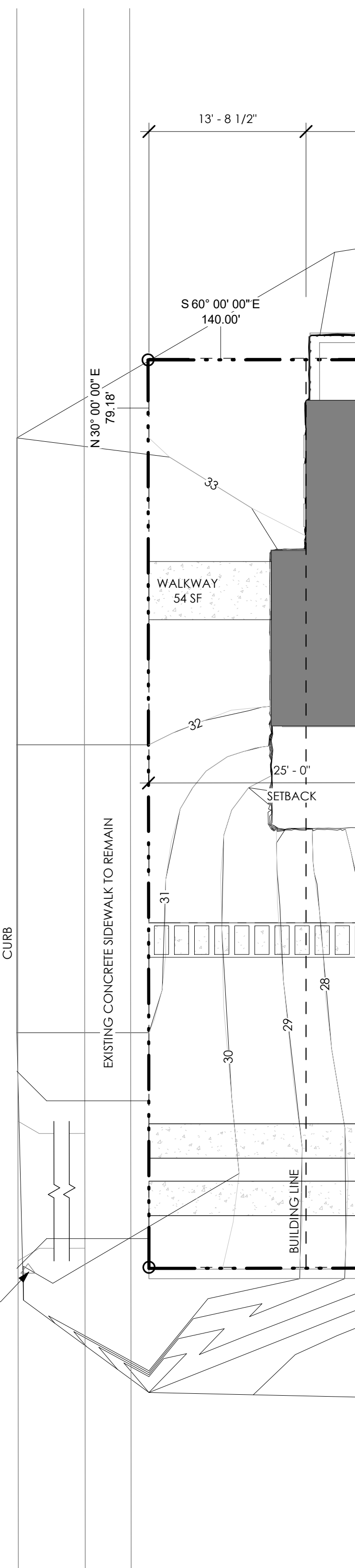
A001

[illegible]

1. CONTRACTOR SHALL ESTABLISH TREE PROTECTION, BY THE MEANS DESCRIBED HERE, FOR ALL STREET TREES WITHIN THE CONTRACTOR'S MOBILIZATION AREA, WHETHER THOSE AREAS HAVE TREE PROTECTION FENCE INDICATED HERE OR NOT.
2. CRITICAL ROOT ZONE (CRZ) IS AN AREA SURROUNDING AN EXISTING TREE, ITS DIAMETER EQUAL TO 1-FOOT FROM THE TREE TRUNK FOR EVERY 1-INCH OF DIAMETER OF THE EXISTING TREE TRUNK. SIMILARLY, THE 1/2 CRZ AREA IS 1/2 OF THE DIAMETER OF THE CRZ RESPECTIVELY.
3. TREE PROTECTION FENCE, PROVIDE 5' HIGH, CHAIN-LINK MESH FENCING WHICH:
 - FOR PROTECTED SIZE TREES: ENCLOSES THE SIDEWALK FOR 1/2 CRZ IN EITHER DIRECTION, RETURNS TO THE BUILDING, AND ENDS AT THE STREET CURB.
 - FOR OTHER TREES: ENCLOSES THE ENTIRETY OF THE STREET TREE'S SIDEWALK WELL.
4. TREE PROTECTION STRAPPED-ON PLANKING, PROVIDE 8" HIGH, STRAPPED-ON PLANKING FROM AS NEAR TO THE GROUND AS THE ROOTS ALLOW, PLANKING SHALL BE COMPRISED OF 2X4 WOOD SLATS. PROTECT MAJOR SCAFFOLD LIMBS AS WELL, PROVIDE 4-6" OF MULCH COVER TO PROTECT ROOTS FROM COMPACTION.
5. DO NOT PERMIT CONSTRUCTION MATERIAL OR OPERATIONS TO DISTURB TREE CANOPIES.

TAG #	TREE TYPE	DIAMETER OF TREE/INCHES	PROTECTED STATUS	PHASE
T-1	PECAN	12"	NO	DEMO
T-2	PECAN	11"	NO	DEMO
T-3	LIVE OAK	33"	YES	EXISTING TO REMAIN
T-4	ASHE JUNIPER	25"	YES	EXISTING TO REMAIN
T-5	CHINABERRY	11"	NO	DEMO



40' - 0"

ZONE 1

40' - 0"

ZONE 2

EXST. BLDG COVER
1342 SF

ADDN BLDG COVER
(CARPORT BELOW)
488 SF

PAVERS
213 SF

DRIVEWAY
1359 SF

12'-6" 1/2 CRZ

14'-0" 1/2 CRZ

28'-0" FULL CRZ

25'-0" FULL CRZ

24'

23'

22'

21'

20'

T-4

T-3

40' - 0"

6' - 3 1/2"

ZONE 3

ZONE 4

LOT 9

EXISTING ROCK WALL TO REMAIN

5' - 0"

SETBACK

COPING & RETAINING 92 SF

POOL 124 SF

LOT 8

10' - 0"

SETBACK

NEW BLDG COVER (GARAGE BELOW) 1342.5 SF

18

17

16

15

NORTH 30 FEET OF LOT 7

5' - 0"

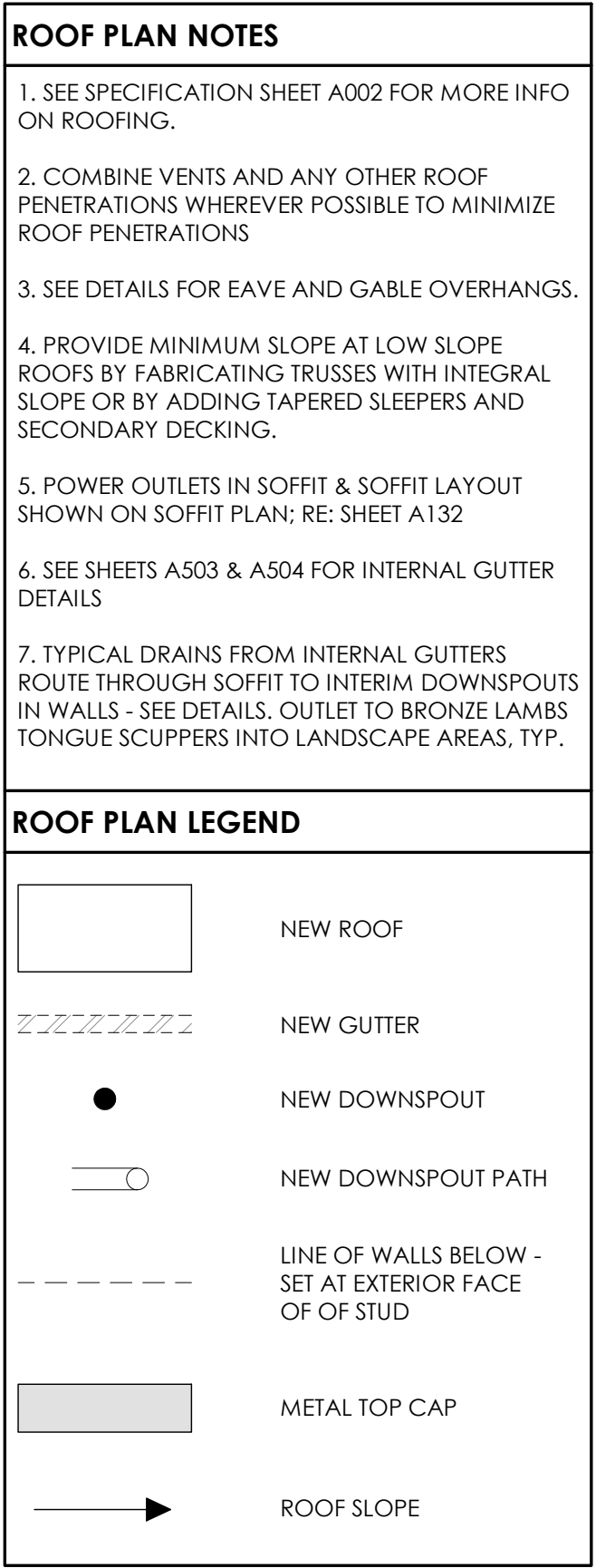
SETBACK

EXISTING ROCK WALL TO REMAIN

N 60° 00' 00" W 140.00'

