



ISSUED DATE 03.09.2023  
PROJECT NUMBER 2209

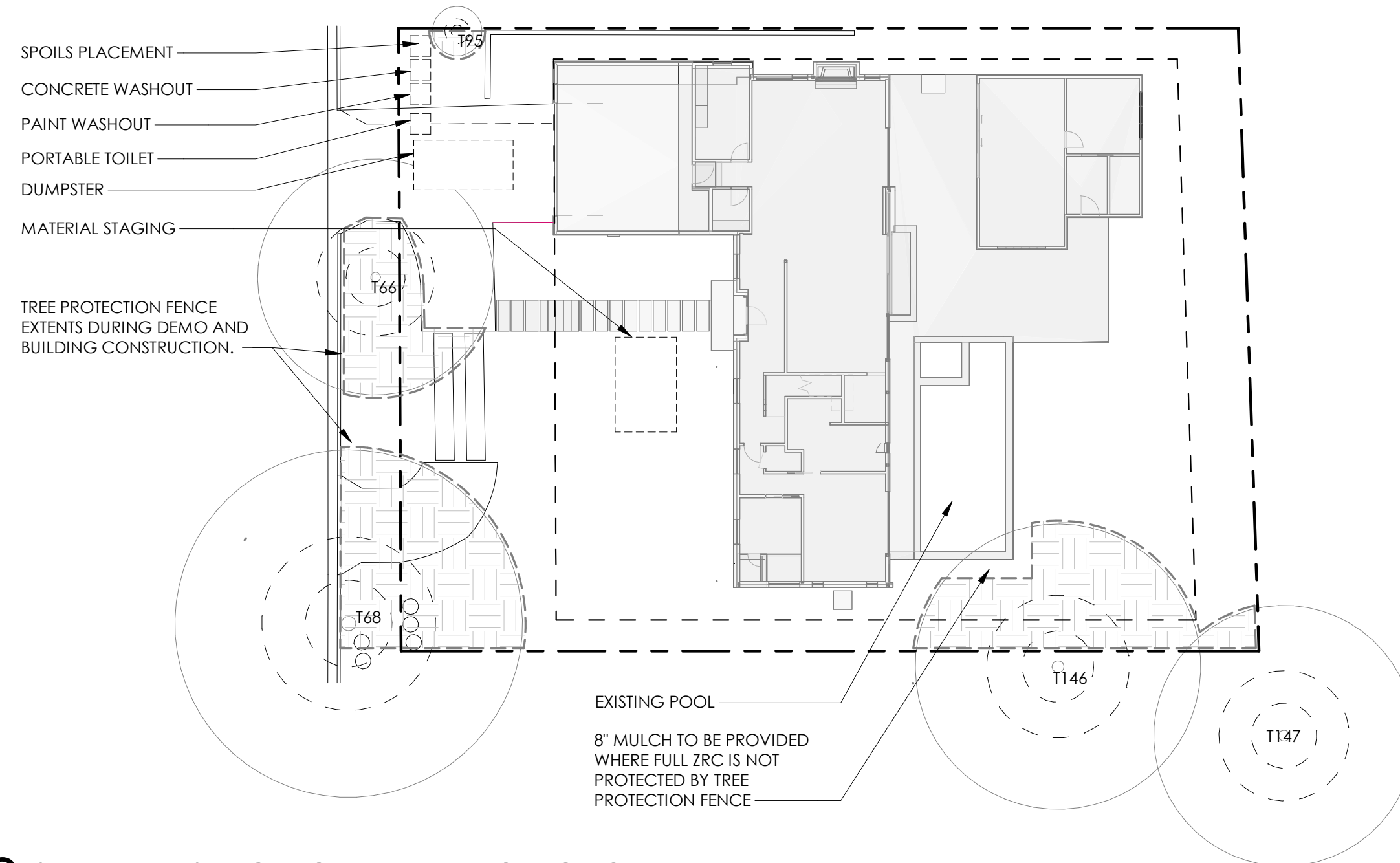
WWWSPV & BSPA

**TREE PROTECTION NOTES:**

- PROVIDE 5' TALL CHAIN LINK MESH TREE PROTECTION FENCING PER CITY OF AUSTIN REQUIREMENTS AND 8" MULCH GROUND COVER DURING CONSTRUCTION AROUND ALL TREES IN THE CONSTRUCTION AREA.
- PROVIDE BREATHABLE RUBBER MAT OVER 8" MULCH AT LOCATIONS WHERE TREE PROTECTION FENCING IS NOT POSSIBLE.
- WRAP 2X4 BOARDS AROUND ALL TREE TRUNKS ON SITE OR IN ADJACENT RIGHT OF WAY DURING CONSTRUCTION.
- ALL LIMBS AND TREE TRIMMING TO BE PERFORMED BY OWNER PROVIDED ARBORIST.
- GC TO ENSURE THAT ANY CONCRETE WASHOUT DOES NOT OCCUR WITHIN THE CRZ OF ANY TREES.
- GC TO AVOID TRENCHING WITHIN 1/2 CRZ OF ANY TREES.
- IN AREAS WHERE SILT FENCE IS LOCATED WITHIN THE 1/2 CRZ OF ANY PROTECTED TREE, A MULCH SOCK IS TO BE USED IN-PLACE OF SILT FENCE.
- TREE PROTECTION FENCING MUST BE ON GRADE (FLAT POST BASES WEIGHTED DOWN WITH SAND BAGS) AND MUST ENCOMPASS THE 1/4 CRZ AT MINIMUM.
- SOIL MITIGATION TO BE PROVIDED FOR REMOVED 22.5' CEDAR ELM.

**GENERAL NOTES:**

1. NO UNDERGROUND UTILITY TRENCHES PERMITTED IN THE 1/2 CRITICAL ROOT ZONE.
2. NO ACCESS, PARKING OR MATERIAL STORAGE WITHIN THE LIMITS OF THE TREE PROTECTION FENCE.
3. ALL ROOT CUTS TO BE CLEAN (NO FRAYED EDGES)
4. FERTILIZE TREE ROOTS AND PROVIDE IRRIGATION DURING CONSTRUCTION.
5. NO UNDERGROUND UTILITY TRENCHING WITHIN 12' OF TREE TRUNKS.
6. PROVIDE 5' TALL CHAIN LINK MESH TREE PROTECTION FENCING PER CITY OF AUSTIN REQUIREMENTS AND 8" MULCH GROUND COVER DURING CONSTRUCTION AROUND ALL TREES IN THE CONSTRUCTION AREA.
7. PROVIDE BREATHABLE RUBBER MAT OVER 8" MULCH AT LOCATIONS WHERE TREE PROTECTION FENCING IS NOT POSSIBLE.
8. WRAP 2X4 BOARDS AROUND ALL TREE TRUNKS ON SITE OR IN ADJACENT RIGHT OF WAY DURING CONSTRUCTION.
9. ALL LIMBS AND TREE TRIMMING TO BE PERFORMED BY OWNER PROVIDED ARBORIST.
10. GC TO ENSURE THAT ANY CONCRETE WASHOUT DOES NOT OCCUR WITHIN THE CRZ OF ANY TREES.
11. GC TO AVOID TRENCHING WITHIN 1/2 CRZ OF ANY TREES.
12. IN AREAS WHERE SILT FENCE IS LOCATED WITHIN THE 1/2 CRZ OF ANY PROTECTED TREE, A MULCH SOCK IS TO BE USED IN-PLACE OF SILT FENCE.
13. TREE PROTECTION FENCING MUST BE ON GRADE (FLAT POST BASES WEIGHTED DOWN WITH SAND BAGS) AND MUST ENCOMPASS THE 1/4 CRZ AT MINIMUM.
14. MINIMIZE DISTURBANCE OF EXISTING GRADE AND LANDSCAPE WHEREVER POSSIBLE, WHILE PROVIDING POSITIVE DRAINAGE AWAY FROM HOUSE.
15. AFTER CONSTRUCTION, AIRSPADE ALL TREES WHERE CONSTRUCTION ACTIVITIES HAVE COMPACTED SOIL WITHIN CRITICAL ROOT ZONE.
16. PROVIDE AND MAINTAIN AN EROSION CONTROL SYSTEM WITH APPROPRIATE DEVICES PER STATUTORY REQUIREMENTS.
17. NOTIFY APPROPRIATE AUTHORITY TO LOCATE EXISTING UTILITY LINES AND PROTECT ALL UTILITIES FROM EXCAVATION OR SIMILAR HAZARDS.
18. PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
19. REFERENCE LIST OF FINISHES FOR FLATWORK. USE 1X4 REDWOOD AT ALL CONTROL JOINTS.
20. GRAVEL: RAINBOW PEA GRAVEL (FINAL COLOR SELECTION TO BE APPROVED BY ARCHITECT) FOR AREAS AS SPECIFIED ON DRAWINGS.
21. STONE PAVERS: REFERENCE LIST OF FINISHES: 2 1/4" THICK PAVERS, SET PAVERS IN SAND BED OVER MINIMUM 6" LAYER OF COMPACTED FILL. PAVERS ARE TO BE BUTTED TIGHT WITH MINIMAL JOINTS THAT REQUIRE NO GROUT.
22. STEEL EDGING AND RETAINING WALLS: REFERENCE DIVISION 5 SPECIFICATIONS.
23. ALL DIMENSIONS ARE TO FACE OF FOUNDATION UNLESS OTHERWISE NOTED.



