

HISTORIC LANDMARK COMMISSION
APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS
MAY 3, 2023
HR-2023-041382
ALDRIDGE PLACE HISTORIC DISTRICT
114 WEST 33RD STREET

PROPOSAL

Construct a new house on a vacant lot.

PROJECT SPECIFICATIONS

The proposed new house is two stories in height. It has a hipped roof with central gabled dormer, full-width front porch with centered wood entry door, fiber-cement siding, 6:1 windows, and fully glazed secondary doors. Its attached garage is located at the rear of the lot.

DESIGN STANDARDS

The Aldridge Place Design Standards are used to evaluate projects within the historic district. The following standards apply to the proposed project:

5.4.1: Compatibility Standards for All New Construction within the Historic District

1. Front houses on streets within Aldridge Place, even if located on a through lot between West 33rd and West 34th Streets. (See deed restrictions.) 2. Do not attach a separate residential unit to a primary residence. 3. Design a new garage to be complementary to the main structure on the property. Do not locate garages or carports on the façade of a building. 4. Set new primary houses equal to the houses on either side, if those houses are contributing, or equal to the nearest two contributing houses on the same street. 5. Place new construction in street side yard a minimum of 15 feet from setbacks, excluding porch. 6. The impervious cover standard is a maximum of 45%. 7. This section applies to all new construction including new garage apartments and secondary units. Minimum Lot Size: 5,750 ft². Maximum building coverage: 40%. Maximum height: 30'. Minimum front setback: 25', excluding porch. Minimum interior side yard setback: 10' for principal structure on adjacent lot, 5' for all others. Minimum rear setback: 15' for a through lot, 10' for all others.

The proposed building meets the standards.

5.4.2: Massing, Scale, and Architectural Elements. *Use massing, scale, and architectural elements typical of the contributing buildings on the block when designing a new building. The geometry of new primary house construction shall be in a scale with contributing buildings on the same block. When applying to Historic Landmark Commission, include photographs of all existing adjacent buildings and any other buildings on the block which have inspired design choices for the new construction.*

The proposed building uses massing, scale, geometry, and architectural elements typical of the contributing buildings on the block.

5.4.3: Porches. *Front porches on new construction are not necessary, but if present, they may extend a maximum of eight feet in front of the front yard setback if a principal building has a setback of at least 25 feet.*

The proposed front porch meets the standard.

5.4.4: Height. *Raise porch and first floor levels for new houses to a height comparable to existing houses with pier and beam construction, even if new construction is on a slab. Limit the maximum height of new structures to 30 feet.*

The proposed building height meets the standards.

5.4.5: Roofs. *Roof forms shall correspond to the building form and architectural style of the new building and typical of roof types in the district.*

The proposed roof form meets the standard.

5.4.6: Entrances. *Locate the primary entrance to the building on the front. Use a front entryway configuration that is compatible with the front entries of contributing houses in the district.*

The proposed entrance meets the standards.

5.4.7: Exterior Wall Materials. *Use exterior wall materials that are compatible with those on the contributing structures on the block, such as wood, cementitious lap siding, brick, or stucco.*

The proposed exterior siding meets the standards.

5.4.8: Chimneys. *Use stone, stucco, or brick as the primary material for an exterior chimney.*

The proposed chimney material meets the standards.

5.4.9: Driveways and Parking. *1. Runners are preferred for driveways and parking. Driveways and parking are subject to the City's impervious cover restrictions. Circular drives are not appropriate. 2. A parking space may not be located in a street side yard. 3. The maximum number of parking spaces in all street yards on a site is two. 4. Pavement for a parking space in a front yard may not be located in front of a principal structure. 5. For tandem parking, only one car may be parked behind one other.*

The proposed driveway meets the standards.

5.4.11: Garages. *Design a new garage to be complementary to the main structure on the property. Do not locate garages or carports on the façade of a building. Garages should be placed behind primary residences. Construct new garages on the rear of the lot or out of view of the street.*

The proposed garage meets the standards.