REMAINING PORTION OF LOT 7

scale: $1/8" = 1'-0"$



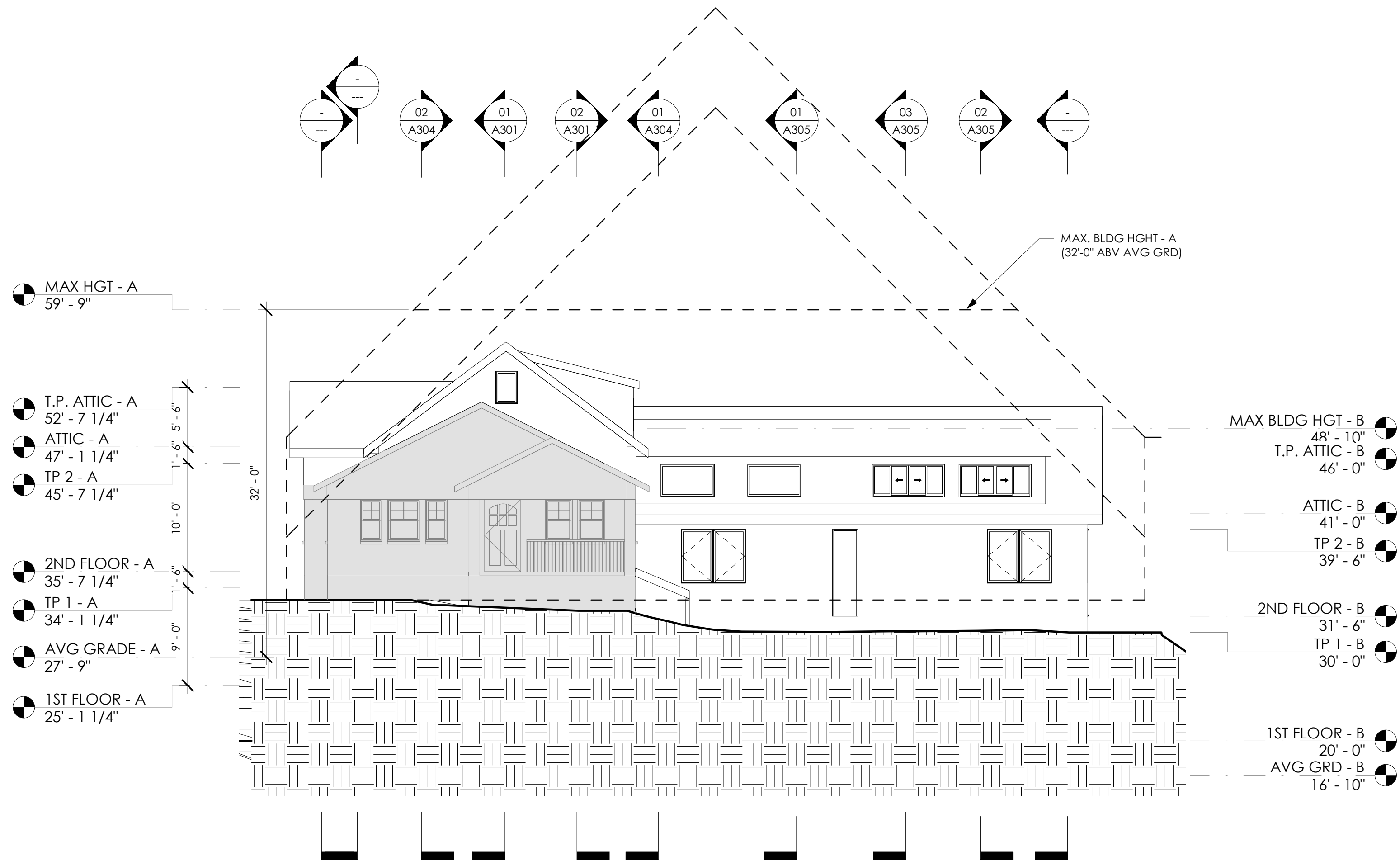


02 NORTH ELEVATION

scale: 1/8" = 1'-0"

REMODEL NOTES:

- GREY AREAS REPRESENT PORTIONS OF THE EXISTING BUILDING PROPOSED TO BE MAINTAINED.
- ALL EXSITING WINDOWS & DOORS TO BE REPLACED, BUT EVERY EFFORT HAS BEEN MADE TO KEEP THE WINDOW & DOOR OPENINGS IN THE EXACT SAME LOCATIONS.



01 WEST ELEVATION

scale: 1/8" = 1'-0"

PROJECT TEAM:

OWNERS:
SAL & DAWN MIRMAN
1509 TRAVIS HEIGHTS BLVD.
AUSTIN, TX 78704
dkmiran@yahoo.com
sal@fundient.com

STRUCTURAL ENGINEER:
TBD

GENERAL CONTRACTOR:
TBD

MIRMAN TRAVIS
HEIGHTS

1509 TRAVIS HEIGHTS BLVD.

AUSTIN, TX 78704

PROJECT: 22156

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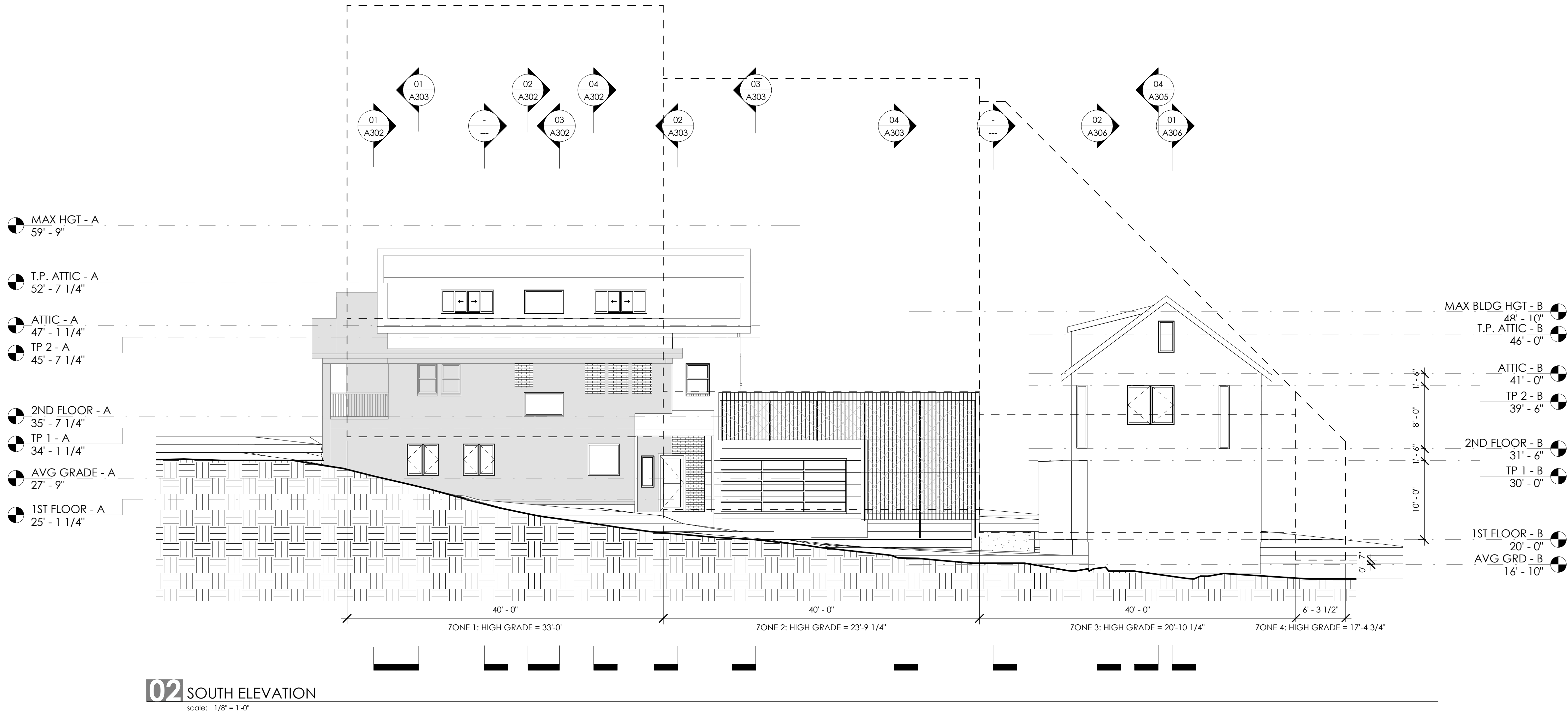
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DATE	DESCRIPTION
2023.04.05	HLC SET

