

MIRRAN TRAVIS HEIGHTS

1509 Travis Heights Blvd. Austin, TX 78704

RAWING LIST:				SUBCHAPTER F:								
REVISION 1 - COA				XXXXX								
		SCHEMATIC SET 03.28.2023	COMMENTS RESPONSE XX.XX.XXXX									
ARCHITECTURAL												
A001 A002	COVER SHEET SPECIFICATIONS	Χ	X	BUILDING & PROPERTY INFORMATI	TION:							
A101	SITE PLAN & TREE PROTECTION DETAILS	Χ		LEGAL DESCRIPTION:						HEIGHTS, A SUB		
A102 A109	TREE IMPACT SITE PLAN FOUNDATION PLAN - SITE				RECORDE	O IN VOL	LUME 3, PAG	GE 15, PLAT R	ECORDS OF	TRAVIS COUNT	Y, TEXAS	
A110	FOUNDATION PLAN A			NEIGHBORHOOD PLAN:	SOUTH RIV	SOUTH RIVER CITY: TRAVIS HEIGHTS-SWISHER						
A111	FOUNDATION PLAN B			0.00.055	0.11 - 5.11	CAL & DAMALAUDDANI						
A113 A114	FIRST FLOOR PLAN - OVERVIEW FIRST FLOOR PLAN - MAIN HOUSE	Χ		OWNER:	SAL & DAV	SAL & DAWN MIRRAN						
A115	SECOND FLOOR PLAN - MAIN HOUSE	X		ADDRESS:	1509 TRAV	1509 TRAVIS HEIGHTS BLVD., AUSTIN, TX 78704						
A116 A117	ATTIC FLOOR PLAN - MAIN HOUSE FIRST FLOOR PLAN & RCP - GUEST HOUSE	X X		ZONING:	SF-3-NP	SF-3-NP						
A118	SECOND FLOOR PLAN & RCP - GUEST HOUSE	X										
A119 A120	ATTIC FLOOR PLAN & RCP - GUEST HOUSE FIRST FLOOR REFLECTED CEILING PLAN - MAIN	X		JURISDICTION:	AUSTIN FUI	AUSTIN FULL PURPOSE						
A121	SECOND FLOOR REFLECTED CEILING PLAN - MAIN			FLOODPLAIN:	NO	NO						
A122 A131	ATTIC FLOOR REFLECTED CEILING PLAN - MAIN ROOF PLAN	V		WATERSHED:	HRP1: HAR	HRP1: HARPER'S BRANCH						
A132	SOFFIT PLAN	X										
A201	EXTERIOR ELEVATIONS - SITE/ZONING	X		EXISTING USE:	SINGLE-FA	MILY RES	SIDENTIAL					
A202 A203	EXTERIOR ELEVATIONS - SITE/ZONING EXTERIOR ELEVATIONS - MAIN HOUSE	X X		PROPOSED USE:	SINGLE-FA	MILY RES	SIDENTIAL					
A204	EXTERIOR ELEVATIONS - GUEST HOUSE				11,085,20,9	11,085.20 SQ FT						
A301 A302	BUILDING SECTIONS BUILDING SECTIONS	X x		SITE SQUARE FOOTAGE:		1						
A303	BUILDING SECTIONS	X		APPLICABLE CODE:	2021 IRC							
A304 A305	BUILDING SECTIONS BUILDING SECTIONS	X		GROSS FLOOR AREA: (As defined	by subchapte	r f, Sectio	on 3.3)					
A306	BUILDING SECTIONS	X				FYIS	STING	NEV		EXEMPTION	TOTAL	
A311	DETAILED WALL SECTIONS	X					1		1	EXEMII IION	IOIAL	
A312 A313	DETAILED WALL SECTIONS DETAILED WALL SECTIONS	X X			i i	BLDG 1	BLDG 2	BLDG 1	BLDG 2			
A411	INTERIOR ELEVATIONS	X		1ST FLOOR:	1	,121 SF		971 SF	834 SF		1,805 S	
4412 4413	INTERIOR ELEVATIONS INTERIOR ELEVATIONS	X X		2ND FLOOR:	1	,211 SF		1,262 SF	1,290 SF		2,552 S	
A414	INTERIOR ELEVATIONS	X		ZND I LOOK.	'	,21131		1,202 31	1,270 31		2,552 5	
4415 4416	INTERIOR ELEVATIONS INTERIOR ELEVATIONS	X		3RD FLOOR:							0	
A501	EXTERIOR PLAN DETAILS	^		15'+ CLG:							0	
A502	EXTERIOR SECTION DETAILS AT SLAB			CDOUND DODGU/DATIO		101		1.50		202		
A503 A504	EXTERIOR SECTION DETAILS AT ROOF EXTERIOR SECTION DETAILS AT ROOF			GROUND PORCH/PATIO:		131		152		-283	0	
A601	GLAZING SCHEDULE			BASEMENT:							0	
A602 A603	DOOR SCHEDULES APPLIANCE / UTILITY / PLUMBING SCHEDULES			ATTIC:				741 SF	883 SF	-1,624SF	0	
	, ,			ATTACHED CARRORT				471.05		450.05	01.05	
STRUCTURAL				ATTACHED CARPORT				471 SF		-450 SF	21 SF	
S1.1	FOUNDATION REINFORCEMENT - ENTRY & GUESTS			DETACHED GARAGE/CARPORT		305 SF			447 SF	-450 SF	0	
\$1.1 \$1.2	FOUNDATION REINFORCEMENT - LIVING & KITCHE FOUNDATION REINFORCEMENT - BEDROOM SUITE			CONDITIONED AREA:				2,974 SF	3,007 SF			
\$2	FOUNDATION LAYOUT - ENTRY & GUESTS	X		CROSS FLOOR AREA.							4 270 6	
S2.1 S2.2	FOUNDATION LAYOUT - LIVING & KITCHEN FOUNDATION LAYOUT - BEDROOM SUITE	X X		GROSS FLOOR AREA: 4,376							4,3/8 3	
\$3	FOUNDATION DETAILS	X		LOT AREA:	11,085							
S4 S4.1	LEVEL 1 CEILING FRAMING PLAN - ENTRY & GUEST LEVEL 1 CEILING FRAMING PLAN - LIVING & KITCH LEVEL 1 CEILING FRAMING PLAN - BEDROOM SUIT LEVEL 1 DROPPED CEILING PLAN - ENTRY & GUEST LEVEL 1 DROPPED CEILING PLAN - BEDROOM SUIT CLERESTORY CEILING FRAMING PLAN OVERLAY PLAN ROOF FRAMING PLAN - ENTRY & GUESTS	HEN X TE X TS X		TOTAL FLOOR AREA RATIO: 39.49°								
\$4.2												
S5 S5.1				IOIAL ALLOWABLE FLOOR AREA: ((Maximum allo	wable b	y subchap	ter F, Amcie	2, Section :	2.1)	4,434.08	
S6				SITE IMPERVIOUS COVERAGE:								
\$7				SITE TOTAL SF:	11,085.20							
S8 S8.1	ROOF FRAMING PLAN - ENTRY & GUESTS ROOF FRAMING PLAN - LIVING & KITCHEN	X X		AFO ALLOWED.	X 45% = 4,988.34							
88.2	ROOF FRAMING PLAN - BEDROOM SUITE	X		45% ALLOWED:								
S9 S9.1	LEVEL 1 LATERAL BRACING PLAN - ENTRY & GUESTS LEVEL 1 LATERAL BRACING PLAN - LIVING & KITCHI			BUILDING 1 COVERAGE	1,830 SF							
59.2	LEVEL 1 LATERAL BRACING PLAN - BEDROOM SUITE			BUILDING 2 COVERAGE	1,342.5 SF							
S10 S11	CLERESTORY LATERAL BRACING PLAN FRAMING NOTES	X x										
312	FRAMING DETAILS	x		DRIVEWAY	1,359 SF							
S13 S14	FRAMING DETAILS FRAMING DETAILS	X		CONCRETE PAVERS	213 SF							
S15	FRAMING DETAILS FRAMING DETAILS FRAMING DETAILS FRAMING DETAILS	X X X		POOL COPING & RETAINING	92 SF	92 SF 138 X .5 = 69 SF						
\$16												
S17	FRAMING DEIAILS	X		WOOD DECK (50%)	138 X .5 = 6	59 SF						
		TOTAL: 4,905.5 SF (44.25%)										
				MAXIMUM ALLOWED:	4,988.34 SF (45.0%)							
					.,, 55.54 51	(. 5. 6 / 0)	•					
				BUILDING COVERAGE:								
				BUILDING COVERAGE: SITE TOTAL SF:	11,085.20							
					11,085.20 1,647 SF							

