

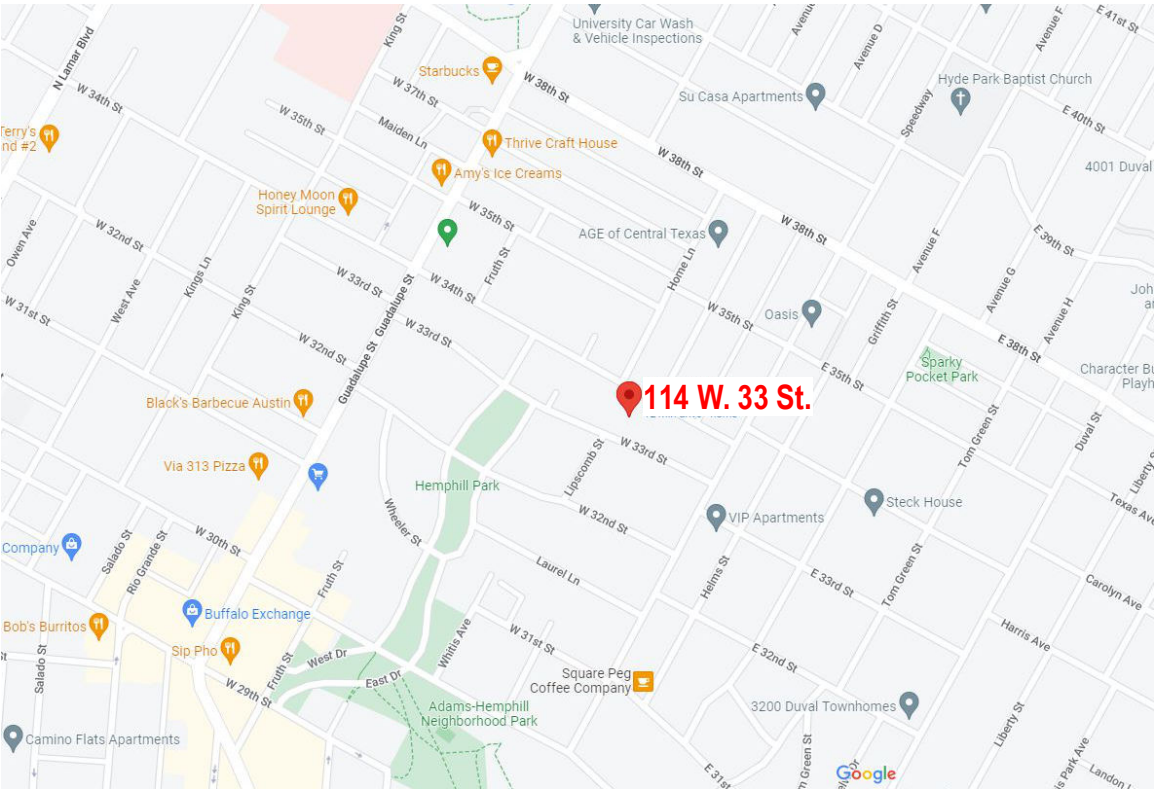


PROPOSED VIEW FROM 33RD ST. (FRONT ELEVATION)



PROPOSED VIEW FROM 34RD ST. (REAR ELEVATION)

Project Location: 114 W 33RD ST
Parcel ID: 0218041308
Zoning: SF-3-HD-NCCD-NP
Zoning Ordinances: 040826-58, 20070111-077, 20081120-026, 20110804-040
Local Historic District: Aldridge Place Local Historic District 20170323-092
Zoning Overlays: ADU Approximate Area Reduced Parking
Neighborhood Conservation Combining District NORTH UNIVERSITY
Residential Design Standards: LDC/25-2-Subchapter F
Neighborhood Plan: NORTH UNIVERSITY
Infill Options: Small Lot Amnesty Infill Option, Parking Placement/Imp Cover Design
Option, Front Porch Design Option, Garage Placement Design Option
Neighborhood Restricted Parking Areas: North University Neighborhood Assn.,
Central Austin Neighborhoods Planning Area Committee



CONTACT INFORMATION

Builder: Olson Defendorf Custom Homes
3355 Bee Caves Rd #501
Austin, TX 78746
(512) 243-6508

Architect: Vanguard Studio, Inc
6601 Vaught Ranch Rd
Suite G-10
Austin, TX 78730
512.918.8312

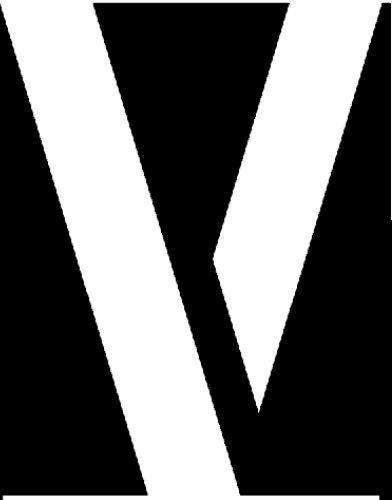
Engineer:

Interior Designer: Marion Interior Design
1108 Marly Way
Austin, TX 78733
(512) 766-7036

Landscape:

A FULL RESIDENTIAL SPRINKLER SYSTEM DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE 2016 NFPA 13D OR THE 2015 IRC P2904 STANDARDS WILL BE INSTALLED IN THIS PROPERTY. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE MULTIPURPOSE RESIDENTIAL FIRE PROTECTION SPRINKLER SPECIALIST (MRFPSS) ENDORSEMENT. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS. A FLOW TEST OF THE MOST DEMANDING AREA WILL BE REQUIRED.

RENDERINGS ARE FOR GENERAL REPRESENTATION OF DESIGN CHARACTER ONLY AND MAY BE AT VARIANCE WITH CONSTRUCTION DOCUMENTS. CONSTRUCTION DOCUMENTS GOVERN. RENDERINGS ARE NOT TO BE USED FOR CONSTRUCTION. REFER TO BUILDER'S SPECIFICATIONS FOR FINAL MATERIAL TYPE, COLOR, AND OTHER SELECTIONS.



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512.918.8312

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ARCHITECTURE

DAVID RESIDENCE

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Austin, TX 78705

Olson Defendorf Custom
Homes
3355 Bee Caves Rd #501,
Austin, TX 78746

PROJECT NO. 22006

Not for Permit
Regulatory Approval Or
Construction
John Hathaway
Reg # 19870

DATE Issue Date

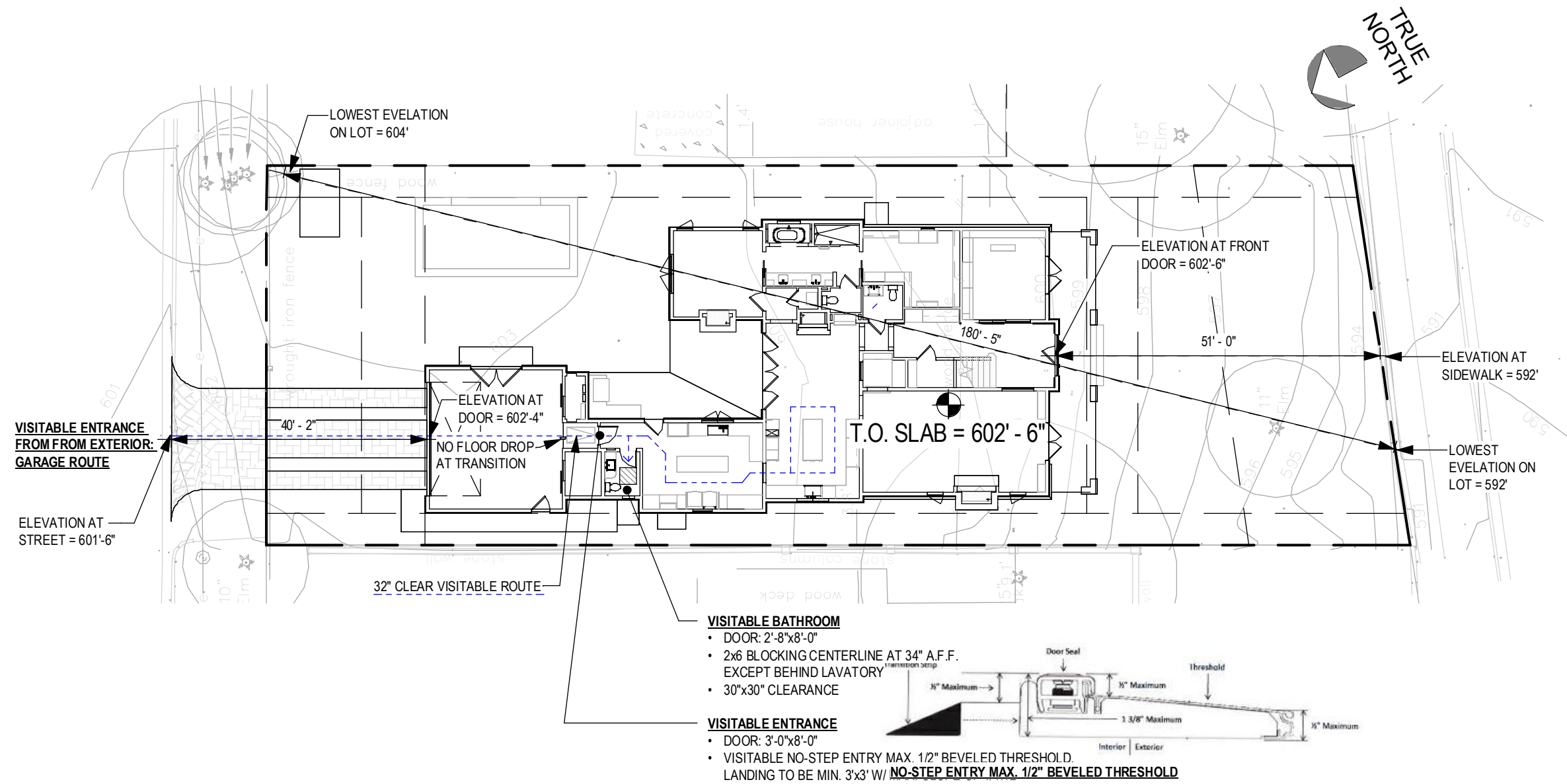
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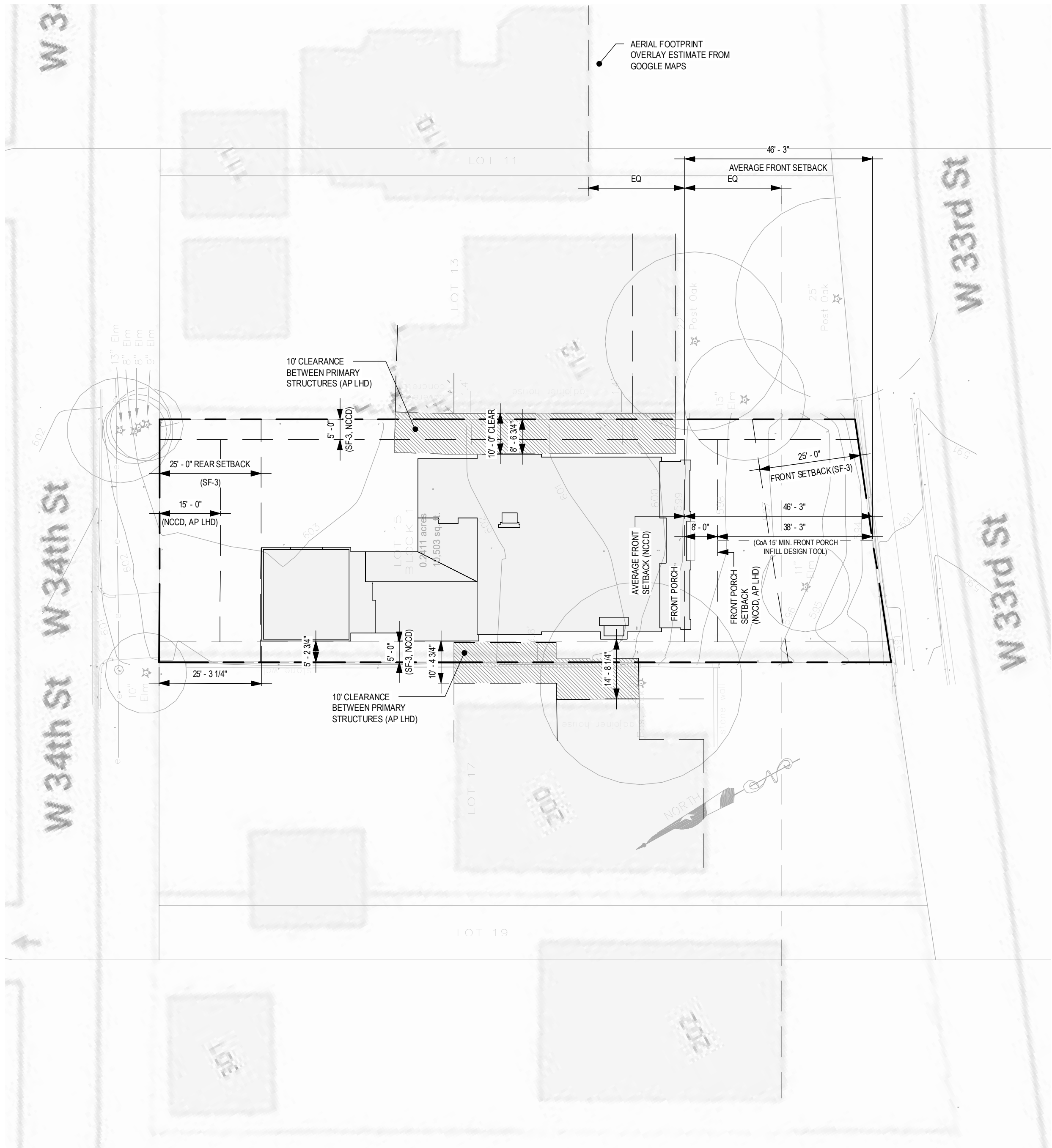
A0.0