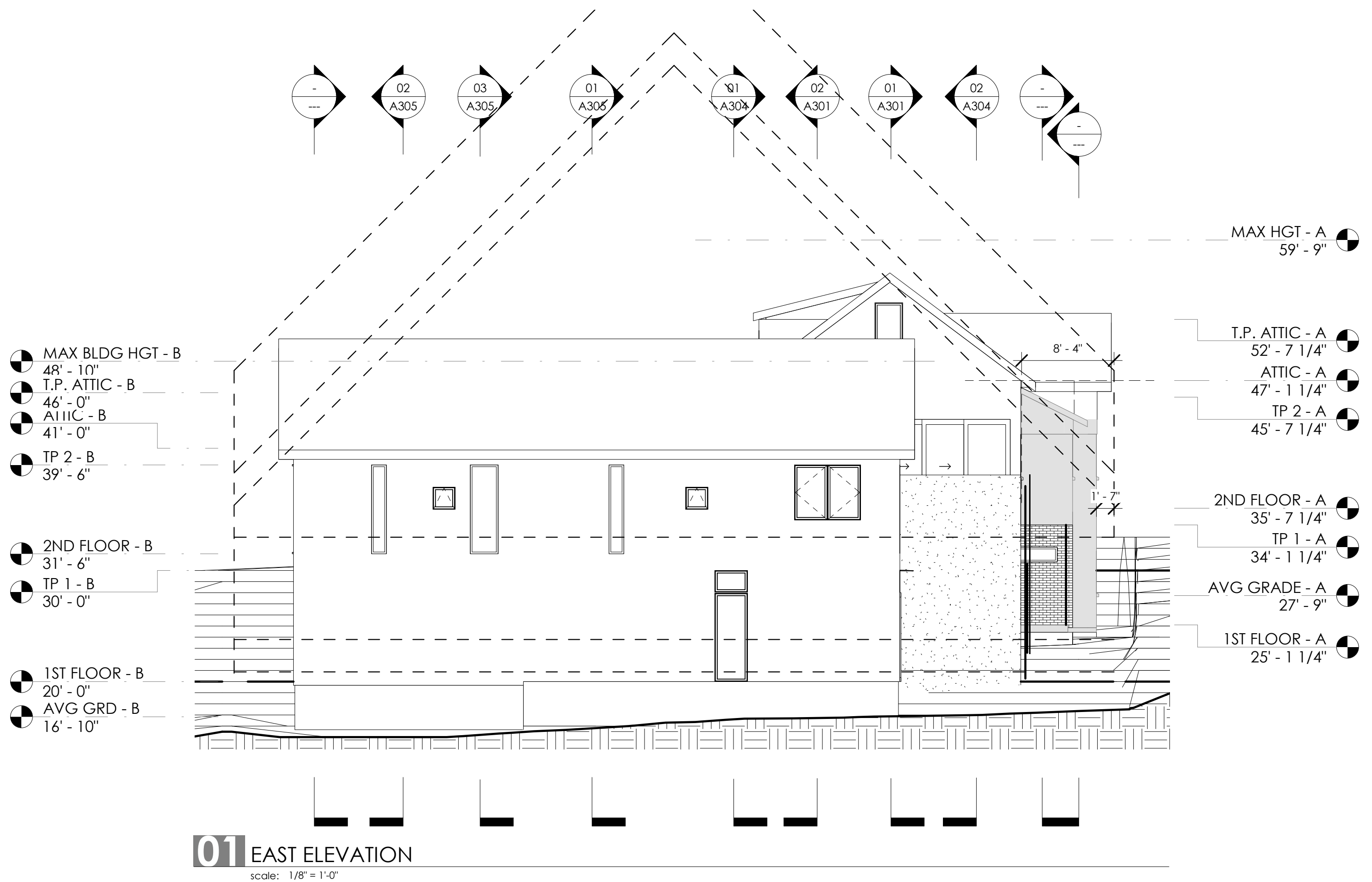
EXTERIOR
ELEVATIONS

A202



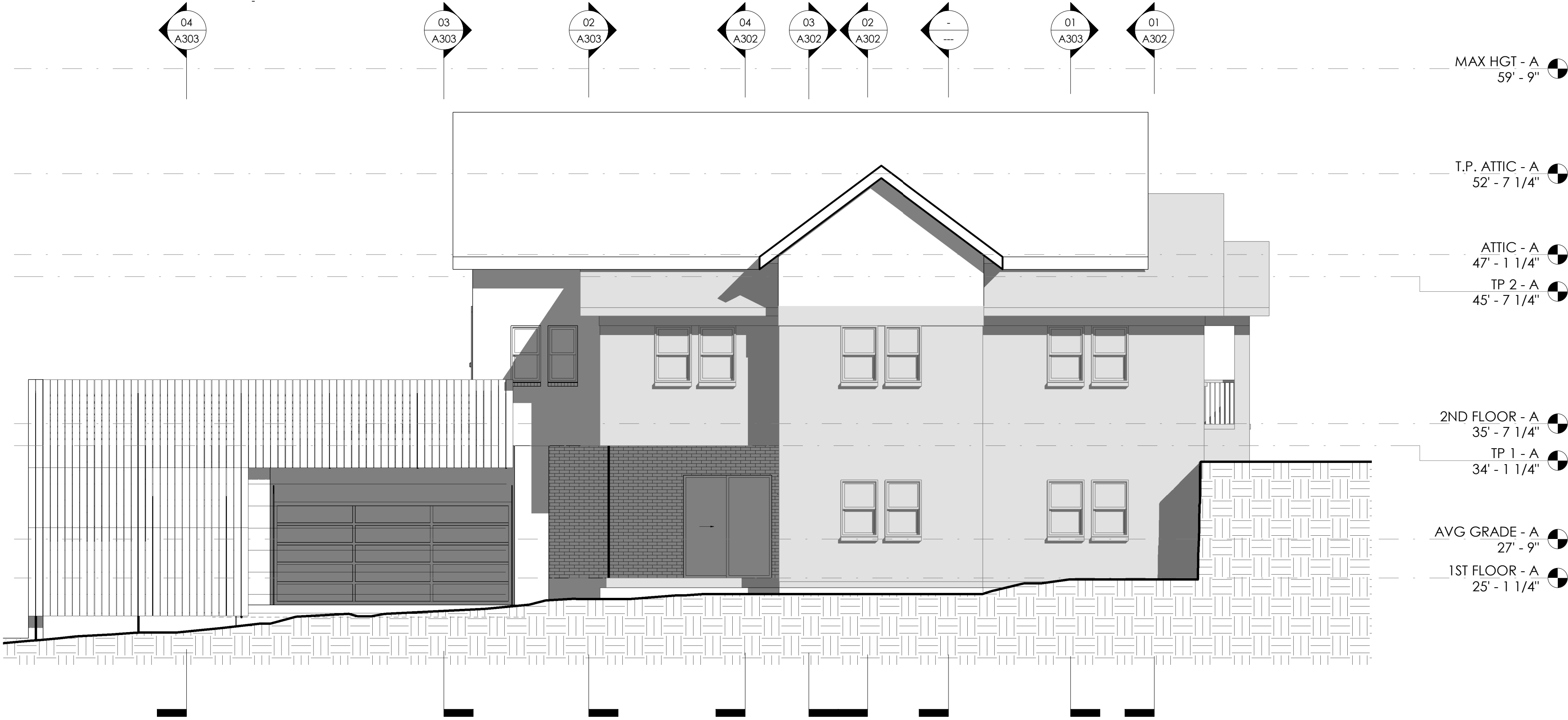
REMODEL NOTES:

1. GREY AREAS REPRESENT PORTIONS OF THE EXISTING BUILDING PROPOSED TO BE MAINTAINED.
2. ALL EXSITING WINDOWS & DOORS TO BE REPLACED, BUT EVERY EFFORT HAS BEEN MADE TO KEEP THE WINDOW & DOOR OPENINGS IN THE EXACT SAME LOCATIONS.