architecture
4009 bannister lane #250
austin, texas 78704

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PROJECT TEAM:

OWNERS:
SAL & DAWN MIRRAN
1509 TRAVIS HEIGHTS BLVD.
AUSTIN, TX 78704
dkmirran@yahoo.com
sal@fundient.com

STRUCTURAL ENGINEER: TBD

GENERAL CONTRACTOR: TBD

PROFESSIONAL SEAL

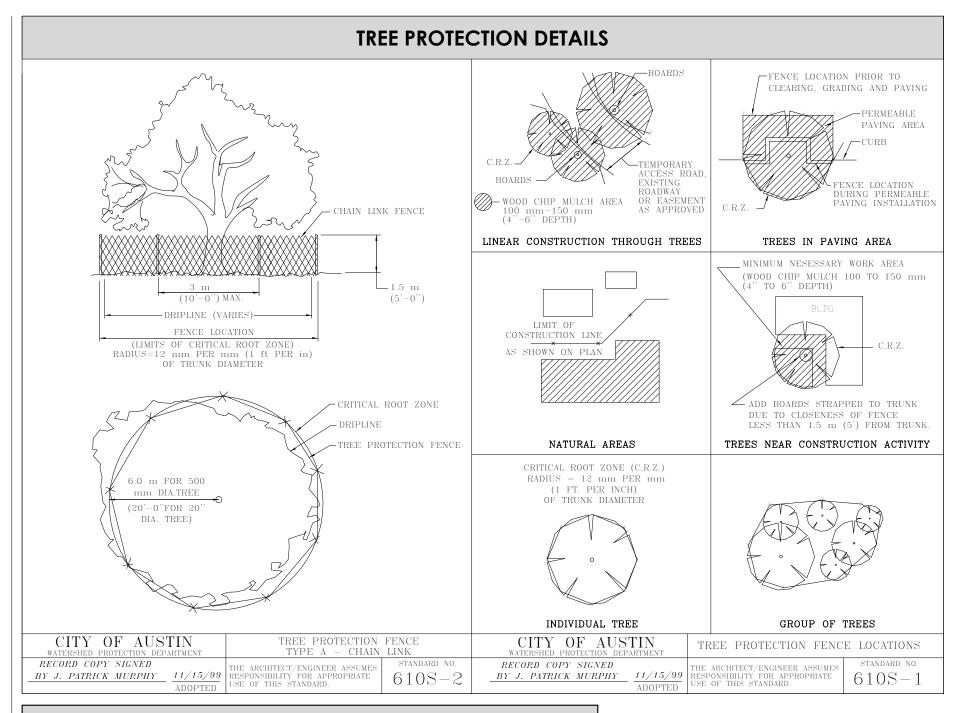
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ISSUE HISTORY

DATE DESCRIPTION

2023.04.05 HLC SET

COVER SHEET



TEMP. BENCHMARK ON CURB = 30.0'

TREE PROTECTION NOTES

1. CONTRACTOR, SHALL ESTABLISH TREE PROTECTION, BY THE MEANS DESCRIBED HERE, FOR ALL STREET TREES WITHIN THE CONTRACTOR'S MOBILIZATION AREA, WHETHER THOSE AREAS HAVE TREE PROTECTION FENCE INDICATED HERE OR NOT.

2. CRITICAL ROOT ZONE (CRZ) IS AN AREA SURROUNDING AN EXISTING TREE, ITS DIAMETER EQUAL TO 1-FOOT FROM THE TREE TRUNK FOR EVERY 1-INCH OF DIAMETER OF THE EXISTING TREE TRUNK. SIMILARLY, THE 1/2 CRZ AREA IS 1/2 OF THE DIAMETER OF THE CRZ RESPECTIVELY