Cover

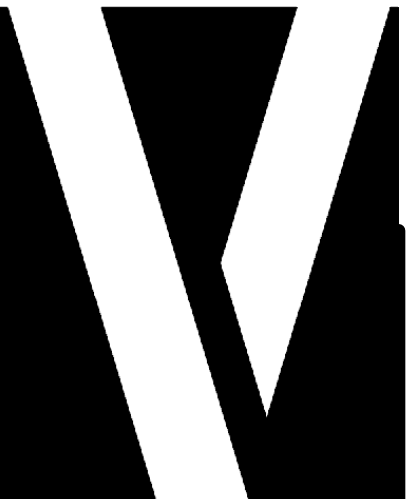
2	Visitability Plan
A1.3	1" = 20'-0"



Site Setbacks
1" = 20'-0"



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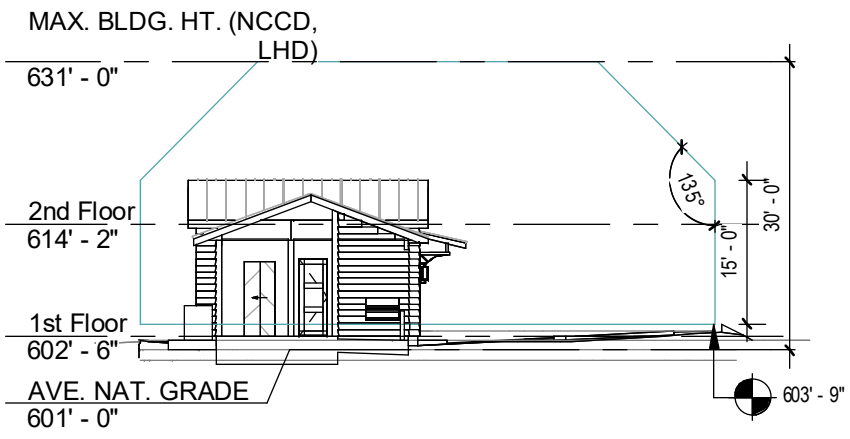
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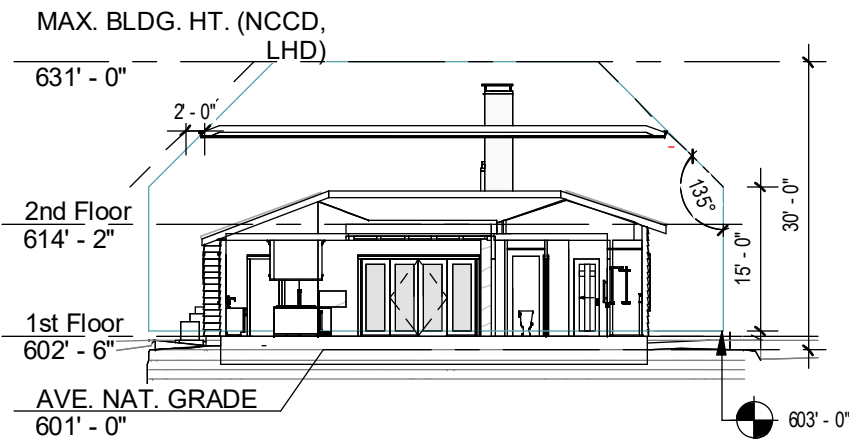
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A1.3

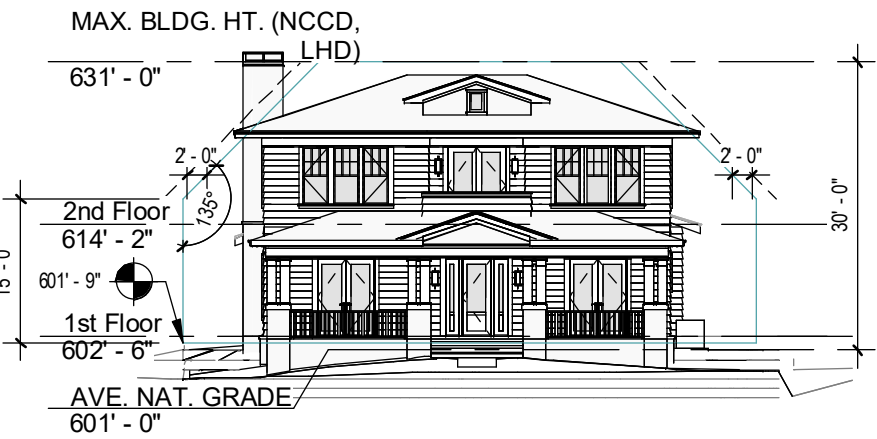
Site Setbacks, Visitability



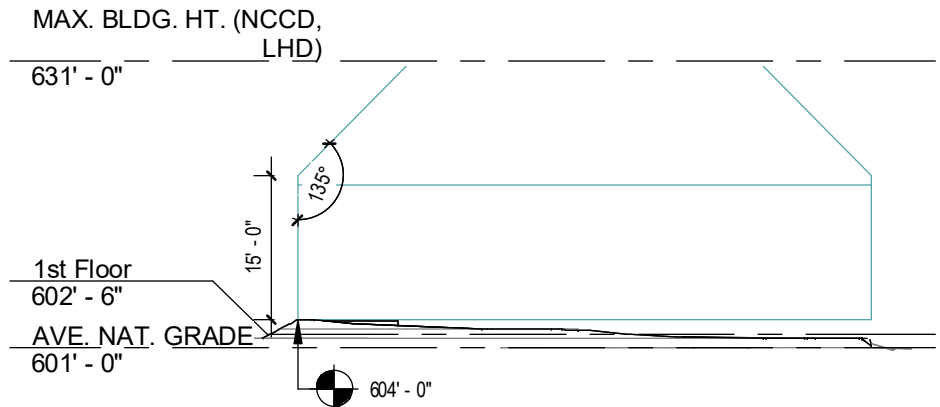
4 Portion 3
A1.4 1" = 20'-0"



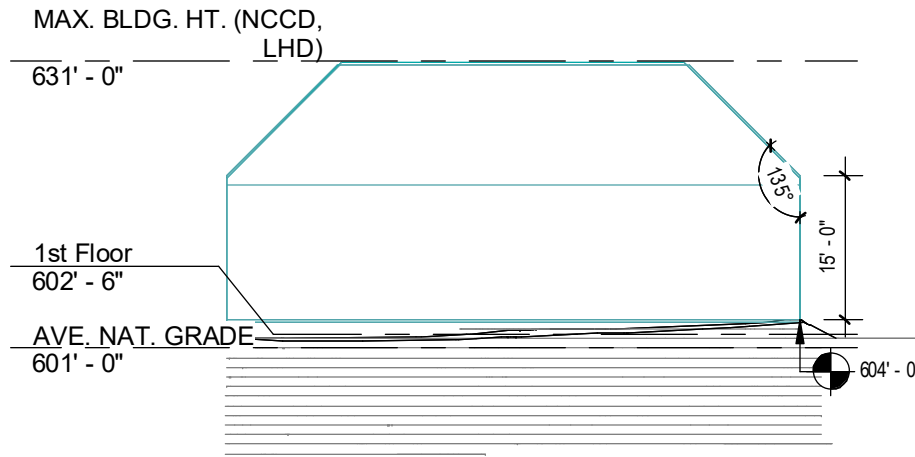
3 Portion 2
A1.4 1" = 20'-0"



