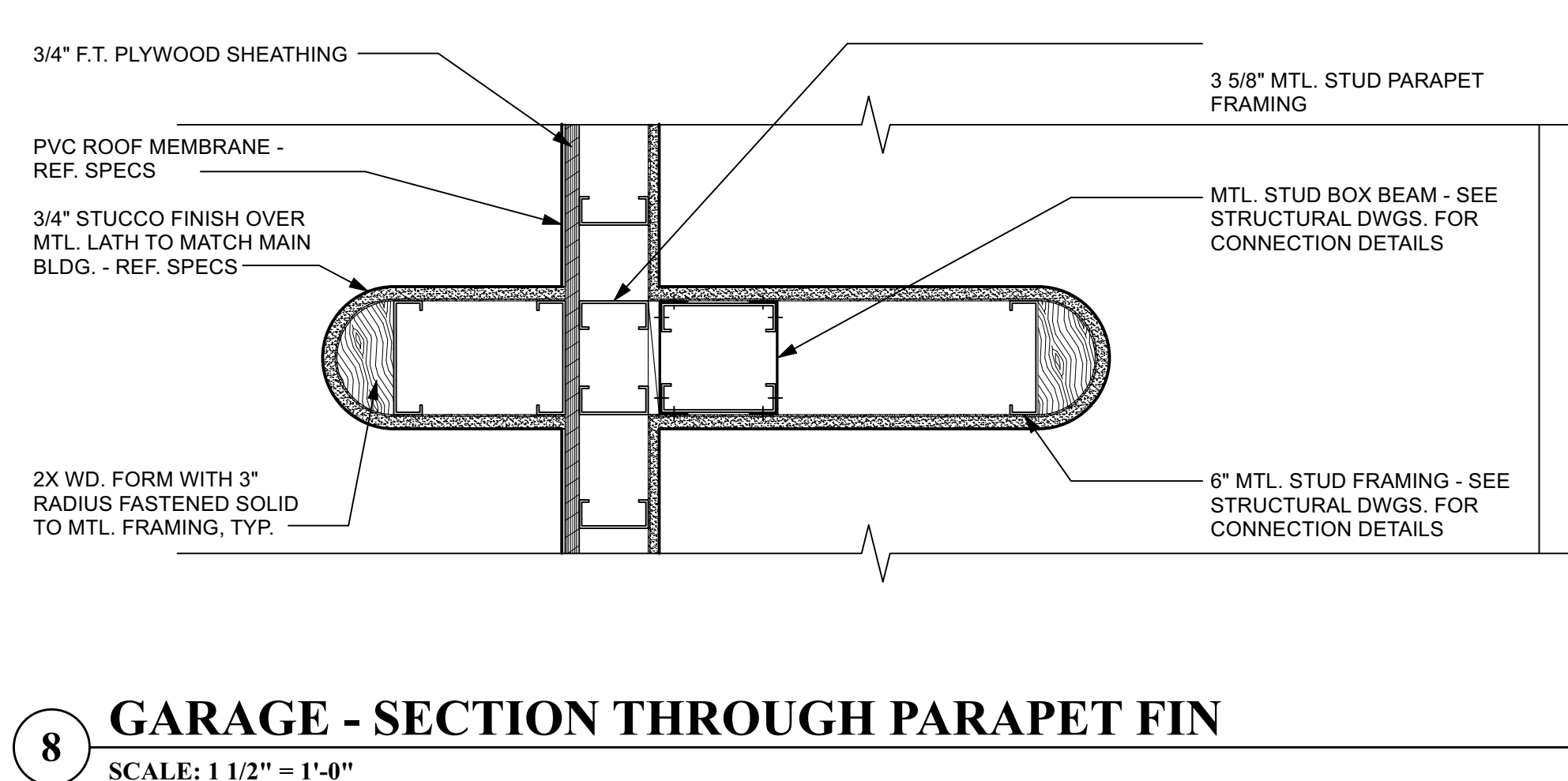
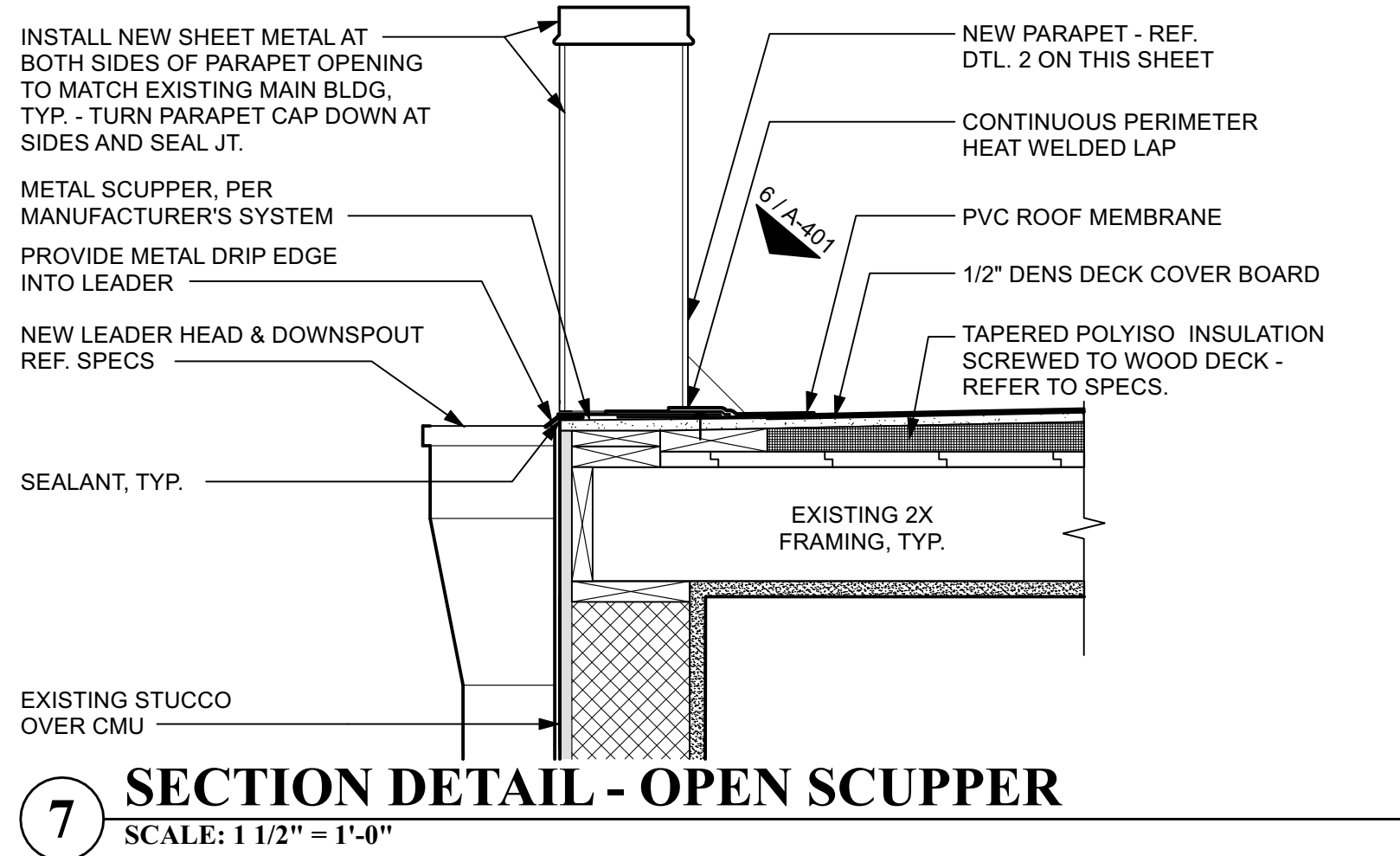
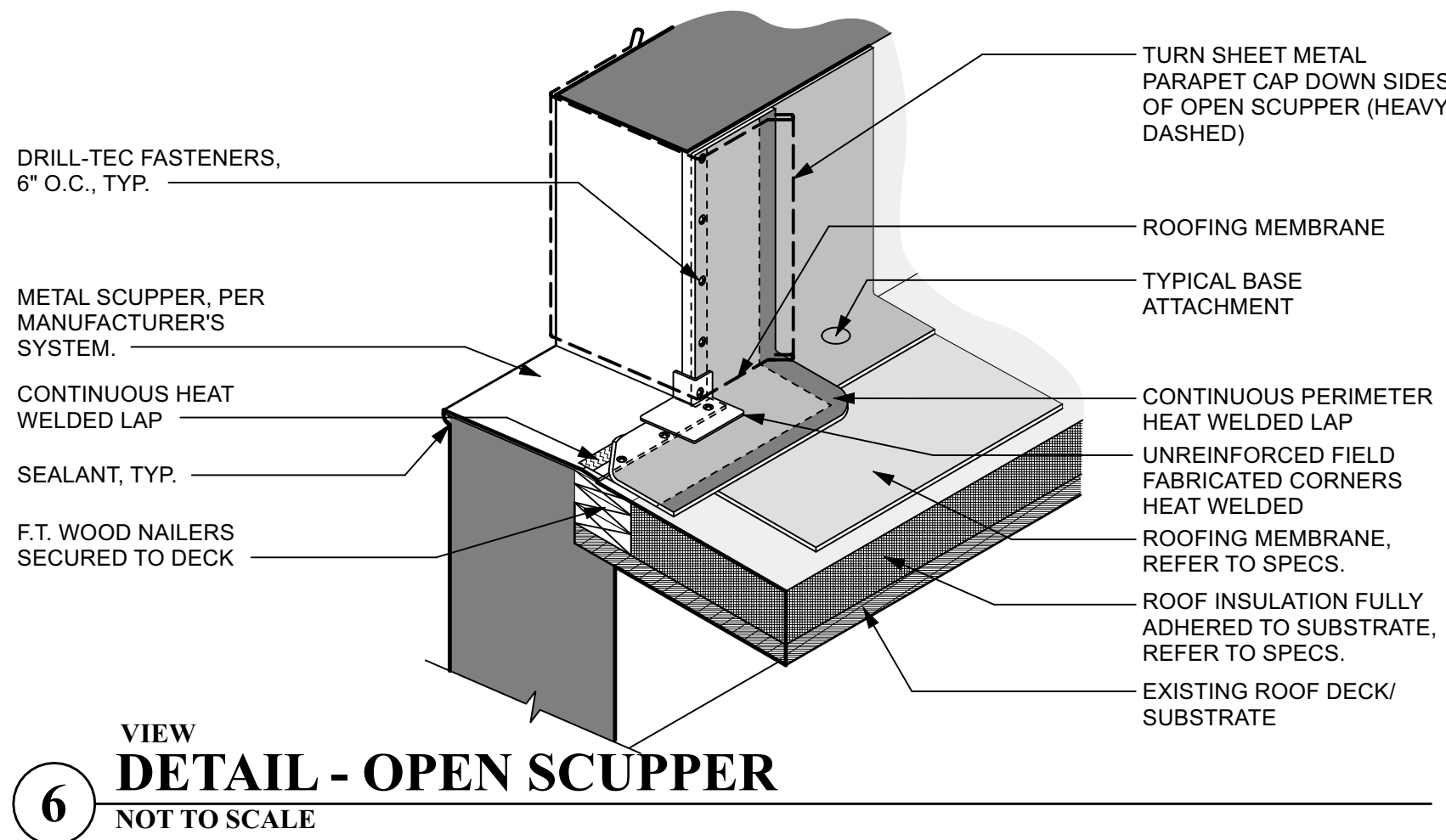