3. TREE PROTECTION FENCE. PROVIDE 5' HIGH, CHAIN-LINK MESH FENCING WHICH:

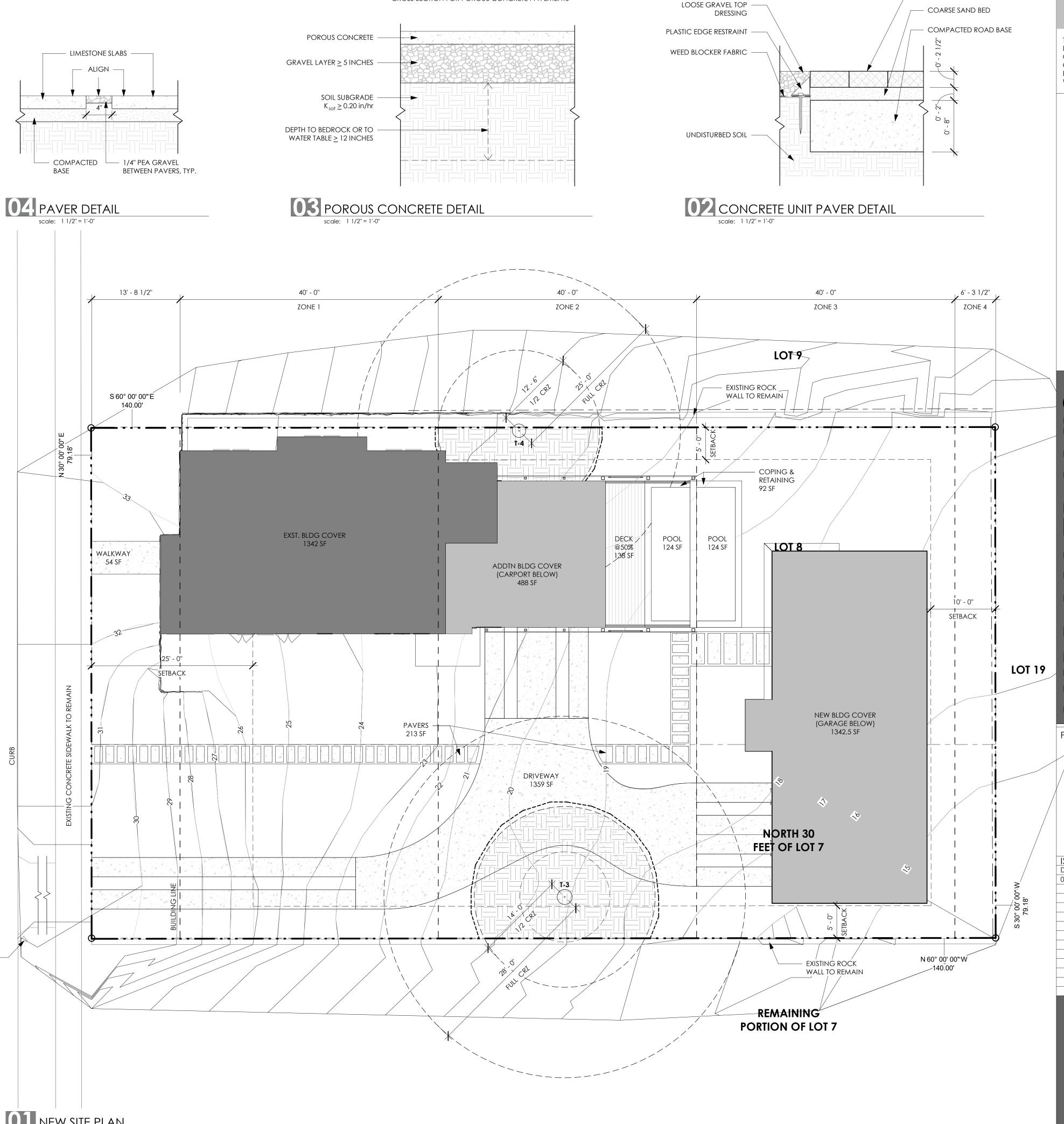
- FOR PROTECTED SIZE TREES: ENCLOSES THE SIDEWALK FOR 1/2 CRZ IN EITHER
DIRECTION, RETURNS TO THE BUILDING, AND ENDS AT THE STREET CURB.

-FOR OTHER TREES: ENCLOSES THE ENTIRETY OF THE STREET TREE'S SIDEWALK WELL.

4. TREE PROTECTION STRAPPED-ON PLANKING. PROVIDE 8' HIGH, STRAPPED-ON PLANKING FROM AS NEAR TO THE GROUND AS THE ROOTS ALLOW. PLANKING SHALL BE COMPRISED OF 2X4 WOOD SLATS. PROTECT MAJOR SCAFFOLD LIMBS AS WELL. PROVIDE 4-6" OF MULCH COVER TO PROTECT ROOTS FROM COMPACTION.

5. DO NOT PERMIT CONSTRUCTION MATERIAL OR OPERATIONS TO DISTURB TREE CANOPIES.

TREE LEGEND										
TAG#	TREE TYPE	DIAMETER OF TREE/INCHES	PROTECTED STATUS	PHASE						
T-1	PECAN	12"	NO	DEMO						
T-2	PECAN	11"	NO	DEMO						
T-3	LIVE OAK	33"	YES	EXISTING TO REMAIN						
T-4	ASHE JUNIPER	25"	YES	EXISTING TO REMAIN						
T-5	CHINABERRY	11"	NO	DEMO						



NOTE: SPECIFICATION FROM THE ENVIRONMENTAL CRITERIA

CROSS SECTION FOR POROUS CONCRETE PAVEMENTS

MANUAL WILL BE MUST BE MET - REF. FIGURE 1.6.7.E-3 TYPICAL

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PROJECT TEAM:

CONCRETE UNIT PAVERS

SET TIGHT, NO INFILL.

OWNERS:
MEINERS PARTNERS
6326 ROCKY CREEK ROAD
LAGRANGE, TX 78945
CONTACT: DAWN MIRRAN
512.230.5169

AIRANIS HEIGHTS BLVD.

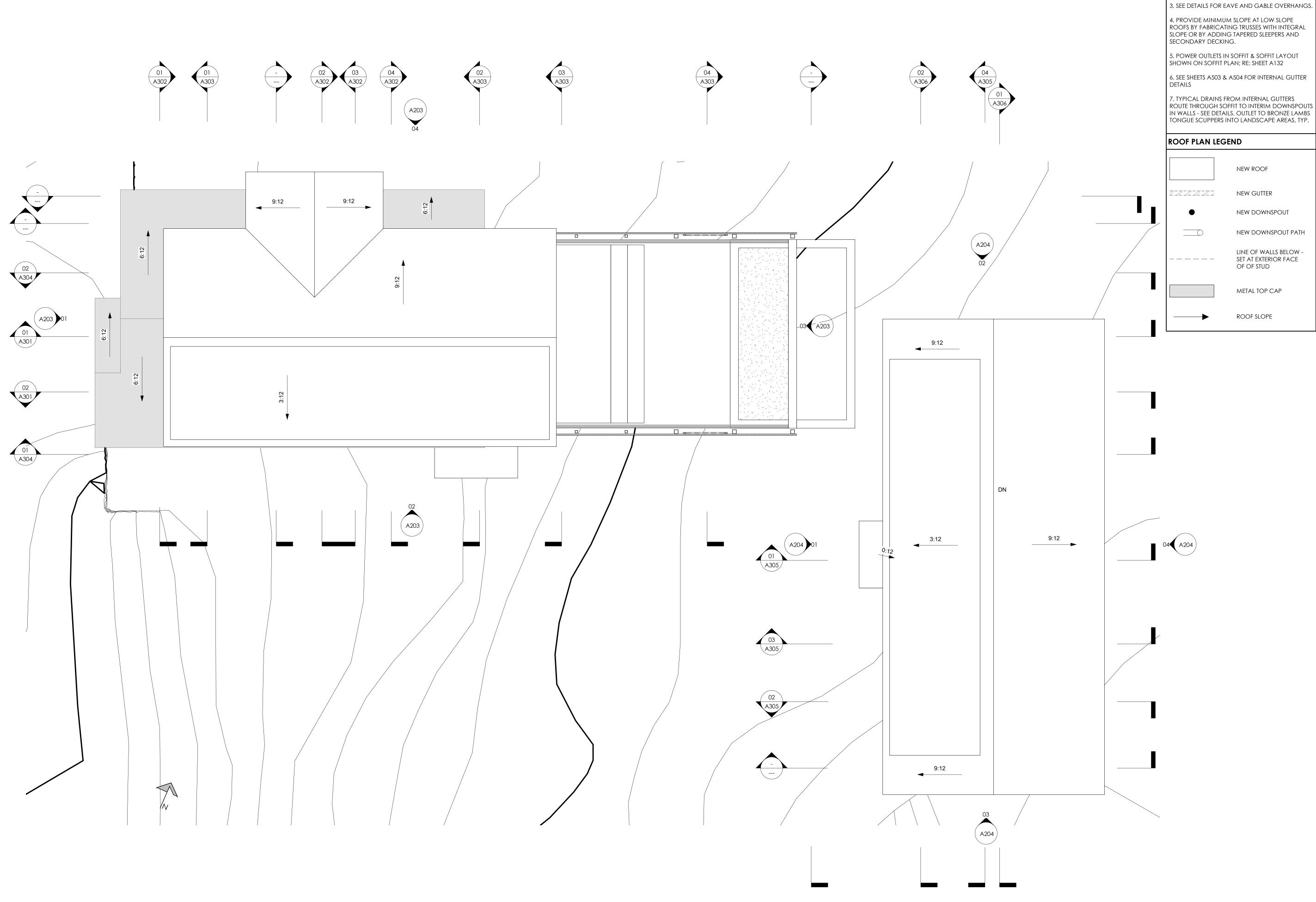
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03.15.2023 SCHEMATIC PROGRESS SET

