Waterloo Surveyors

SURVEY PLAT

Topographic & Tree

A0775

Trees as shown on this survey are measured 4.5' above natural grade;

the circle represents a simulated

Thomas P. Dixon R.P.L.S. 4324

SITE PLAN

1" = 10'-0"

FIRM#10124400

root zone with one foot of radius for one inch of tree diameter.

# TREE LEGEND: 19" ELM 28" HACKBERRY T68 T95 4" MAGNOLIA T146 23" HACKBERRY T147 19" PECAN S 55° 33' 37" E 135.30'`বু **EXISTING RETAINING WALL** 5' COA SIDE SETBACK TO REMAIN — EXTENT OF PROPOSED DRIVEWAY EXPANSION -\_\_\_\_\_ EXIST. CABANA 719.80 PORCH GARAGE - EXISTING CONCRETE DRIVE — 2 STORY WOOD AND STEEL FRAMED SINGLE FAMILY RESIDENCE EXIST. PATIO SAW CUT AND REMOVE EXISTING DRIVEWAY AND REPLACE WITH PERVIOUS COVER — BLOCK K 0.3152 ACRES EXIST. POOL 4---- EXISTING CONCRETE DRIVE ----EXISTING WATER VALVE — EXISTING CLEANOUT — EXISTING WATER METER ~ 5' COA SIDE SETBACK N 55° 33′ 37″ W 138.24′



- PROVIDE 5' TALL CHAIN LINK MESH TREE PROTECTION FENCING PER CITY OF AUSTIN REQUIREMENTS AND 8" MULCH GROUND COVER DURING
- CONSTRUCTION AROUND ALL TREES IN THE CONSTRUCTION AREA. • PROVIDE BREATHABLE RUBBER MAT OVER 8" MULCH AT LOCATIONS WHERE TREE
- PROTECTION FENCING IS NOT POSSIBLE. • WRAP 2X4 BOARDS AROUND ALL TREE TRUNKS ON SITE OR IN ADJACENT RIGHT
- ALL LIMBS AND TREE TRIMMING TO BE PERFORMED BY OWNER PROVIDED ARBORIST.
- GC TO ENSURE THAT ANY CONCRETE WASHOUT DOES NOT OCCUR WITHIN THE
- GC TO AVOID TRENCHING WITHIN 1/2 CRZ OF ANY TREES. • IN AREAS WHERE SILT FENCE IS LOCATED WITHIN THE 1/2 CRZ OF ANY PROTECTED
- TREE PROTECTION FENCING MUST BE ON GRADE (FLAT POST BASES WEIGHTED DOWN WITH SAND BAGS) AND MUST

### **GENERAL NOTES:**

- PERMITTED IN THE 1/2 CRITICAL ROOT
- 2. NO ACCESS, PARKING OR MATERIAL STORAGE WITHIN THE LIMITS OF THE TREE PROTECTION FENCE.
- FRAYED EDGES)
- IRRIGATION DURING CONSTRUCTION. 5. NO UNDERGROUND UTILITY TRENCHING WITHIN 12' OF TREE
  - 6. PROVIDE 5' TALL CHAIN LINK MESH OF AUSTIN REQUIREMENTS AND 8" MULCH GROUND COVER DURING
  - NOT POSSIBLE. TRUNKS ON SITE OR IN ADJACENT
- CONSTRUCTION. 9. ALL LIMBS AND TREE TRIMMING TO BE
- WASHOUT DOES NOT OCCUR WITHIN
- 1/2 CRZ OF ANY TREES. 12. IN AREAS WHERE SILT FENCE IS
- ON GRADE (FLAT POST BASES
- 14. MINIMIZE DISTURBANCE OF EXISTING DRAINAGE AWAY FROM HOUSE.
- ALL TREES WHERE CONSTRUCTION WITHIN CRITICAL ROOT ZONE. 16. PROVIDE AND MAINTAIN AN EROSION CONTROL SYSTEM WITH
- REQUIREMENTS. 17. NOTIFY APPROPRIATE AUTHORITY TO
- 18. PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT,
- 21. STONE PAVERS: REFERENCE LIST OF FINISHES: 2 1/4" THICK PAVERS, SET PAVERS IN SAND BED OVER MINIMUM 6" LAYER OF COMPACTED FILL. PAVERS ARE TO BE BUTTED TIGHT WITH MINIMAL JOINTS THAT REQUIRE NO GROUT.
- 22. STEEL EDGING AND RETAINING WALLS: REFERENCE DIVISION 5 SPECIFICATIONS. 23. ALL DIMENSIONS ARE TO FACE OF FOUNDATION UNLESS OTHERWISE

NOTED.

**SITE PLAN** 

Z

**R**E

**6 7 8 7** 

SURVEY FOR REFERENCE

Survey Dated this the 14TH day of AULY 202 2

**^** 10:22:57 3/9/2023

> © Copyright 2022 P.O. Box 160176, Austin, Texas 78716 Phone: 481-9602

OWNER: THOMAS WALSH MICHELLE WALSH ADDRESS:

4601 EDGEMONT DRIVE

LEGAL DESCRIPTION:
LOT 13, BLOCK K, BALCONES PARK ADDITION SECTION FIVE, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 7, PAGE 43, PLAT RECORDS, TRAVIS COUNTY, TEXAS.

LOT 13 IS SUBJECT TO EASEMENT RIGHTS AND RESTRICTIVE COVENANTS

\* OUTWARD ARCHITECTURE

CRZ OF ANY TREES.