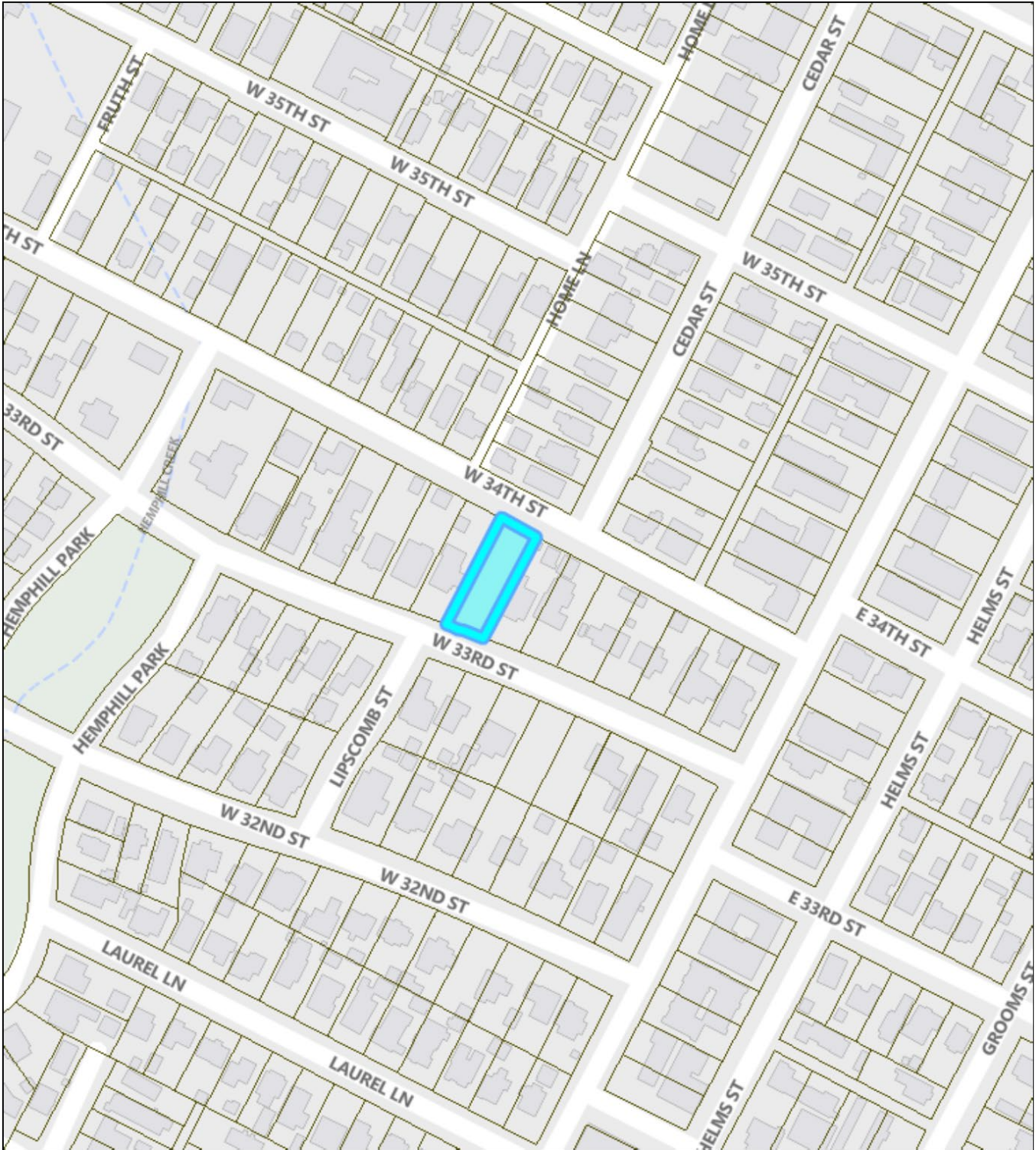
Summary


The project meets the applicable standards.

STAFF RECOMMENDATION

Approve the application, encouraging the applicant to further differentiate the new building from the surrounding historic-aged buildings by simplifying decorative elements.

LOCATION MAP






1: 2400


Lot Lines

Lot Line



HR 23-041382

114 W 33RD STREET



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4/14/2023