NEW SITE PLAN & TREE PROTECTION DETAILS



ROOF PLAN NOTES

1. SEE SPECIFICATION SHEET A002 FOR MORE INFO ON ROOFING.

2. COMBINE VENTS AND ANY OTHER ROOF PENETRATIONS WHEREVER POSSIBLE TO MINIMIZE ROOF PENETRATIONS

4. PROVIDE MINIMUM SLOPE AT LOW SLOPE ROOFS BY FABRICATING TRUSSES WITH INTEGRAL SLOPE OR BY ADDING TAPERED SLEEPERS AND

7. TYPICAL DRAINS FROM INTERNAL GUTTERS ROUTE THROUGH SOFFIT TO INTERIM DOWNSPOUTS IN WALLS - SEE DETAILS. OUTLET TO BRONZE LAMBS

NEW DOWNSPOUT PATH

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GENERAL CONTRACTOR: TBD

<u>OWNERS:</u> SAL & DAWN MIRRAN 1509 TRAVIS HEIGHTS BLVD.

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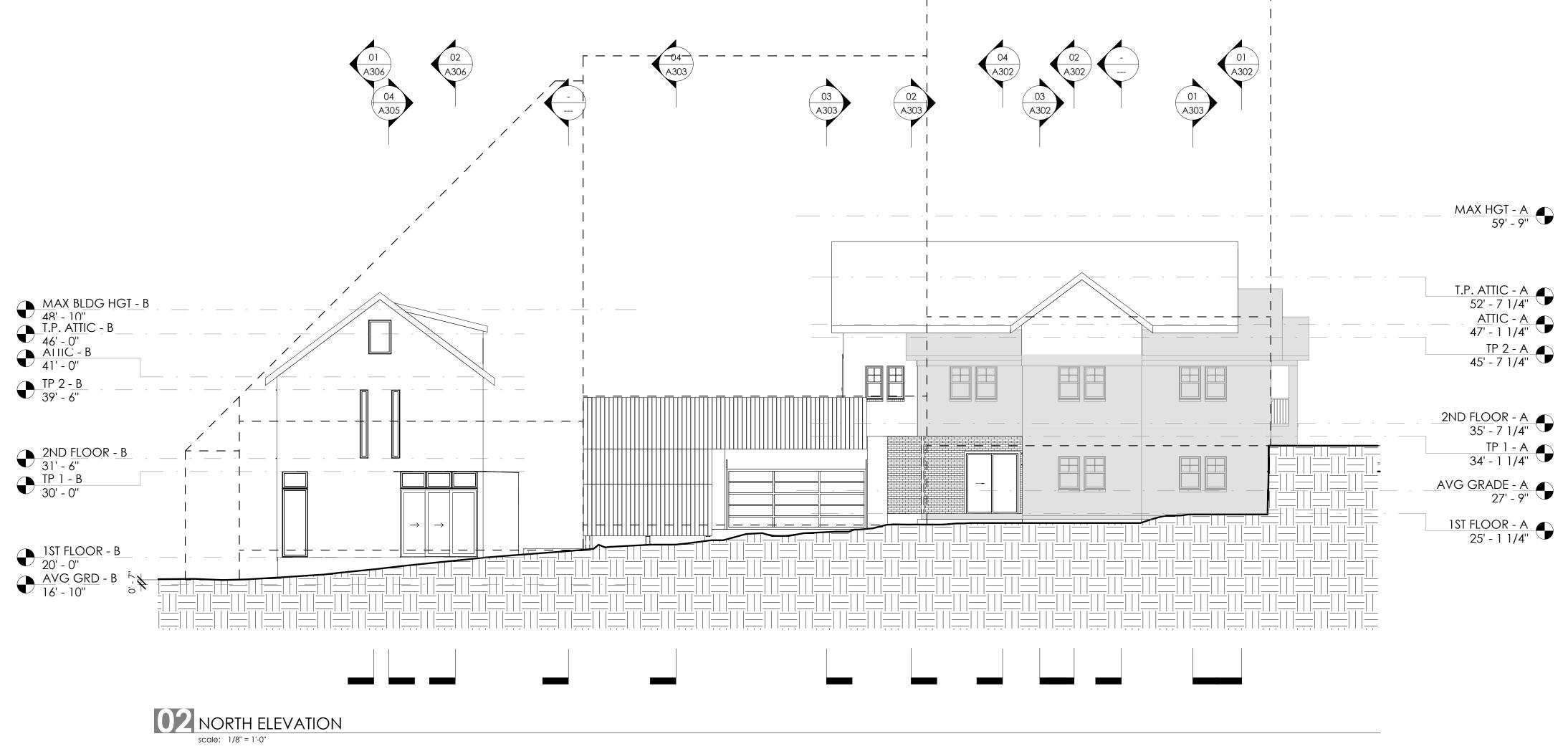
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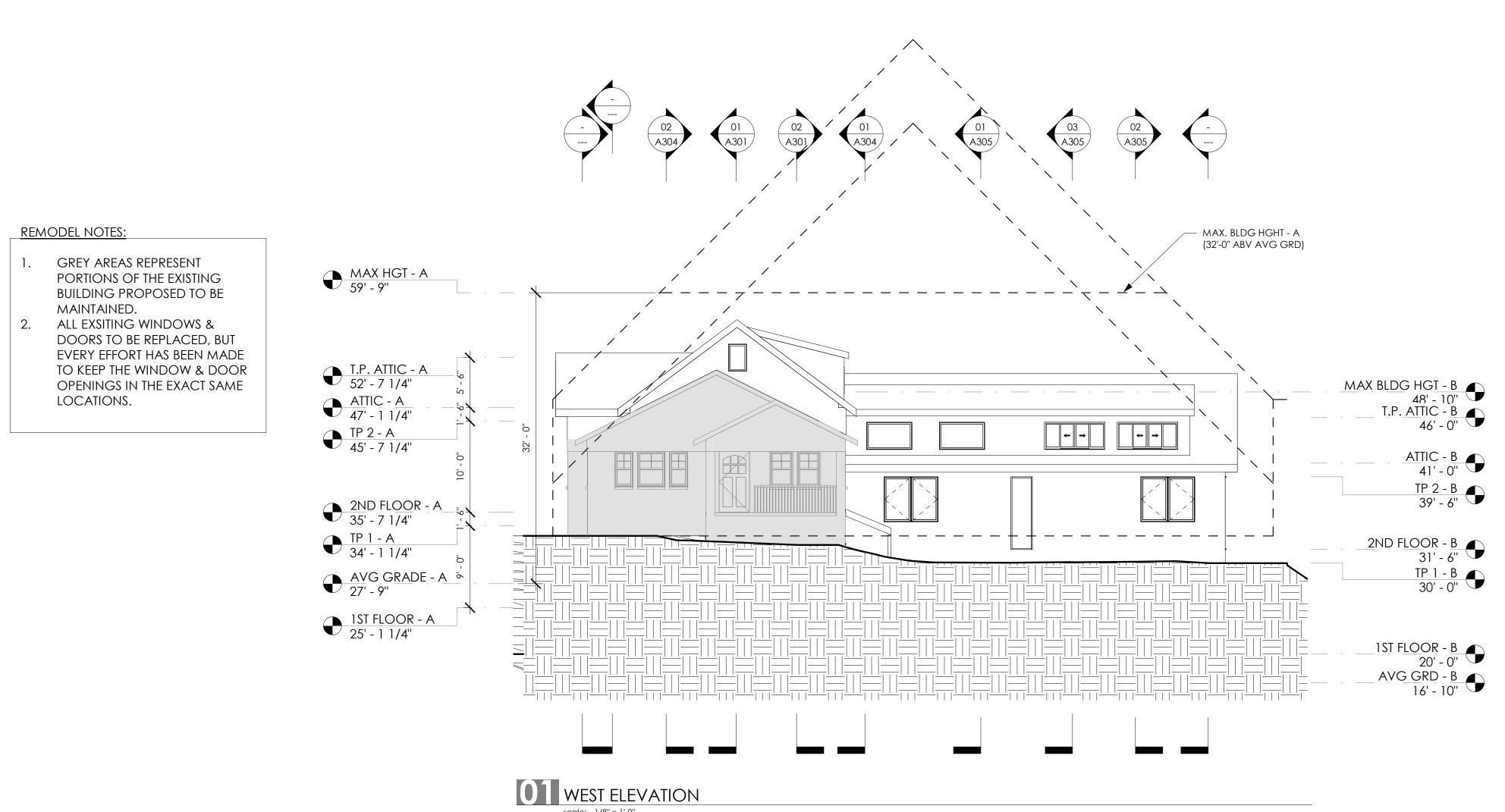
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ROOF PLAN

