

809 LYDIA STREET

Austin, Texas 78704

PROJECT INFORMATION

LEGAL DESCRIPTION: Stuart & Mair subdivision of Outlot 4, Division "B", Travis County, Texas

HISTORIC DESIGNATIONS: Contributing building within Robertson/Stuart & Mair historic district

ZONING: LO-MU-HD-NP

YEAR CONSTRUCTED: After 1935 and before 1950 **APPLICABLE CODES:** 2021 IBC and IEBC

LOT SIZE: 6,563 SQ. FT. **OCCUPANCY:** B

FLOOR AREA: 3255 SQ. FT. [Gross] **CONSTRUCTION TYPE:** V-B

OCCUPANCY: B Business Office, 3255 Square feet Gross Floor Area
150 SF per occupant = 22 Occupants per IBC table 1004.5

Permitted Building Height per Table 504.3 B Unsprinklered 40 Feet above grade
Permitted Stories per Table 504.4. B Unsprinklered 2 stories
Permitted Building Areas per § 506 B Unsprinklered 9,000 square feet

Required Egress per table 1006.2.1
1 means of egress required per §1006. 2 ground floor Exits provided

Egress Doors:
D-01 @ 72 inches wide, D-02 @ 72 inches wide
Total capacity of all egress Doors @ 1 person per 0.2" width = 720 persons

Maximum Permitted Exit Access Travel Distance per Table 1006.3.4(2) = 75 feet

Required Plumbing Fixtures for B Occupancy per table 2902.1:
22 persons require minimum 1 water closets, 1 lavatory & 1 Service Sink
Actual Fixtures Provided: 2 Water closets, 2 Lavatories, 1 Service Sink



GENERAL NOTES

- All work shall be performed in a professional matter, and in accordance with the International Building Code, related trade codes, and applicable local codes, ordinances and laws.
- Contractor shall verify critical dimensions before beginning work. Do not scale drawings. Ask Architect for needed dimensions if not provided.
- Historic designation of this building requires the Contractor and his subcontractors to exercise special caution in executing the work to prevent unnecessary damage to historic features, conditions, or materials. Contractor shall inform all subcontractors and workmen of these requirements.
- The Contractor shall thoroughly example and familiarize himself with the requirements of the Contract Documents. Any conflicts shall be brought to the Architect's attention for resolution prior to the work being installed.
- Perform all work in a safe and conscientious manner to prevent injuries and damage to the building and workers. Contractor shall maintain OSHA Standards for job safety and worker protection, and comply with applicable state and local government requirements.
- Building permitting will be coordinated by the Owner and Architect prior to construction. Contractor is responsible for all trade permits, inspections, and compliance requirements.
- Maintain the building and site in a clean and orderly condition.
- The Contractor shall visit the site of the proposed work and full acquaint himself with the existing conditions regarding site access, staging, parking limitations, security, and other aspects of constructibility.
- The Contractor shall coordinate work between all trades in this contract to ensure a smooth and timely workflow.
- All work to be warranted for one year from the date of Substantial Completion unless otherwise noted.

SYMBOL LEGEND

	FFE OR GRADE ELEVATION AS NOTED		ELEVATION (LARGE SCALE)
	DOOR NUMBER		ELEVATION (SMALL SCALE)
	WINDOW NUMBER		SECTION DETAIL
	WALL TYPE (PLAN VIEW)		PLAN/ ELEVATION DETAIL
	NEW WALL (PLAN VIEW)		
	EXISTING WALL		
	CENTERLINE		

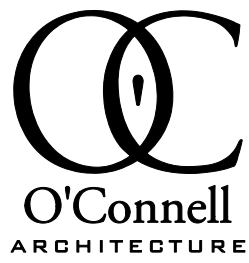
LIST OF DRAWINGS

Sheet List	
A-000	Cover Sheet
A-100	Plot Plan
A-101	Demolition Plan
A-102	Building Plan
A-103	Roof Plan
A-201	Demolition Elevations
A-211	North & West Elevations
A-212	South & West Elevations
A-301	Building Sections
A-401	Wall Sections
A-501	Interior Details
A-601	Schedules

DESIGN TEAM

ARCHITECTURE
O'CONNELL ARCHITECTURE, LLC
TERESA O'CONNELL, AIA
3908 AVENUE B, SUITE 309
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STRUCTURAL ENGINEERING
TSEN ENGINEERING
JAMIE BUCHANAN, P.E.
210 BARTON SPRINGS ROAD, #250
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NOT FOR
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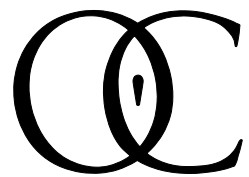
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SHEET NAME

COVER

SHEET NUMBER

A-000



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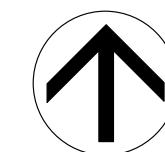
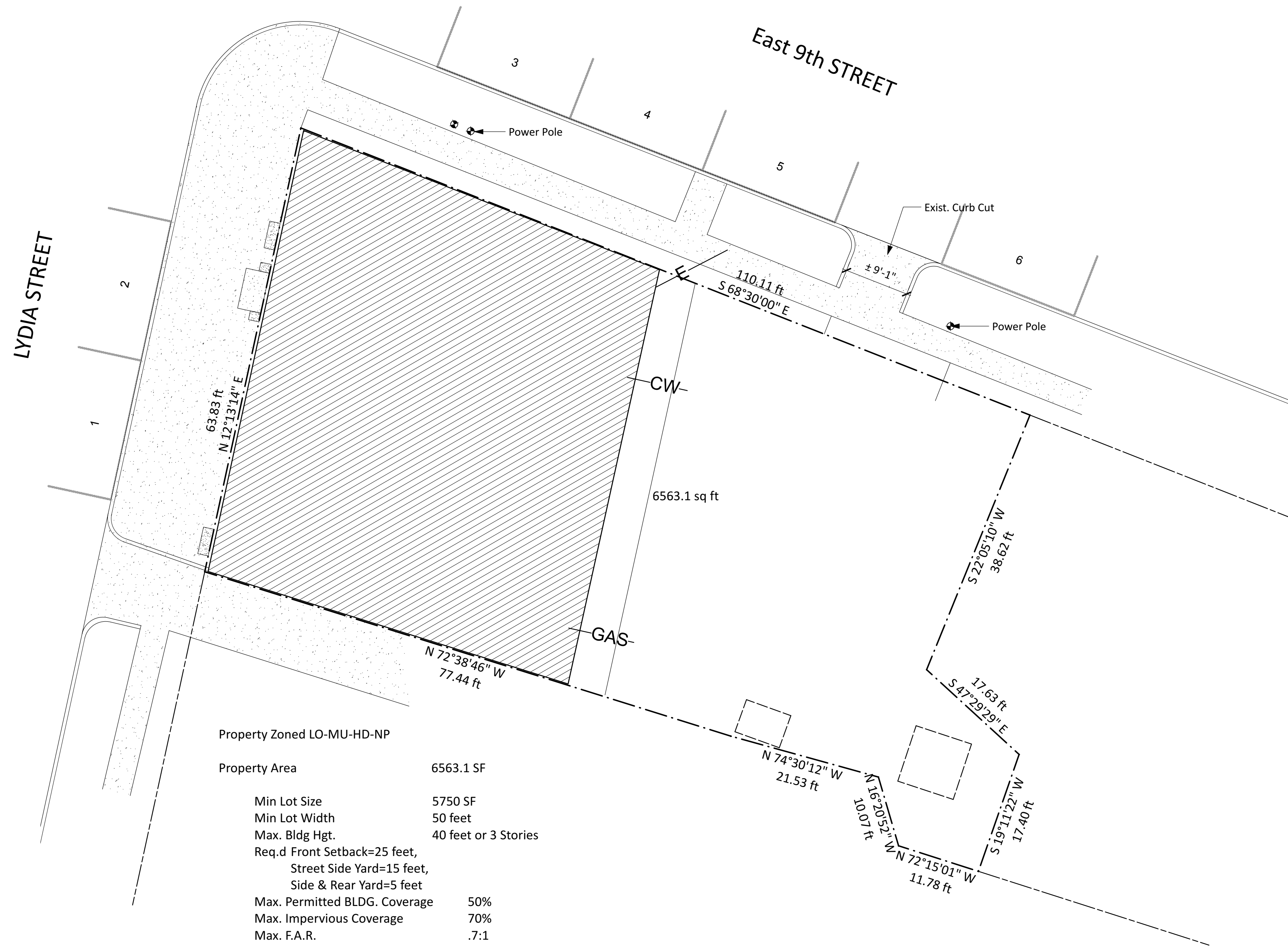
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SHEET NAME