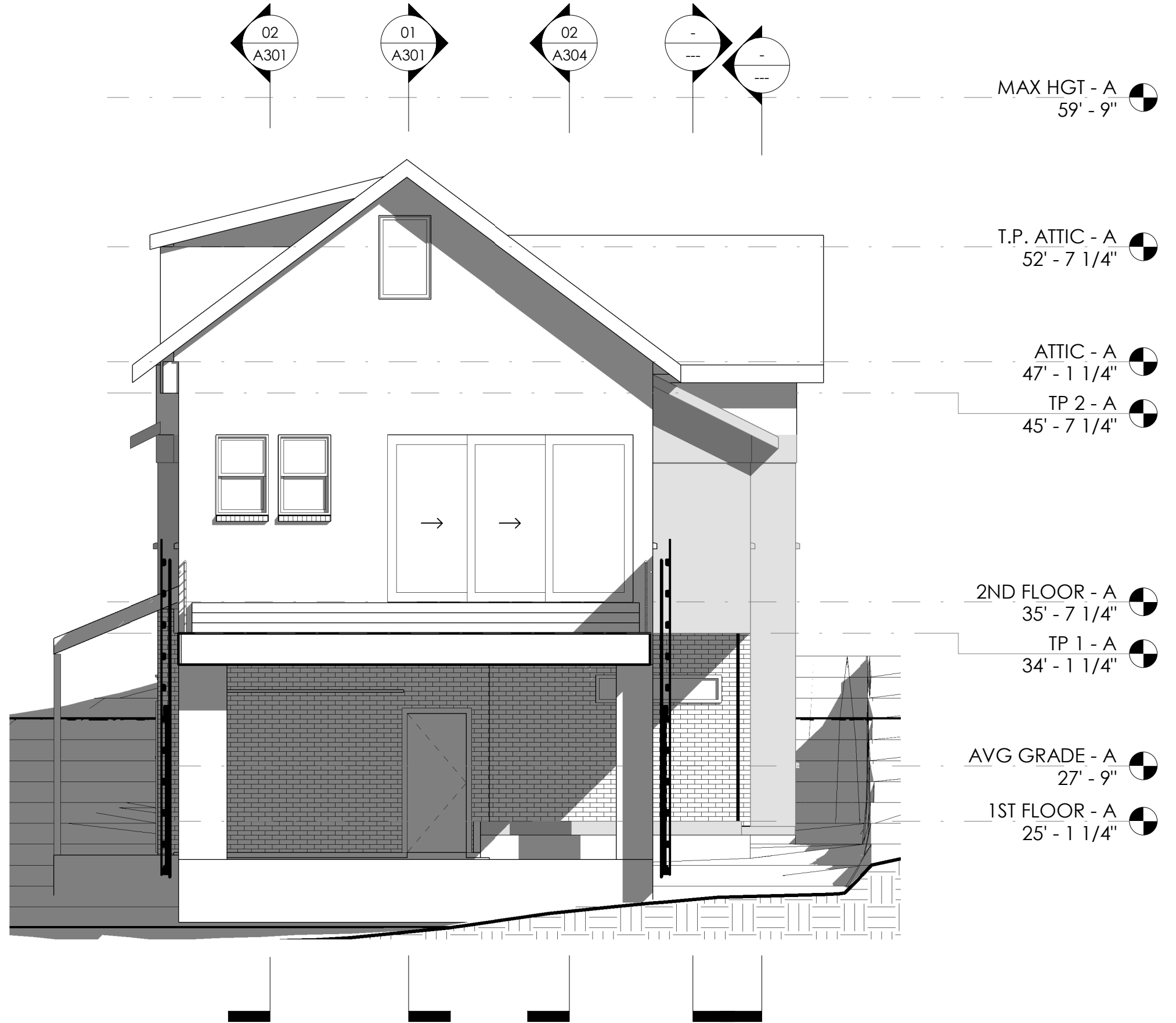


EXTERIOR MATERIAL SCHEDULE					
TAG	MATERIAL	DESCRIPTION	MANUFACTURER	FINISH / COLOR	COMMENTS
1	TPO ROOF	FULLY ADHERED TPO MEMBRANE	TBD	WHITE	
2	SHEET METAL	FLAT SEAMED POWDER COATED GALVALUME - MIN. 24 GA	TBD	TBD	
3	METAL TOP CAP	FLAT SEAMED POWDER COATED GALVALUME - MIN. 24 GA	TBD	TBD	
4	STEEL CHANNEL	HOT ROLLED MILD STEEL	TBD	PRIMED AND PAINTED - COLOR TBD	MITER AND WELD ALL CORNERS, SEE DETAILS
5	T&G SOFFIT	3/4" X 5 1/2" TONGUE & GROOVE - IPE	TBD	MATTE CLEAR PENETRATING SEALER	
6	LIMESTONE VENEER - 12" X 24"	SMOOTH FACE, RUNNING BOND PATTERN	TBD	LIGHT GRAY	GROUT TO MATCH
7	STUCCO	3-COAT PORTLAND CEMENT STUCCO	TBD	INTEGRAL COLOR TOPCOAT, LIGHT GRAY	CONTROL JOINTS PER ELEVATIONS
8	WOOD COMPOSITE VERTICAL SIDING	EUROPEAN STYLE SIDING - NORWEGIAN BOARD - ULTRASHIELD	NEW TECH WOOD	BRAZILIAN IPE (IP)	FASTEN OVER RAIN SCREEN CLIPS

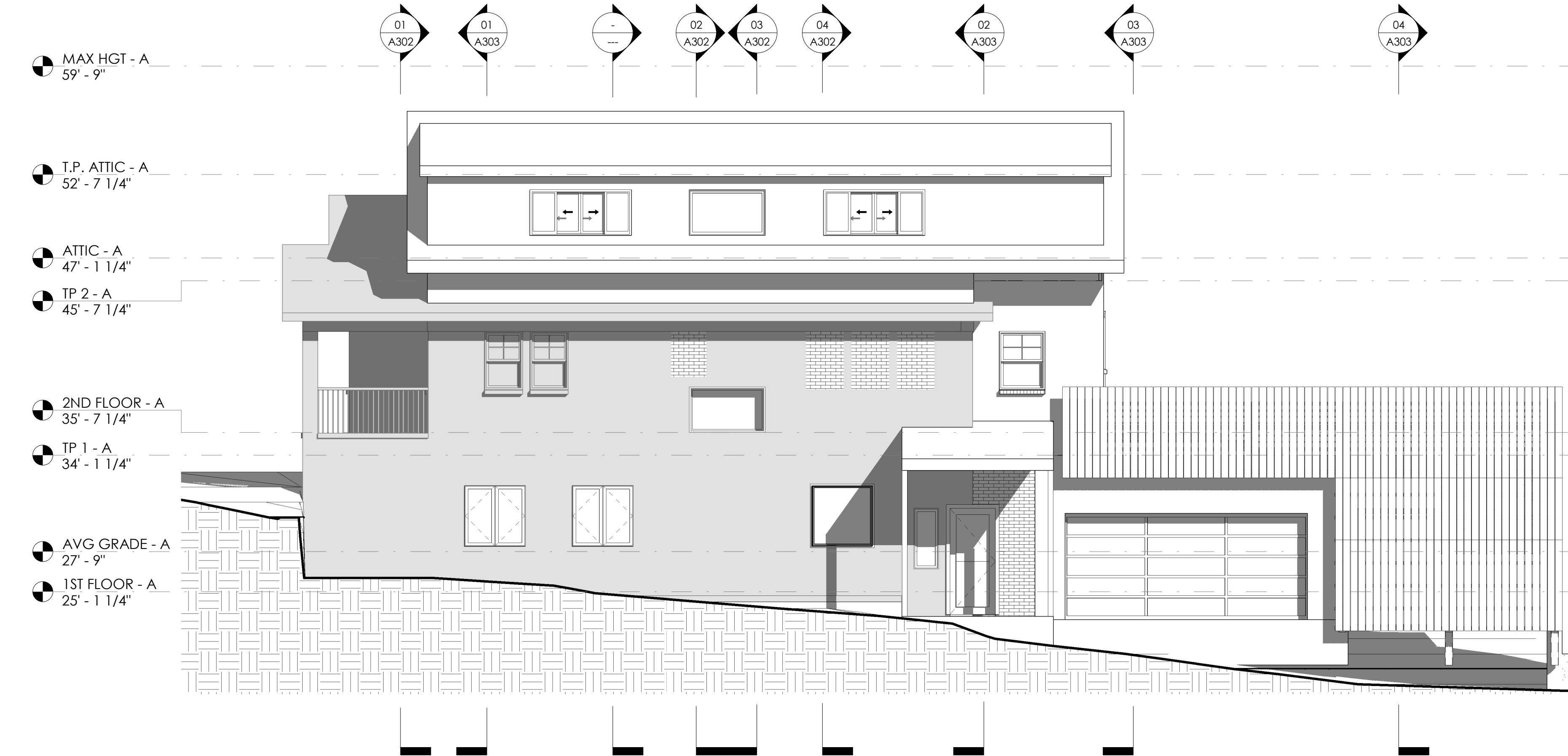
EXTERIOR MATERIAL SCHEDULE					
TAG	MATERIAL	DESCRIPTION	MANUFACTURER	FINISH / COLOR	COMMENTS
9	CONCRETE PATIO	PER STRUCT. DWGS	-	-	
10	CONCRETE SLAB FOR MECH.	PER STRUCT. DWGS	-	-	
11	TILE - EXTERIOR PATIO FLOOR	TILE OVER CONCRETE SLAB ON GRADE	TBD	TBD	
12	WOOD PRIVACY SCREEN	WOOD	-	-	
13	WOOD PRIVACY FENCE	WOOD SLATS W/ STEEL SUPPORTS - 6'-0" HIGH	-	METAL PAINTED BLACK, WOOD STAINED DARK BROWN	BY OTHERS
14	STUCCO WALL	8" CMU WITH STUCCO FINISH - 6'-0" HIGH	TBD	INTEGRAL COLOR TOPCOAT, LIGHT GRAY	
15	EXTERIOR COUNTERTOP - BBQ AREA	SOLID SURFACE TBD	TBD	TBD	
16	LOOSE LINTEL	STEEL ANGLE PRIMED AND PAINTED	TBD	COLOR TBD	