2 SITE PLAN STAGING & TREE PROTECTION  
1" = 20'-0"

**TREE LEGEND:**

- T66 19" ELM  
T68 28" HACKBERRY  
T95 4" MAGNOLIA  
T146 23" HACKBERRY  
T147 19" PECAN

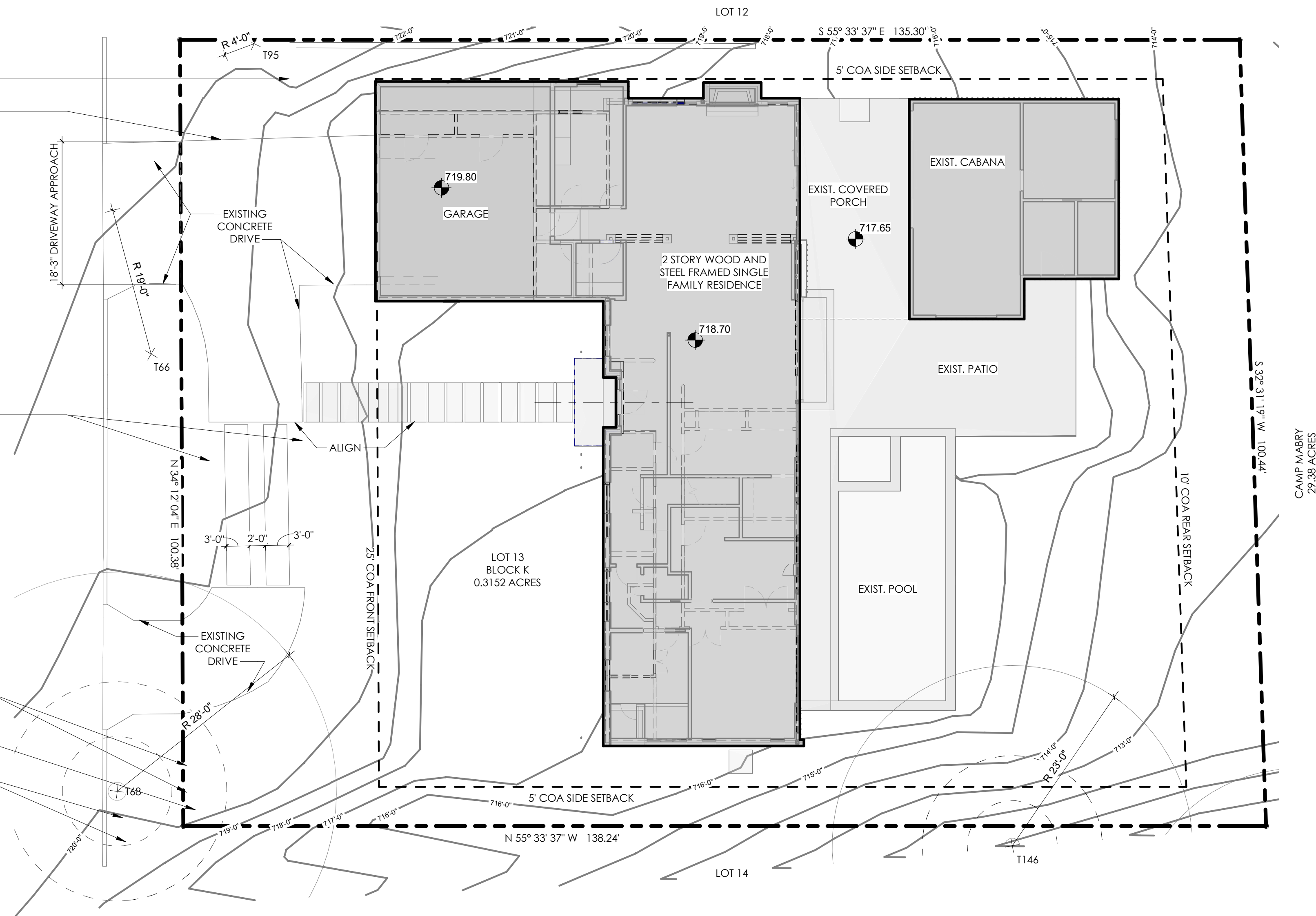
EXISTING RETAINING WALL TO REMAIN

EXTENT OF PROPOSED DRIVEWAY EXPANSION

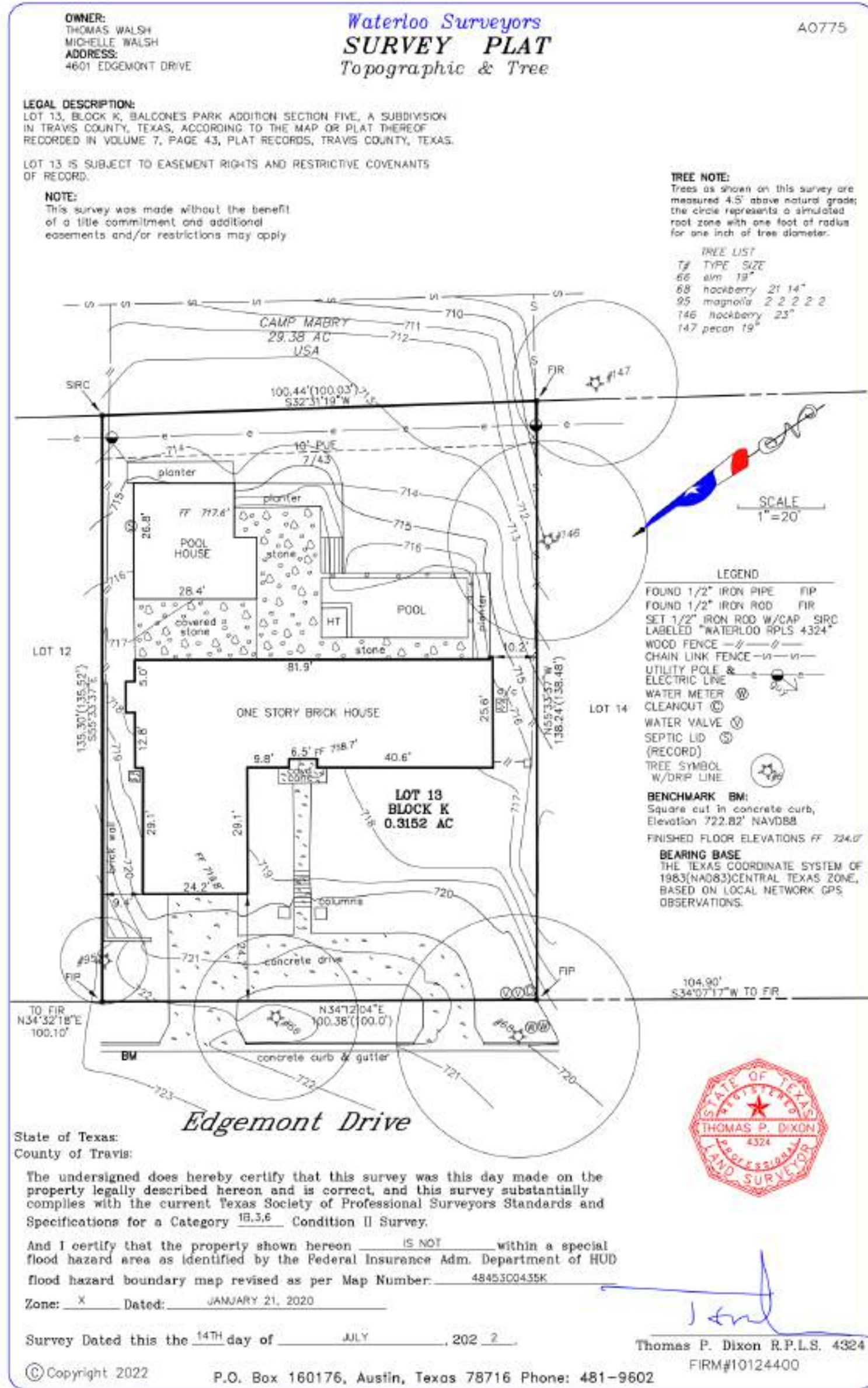
SAW CUT AND REMOVE EXISTING DRIVEWAY AND REPLACE WITH PERVIOUS COVER

EDGE MONT DRIVE

EXISTING WATER VALVE  
EXISTING CLEANOUT  
EXISTING WATER METER



1 SITE PLAN  
1" = 10'-0"



SURVEY FOR REFERENCE

EDGE MONT RENOVATION

4601 EDGE MONT DRIVE  
AUSTIN, TX 78731

A1.0  
SITE PLAN



OWNER:  
THOMAS WALSH  
MICHELLE WALSH  
ADDRESS:  
4601 EDMONT DRIVE

Waterloo Surveyors  
**SURVEY PLAT**  
Topographic & Tree

A0775

LEGAL DESCRIPTION:

LOT 13, BLOCK K, BALCONES PARK ADDITION SECTION FIVE, A SUBDIVISION  
IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF  
RECORDED IN VOLUME 7, PAGE 43, PLAT RECORDS, TRAVIS COUNTY, TEXAS.

LOT 13 IS SUBJECT TO EASEMENT RIGHTS AND RESTRICTIVE COVENANTS  
OF RECORD.

NOTE:

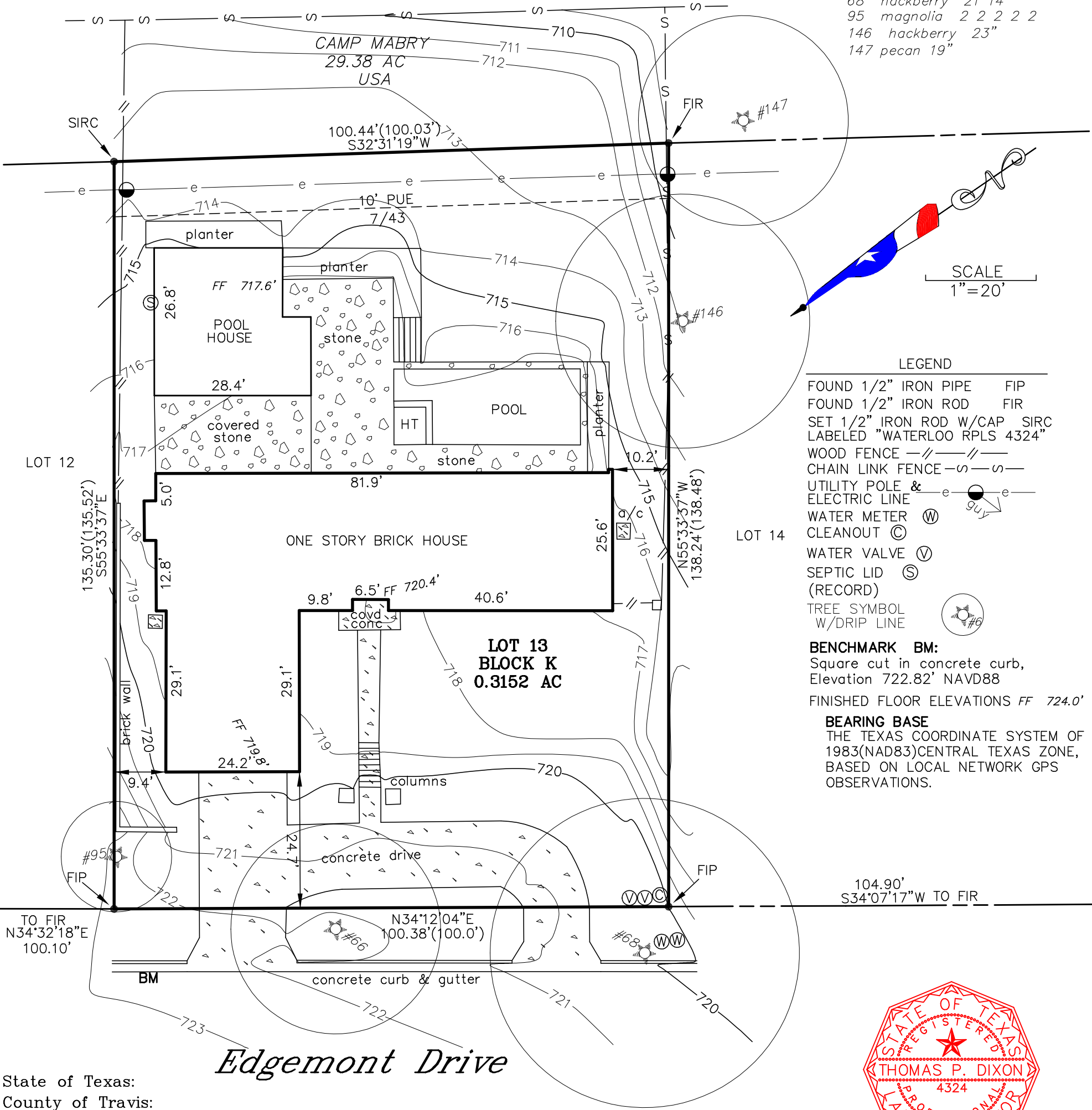
This survey was made without the benefit  
of a title commitment and additional  
easements and/or restrictions may apply