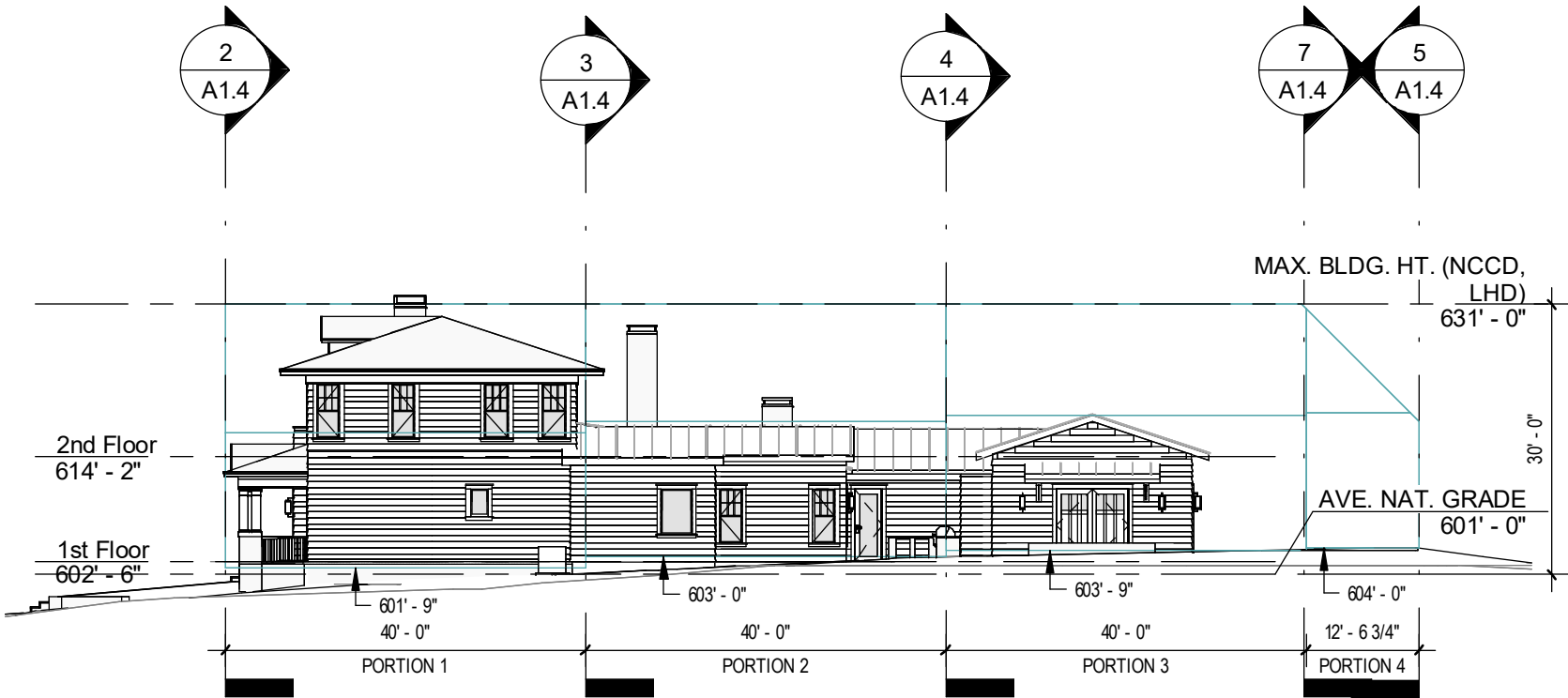
2 Portion 1
A1.4 1" = 20'-0"



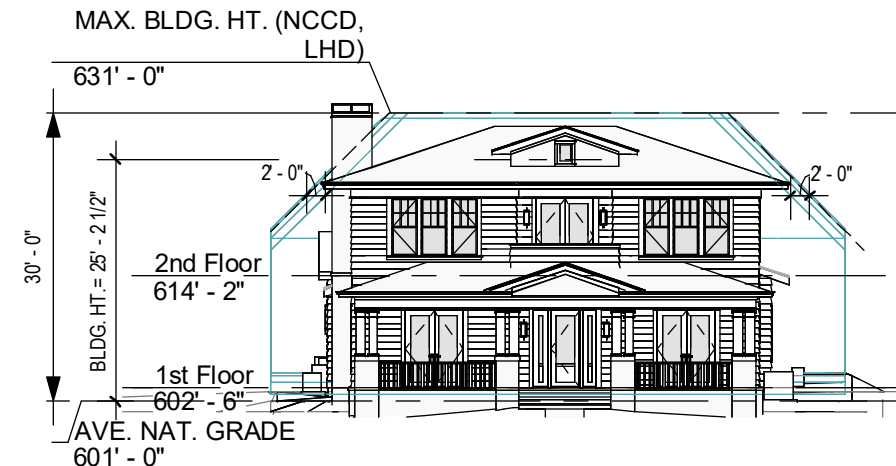
5 Portion 4
A1.4 1" = 20'-0"



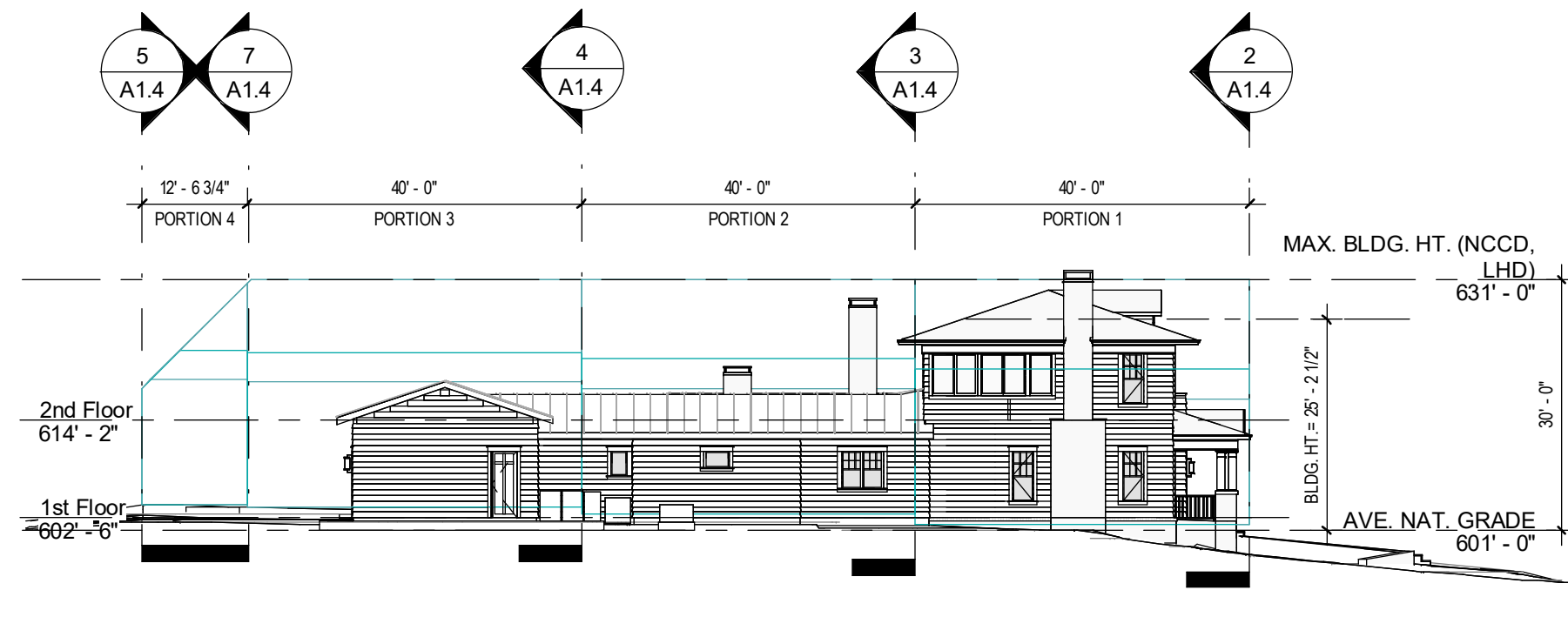
7 Portion 4
A1.4 1" = 20'-0"



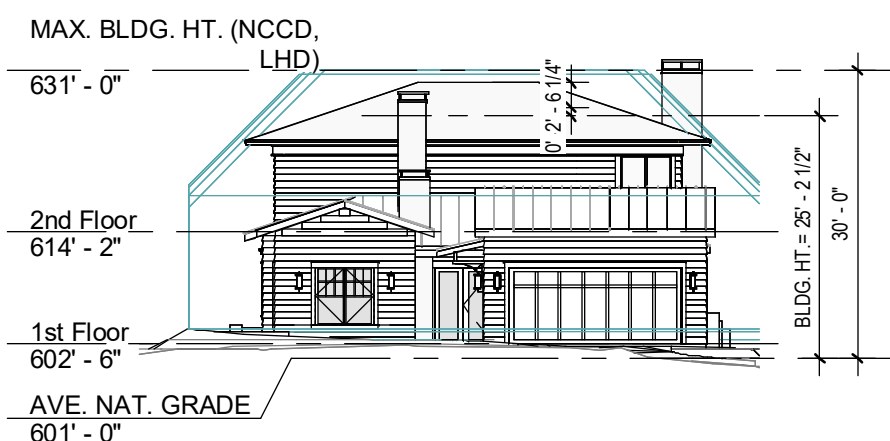
8 East (Right Side) Elevation
A1.4 1" = 20'-0"



9 South (Front) Elevation
A1.4 1" = 20'-0"



10 West (Left Side) Elevation
A1.4 1" = 20'-0"



11 North (Back) Elevation
A1.4 1" = 20'-0"

34th Street
(Water Street)

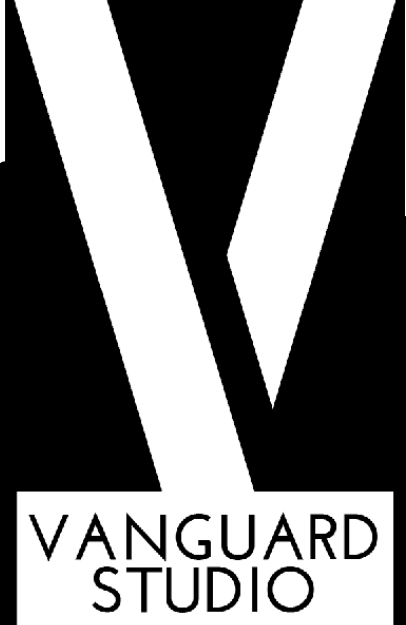


1 Subchapter F Setback Planes
A1.4 1" = 20'-0"

MAX. DEVELOPMENT (SUBCHAPTER F)	
LOT SIZE	10512 SF
First Floor	3028 SF
Second Floor	943 SF
Area w/ ceilings > 15'	13 SF
GROSS FLOOR AREA	3983 SF
TOTAL = 38% MAX. ALLOWED = 40% (4,204 SF)	
Garage	200 SF
Exempt	200 SF