SITE
PLAN

SHEET NUMBER

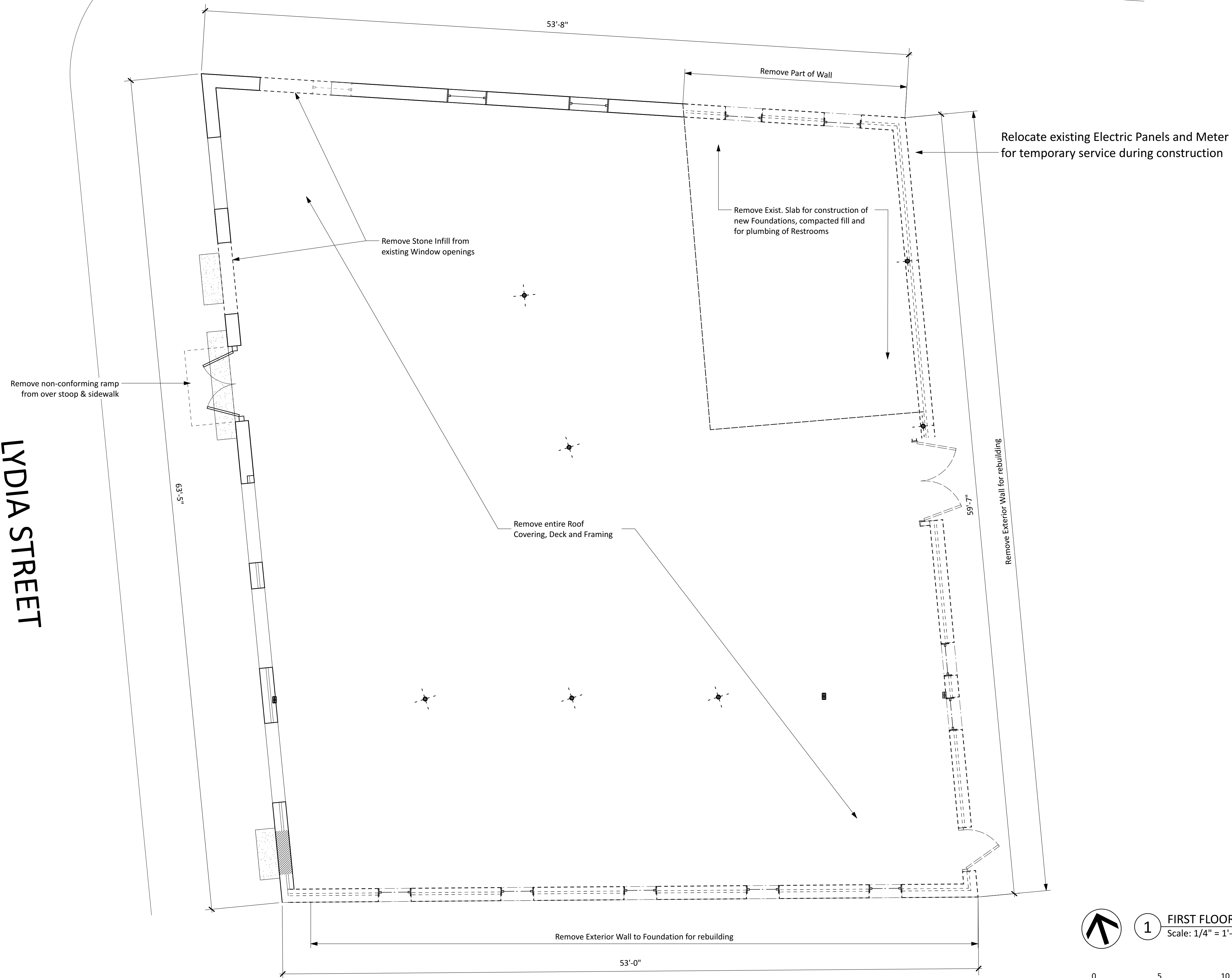
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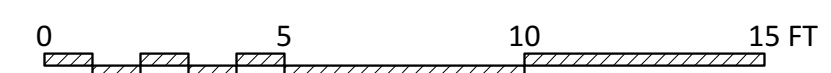
1 SITE PLAN
Scale: 1" = 10'-0"

LYDIA STREET

E. 9th STREET



1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



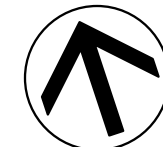
LYDIA STREET

E. 9th STREET

New Sidewalk Awning
6 ft. wide

ELECTRICAL PANELS & METER

GAS METER



1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

0 5 10 15 FT

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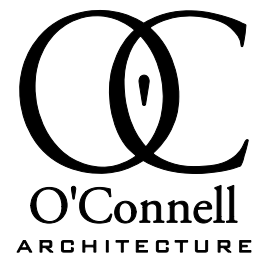
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SHEET NAME
PLAN