TREE NOTE:

Trees as shown on this survey are  
measured 4.5' above natural grade;  
the circle represents a simulated  
root zone with one foot of radius  
for one inch of tree diameter.

TREE LIST

T#	TYPE	SIZE
66	elm	19"
68	hackberry	21 14"
95	magnolia	2 2 2 2 2
146	hackberry	23"
147	pecan	19"



State of Texas:  
County of Travis:

The undersigned does hereby certify that this survey was this day made on the  
property legally described hereon and is correct, and this survey substantially  
complies with the current Texas Society of Professional Surveyors Standards and  
Specifications for a Category 1B,3,6 Condition II Survey.

And I certify that the property shown hereon IS NOT within a special  
flood hazard area as identified by the Federal Insurance Adm. Department of HUD  
flood hazard boundary map revised as per Map Number: 48453C0435K

Zone: X Dated: JANUARY 21, 2020

Survey Dated this the 14TH day of JULY, 202 2.

Thomas P. Dixon R.P.L.S. 4324  
FIRM#10124400



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## CONCEPT RENDERING

FOR REFERENCE ONLY



## GENERAL NOTES

- ALL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES, AND TO INCLUDE ALL REQUIREMENTS OF OTHER AGENCIES HAVING JURISDICTION.
- EXAMINATION OF THE SITE AND PORTIONS THEREOF THAT AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE EXISTING CONDITIONS WITH THE CONTRACT DOCUMENTS AND SATISFY HIM/HERSELF AS TO THE EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. CONTRACTOR SHALL AT SUCH TIME ASCERTAIN AND VERIFY THE LOCATIONS OF EXISTING STRUCTURES.
- THE CONTRACT DOCUMENTS DESCRIBE DESIGN INTENT, AND ARE NOT INTENDED TO BE ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS TO PROVIDE COMPLETE OPERATIONAL SYSTEMS AND INSTALLATIONS. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR WHICH IS REASONABLY INFERABLE FROM THEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES. ALL CLAIMS FOR ADDITIONAL WORK WILL NOT BE AWARDED FOR ANY AND ALL WORK RELATED TO SUCH COORDINATION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE. CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY AND ALL WORK IN QUESTION.
- ALL DIMENSIONS ARE TO FINISH FACE OF CONCRETE, CENTERLINE OF STEEL, FACE OF STUD OR CASEWORK UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECTS APPROVAL UNLESS NOTED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
- ALL DIMENSIONS, NOTES AND DETAILS SHOWN ON ONE PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR CONDITIONS UNLESS OTHERWISE NOTED.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY. WHAT IS SHOWN OR REFERRED TO PARTIALLY OR WHOLE ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DRAWINGS AT A LARGE SCALE SHALL TAKE PRECEDENCE OVER DRAWINGS OF A SMALL SCALE. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
- CONTRACTOR SHALL VERIFY LAYOUT OF PARTITIONS, DOORS, ELECTRICAL OUTLETS, DATA AND TELEPHONE OUTLETS, LIGHT FIXTURES, AND SWITCHES WITH ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY MECHANICAL, TELEPHONE, DATA, ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE BUT NOT LIMITED TO ALL PIPING, DUCTWORK AND CONDUIT AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
- DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONTRACT DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE.
- IN CASE OF CONFLICTS BETWEEN ARCHITECT'S AND ENGINEER'S DRAWINGS IN THE LOCATION OF MATERIALS AND/OR EQUIPMENT, ARCHITECTURAL DRAWINGS SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH CONFLICT.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED PER THE MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- ALL WORK NOTED AS "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT. SUBMIT TO THE ARCHITECT AND OWNER SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN THE CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING ANY FINISHED AREAS IN OR OUTSIDE THE JOB SITE. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
- CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION FROM THE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.

## VICINITY MAP



## SYMBOL LEGEND

	ELEVATION	<b>ROOM NAME</b> [ 1 R1 ] This is a sample comment	ROOM NAME NUMBER AREA
	BUILDING SECTION	( 1.01 )	DOOR NUMBER
	WALL SECTION	[ 1.01 ]	WINDOW TYPE
	SECTION DETAIL	[ A1 ]	PARTITION TYPE
	DETAIL	< A >	PLUMBING FIXTURE TYPE
		[ TA-1 ]	TOILET ACCESSORY TYPE

## PROJECT TEAM

<b>OWNER</b>	MICHELLE AND TOM WALSH 4601 EDMONT DRIVE AUSTIN, TX 78731	<b>STRUCTURAL ENGINEER</b>	FORT STRUCTURES 2120 E. 7TH STE 200 AUSTIN, TX 78702
<b>ARCHITECT</b>	OUTWARD ARCHITCTURE  JOE BOYLE, AIA joe@outwardarchitecture.com		SAM YOUNG 512-817-9264 syoun@fortstructures.com
<b>GENERAL CONTRACTOR</b>	RISHER MARTIN FINE HOMES 3904 MEDICAL PARKWAY STE A AUSTIN, TX 78756	<b>GEOTECH. ENGINEER</b>	INTEC 12028 RADIUM SAN ANTONIO, TX 78216  210-525-9033
	CHRIS RISHER chris@rishermartin.com	<b>LANDSCAPE ARCHITECT</b>	---
<b>INTERIOR DESIGNER</b>	LAURA ROBERTS DESIGN  LAURA ROBERTS laura@laurarobertsdesign.com 512-589-5201		---

## ZONING & CODE ANALYSIS

<b>LEGAL DESCRIPTION</b>	LOT 13 BLK K BALCONES PARK ADDITION SEC 5
<b>PARCEL ID</b>	789296
<b>ZONING</b>	SF-3
<b>BUILDING CODES</b>	2021 INTERNATIONAL BUILDING CODE 2021 UNIFORM MECHANICAL CODE 2021 UNIFORM PLUMBING CODE 2020 NATIONAL ELECTRIC CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE UNIFIED DEVELOPMENT CODE
<b>BUILDING DESCRIPTION</b>	WOOD AND STEEL FRAME RESIDENCE
<b>LEGAL JURISDICTION</b>	CITY OF AUSTIN, TRAVIS COUNTY
<b>OCCUPANCY CLASSIFICATION</b>	R-3
<b>TYPE OF CONSTRUCTION</b>	V-B
<b>FIRE SPRINKLER</b>	TBD