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W. 33rd Street
(BW)
Planned Urban



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DAVID RESIDENCE
114 W. 33rd St.
Austin, TX 78705

Olson Defendorf Custom
Homes
3355 Bee Caves Rd #501,
Austin, TX 78746

PROJECT NO. 22006

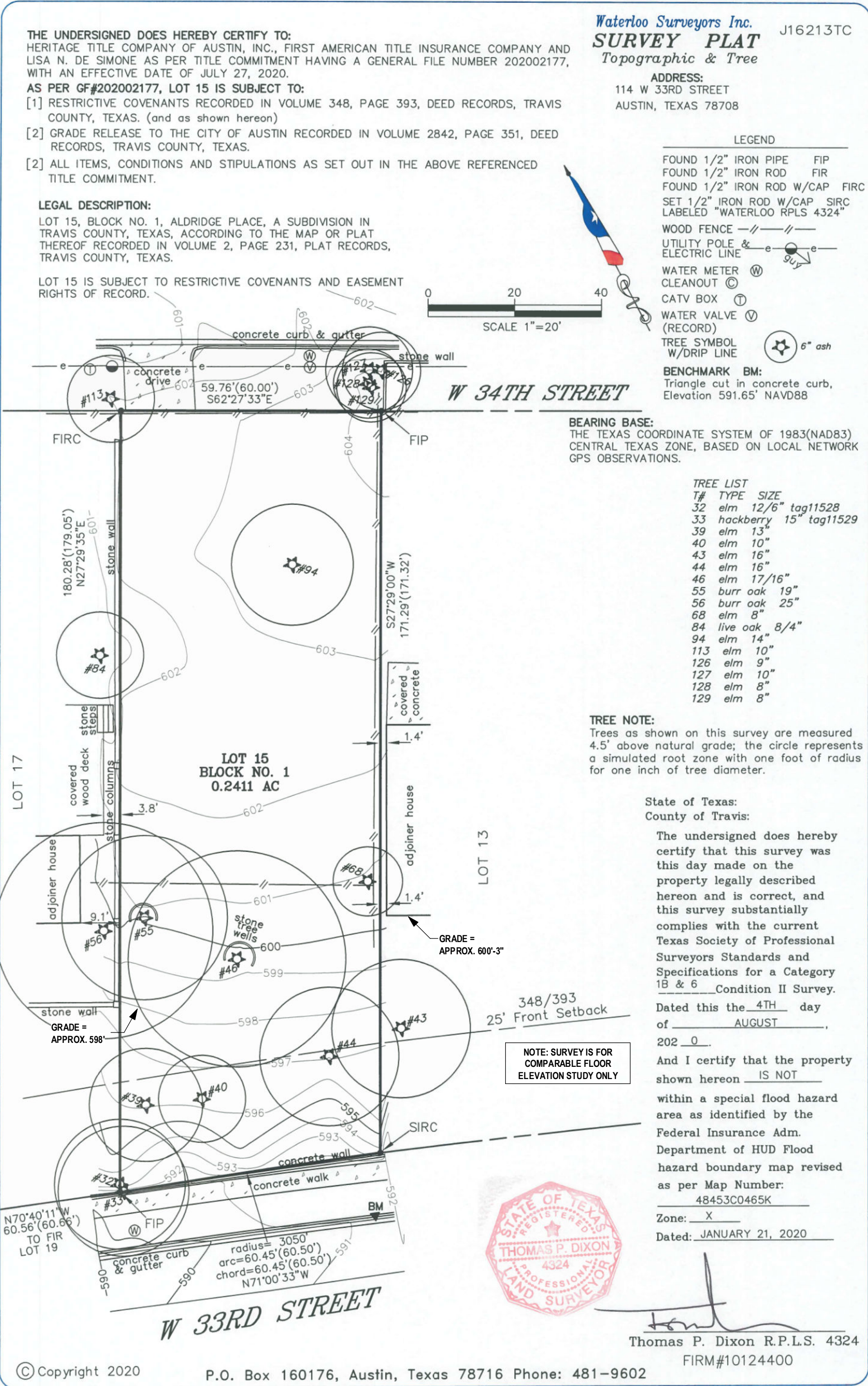
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A1.4
Subchapter F



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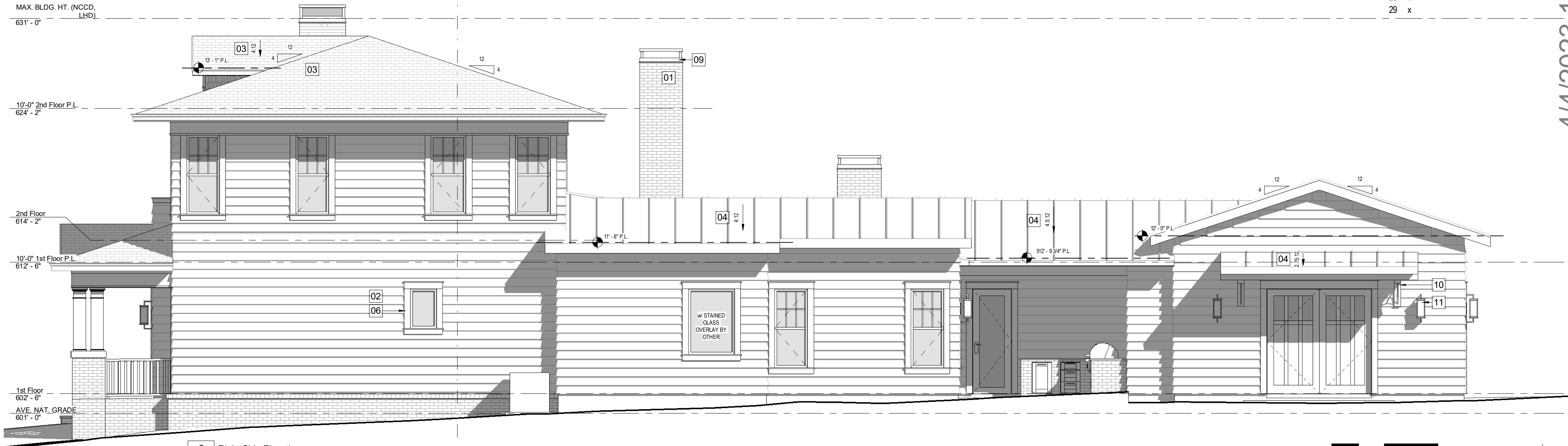
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A1.6

Site Context
Massing



1 Front Elevation
A3.1 1/4" = 1'-0"



2 Right Side Elevation
A3.1 1/4" = 1'-0"

NOTES:

1. NO MORE THAN 24" OF FOUNDATION TO SHOW ABOVE GRADE.
2. NO EXPOSED GALVANIZED FLASHING ALLOWED.
3. STUCCO WEEP SCREEDS AND CONTROL JOINTS TO BE INSTALLED PER ASTM C926 AND C1063 STANDARDS. IN GENERAL JOINT SPACING SHOULD NOT BE GREATER THAN 18 FEET. NO PANEL SHOULD EXCEED 144 SQ. FT. ON VERTICAL APPLICATIONS. NO PANEL SHOULD EXCEED 100 SQ. FT. OVER CURVED OR ANGULAR SECTIONS. NO LENGTH-TO-WIDTH RATIO SHOULD EXCEED 2 1/2 TO 1 IN ANY GIVEN PANEL. WHENEVER POSSIBLE THEY SHOULD BE INCORPORATED INTO BANDING OR FOAM DETAIL INSTALLATIONS.

EXISTING GRADE TO BE ALTERED

PROPOSED GRADE

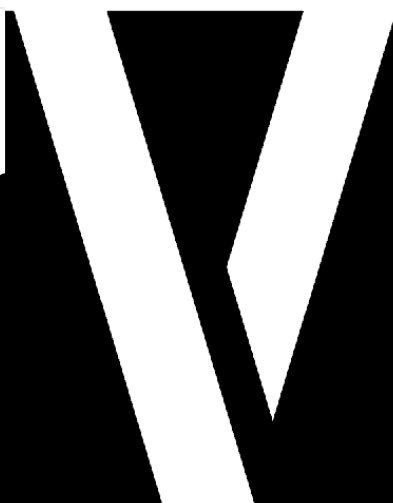
MAX. BUILDING HEIGHT CALCULATION

LOWEST ADJACENT NATURAL GRADE: 599'
HIGHEST ADJACENT NATURAL GRADE: 603'
AVERAGE ADJACENT NATURAL GRADE = 601'
MAX. BUILDING HEIGHT PER NCCD AND LHD = 631'

MATERIAL NOTES:

MISSING NUMERALS ARE INTENTIONAL
-MATERIALS NOT BEING USED IN THIS PROJECT

- | | |
|----|--|
| 01 | Brick |
| 02 | Fiber Cement Plank Siding, Hardie Artisan or Similar |
| 03 | Diamond Shingle Roof |
| 04 | Standing Seam Metal Roof |
| 06 | 1x6 Fiber Cement Trim unless otherwise dimensioned |
| 07 | 36" H. Painted Wood Railing |
| 08 | 12x12 Painted Wood Column |
| 09 | Metal Chimney Cap |
| 10 | Metal Bracket |
| 11 | Exterior Lighting Fixture |
| 12 | Exterior Lighting Fixture, Gas |
| 13 | Fiber Cement Shingles Siding |
| 15 | Stone Wall Cap |
| 25 | x |
| 29 | x |



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A3.1

Exterior
Elevations

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A3.2

Exterior Elevations

NOTES:

1. NO MORE THAN 24" OF FOUNDATION TO SHOW ABOVE GRADE.
2. NO EXPOSED GALVANIZED FLASHING ALLOWED.
3. STUCCO WEEP SCREEDS AND CONTROL JOINTS TO BE INSTALLED PER ASTM C926 AND C1063 STANDARDS. IN GENERAL JOINT SPACING SHOULD NOT BE GREATER THAN 18 FEET. NO PANEL SHOULD EXCEED 144 SQ.FT. ON VERTICAL APPLICATIONS.
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WHENEVER POSSIBLE THEY SHOULD BE INCORPORATED INTO BANDING OR FOAM DETAIL INSTALLATIONS.