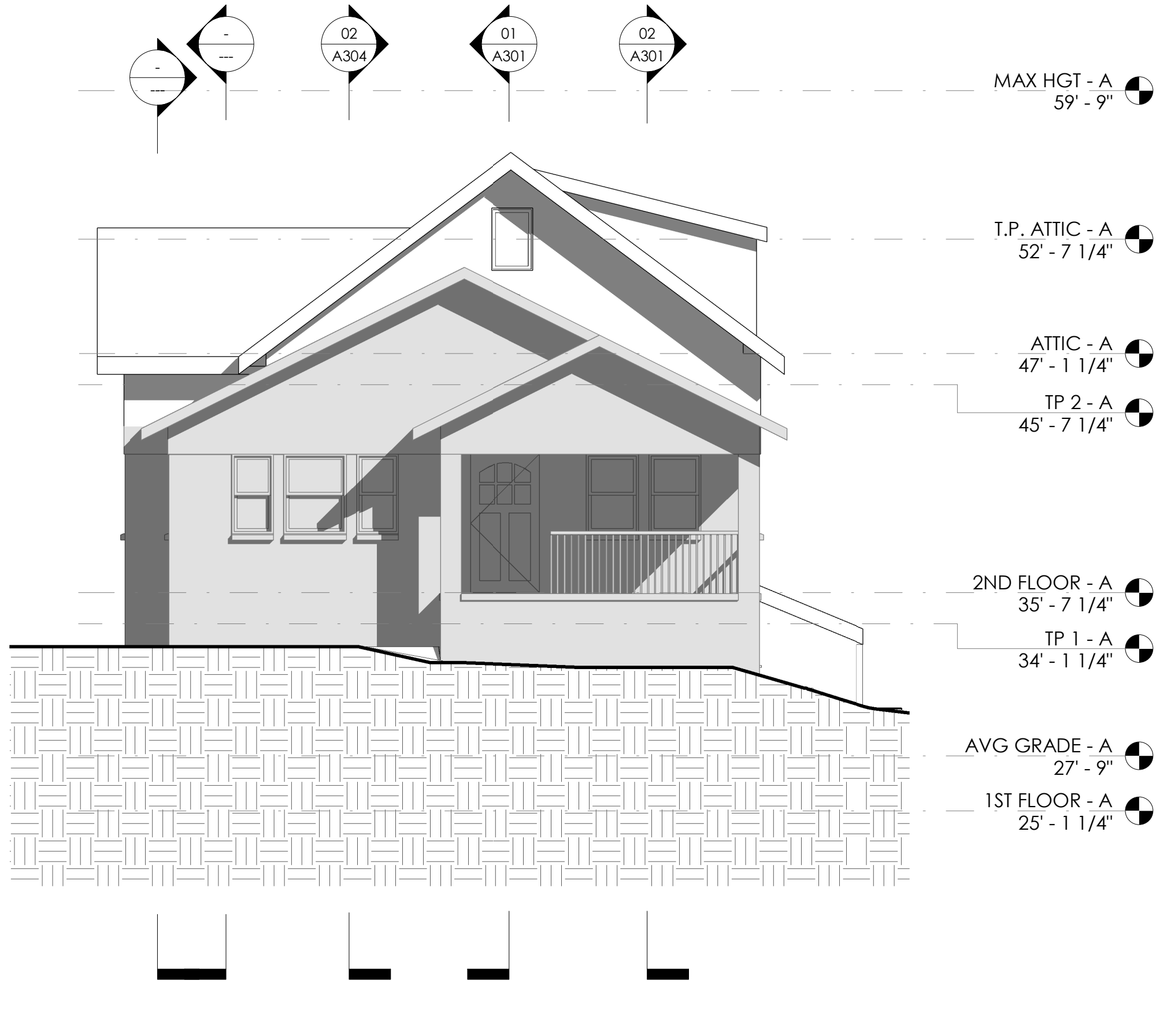
04 NORTH ELEVATION - MAIN HOUSE
scale: 3/16" = 1'-0"



03 EAST ELEVATION - MAIN HOUSE
scale: 3/16" = 1'-0"



02 SOUTH ELEVATION - MAIN HOUSE
scale: 3/16" = 1'-0"



01 WEST ELEVATION - MAIN HOUSE
scale: 3/16" = 1'-0"

root
architecture

4009 bonnier lane #250
austin, texas 78704
512.632.4449
www.root-architecture.com

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PROJECT TEAM:

OWNERS:
SAL & DAWN MIRMAN
1509 TRAVIS HEIGHTS BLVD.
AUSTIN, TX 78704
dkmiran@yahoo.com
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TBD

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MIRMAN TRAVIS
HEIGHTS

1509 TRAVIS HEIGHTS BLVD.
AUSTIN, TX 78704
PROJECT: 22156

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ISSUE HISTORY
DATE DESCRIPTION
2023.04.05 HLC SET

EXTERIOR
ELEVATIONS - MAIN
HOUSE

A203

PROJECT TEAM:

OWNERS:
SAL & DAWN MIRMAN
1509 TRAVIS HEIGHTS BLVD.
AUSTIN, TX 78704
dkmiran@yahoo.com
sal@fundient.com

STRUCTURAL ENGINEER:
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MIRMAN TRAVIS
HEIGHTS
1509 TRAVIS HEIGHTS BLVD.
AUSTIN, TX 78704
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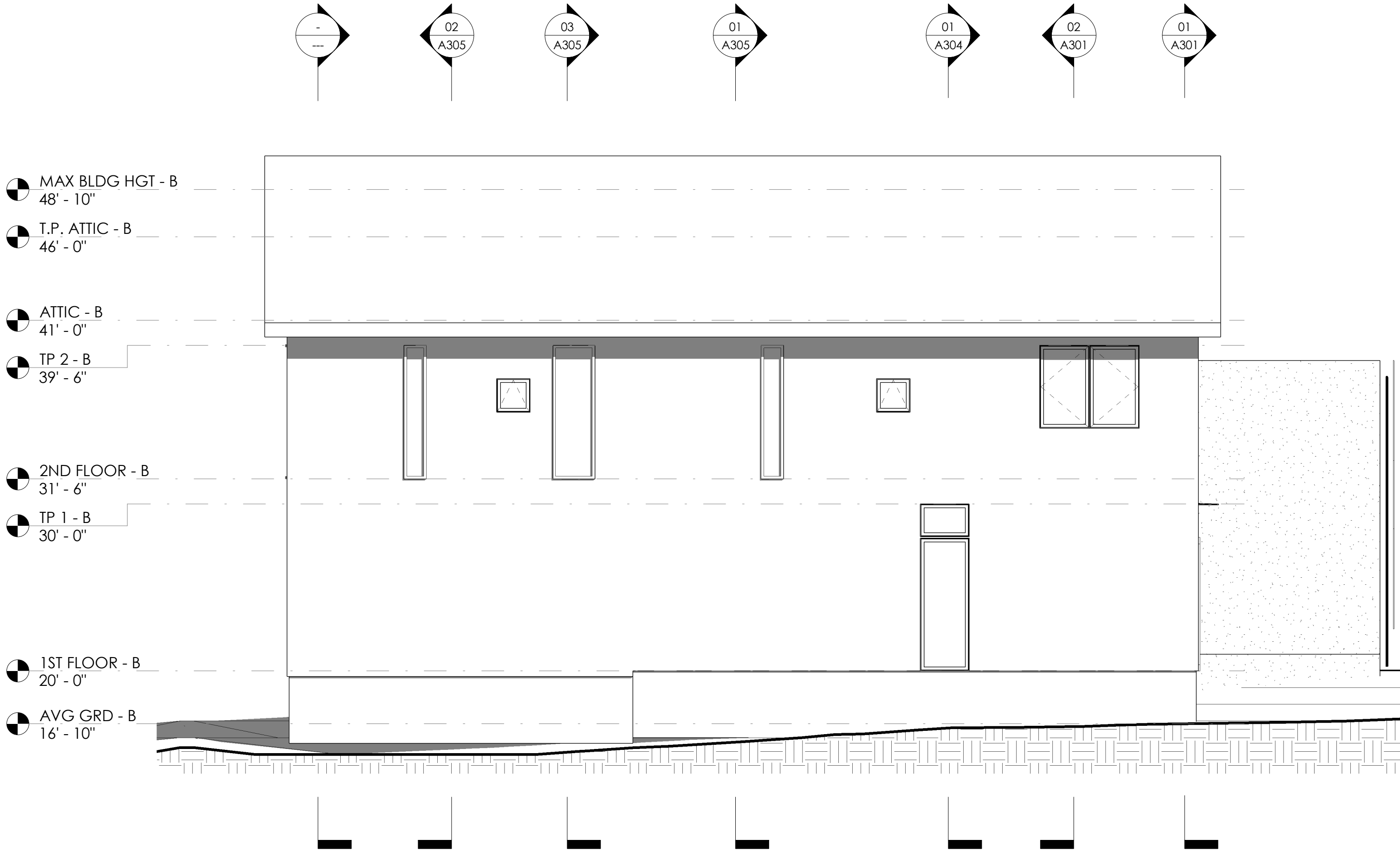
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ISSUE HISTORY	
DATE	DESCRIPTION
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EXTERIOR
ELEVATIONS - GUEST
HOUSE

A204



MAX BLDG HGT - B
48' - 10"

T.P. ATTIC - B
46' - 0"

ATTIC - B
41' - 0"

TP 2 - B
39' - 6"

2ND FLOOR - B
31' - 6"