SHEET NUMBER
A-102



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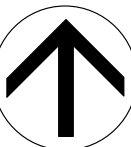
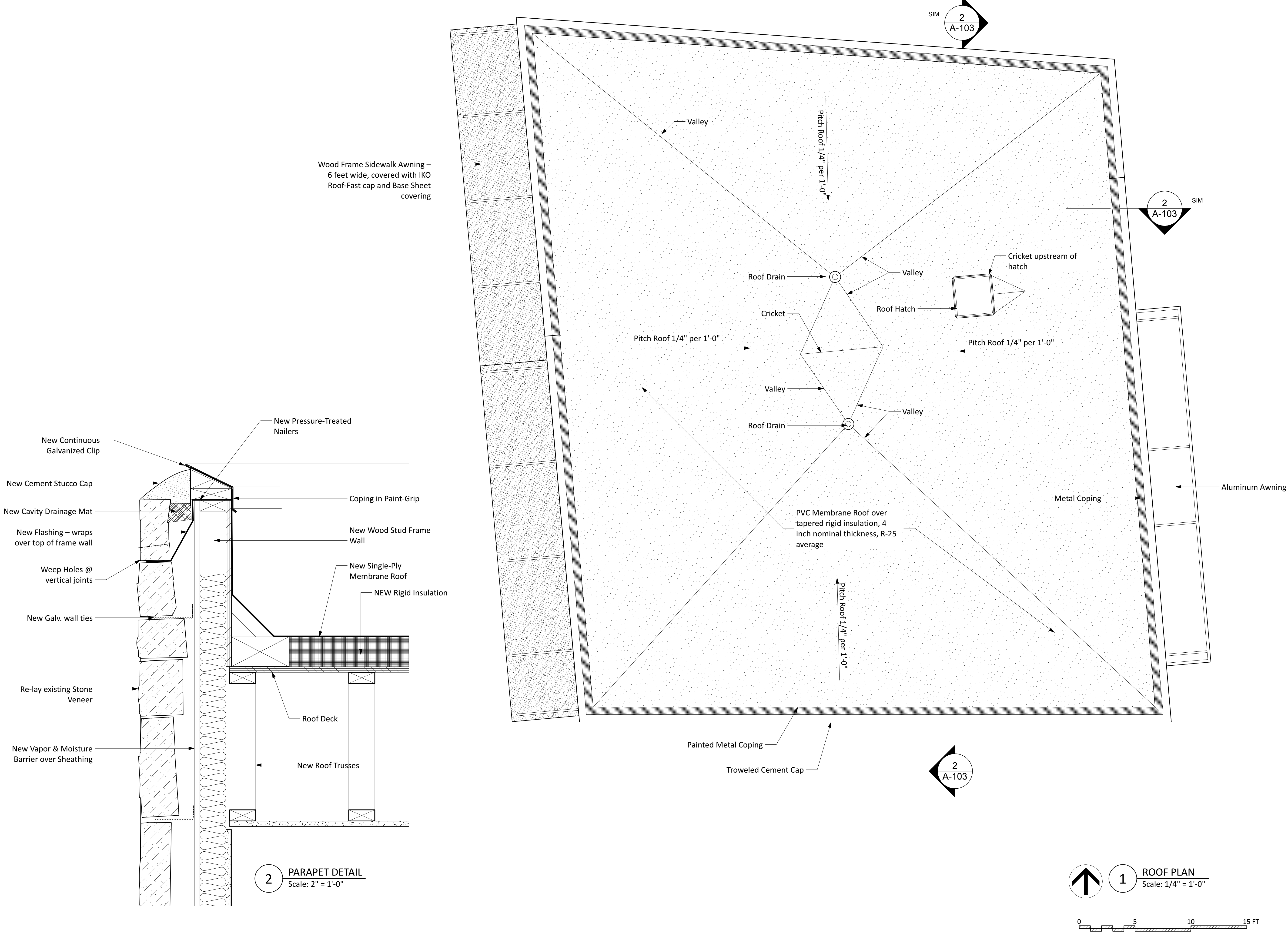


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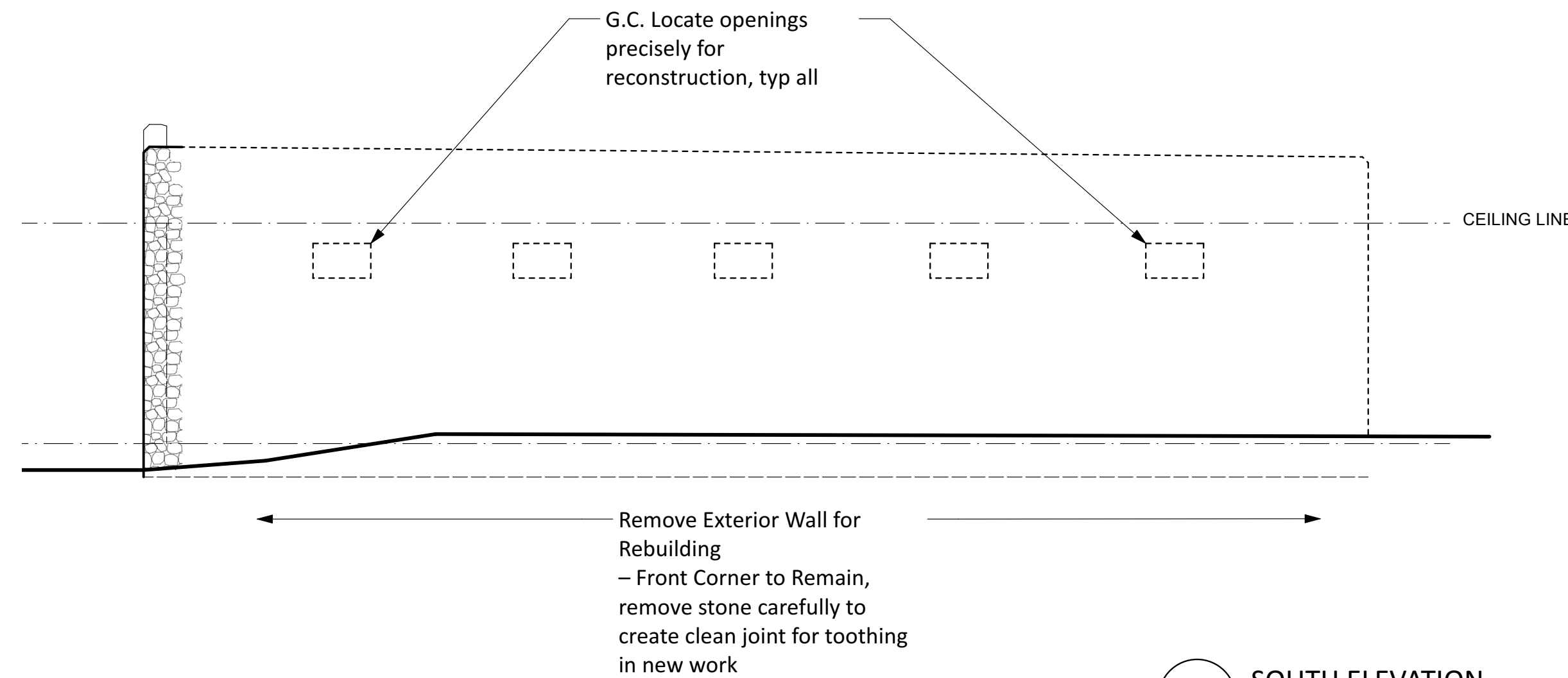
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ROOF