EXISTING GRADE TO BE ALTERED

PROPOSED GRADE

MATERIAL NOTES:

MISSING NUMERALS ARE INTENTIONAL
-MATERIALS NOT BEING USED IN THIS PROJECT

- | | | |
|----|---|--------------|
| 01 | Brick | |
| 02 | Fiber Cement Plank Siding, Hardie
Artisan or Similar | |
| 03 | Diamond Shingle Roof | |
| 04 | Standing Seam Metal Roof | |
| 06 | 1x6 Fiber Cement Trim unless otherwise
dimensioned | |
| 07 | 36" H. Painted Wood Railing | |
| 08 | 12x12 Painted Wood Column | |
| 09 | Metal Chimney Cap | |
| 10 | Metal Bracket | |
| 11 | Exterior Lighting Fixture | |
| 12 | Exterior Lighting Fixture, Gas | |
| 13 | Fiber Cement Shingles Siding | |
| 15 | Stone Wall Cap | |
| 25 | x | MAX. BLDG. H |
| 29 | x | |

MAX. BLDG. HT. (NCSD
LND)
631' 0"

4/4/2023 1:02:15 PM

MAX. BLDG. HT. (NCCD, LHD)
631' - 0"

MAX. BLDG. HT. (NCCD,
LHD)
631' - 0"

10'-0" 2nd Floor P.L.
624' - 2"

10'-0" 2nd Floor P.L.
624' - 2"

2nd Floor
614' - 2"

2nd Floor
614' - 2"

$$\frac{10'-0'' \text{ 1st Floor P.L.}}{612'-6''}$$

Floor P.L.
612' - 6"

1st Floor
602' - 6"

1st Floor
602' - 6"

Back Elevation
1/4" = 1'-0"

4	BACK PORCH
A3.2	1/4" = 1'-0"

A3.2	$1/4" = 1'-0"$
------	----------------

2	Left Side Elevation
3.2	$1/4" = 1'-0"$

3.2	$1/4" = 1'-0"$
-----	----------------

—TRASH STOR. & HVAC EQUIP. LOCATION

GENERATOR
LOCATION

INSECT SCR
PANELS

01
COMMON
BOND

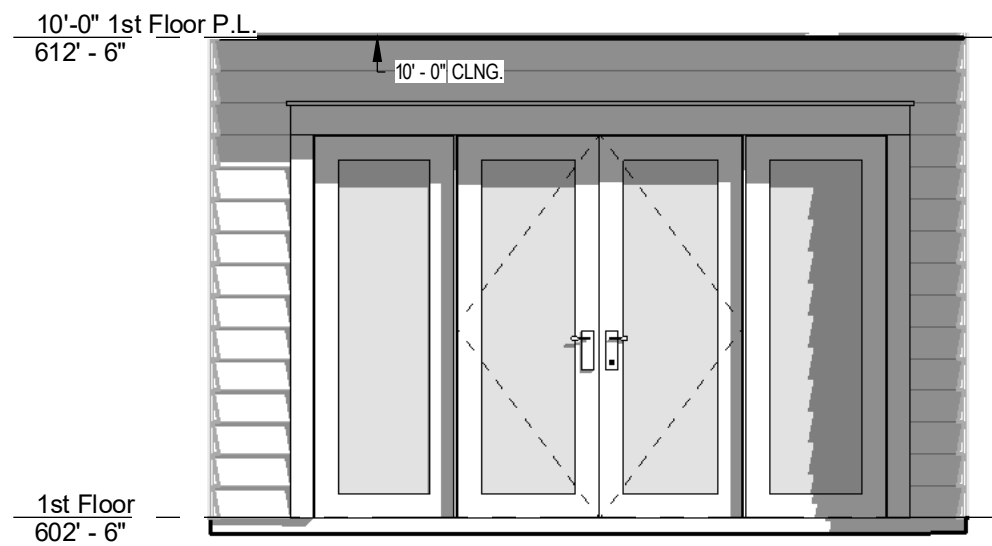


B.O.B

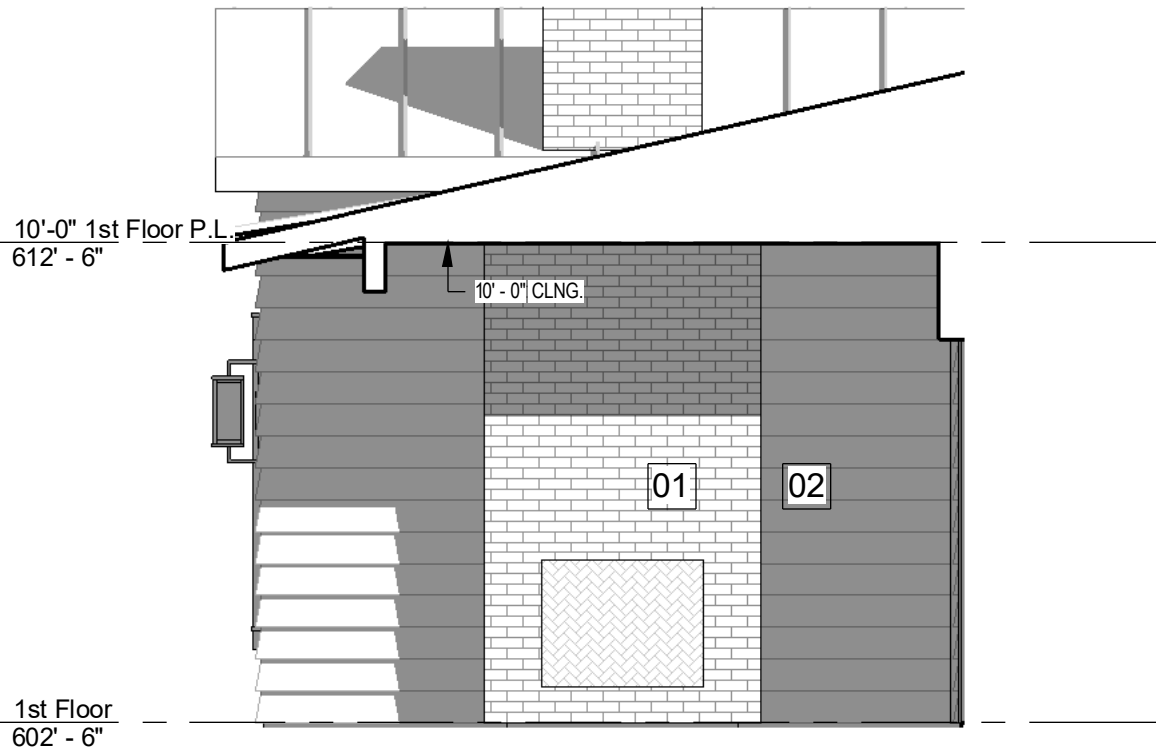
1st Floor
602' 6"

GRADE
601' - 0"

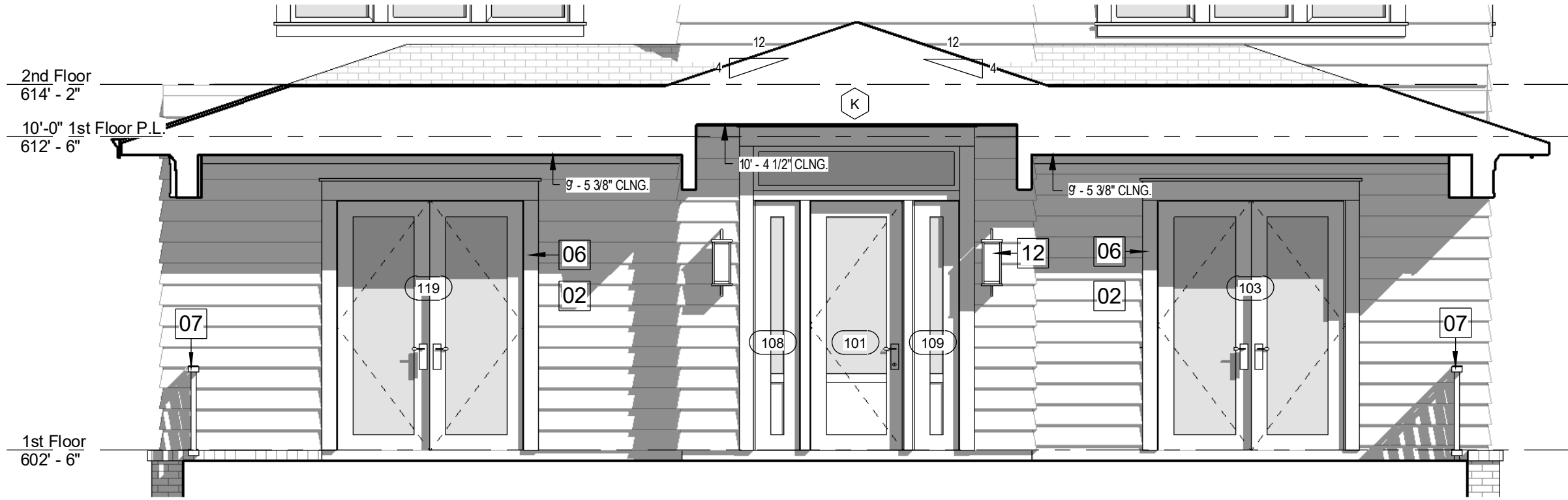
Level	Number of Nodes
0'	2
2'	1
4'	2
8'	4