## AREA CALCULATIONS

RE: A0.3 & A0.4

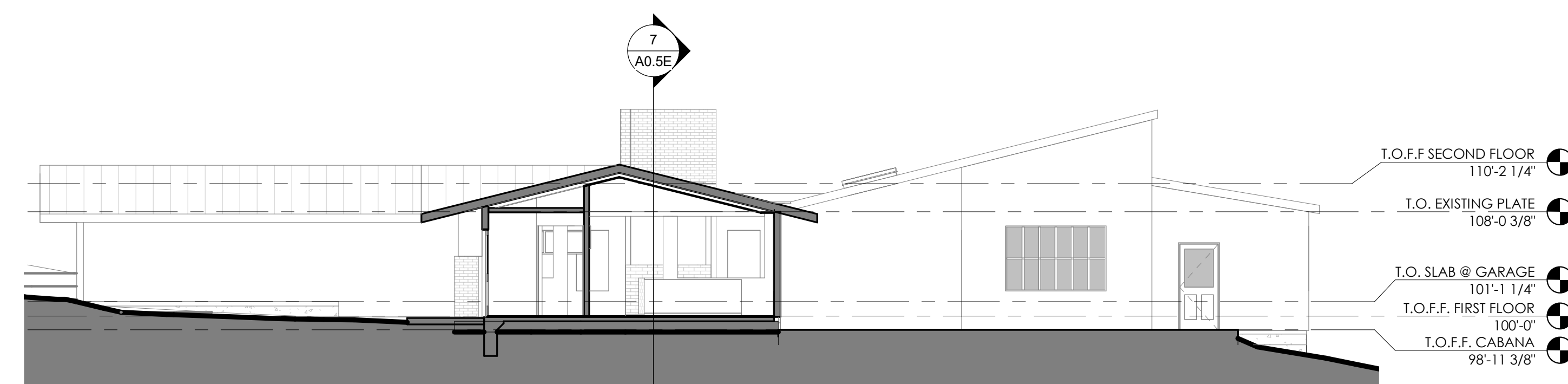
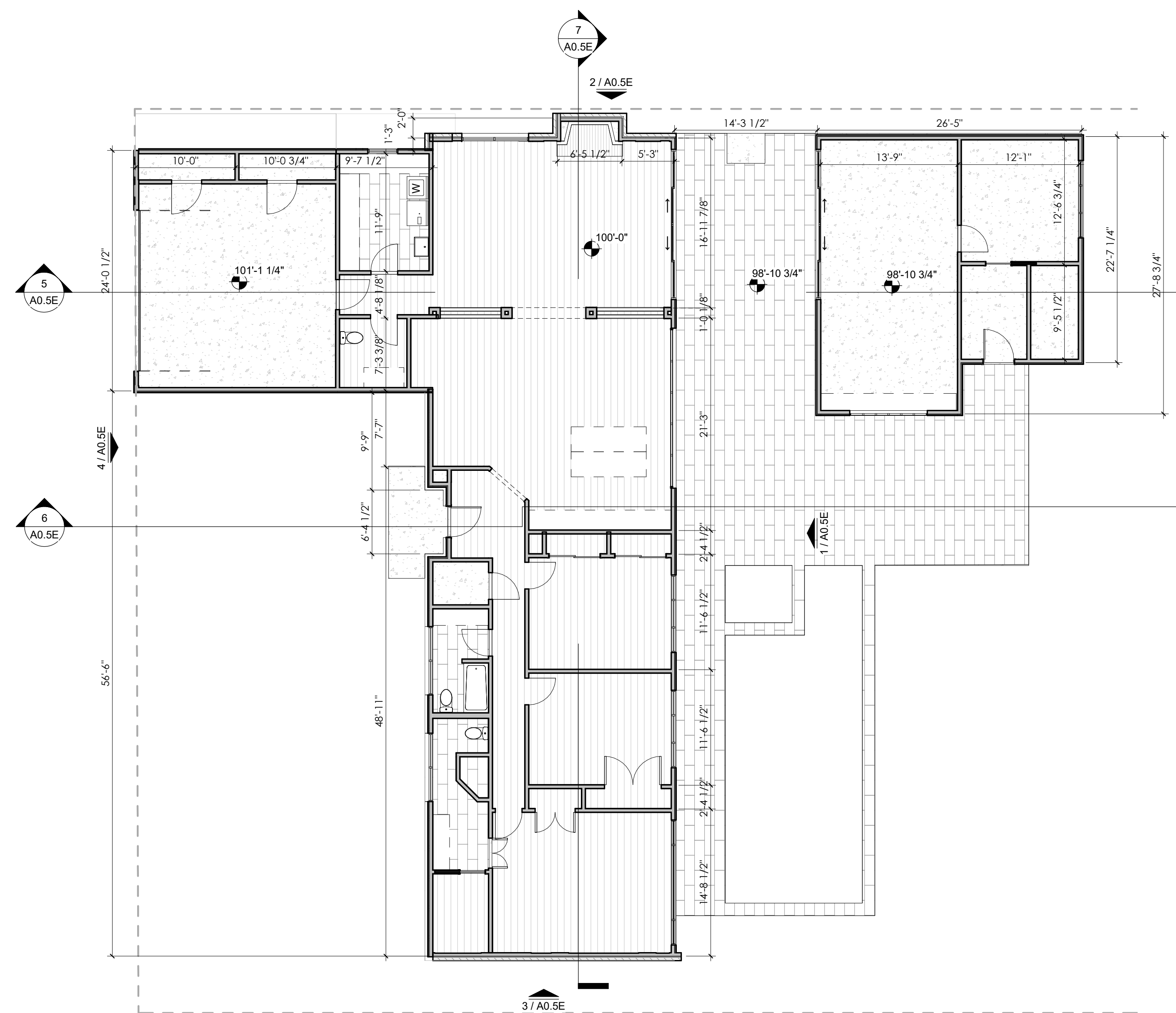
## DRAWING INDEX

ARCHITECTURAL	STRUCTURAL
A0.0 COVER SHEET	S0.01 STRUCTURAL GENERAL NOTES
A0.3 SITE AREA PLAN	S0.02 ABBREVIATIONS & LEGENDS
A0.4 CoA SUBCHAPTER F	S1.01 AXONOMETRIC VIEWS
A0.5E EXISTING CONDITIONS	S2.01 FOUNDATION PLAN
A0.6D FIRST FLOOR PLAN DEMO	S2.01A LEVEL-1 WINDBRACING PLAN
A0.7D DEMOLITION PHOTOS	S2.02 LEVEL-2 FRAMING PLAN
A1.0 SITE PLAN	S2.02A LEVEL-2 WINDBRACING PLAN
A1.1 FIRST FLOOR PLAN	S2.03 ROOF FRAMING PLAN
A1.2 SECOND FLOOR PLAN	S4.01 TYPICAL FOUNDATION DETAILS
A1.3 ROOF PLAN	S4.02 TYPICAL FOUNDATION DETAILS
A2.1 EXTERIOR ELEVATIONS	S4.10 FOUNDATION DETAILS
A2.3 EXTERIOR ELEVATIONS	S7.01 TYPICAL STEEL DETAILS
A3.1 BUILDING SECTIONS	S8.01 TYPICAL WOOD DETAILS
A3.2 BUILDING SECTIONS	S8.02 TYPICAL WOOD DETAILS
A3.3 BUILDING SECTIONS	S8.03 TYPICAL WOOD DETAILS
	S8.04 TYPICAL WOOD SHEAR WALL DETAILS
	S8.05 TYPICAL WOOD SHEAR WALL DETAILS
	S8.11 WOOD FLOOR FRAMING DETAILS
	S8.21 ROOF FRAMING SECTION DETAILS

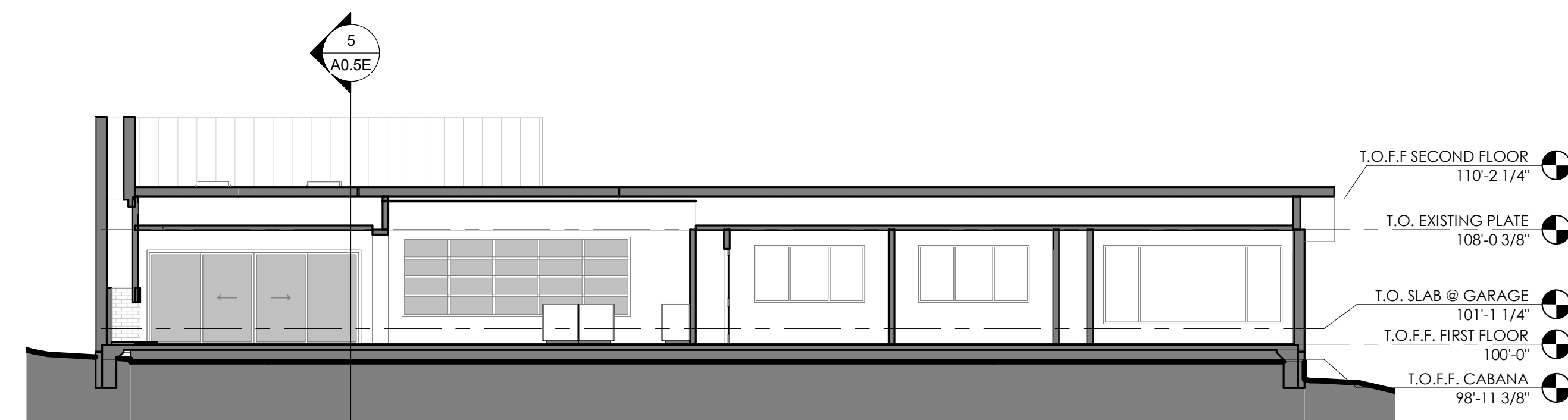


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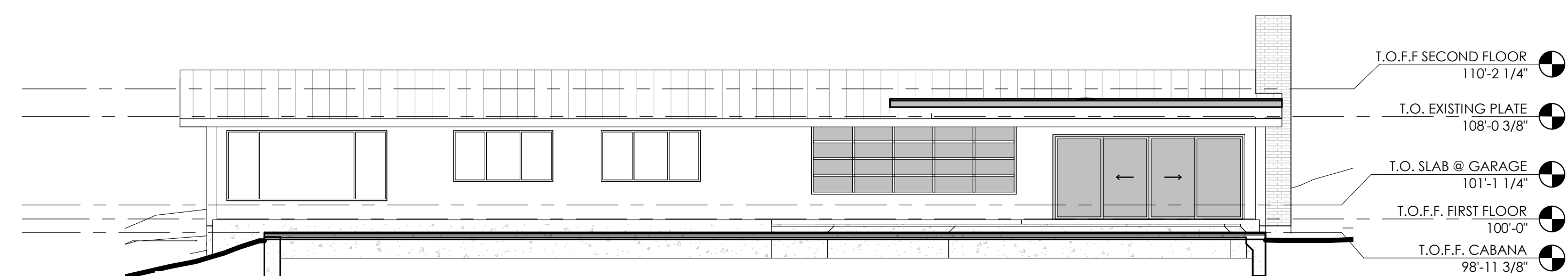




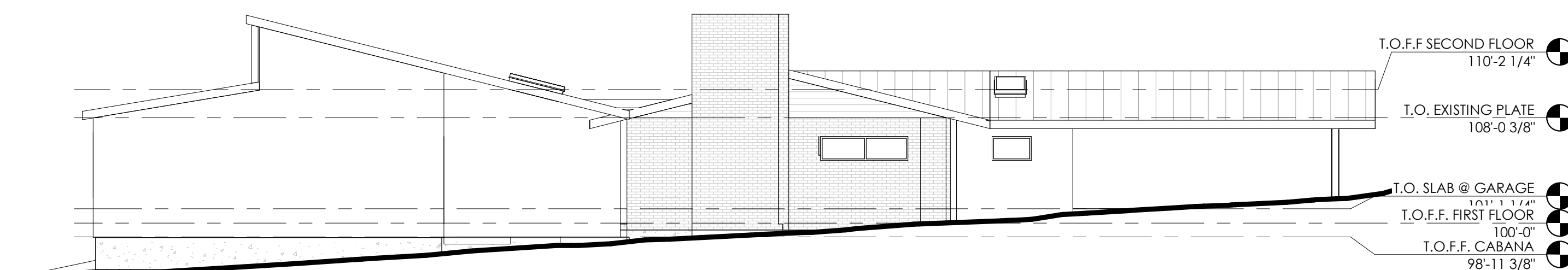
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1/8" = 1'-0"