SHEET NUMBER
A-103

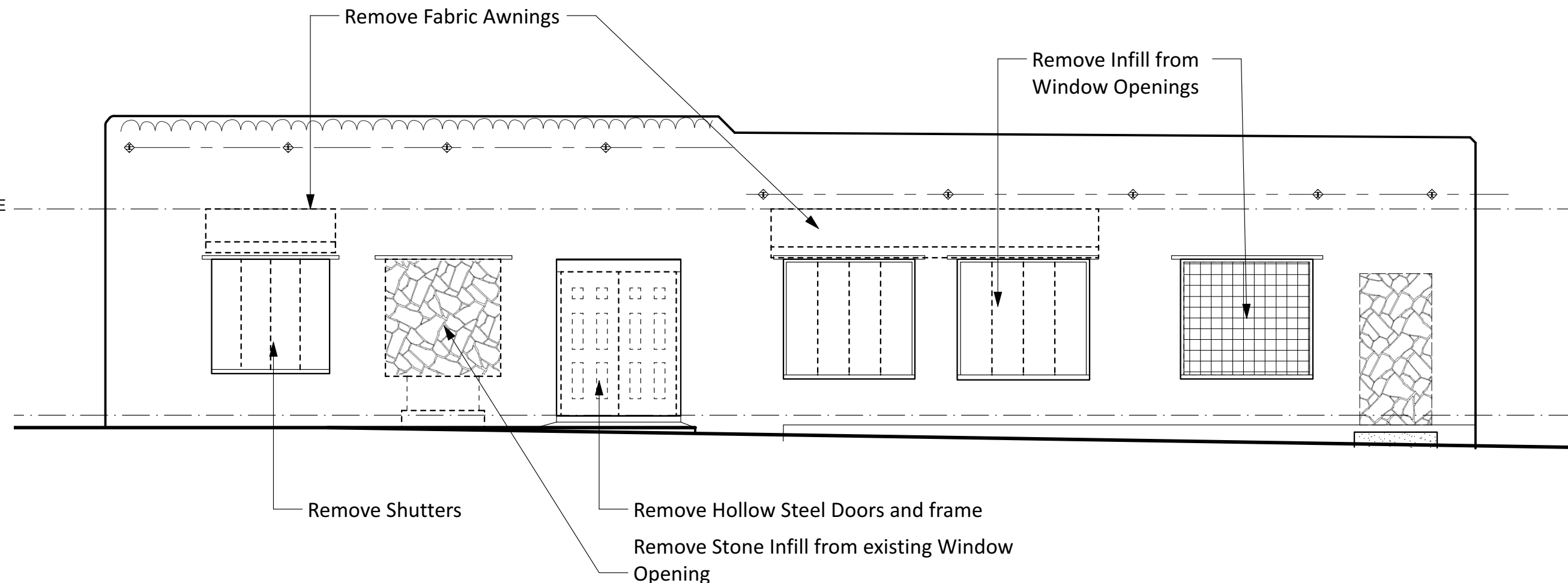


1 ROOF PLAN
Scale: 1/4" = 1'-0"

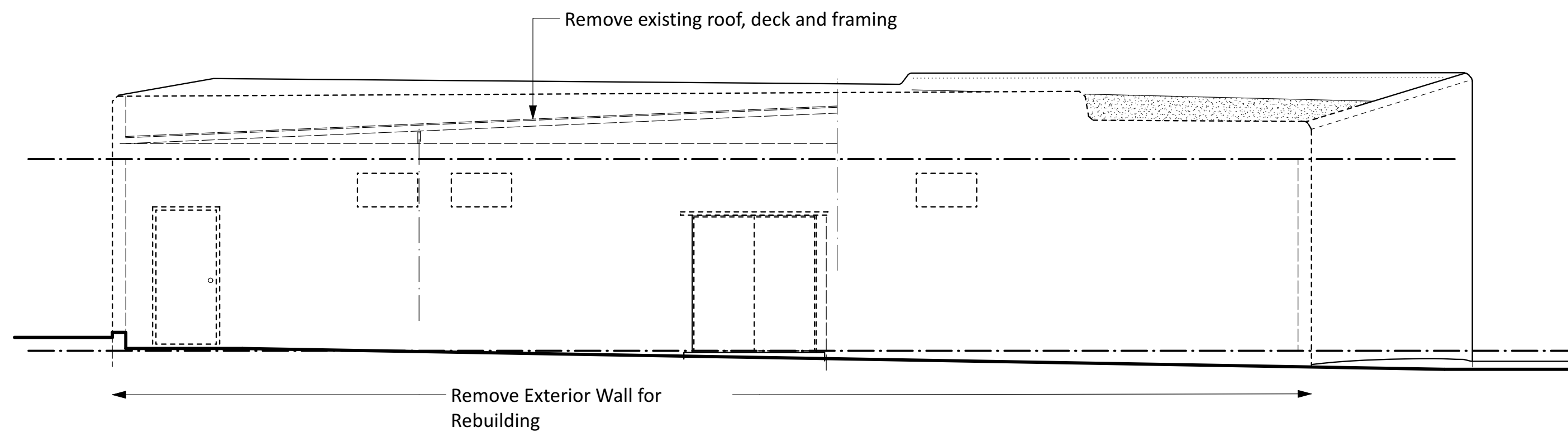




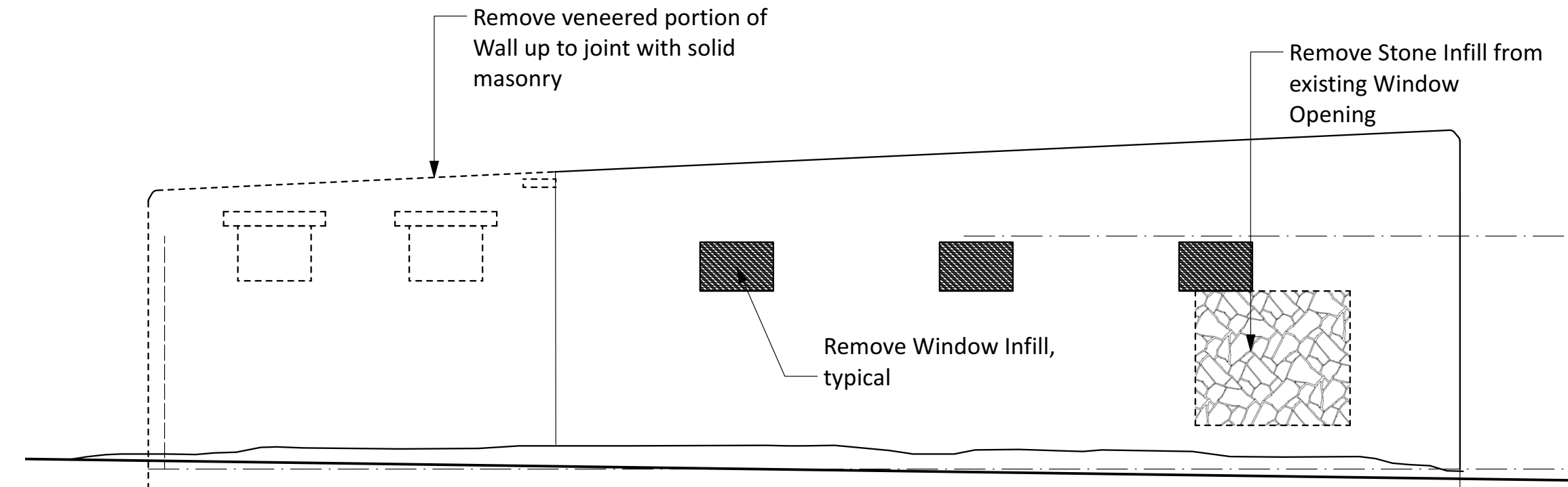
2 SOUTH ELEVATION
Scale: 3/16" = 1'-0"