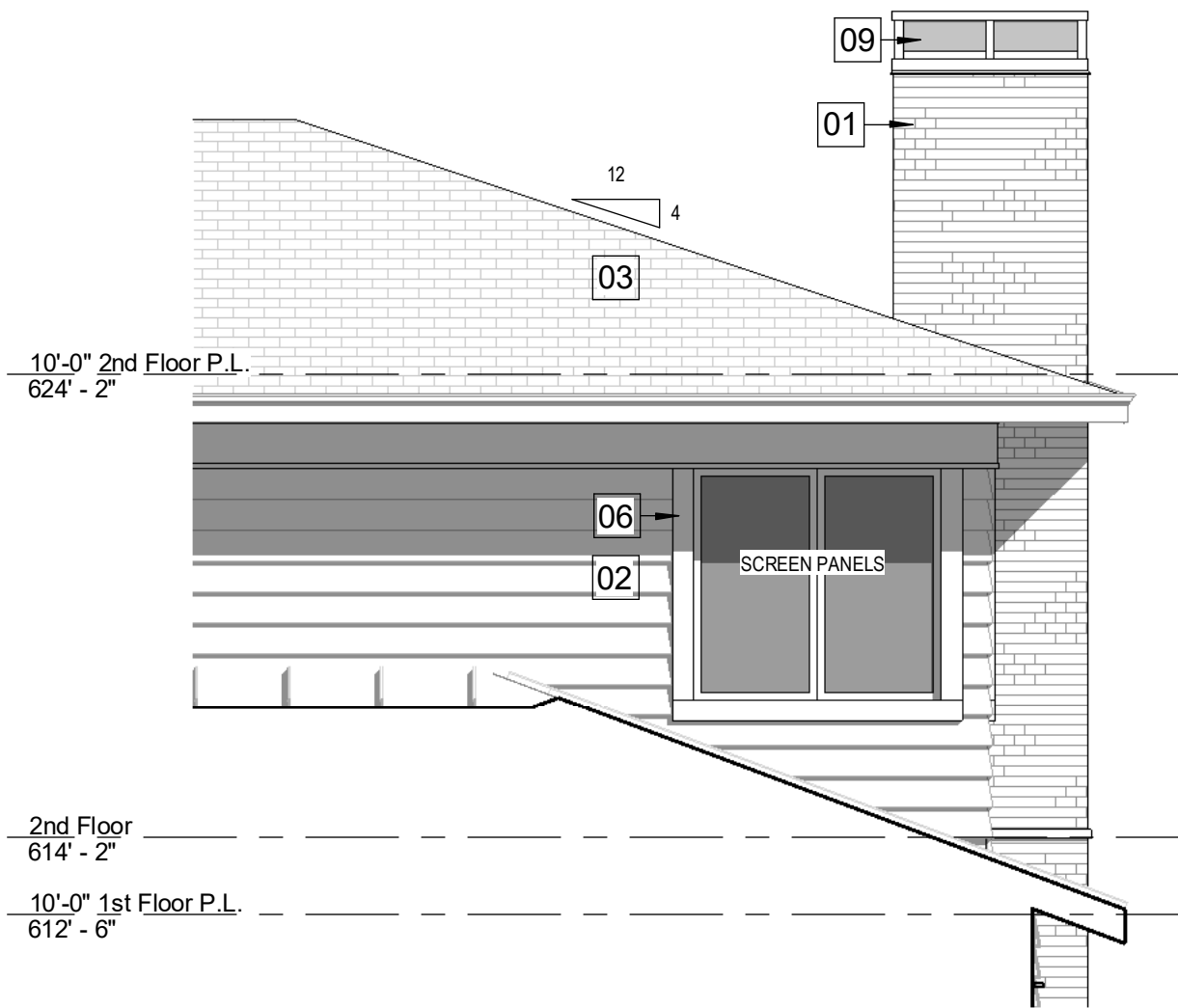
3	Back Porch
A3.3	1/4" = 1'-0"



2	Back Porch
A3.3	1/4" = 1'-0"



1	Front Porch
A3.3	1/4" = 1'-0"

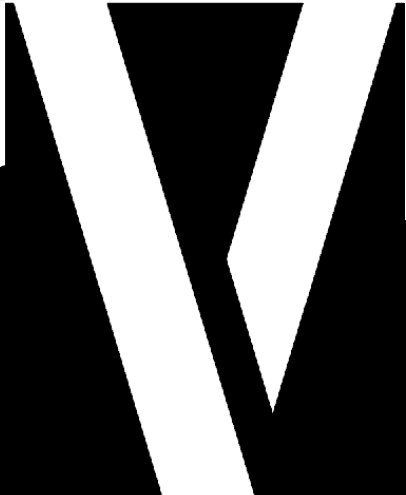


5	Screened Porch (Back Elevation)
A3.3	1/4" = 1'-0"



4	Back Porch
A3.3	1/4" = 1'-0"

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Austin, TX 78705

Olson Defendorf Custom
Homes
3355 Bee Caves Rd #501,
Austin, TX 78746

PROJECT NO. 22006

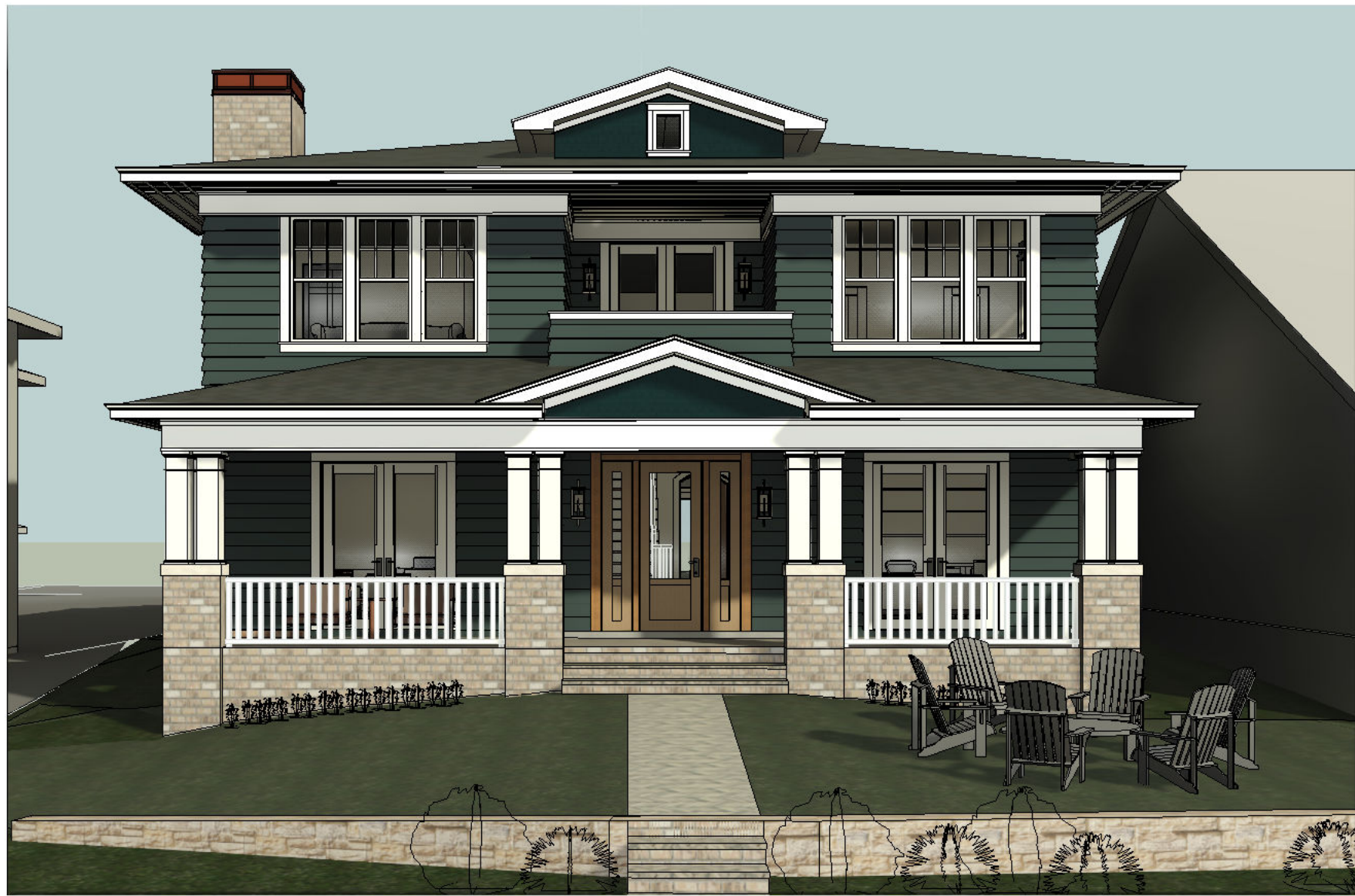
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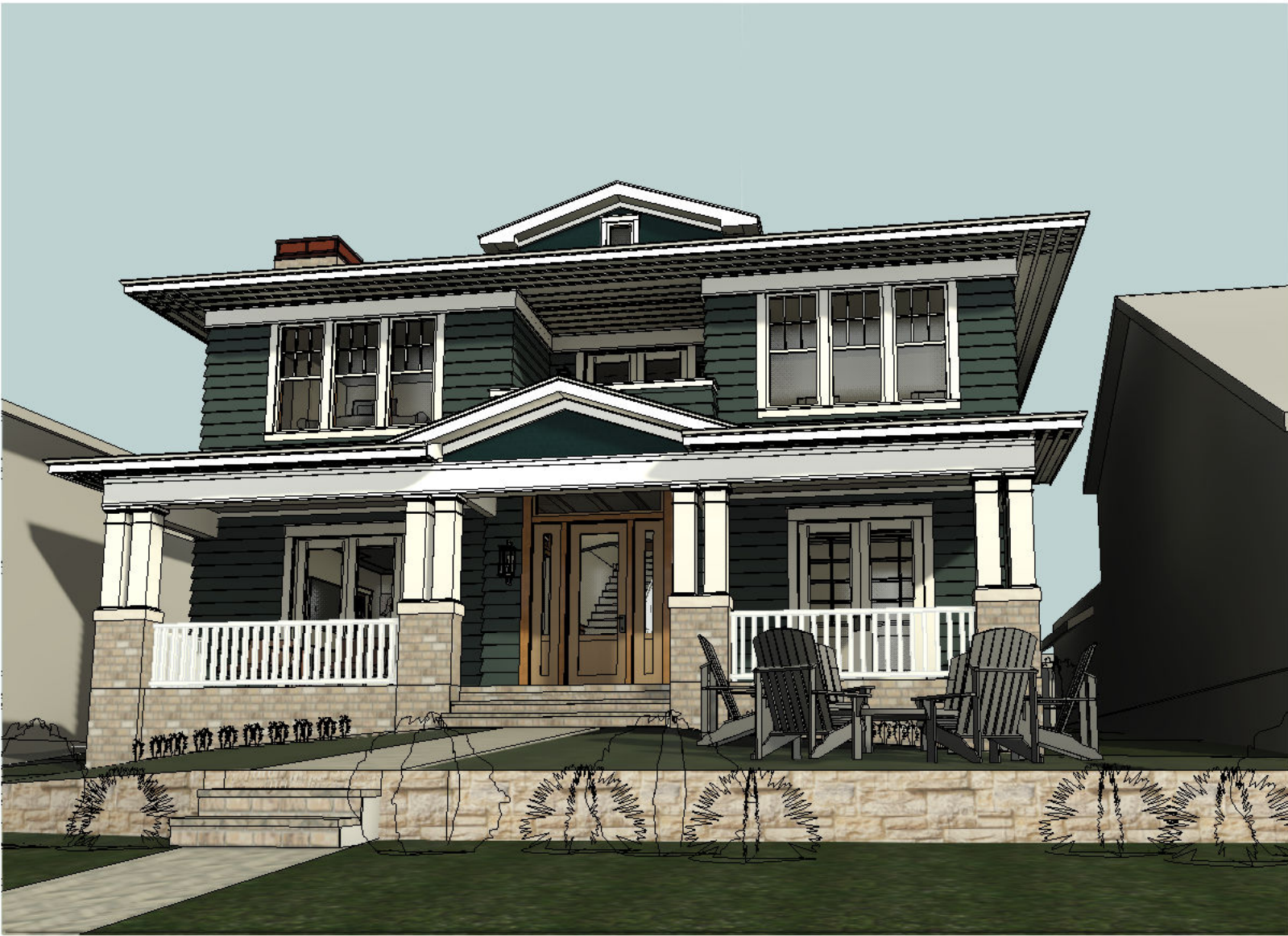
A3.3
Exterior
Elevations