A131

A001 2





scale: 1/8" = 1'-0"

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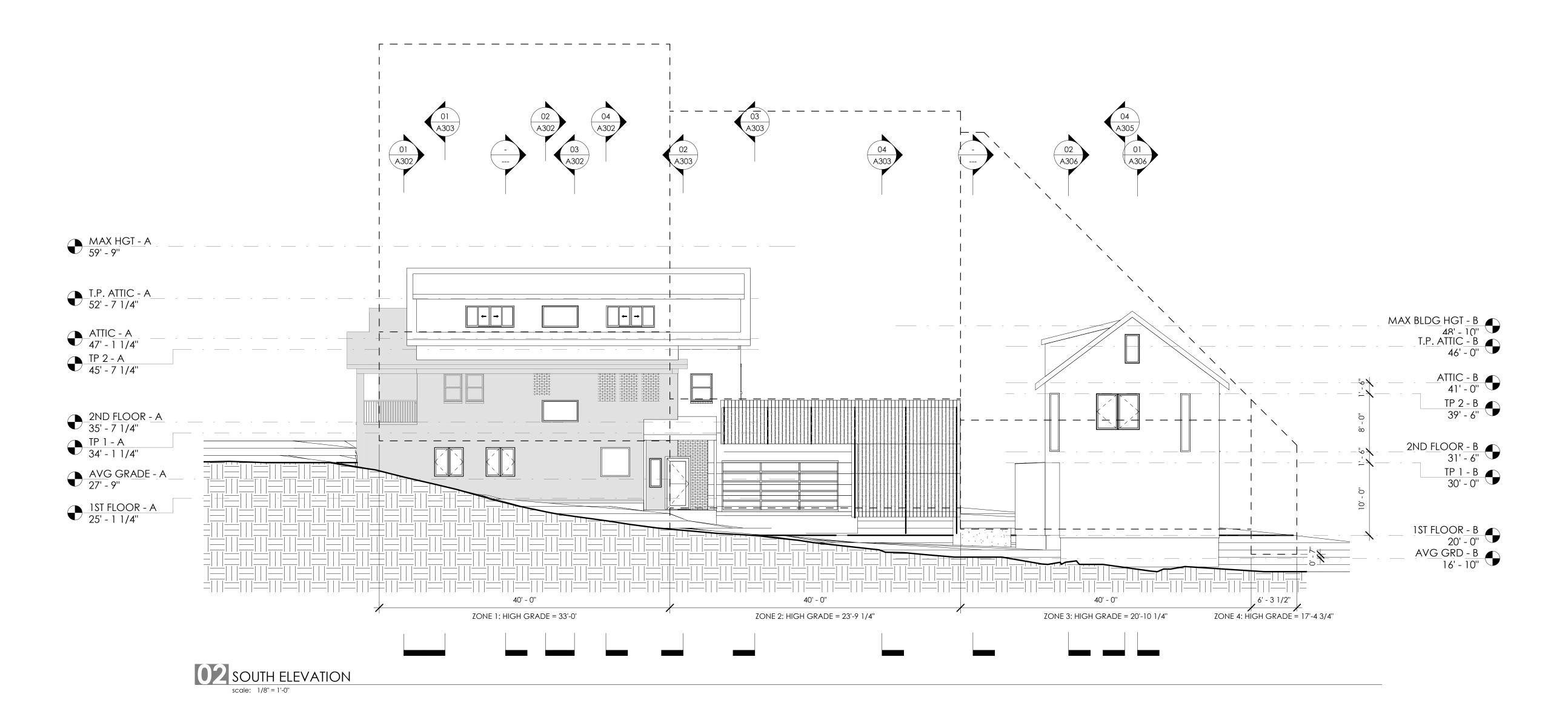
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> EXTERIOR ELEVATIONS



REMODEL NOTES:

GREY AREAS REPRESENT

MAINTAINED.

LOCATIONS.