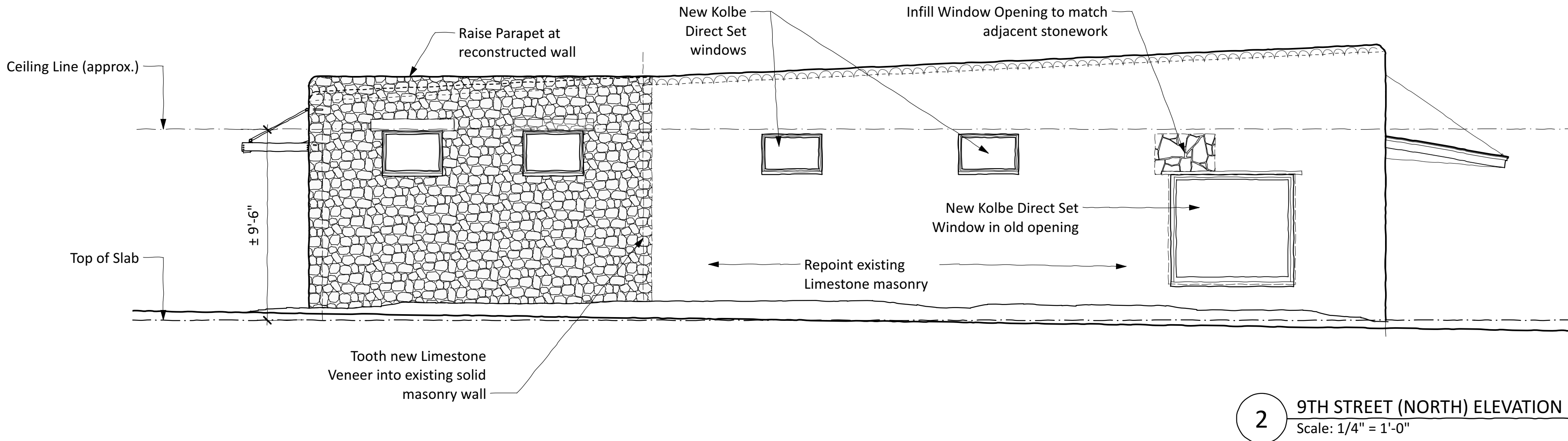
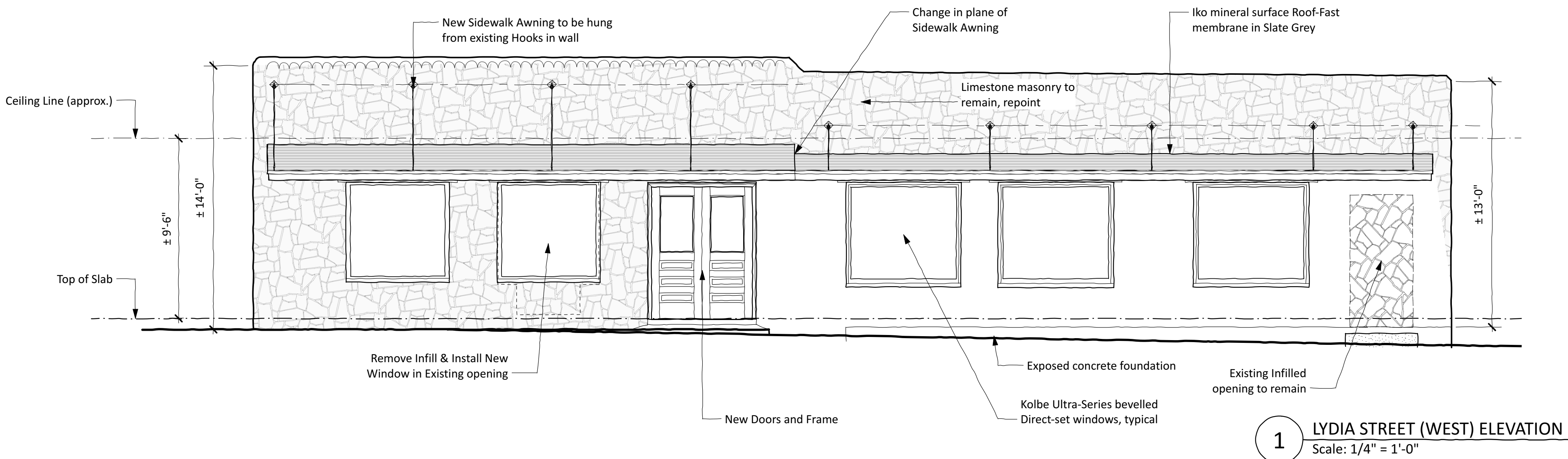
1 LYDIA STREET (WEST) ELEVATION
Scale: 3/16" = 1'-0"