3 SECTION DETAIL - THRESHOLD
SCALE: 3" = 1'-0"



1 RESTROOM ENLARGED PLAN
SCALE: 1/2" = 1'-0"



2 OFFICE INTERIOR ELEVATIONS
SCALE: 1/2" = 1'-0"

















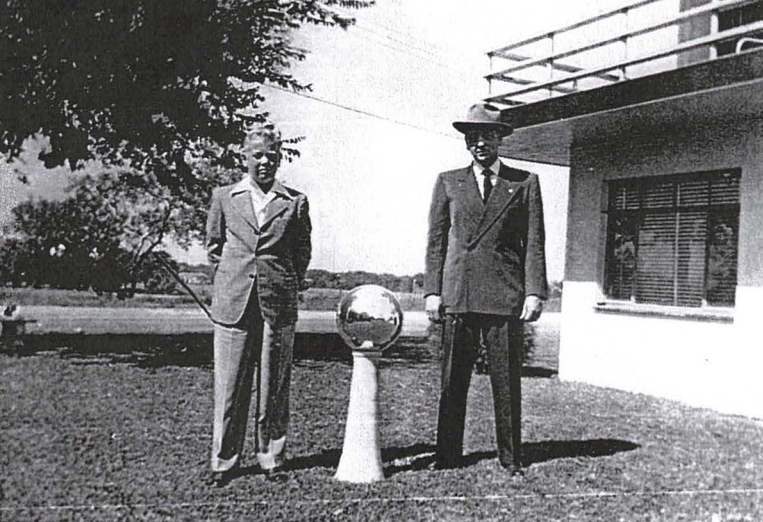


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