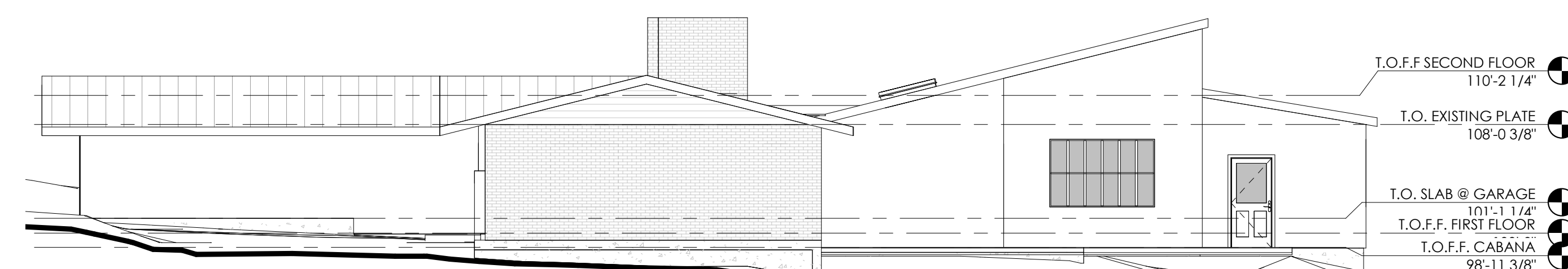
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1/8" = 1'-0"



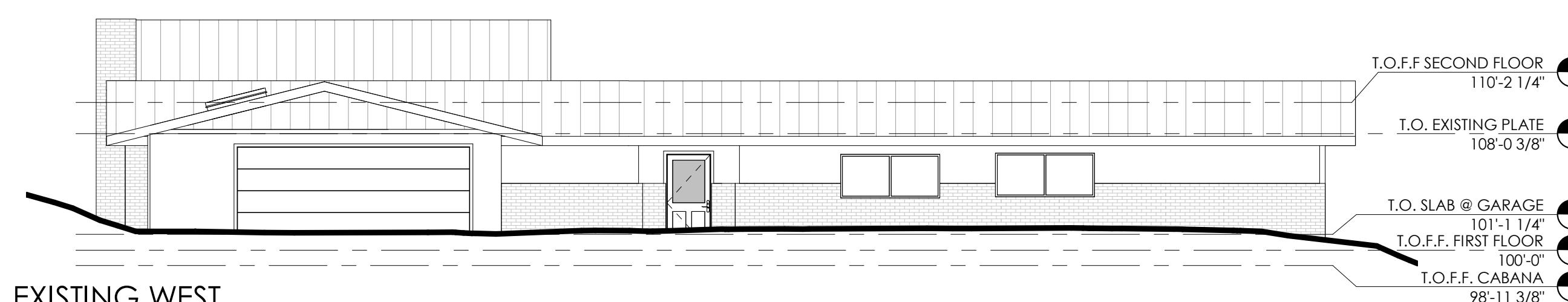
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1/8" = 1'-0"



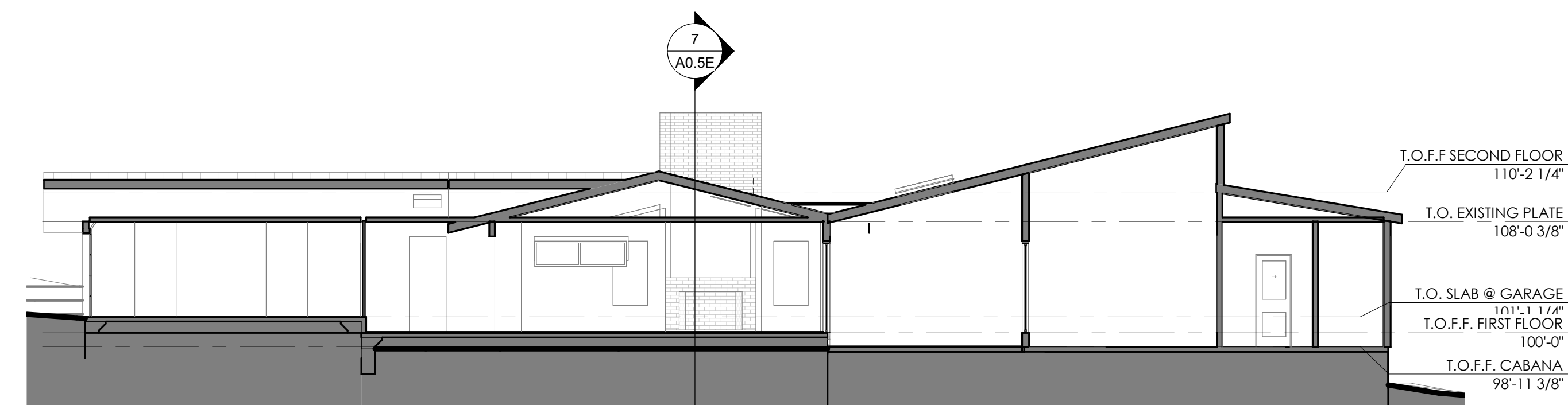
2 EXISTING NORTH  
1/8" = 1'-0"



### 3 EXISTING SOUTH



4 EXISTING WEST  
1/8" = 1'-0"



5 EXISTING EW 01  
1/8" = 1'-0"





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VIEW FROM SOUTH



VIEW FROM NORTHWEST



VIEW FROM EAST



VIEW FROM WEST (FRONT)

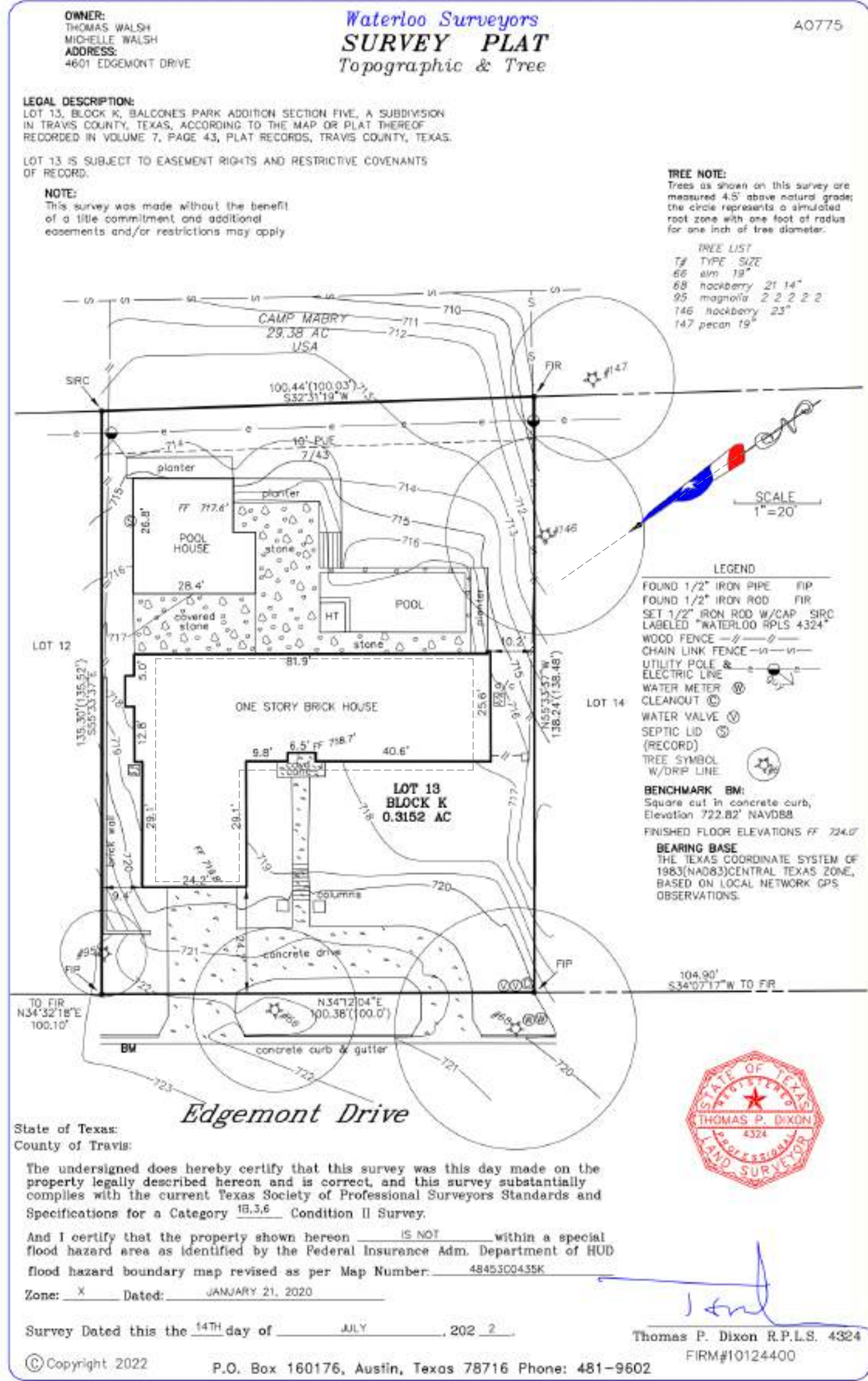


VIEW FROM NORTH



VIEW FROM WEST (FRONT)





SURVEY FOR REFERENCE

TREE LEGEND:

- T66 19" ELM  
T68 28" HACKBERRY  
T95 4" MAGNOLIA  
T146 23" HACKBERRY  
T147 19" PECAN

EXISTING RETAINING WALL TO REMAIN

EXTENT OF PROPOSED DRIVEWAY EXPANSION

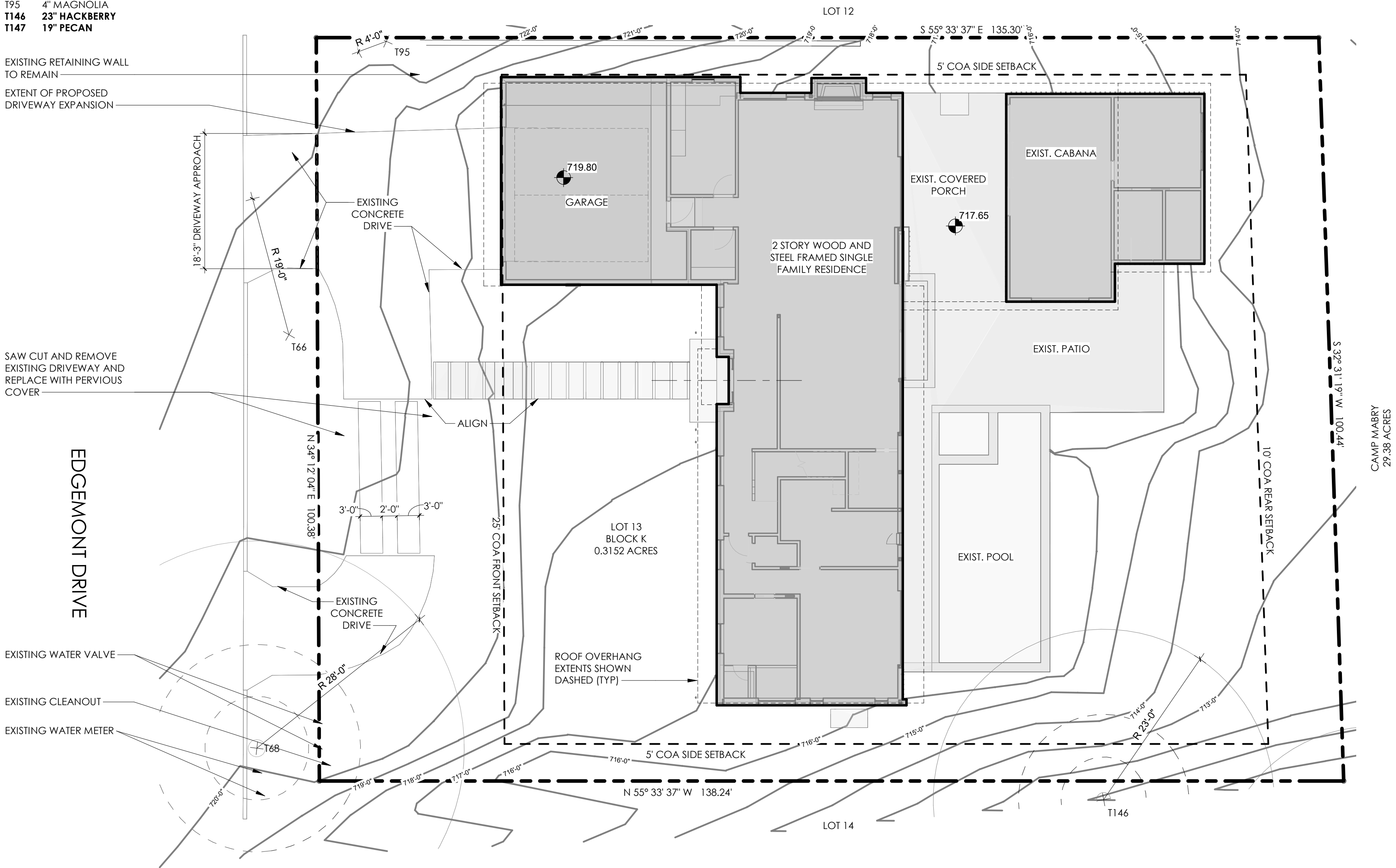
SAW CUT AND REMOVE EXISTING DRIVEWAY AND REPLACE WITH PERVIOUS COVER

EDGEMONT DRIVE

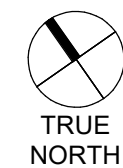
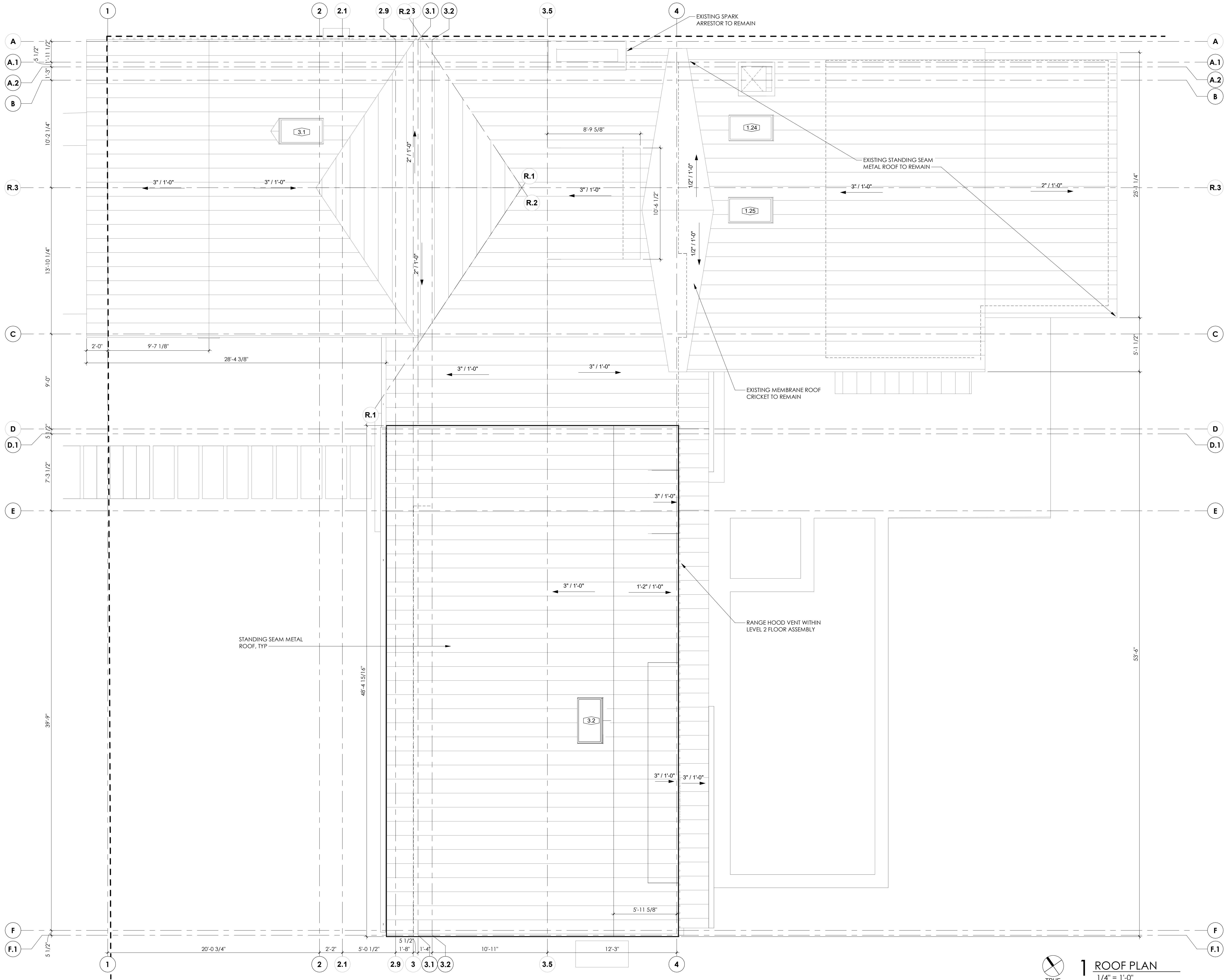
EXISTING WATER VALVE  
EXISTING CLEANOUT  
EXISTING WATER METER