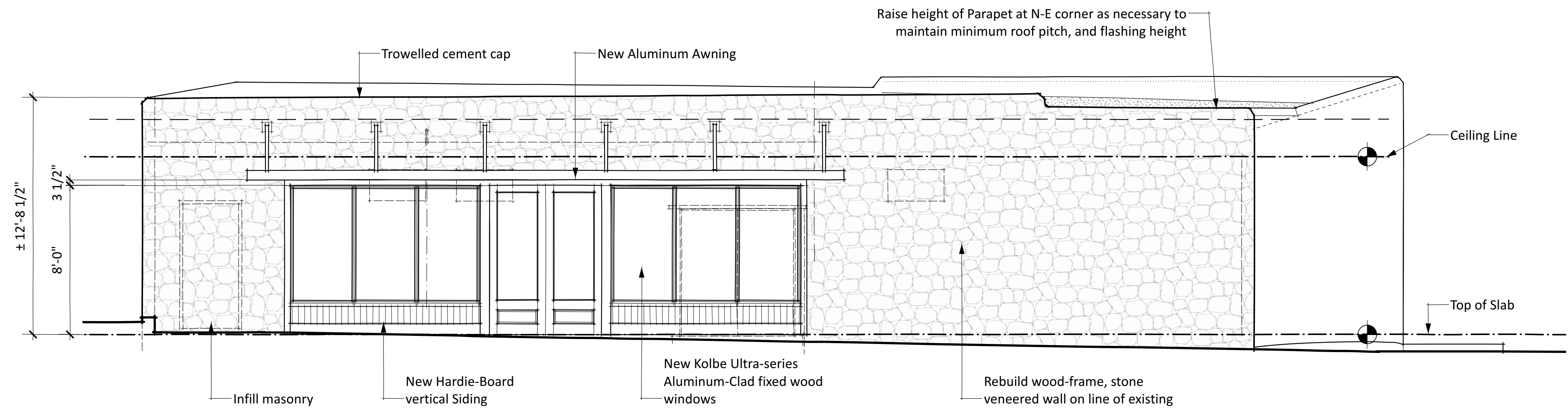


3 REAR (EAST) ELEVATION
Scale: 3/16" = 1'-0"

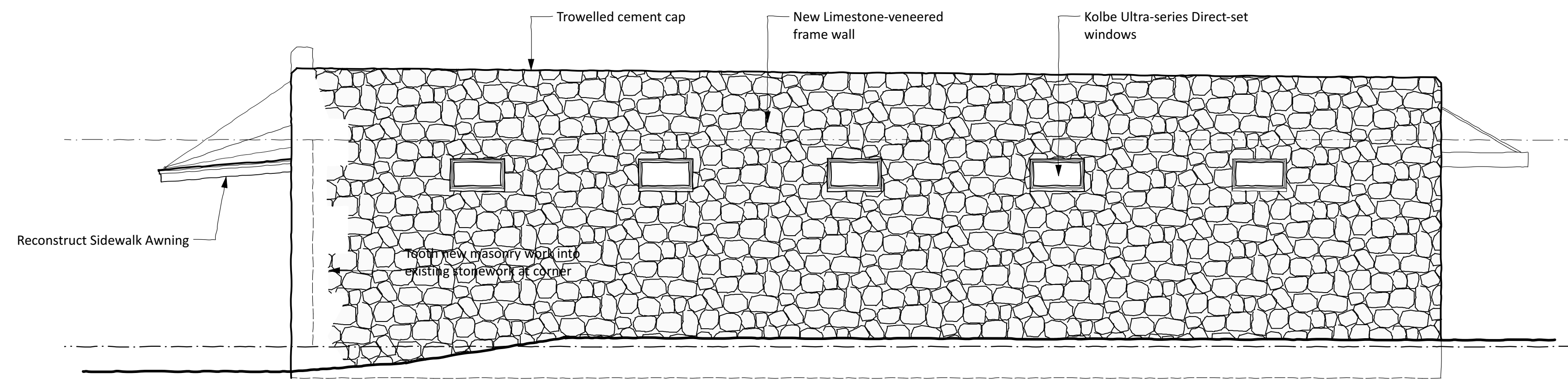


4 9TH STREET (NORTH) ELEVATION
Scale: 3/16" = 1'-0"

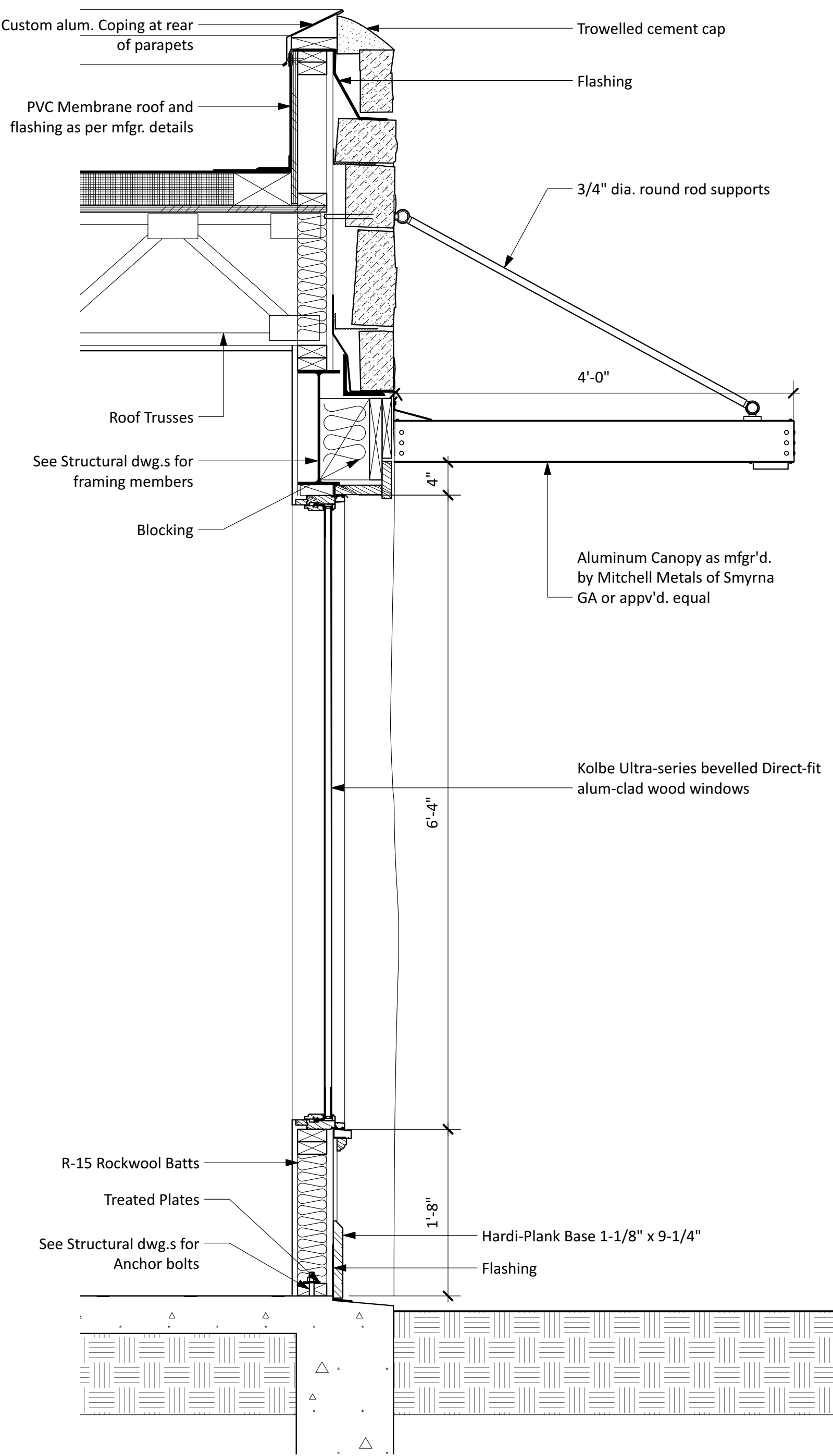




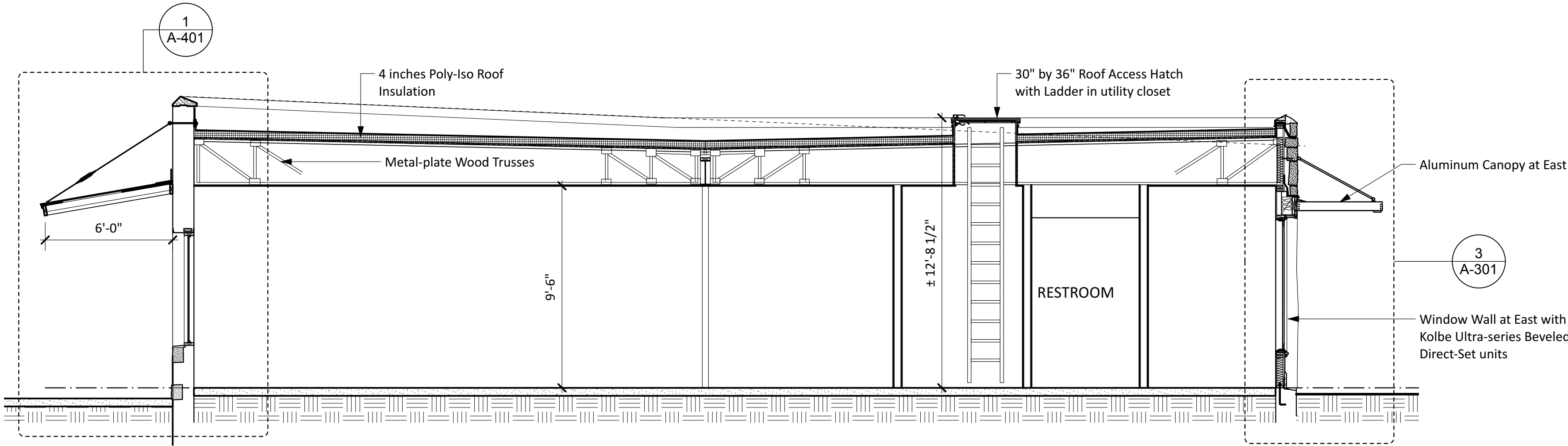
1 PROPOSED REAR (EAST) ELEVATION
Scale: 1/4" = 1'-0"