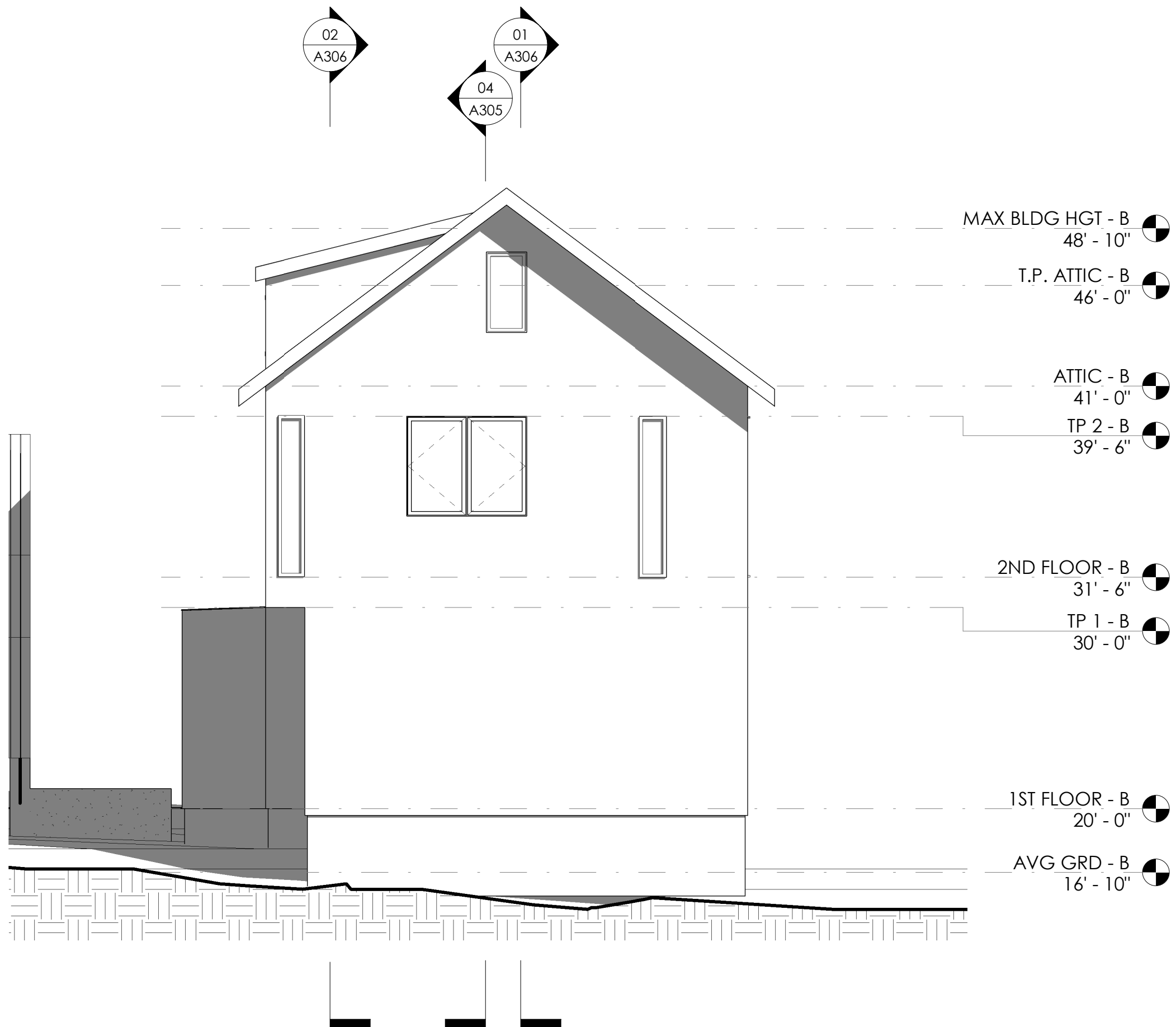
TP 1 - B
30' - 0"

1ST FLOOR - B
20' - 0"

AVG GRD - B
16' - 10"

04 EAST ELEVATION - GUEST HOUSE

scale: 3/16" = 1'-0"



MAX BLDG HGT - B
48' - 10"

T.P. ATTIC - B
46' - 0"

ATTIC - B
41' - 0"

TP 2 - B
39' - 6"

2ND FLOOR - B
31' - 6"

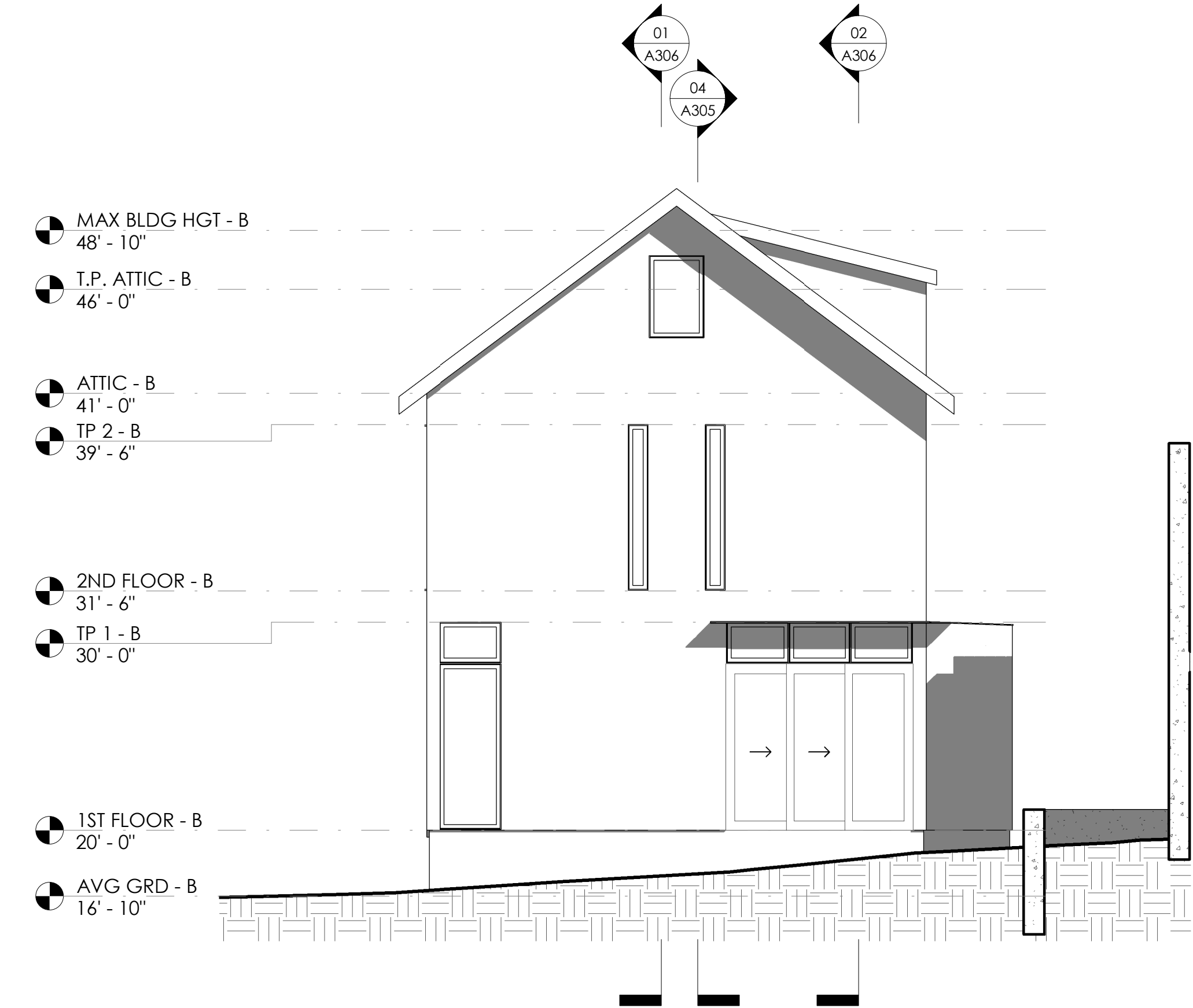
TP 1 - B
30' - 0"

1ST FLOOR - B
20' - 0"

AVG GRD - B
16' - 10"

03 SOUTH ELEVATION - GUEST HOUSE

scale: 3/16" = 1'-0"



MAX BLDG HGT - B
48' - 10"

T.P. ATTIC - B
46' - 0"

ATTIC - B
41' - 0"

TP 2 - B
39' - 6"

2ND FLOOR - B
31' - 6"