2 SITE PLAN STAGING & TREE PROTECTION  
1" = 20'-0"





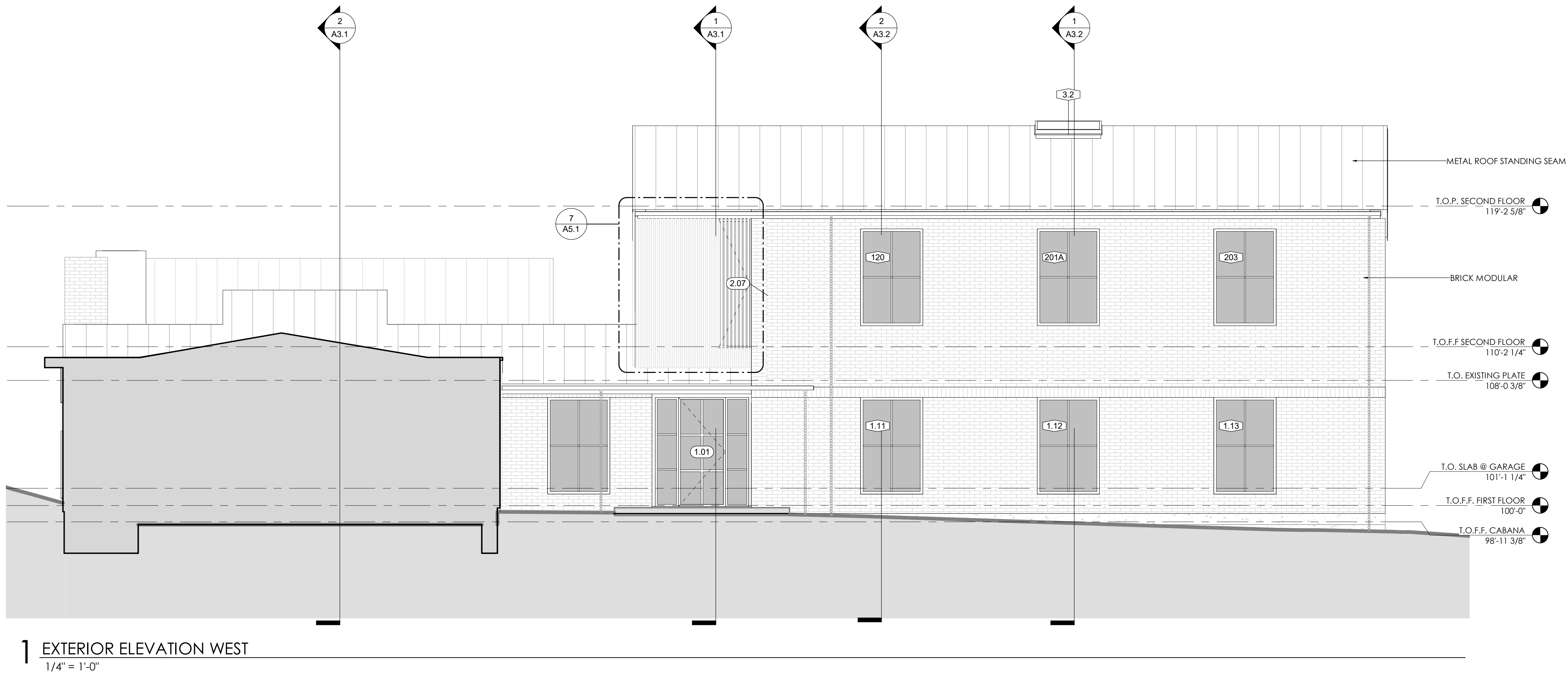
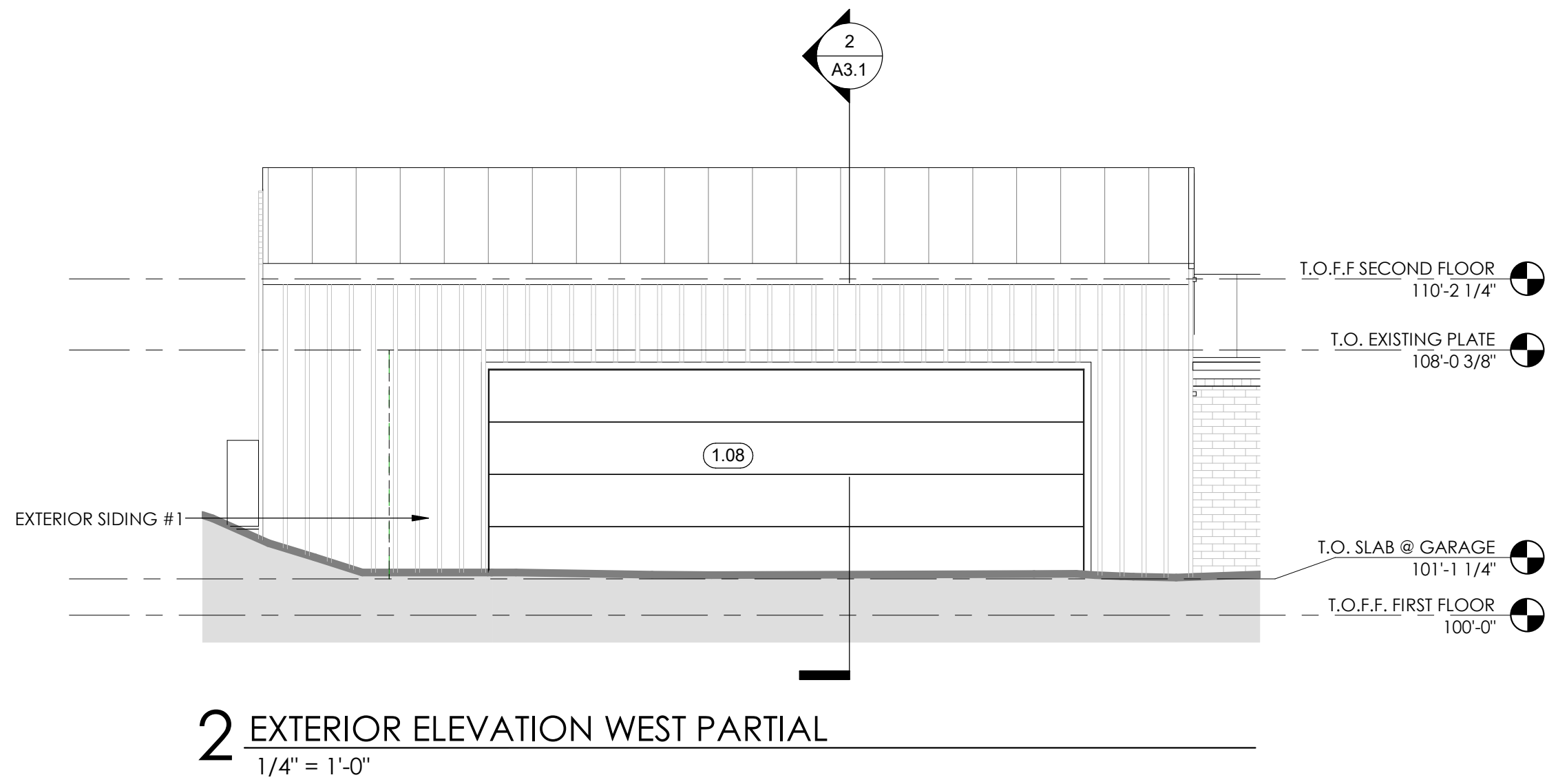


1 ROOF PLAN  
1/4" = 1'-0"



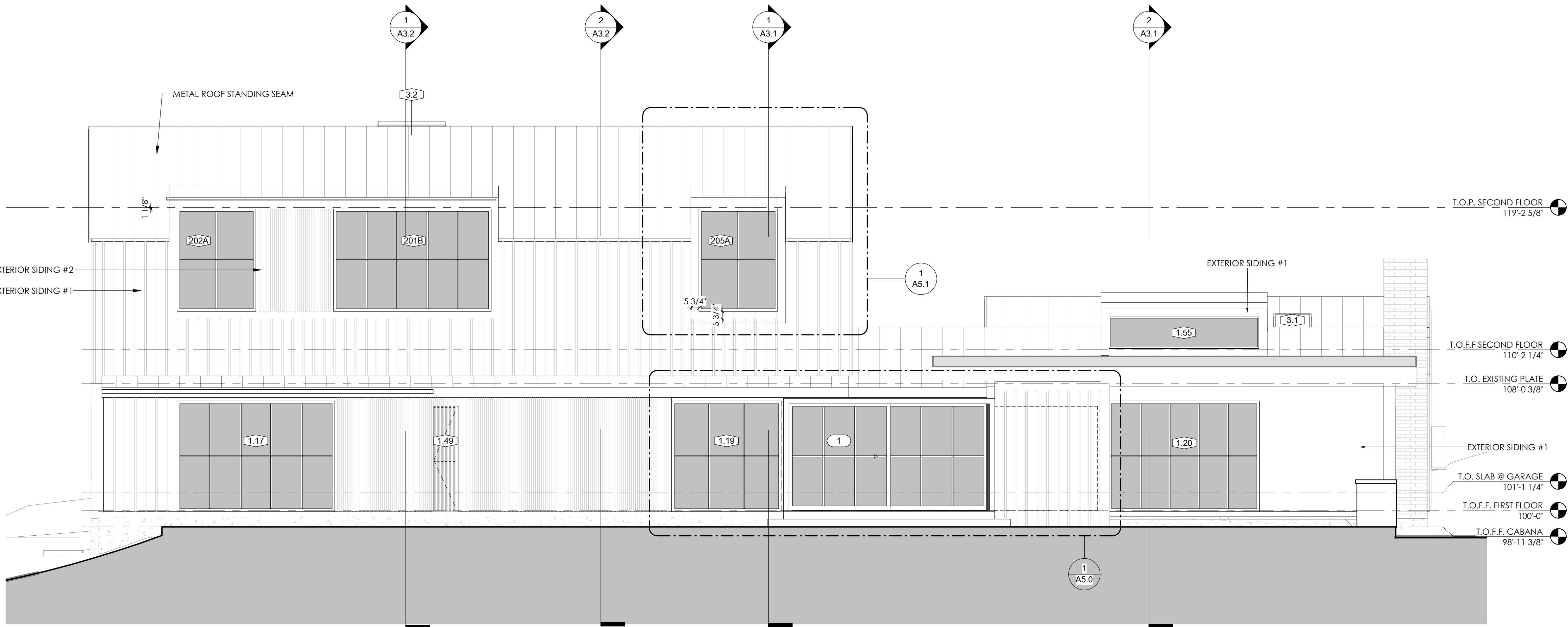


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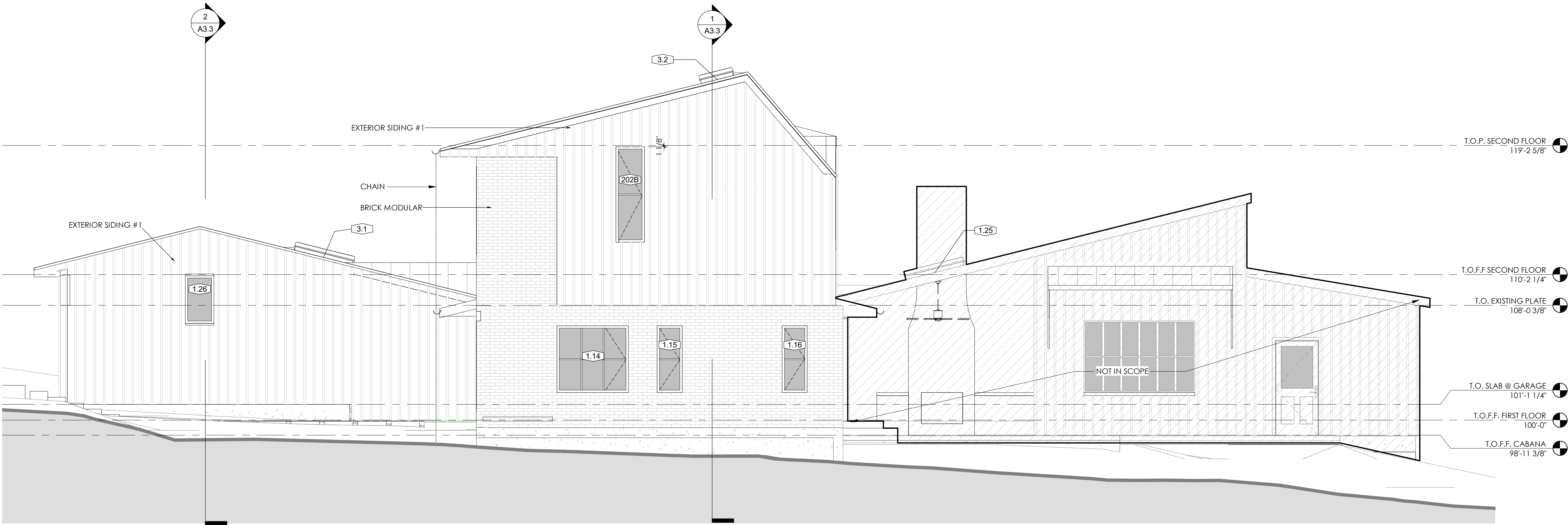
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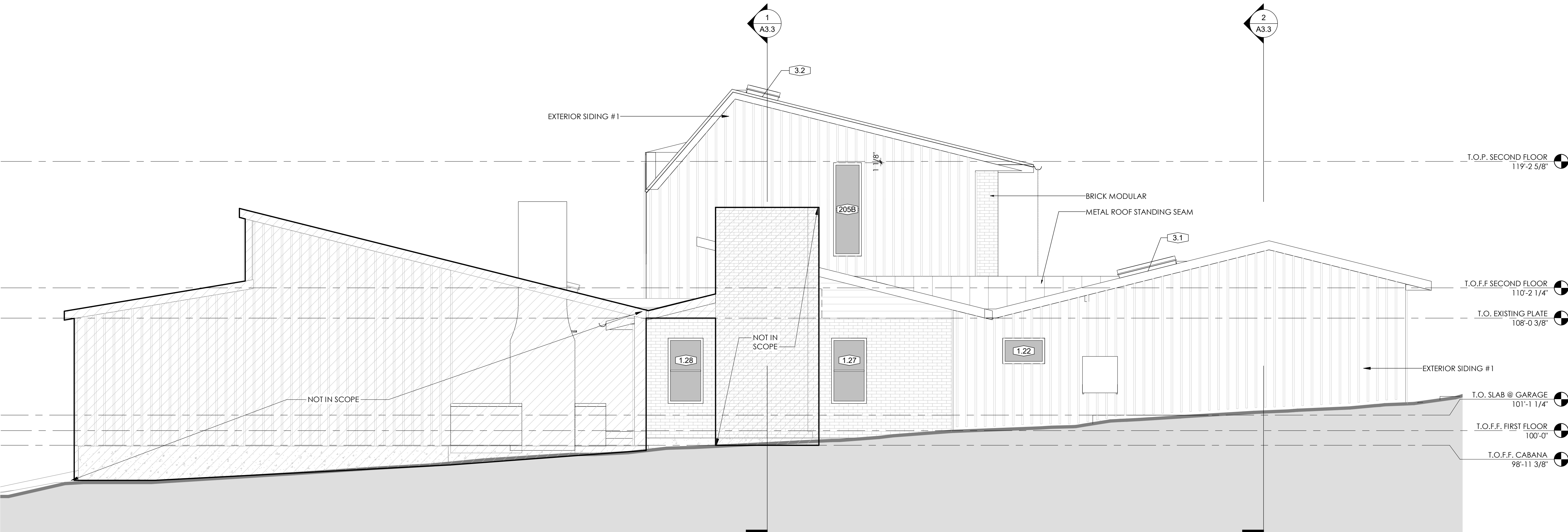
1 EXTERIOR ELEVATION EAST  
1/4" = 1'-0"