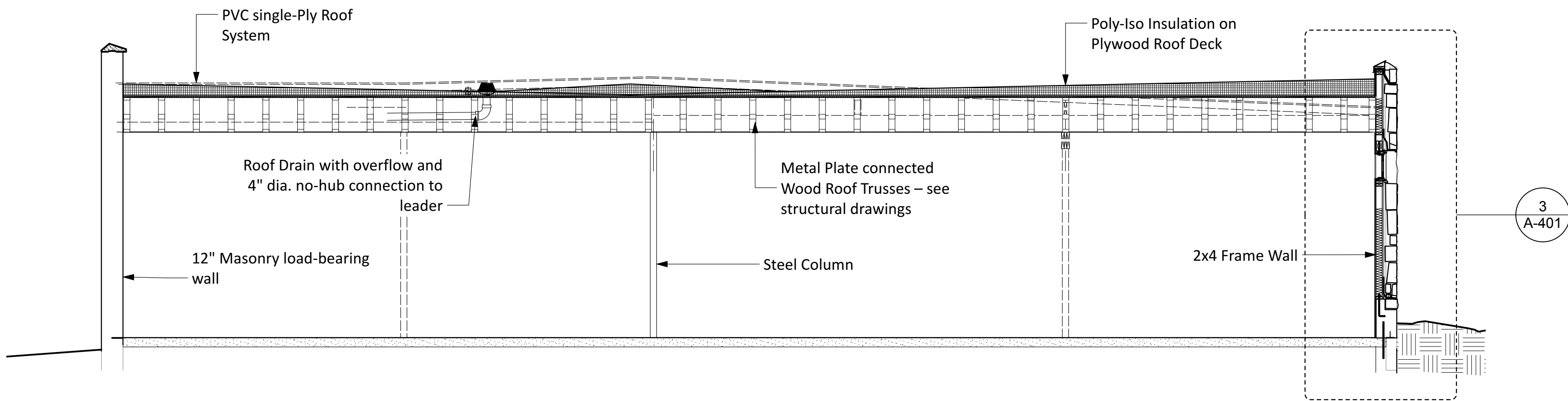
2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



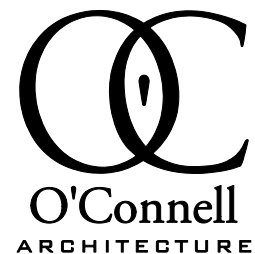
3 REAR WALL DETAIL
Scale: 1" = 1'-0"



2 SECTION WEST-EAST
Scale: 1/4" = 1'-0"



1 SECTION N-S
Scale: 1/4" = 1'-0"



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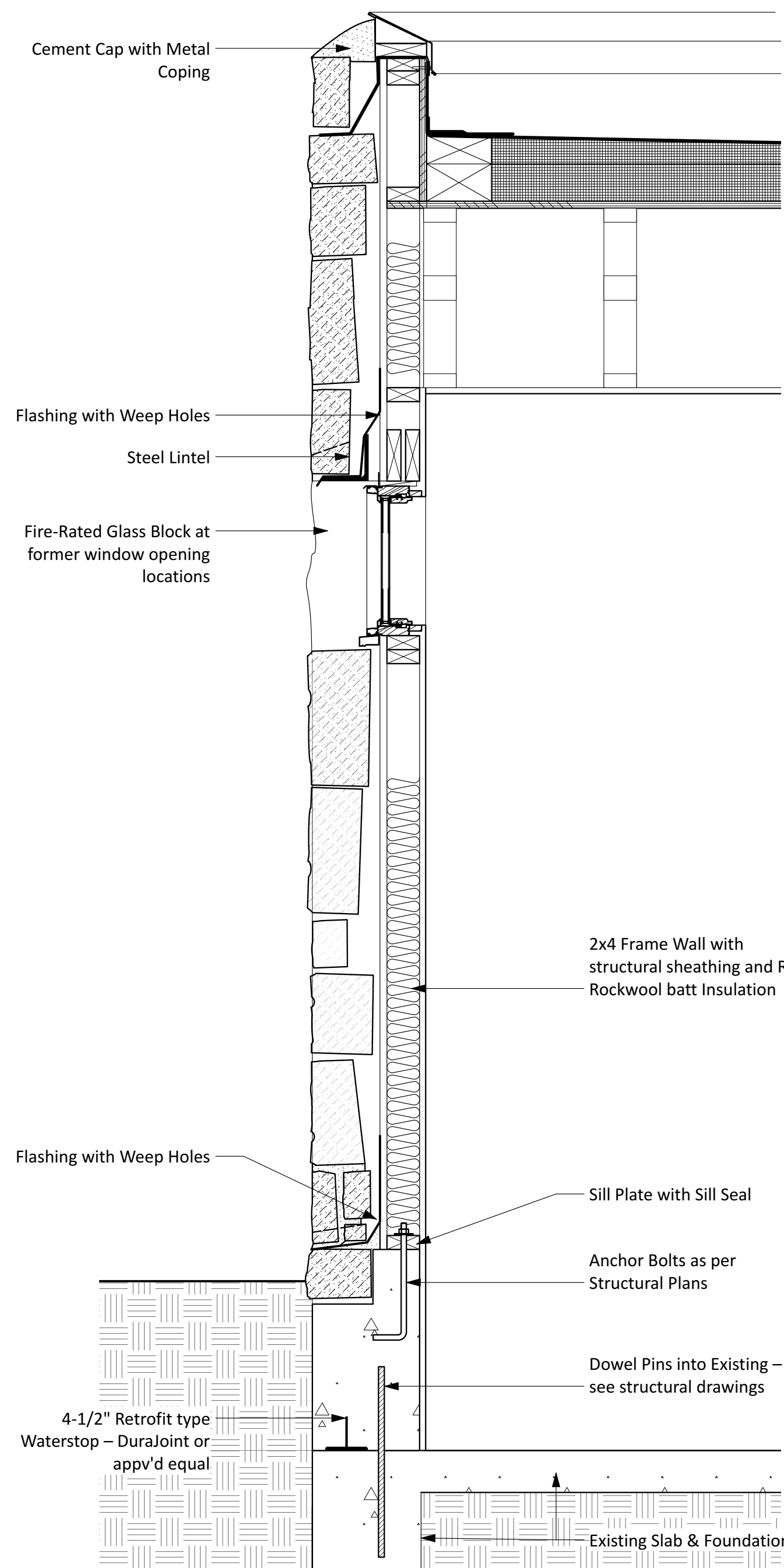
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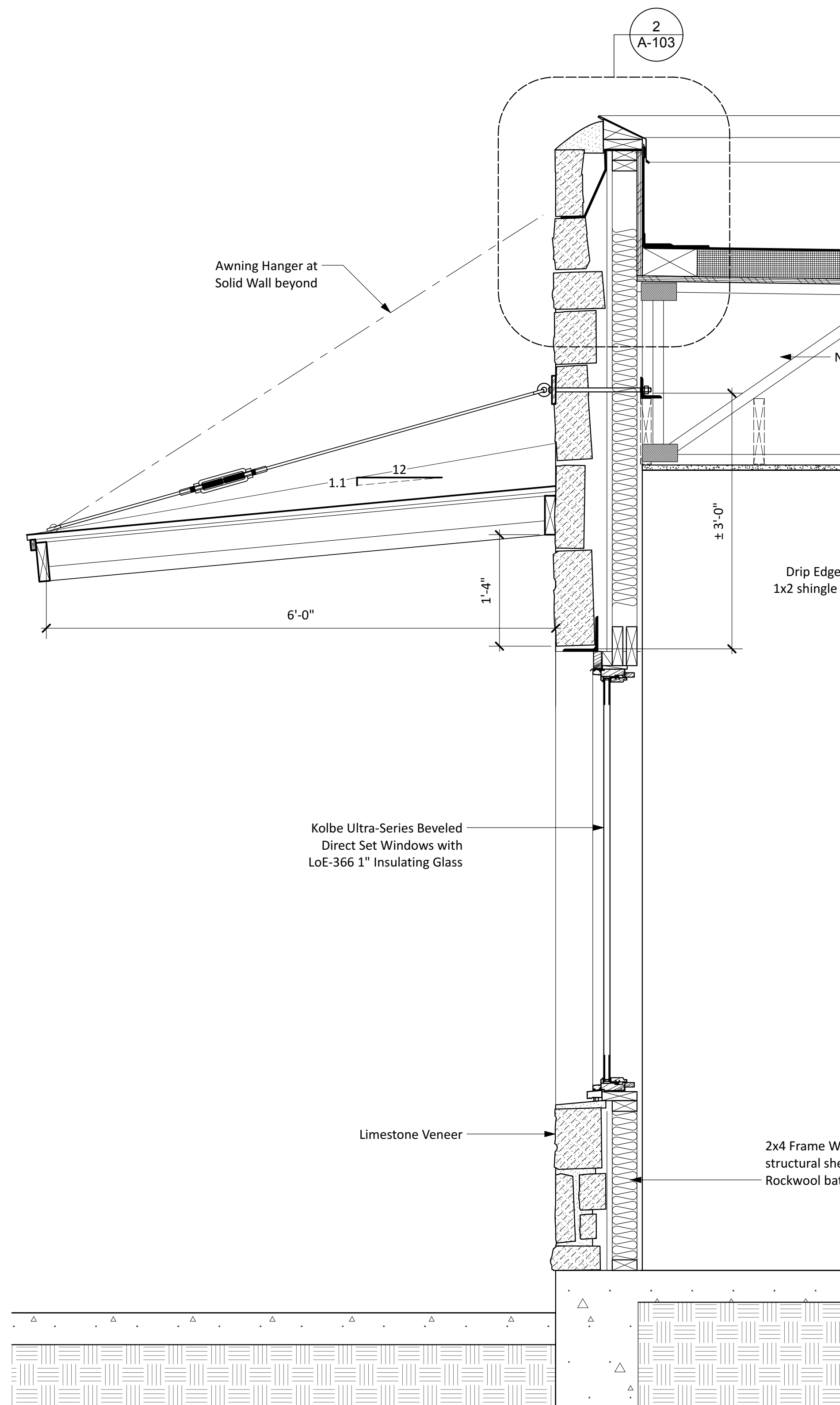
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SECTION