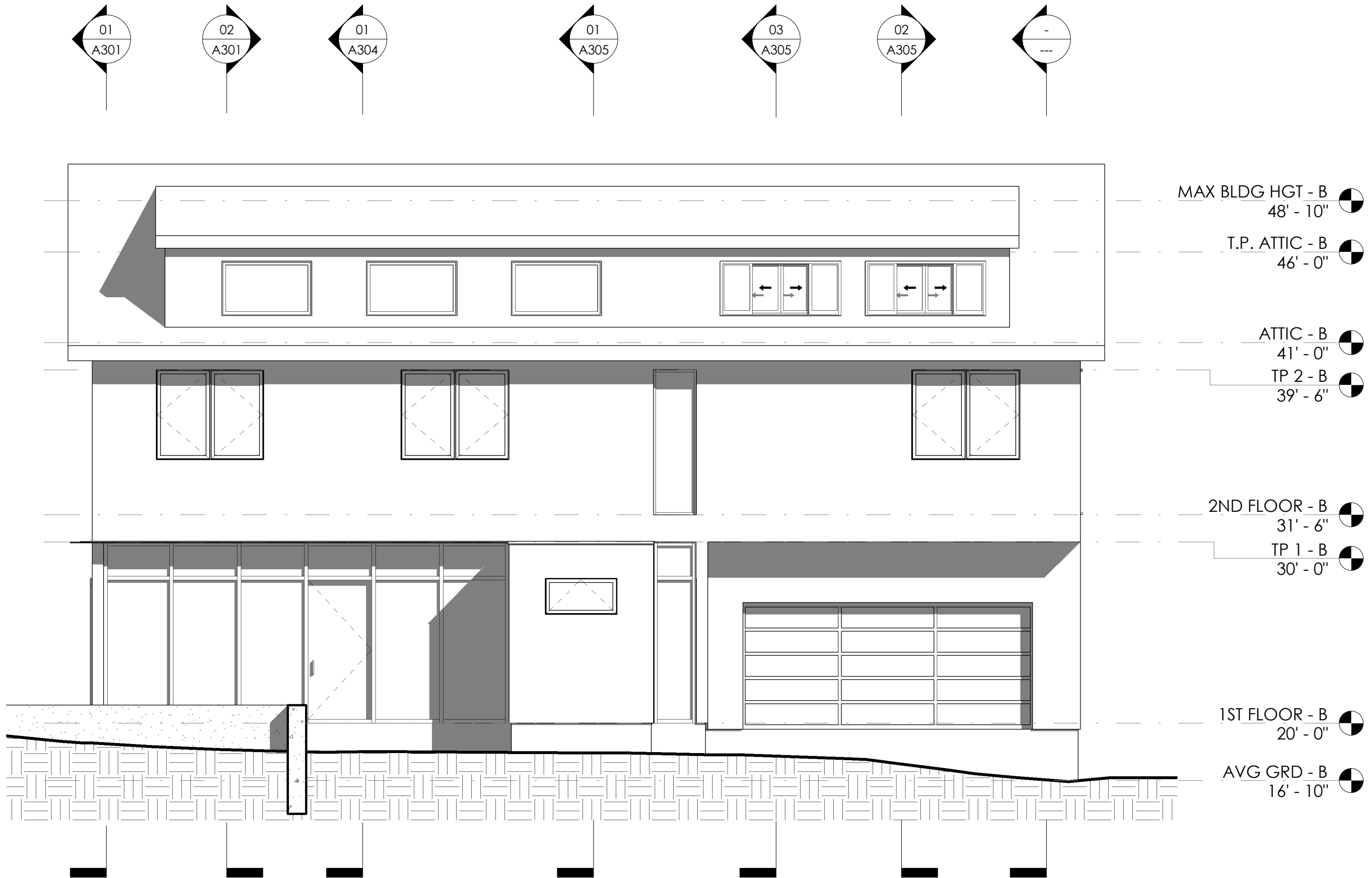
TP 1 - B
30' - 0"

1ST FLOOR - B
20' - 0"

AVG GRD - B
16' - 10"

02 NORTH ELEVATION - GUEST HOUSE

scale: 3/16" = 1'-0"



MAX BLDG HGT - B
48' - 10"

T.P. ATTIC - B
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ATTIC - B
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2ND FLOOR - B
31' - 6"

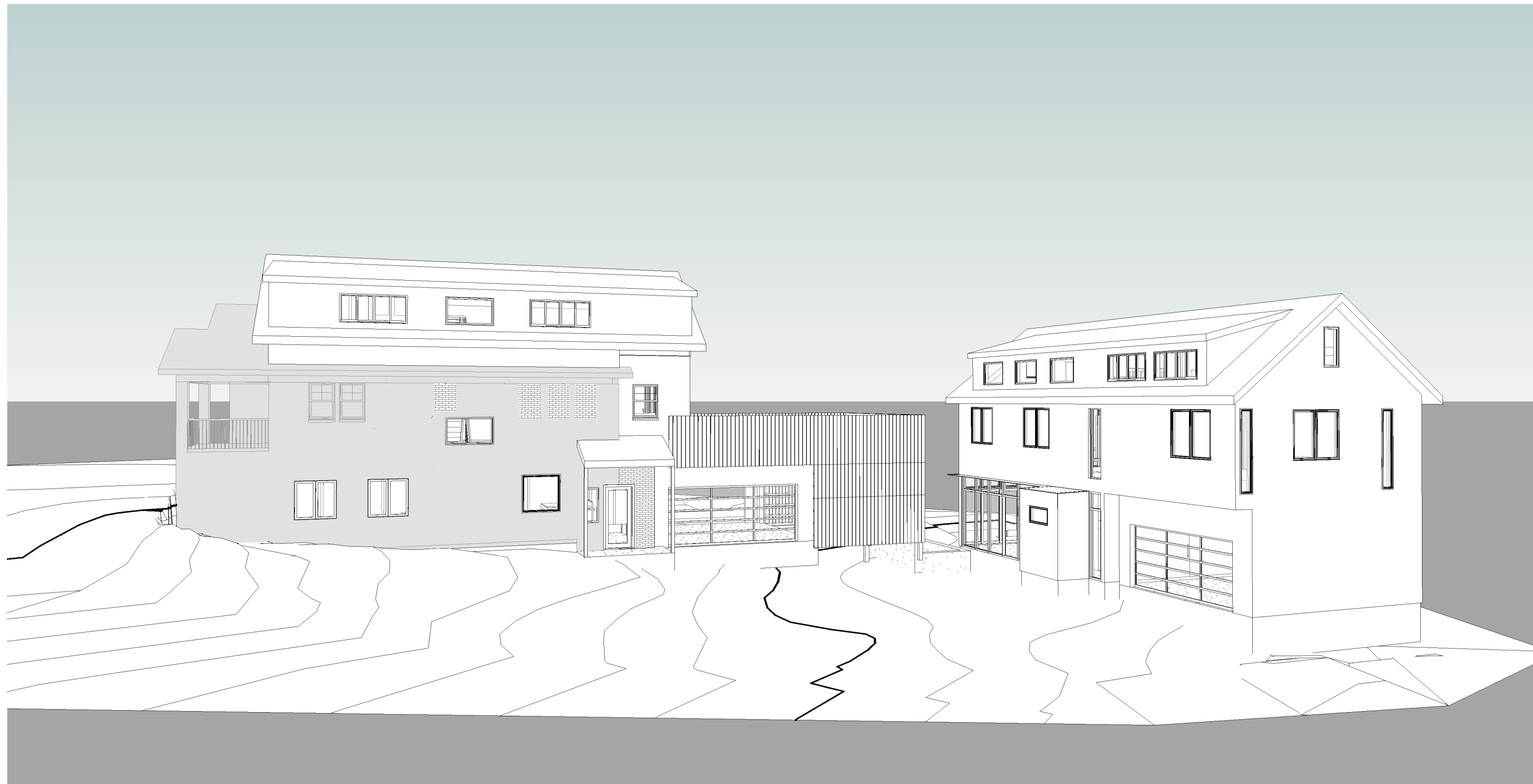
TP 1 - B
30' - 0"

1ST FLOOR - B
20' - 0"

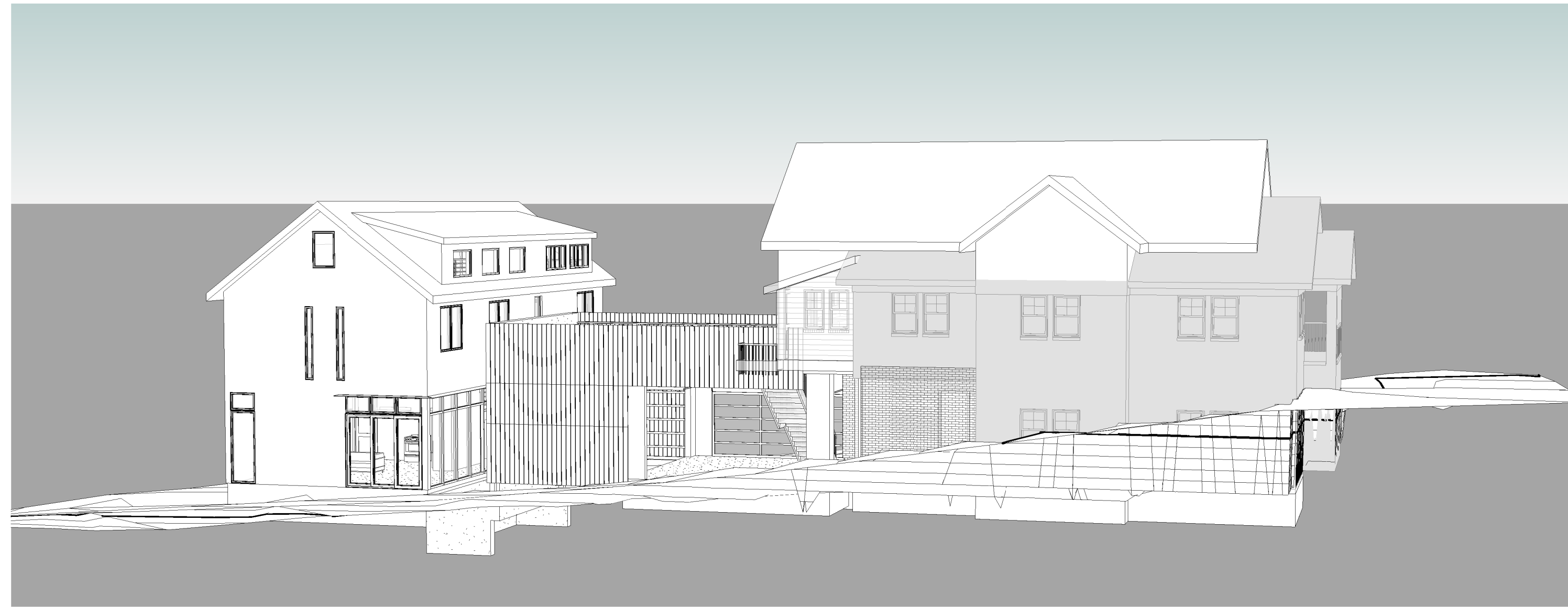
AVG GRD - B
16' - 10"