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2 EXTERIOR ELEVATION SOUTH  
1/4" = 1'-0"

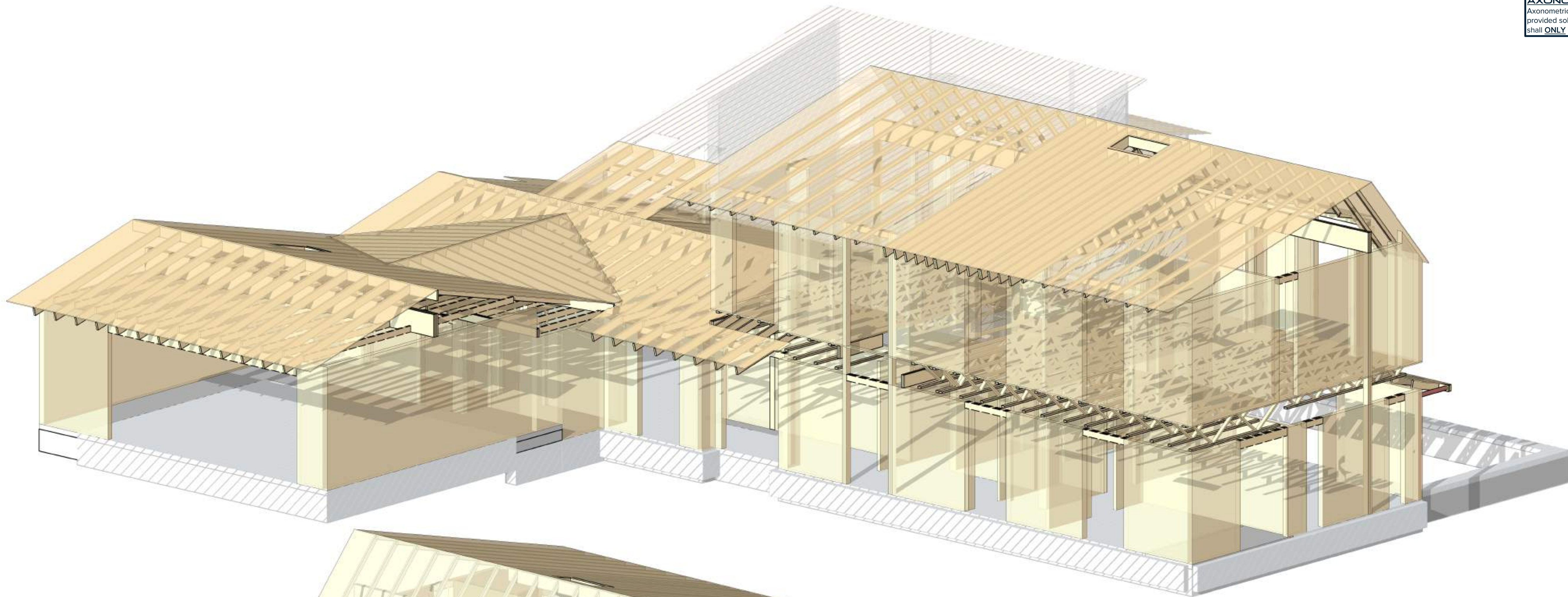


1 EXTERIOR ELEVATION NORTH  
1/4" = 1'-0"

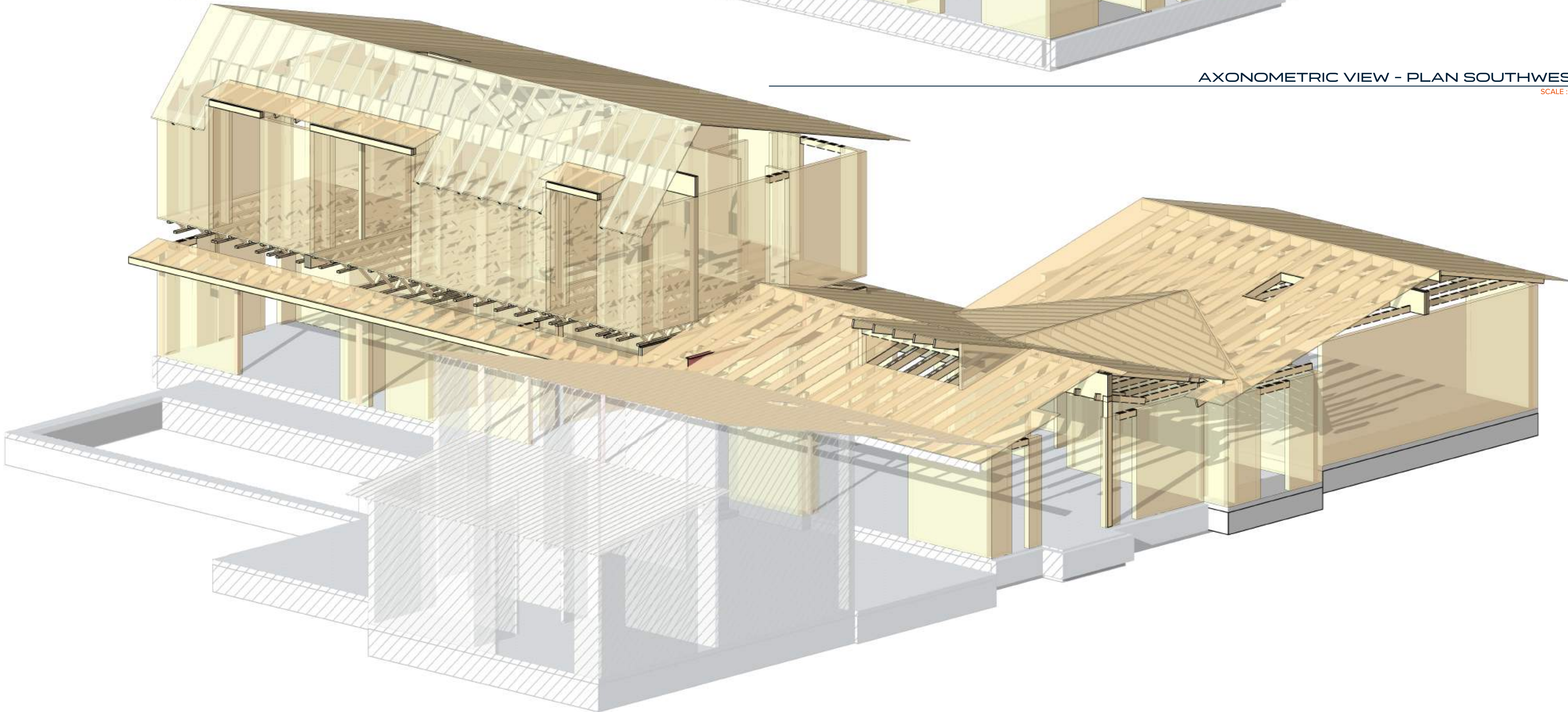








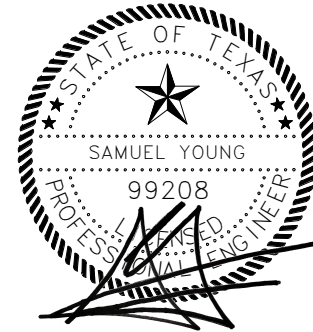
AXONOMETRIC VIEW - PLAN SOUTHWEST  
SCALE: NTS



AXONOMETRIC VIEW - PLAN NORTHEAST  
SCALE: NTS

AXONOMETRIC VIEWS  
Axonometric views are for REFERENCE ONLY and are provided solely as a VISUAL AID. All structural information shall ONLY be obtained from the plans and details.

FONT  
STRUCTURES  
FIRM REGISTRATION NO. 18034  
WWW.FONTSTRUCTURES.COM  
PROJECT NO: 23006



02-28-2023 SEAL  
OUTWARD ARCHITECTURE  
joe@outwardarchitecture.com

ARCHITECT  
EDGEMONT  
RENOVATION

4601 Edgemont Dr.  
Austin, Texas 78731  
PERMIT SET  
02-28-2023

NO	ISSUE	DATE
PM: S. Young		
ENG: P. Wright		
BIM PM: E. Nunez		
QA/QC: S. Covey		

If printed on 22x34 or 24x36 sheet,  
the scale is as indicated.  
If printed on an 11x17 or 12x18  
sheet, the scale is reduced by half. SCALE

AXONOMETRIC VIEWS  
SHEET TITLE

S1.01  
SHEET NUMBER