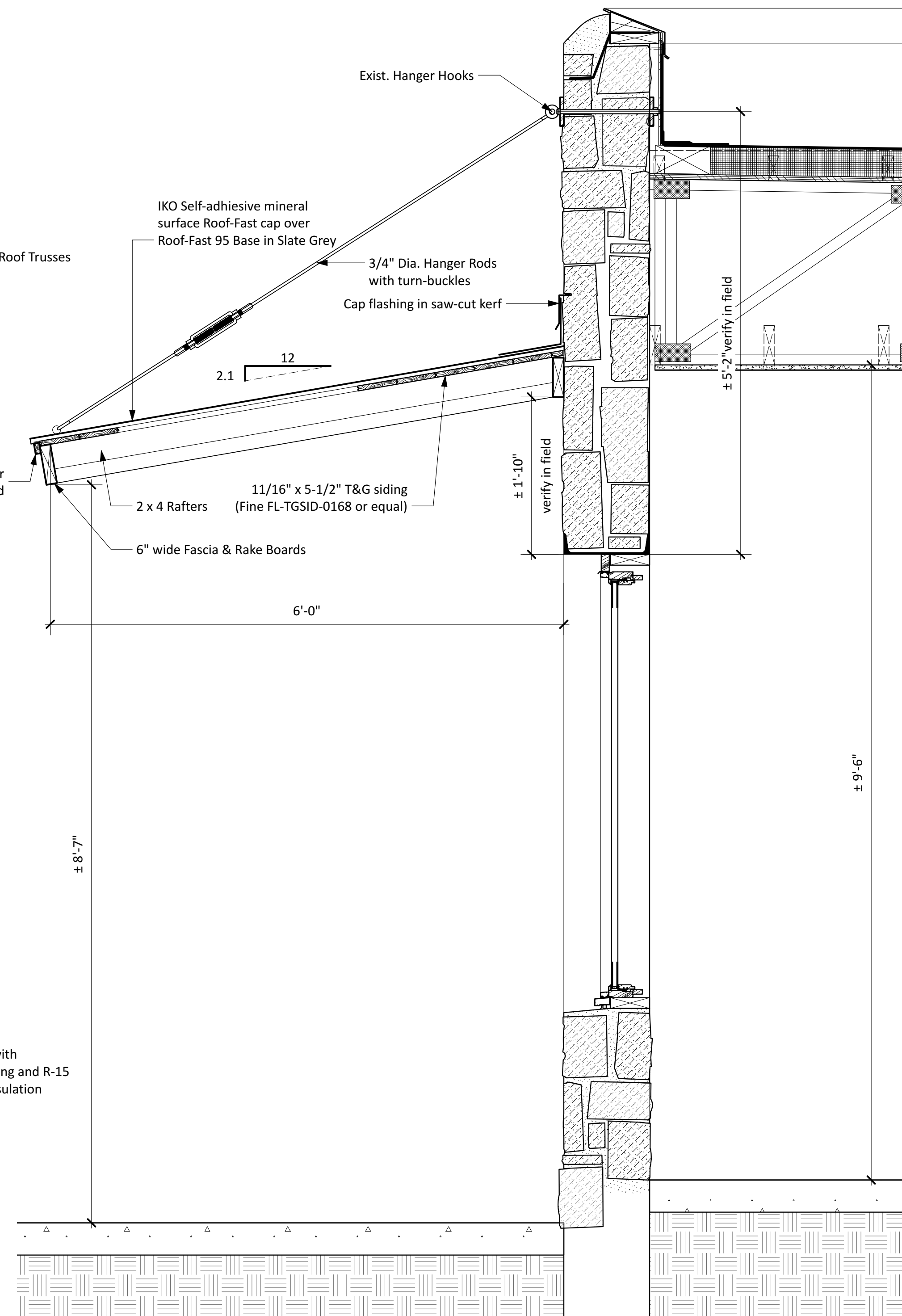
SHEET NUMBER
A-301



3 SOUTH WALL SECTION
Scale: 1" = 1'-0"



2 VENEER WALL SECTION
Scale: 1" = 1'-0"



1 SOLID MASONRY WALL SECTION
Scale: 1" = 1'-0"