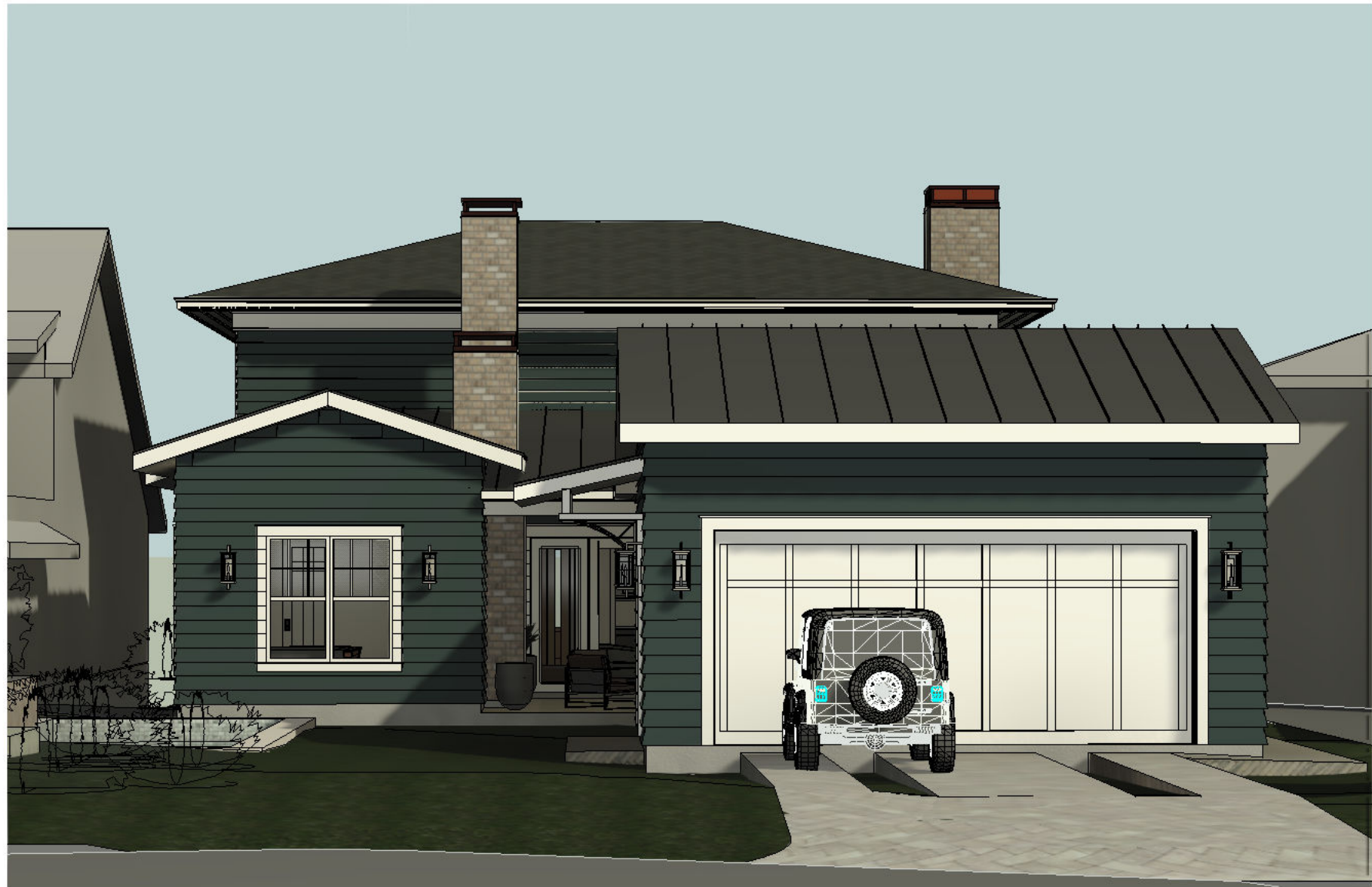
FRONT



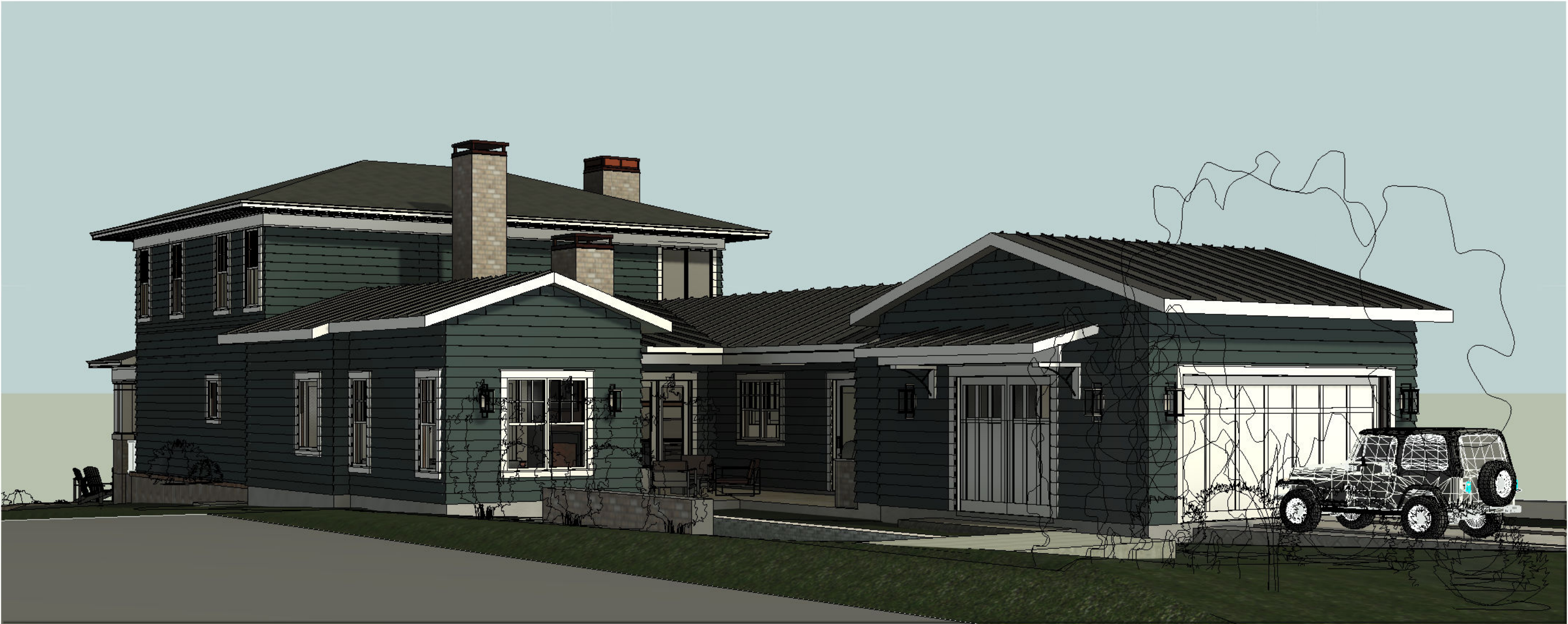
FRONT



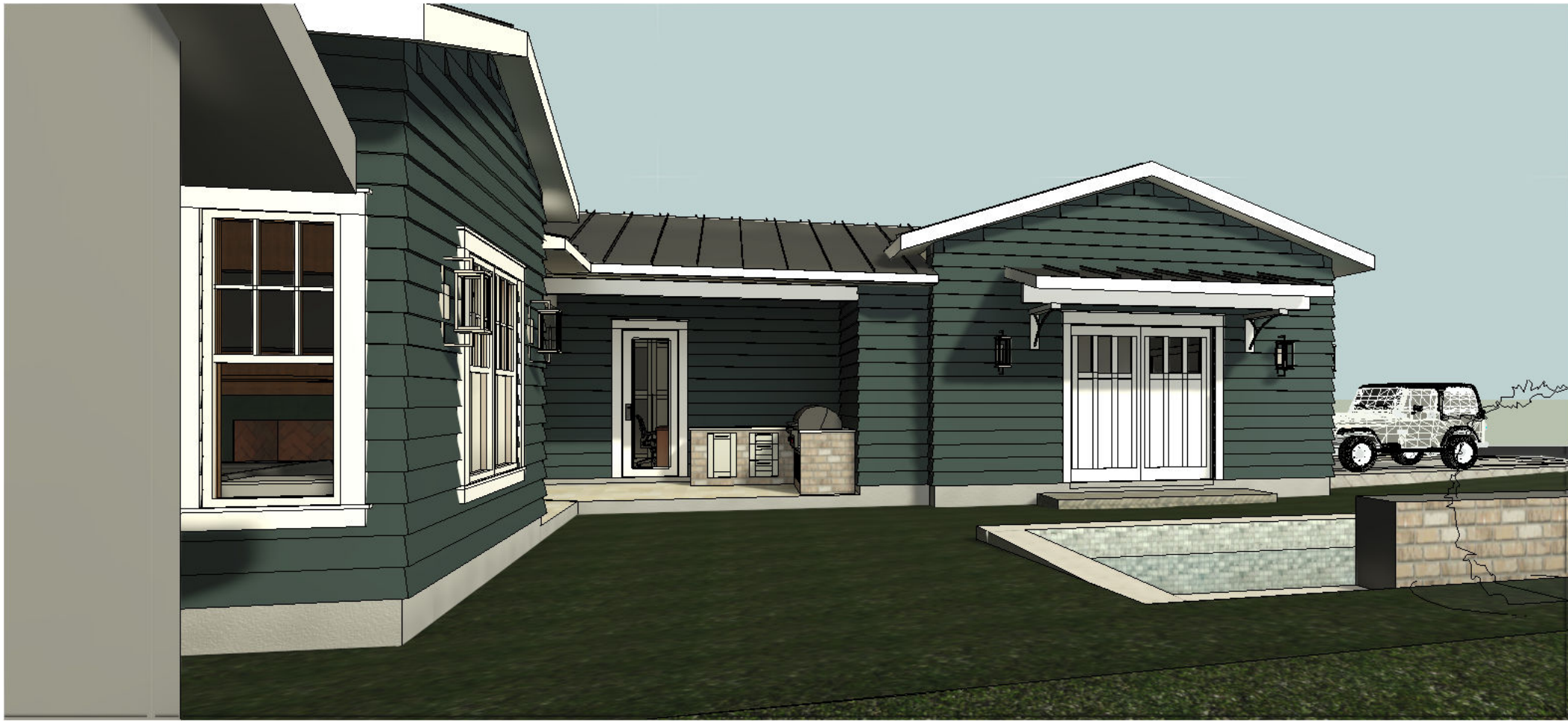
FRONT (from sidewalk)