01 WEST ELEVATION - GUEST HOUSE

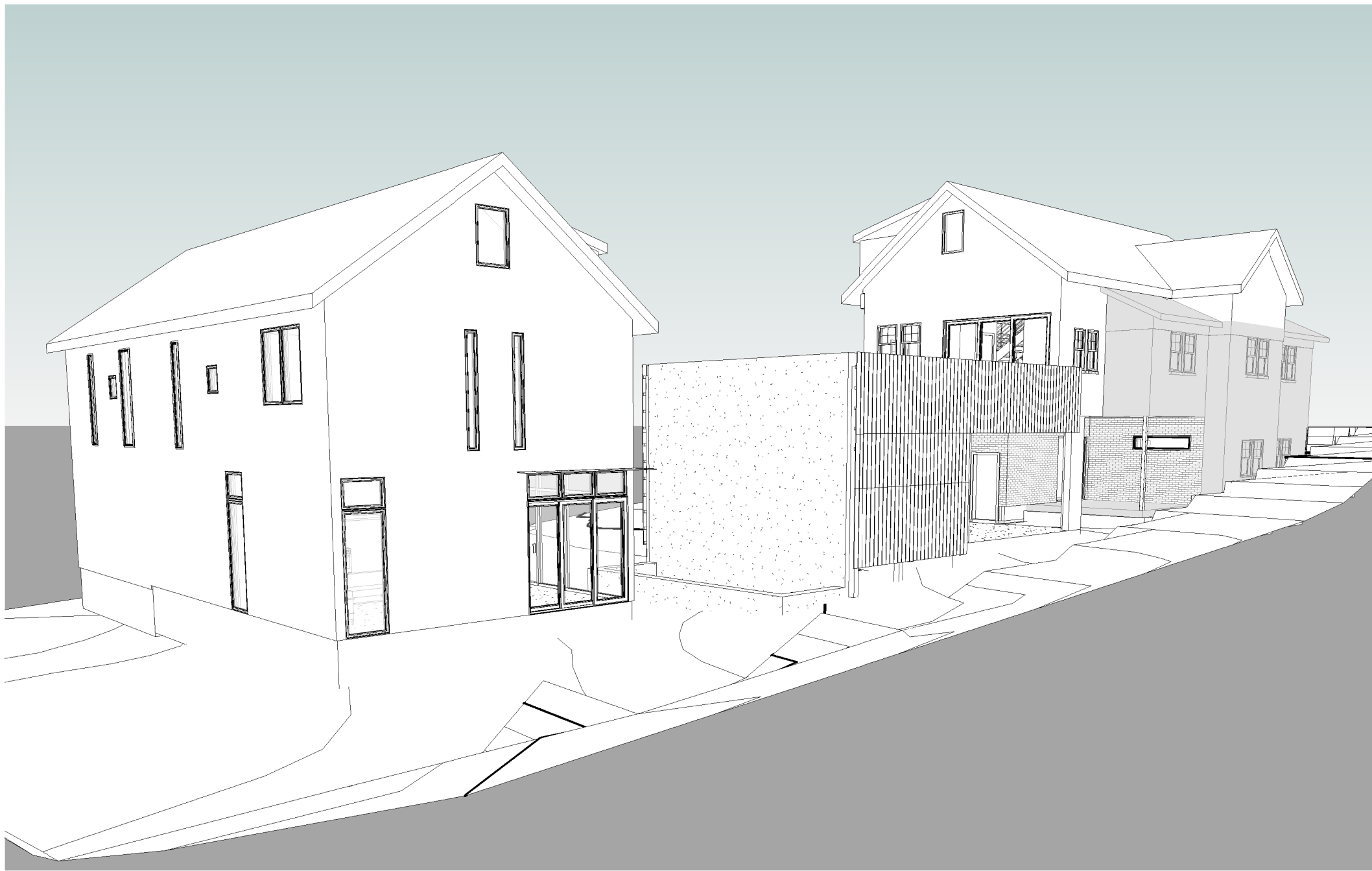
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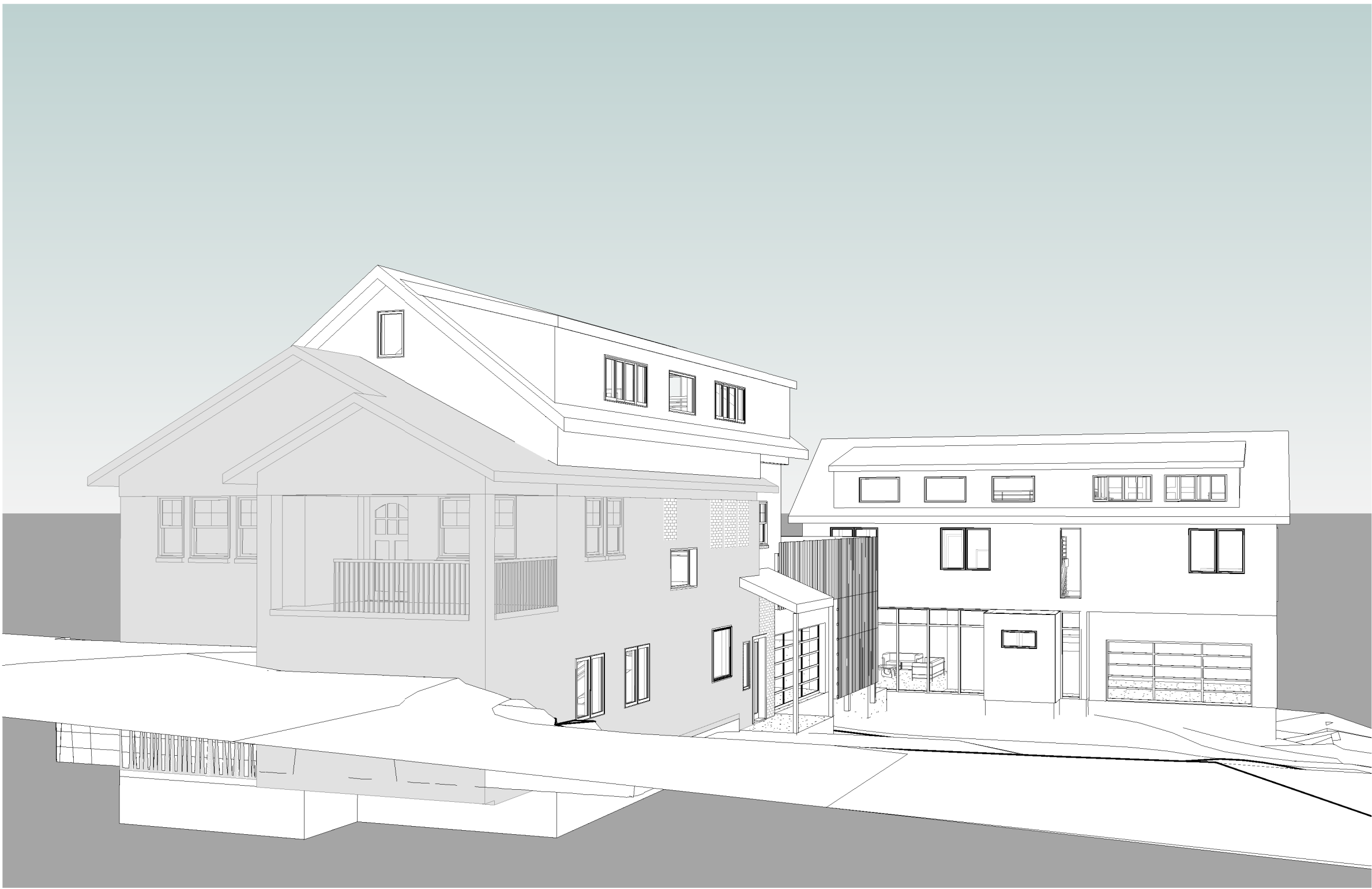
04 3D View 6
scale:



02 3D View 2
scale:



03 3D View 18
scale:



01 3D View 1
scale:

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