PORTIONS OF THE EXISTING BUILDING PROPOSED TO BE

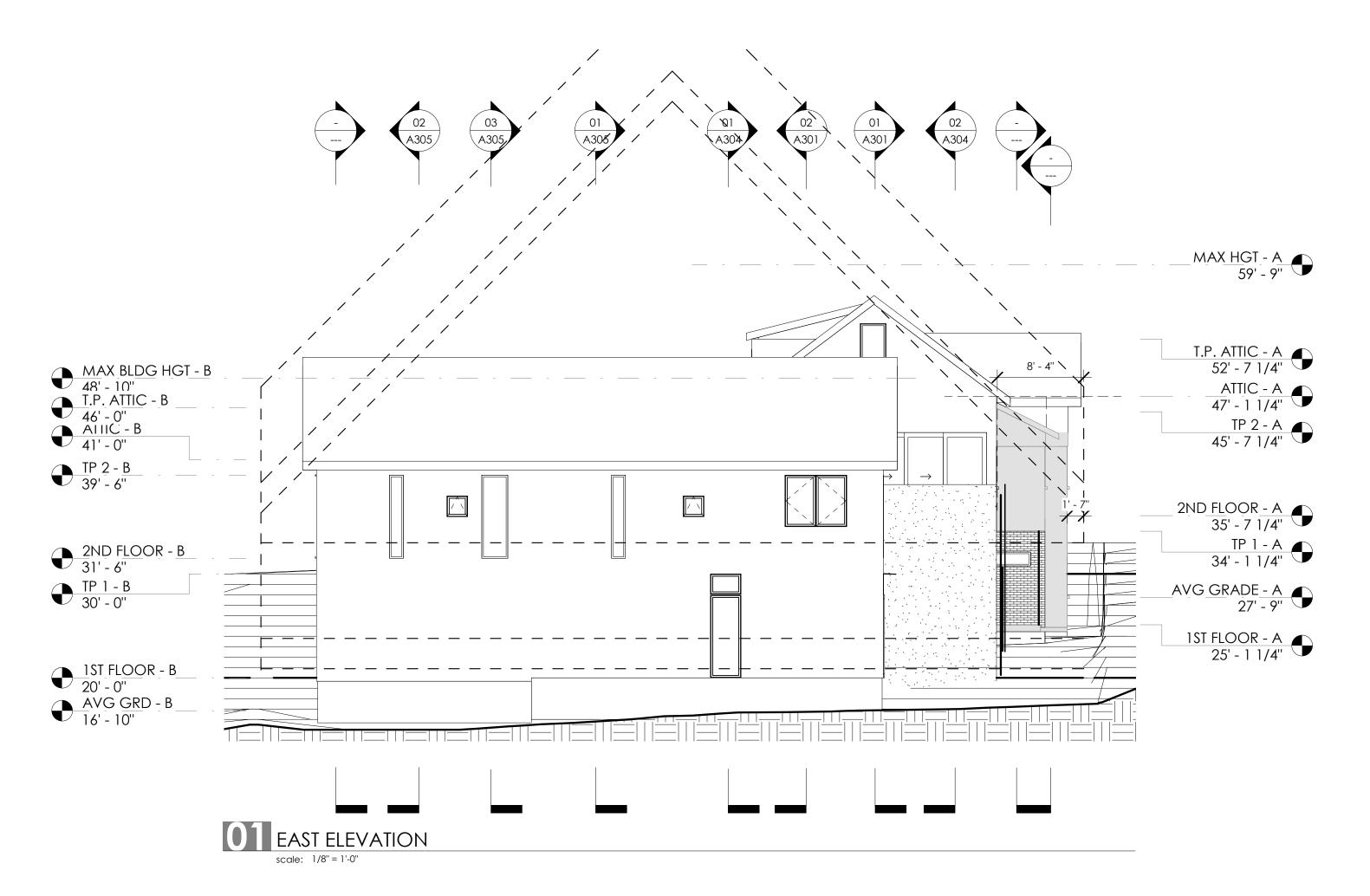
ALL EXSITING WINDOWS &

DOORS TO BE REPLACED, BUT

EVERY EFFORT HAS BEEN MADE

TO KEEP THE WINDOW & DOOR

OPENINGS IN THE EXACT SAME



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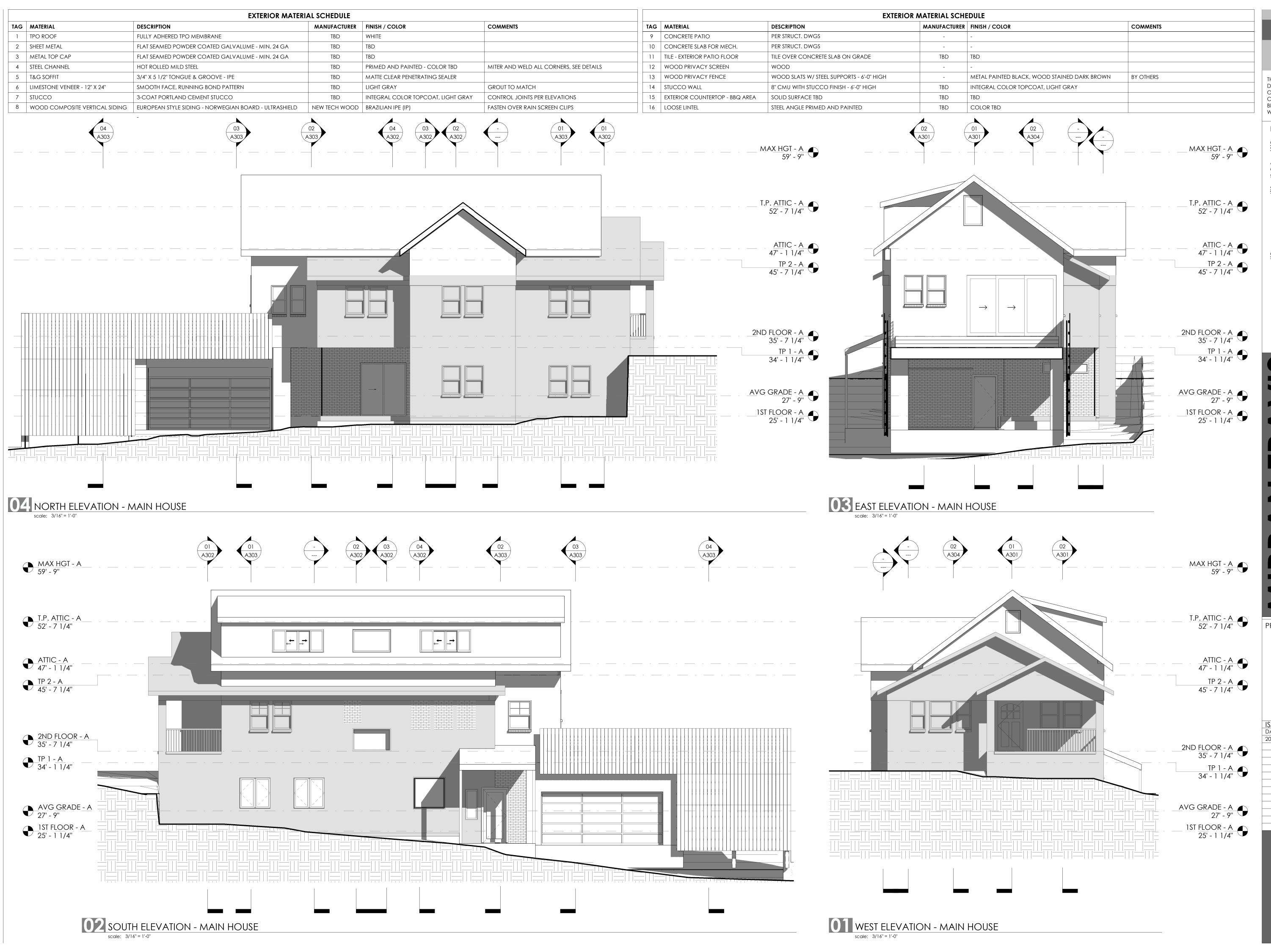