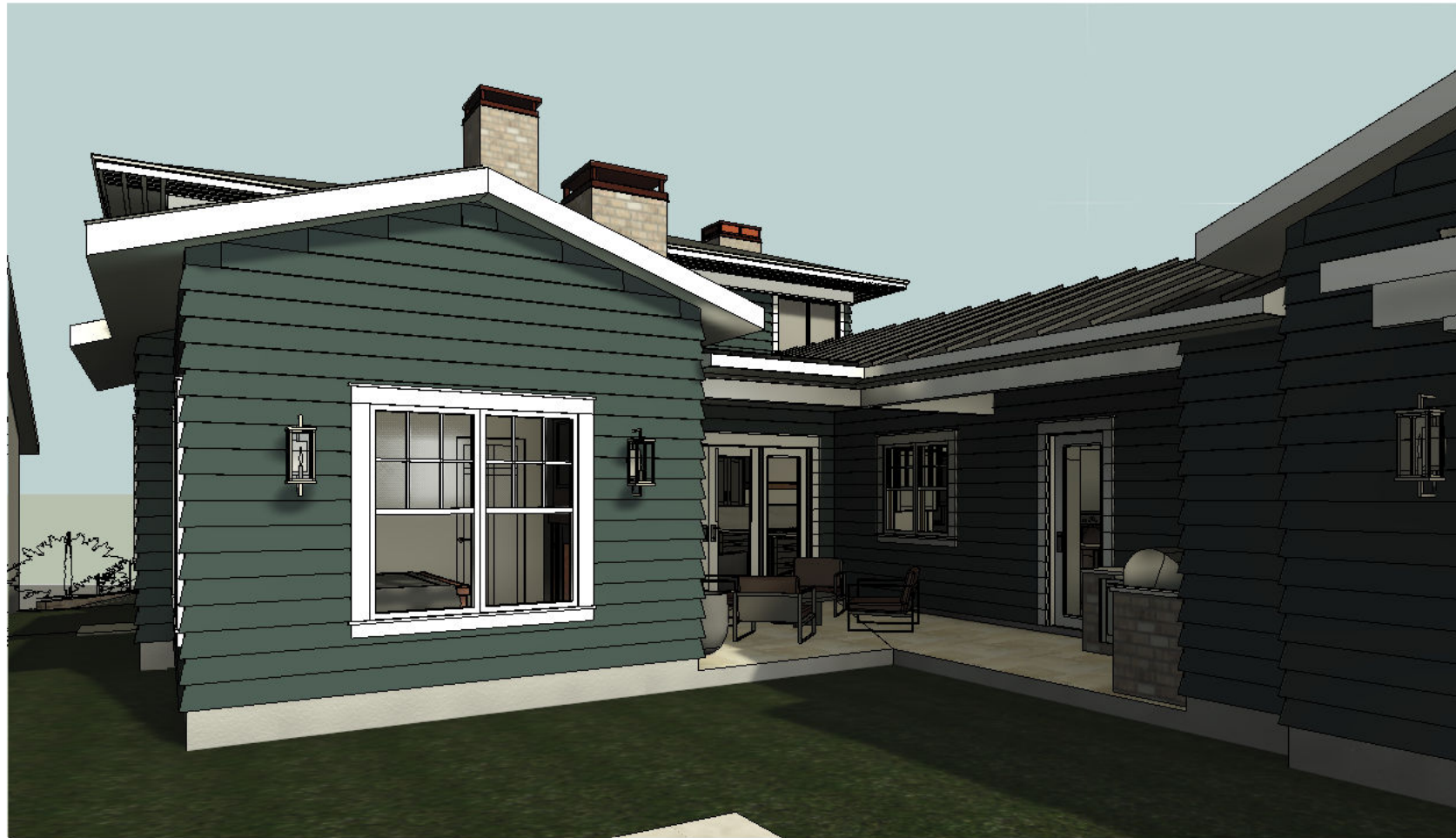
BACK



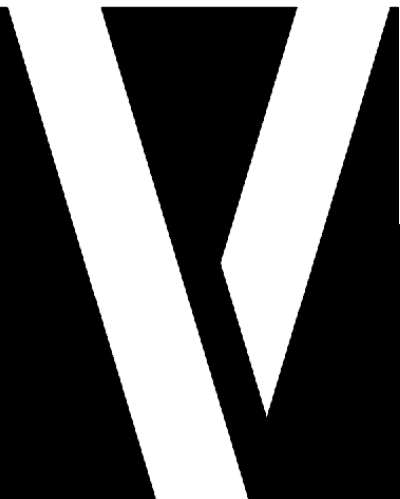
BACK



BACK YARD / GARAGE



BACK



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A3.4

Exterior
Perspectives



LOT 17, ADJACENT LOT WEST



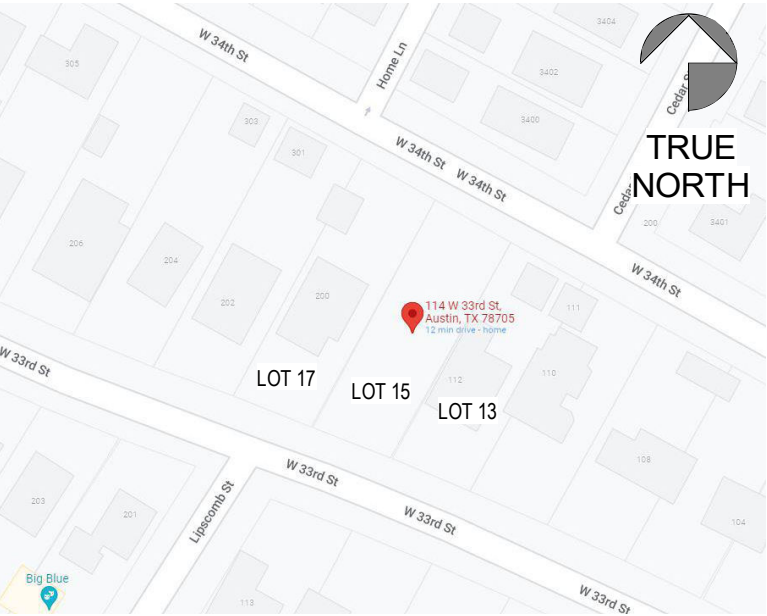
PROJECT SITE: LOT 15, 114 W 33RD STREET



LOT 13, ADJACENT LOT EAST



PROJECT SITE: LOT 15, 34th ST SIDE



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ASI2.1

Site Photos

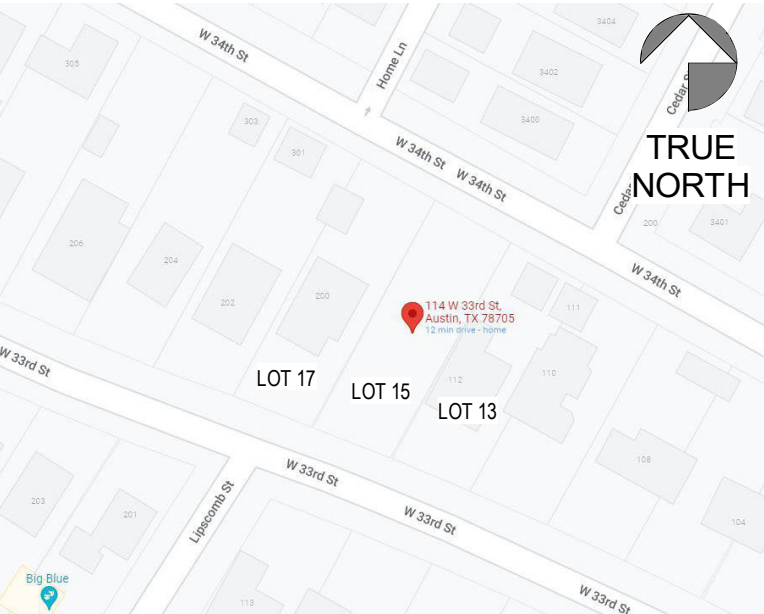


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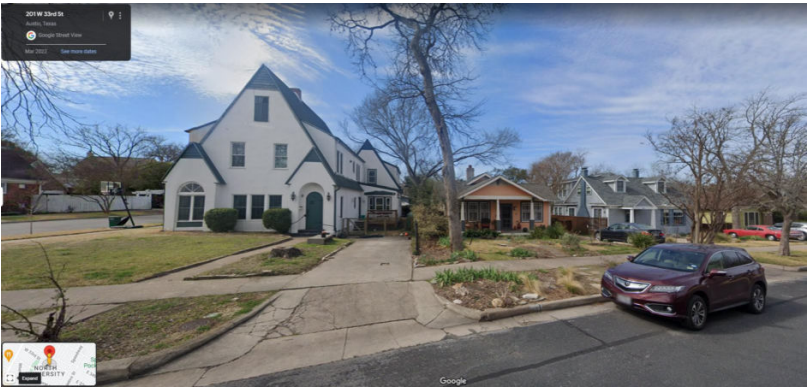
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ARCHITECTURE



33RD STREET, SOUTH SIDE



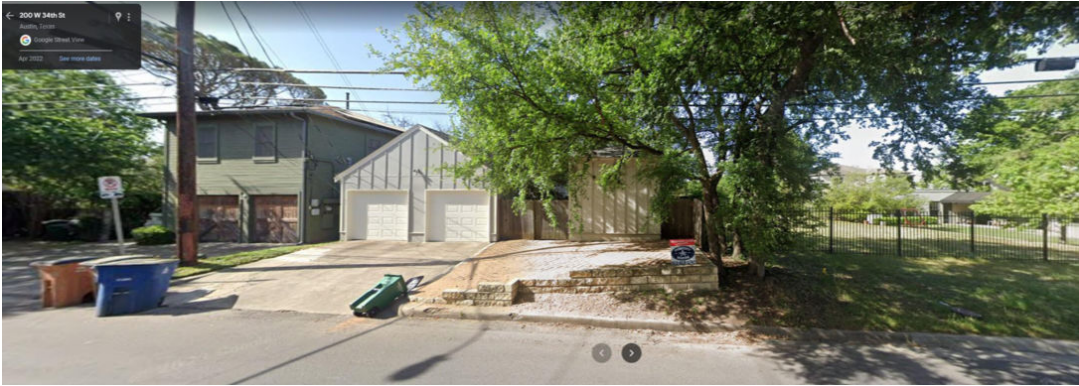
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DAVID RESIDENCE

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Austin, TX 78705



33RD STREET, NORTH SIDE



34TH STREET, SOUTH SIDE



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