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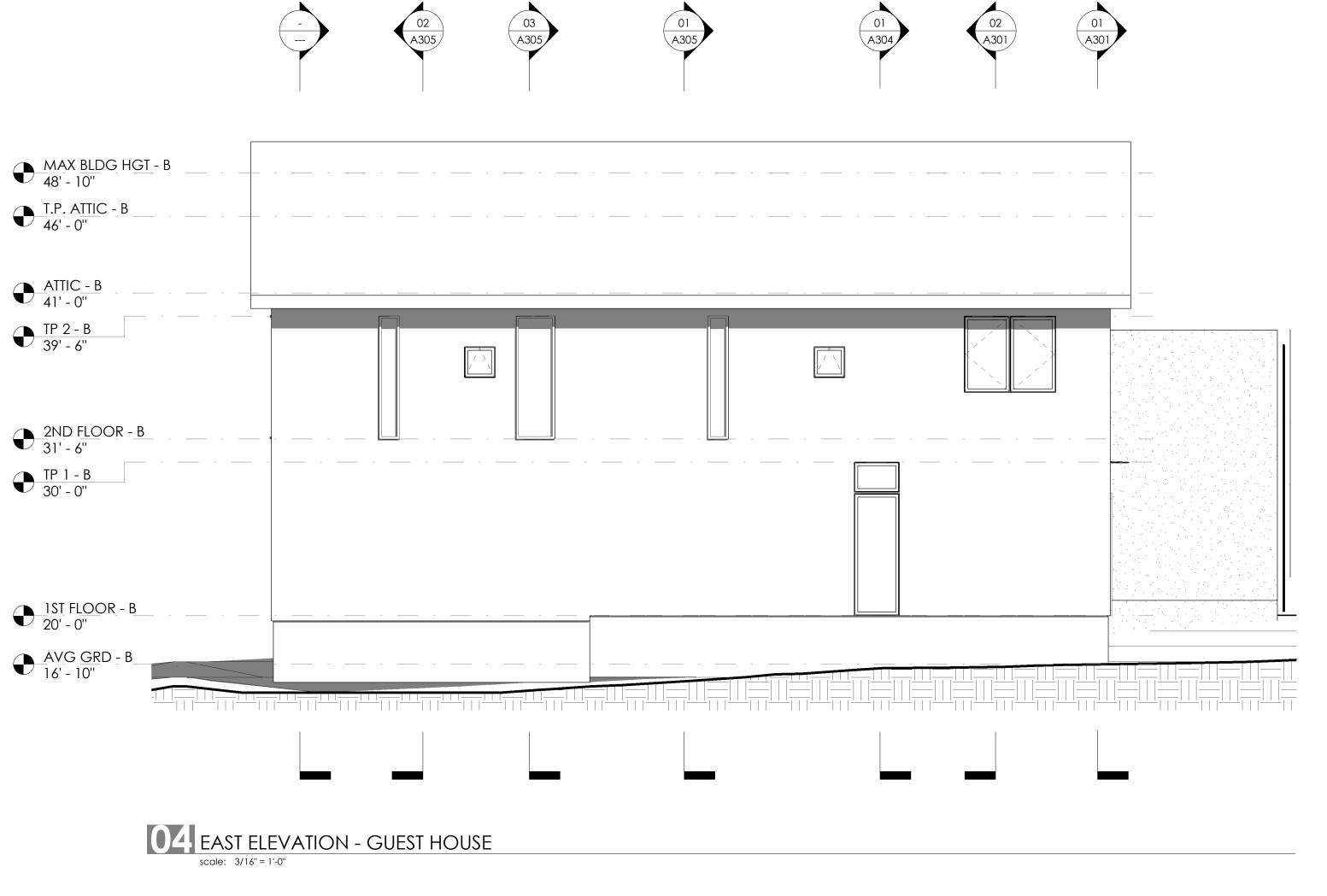
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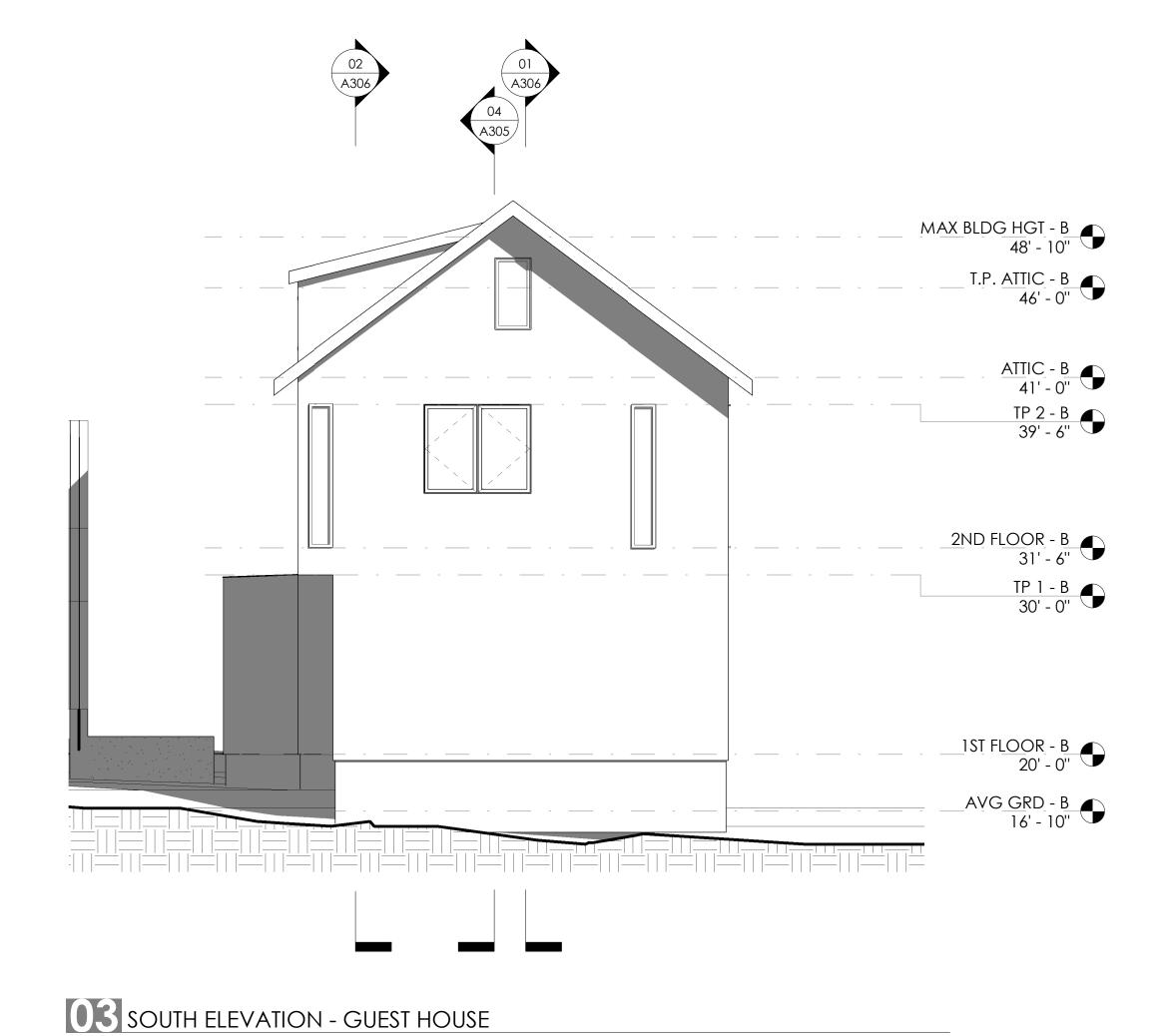
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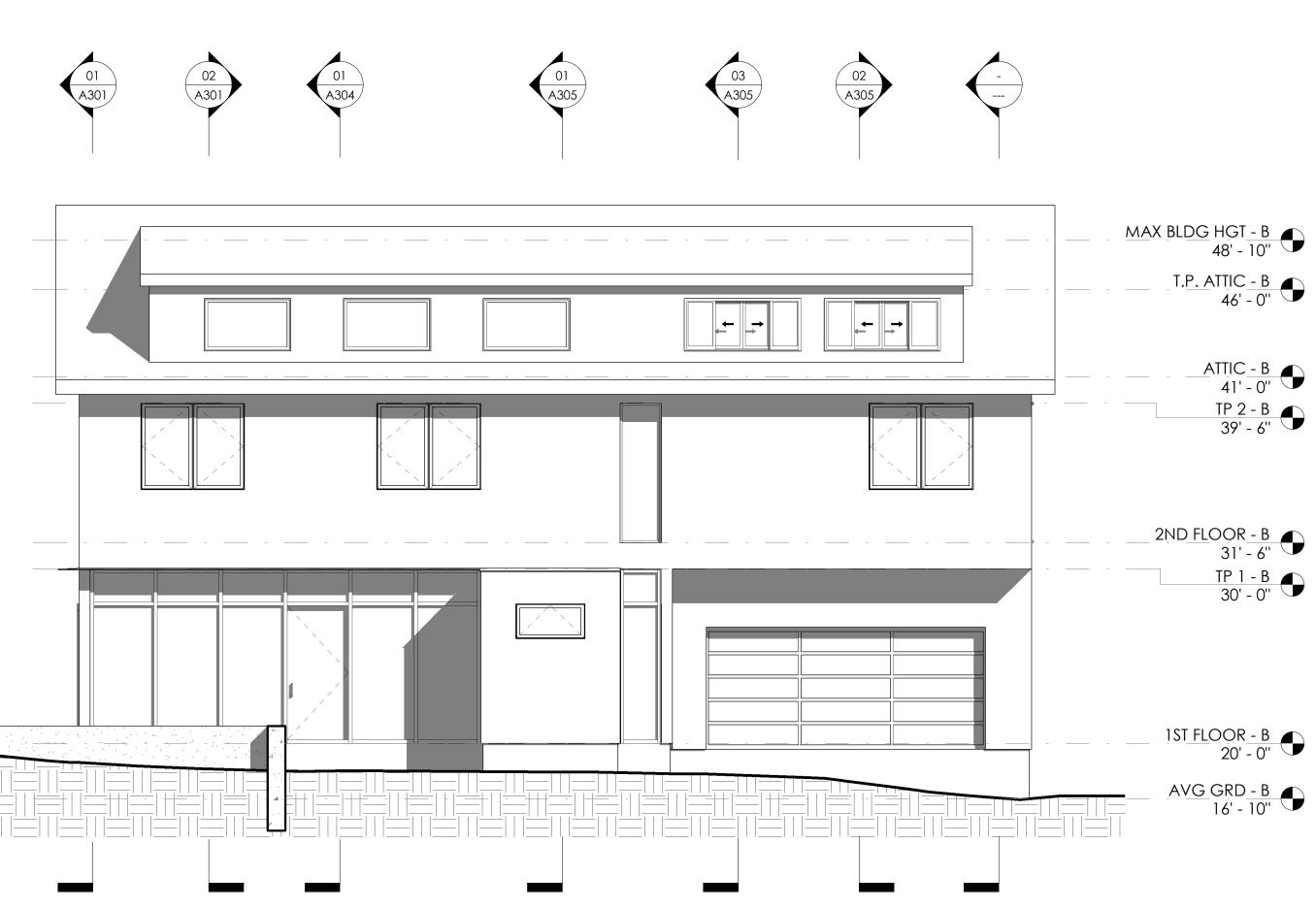
EXTERIOR ELEVATIONS - MAIN HOUSE





MAX BLDG HGT - B 48' - 10" T.P. ATTIC - B a ATTIC - B 41' - 0" TP 2 - B 39' - 6" 2ND FLOOR - B _ 31' - 6" TP 1 - B 30' - 0" 1ST FLOOR - B 20' - 0" AVG GRD - B

> NORTH ELEVATION - GUEST HOUSE scale: 3/16" = 1'-0" WEST ELEVATION - GUEST HOUSE scale: 3/16" = 1'-0"



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EXTERIOR ELEVATIONS - GUEST

A204

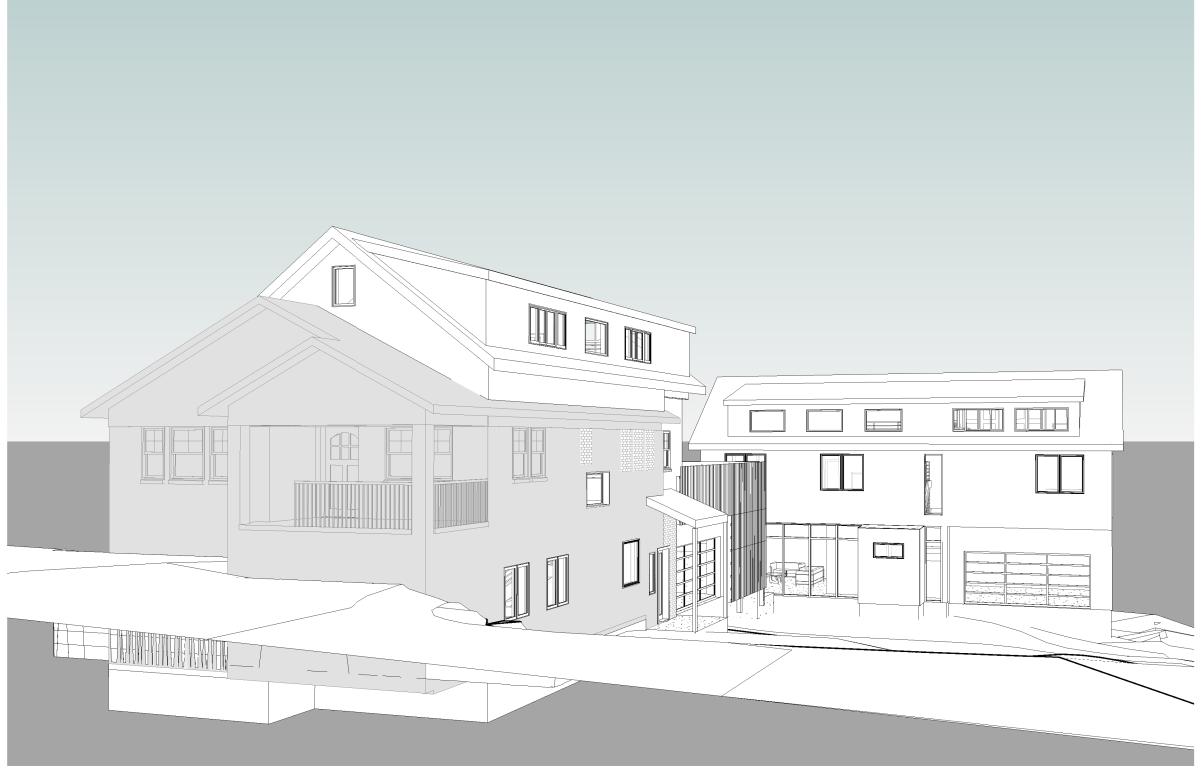
HOUSE





03 3D View 18 scale:





01 3D View 1

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PERSPECTIVES