TREE, A MULCH SOCK IS TO BE USED IN-PLACE OF SILT FENCE.

ENCOMPASS THE 1/4 CRZ AT MINIMUM. • 50% MITIGATION TO BE PROVIDED FOR REMOVED 22.5" CEDAR ELM.

- 1. NO UNDERGROUND UTILITY TRENCHES
- 3. ALL ROOT CUTS TO BE CLEAN (NO
- 4. FERTILIZE TREE ROOTS AND PROVIDE
- TRUNKS.
  - TREE PROTECTION FENCING PER CITY CONSTRUCTION AROUND ALL TREES
- IN THE CONSTRUCTION AREA. 7. PROVIDE BREATHABLE RUBBER MAT OVER 8" MULCH AT LOCATIONS WHERE TREE PROTECTION FENCING IS
- 8. WRAP 2X4 BOARDS AROUND ALL TREE RIGHT OF WAY DURING
- PERFORMED BY OWNER PROVIDED ARBORIST. 10. GC TO ENSURE THAT ANY CONCRETE
- THE CRZ OF ANY TREES.
- 11. GC TO AVOID TRENCHING WITHIN
- LOCATED WITHIN THE 1/2 CRZ OF ANY PROTECTED TREE, A MULCH SOCK IS TO BE USED IN-PLACE OF SILT FENCE. 13. TREE PROTECTION FENCING MUST BE
- WEIGHTED DOWN WITH SAND BAGS) AND MUST ENCOMPASS THE 1/4 CRZ AT MINIMUM.
- GRADE AND LANDSCAPE WHEREVER POSSIBLE, WHILE PROVIDING POSITIVE 15. AFTER CONSTRUCTION, AIRSPADE
- ACTIVITIES HAVE COMPACTED SOIL APPROPRIATE DEVICES PER STATUTORY
- LOCATE EXISTING UTILITY LINES AND PROTECT ALL UTILITIES FROM EXCAVATION OR SIMILAR HAZARDS.
- UNDERMINING, WASHOUT AND OTHER
- HAZARDS. 19. REFERENCE LIST OF FINISHES FOR FLATWORK. USE 1X4 REDWOOD AT ALL CONTROL JOINTS.
- 20. GRAVEL: RAINBOW PEA GRAVEL (FINAL COLOR SELECTION TO BE APPROVED BY ARCHITECT) FOR AREAS AS SPECIFIED ON DRAWINGS.

A0775

LEGAL DESCRIPTION:

LOT 13, BLOCK K, BALCONES PARK ADDITION SECTION FIVE, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 7, PAGE 43, PLAT RECORDS, TRAVIS COUNTY, TEXAS. LOT 13 IS SUBJECT TO EASEMENT RIGHTS AND RESTRICTIVE COVENANTS OF RECORD. TREE NOTE: Trees as shown on this survey are NOTE: measured 4.5' above natural grade; This survey was made without the benefit the circle represents a simulated of a title commitment and additional root zone with one foot of radius for one inch of tree diameter. easements and/or restrictions may apply TREE LIST TYPE SIZE elm 19" 68 hackberry 21 14" 95 magnolia 2 2 2 2 2 · (C) -146 hackberry 23" CAMP MABRY 147 pecan 19" 29.38 AC USA SIRC 100.44'(100.03')> S32°31'19"W <del>10</del>' PUE planter 4 planter FF 717.6' 0 0 0 0 œ 00 0 /15 26. **POOL** HOUSE 000 H16. LEGEND 0 00 0 FOUND 1/2" IRON PIPE 0 0 00000 FOUND 1/2" IRON ROD 0000 **POOL** covered o stone  $\Diamond$ SET 1/2" IRON ROD W/CAP SIRC LABELED "WATERLOO RPLS 4324" 00 0000 000 stone WOOD FENCE -//-0 00 0  $\Diamond$   $\circ$ --//-,0.2' 00  $\Diamond$ LOT 12 CHAIN LINK FENCE - w - w-UTILITY POLE &\_ ELECTRIC LINE a√c , WATER METER (W) CLEANOUT © LOT 14 ONE STORY BRICK HOUSE WATER VALVE (V) SEPTIC LID S 6.5' FF 720.4' (RECORD) 40.6' TREE SYMBOL W/DRIP LINE LOT 13 BENCHMARK BM: BLOCK K Square cut in concrete curb, 29.1, Elevation 722.82' NAVD88 29. 0.3152 AC FINISHED FLOOR ELEVATIONS FF 724.0' Prick **BEARING BASE** THE TEXAS COORDINATE SYSTEM OF 1983(NAD83)CENTRAL TEXAS ZONE, BASED ON LOCAL NETWORK GPS 720columns OBSERVATIONS. #95M concrète drive 104.90  $\bigcirc$ \$34°07'17"W TO FIR TO FIR N34°32'18"E N34°12 04"E 1,00.38'(100.0') (W)(W) 100.10 Edgemont Drive State of Texas: County of Travis: The undersigned does hereby certify that this survey was this day made on the property legally described hereon and is correct, and this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 18,3,6 Condition II Survey. And I certify that the property shown hereon \_ \_\_within a special flood hazard area as identified by the Federal Insurance Adm. Department of HUD 48453C0435K flood hazard boundary map revised as per Map Number:\_ \_\_\_\_ Dated:\_\_\_\_ JANUARY 21, 2020

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P.O. Box 160176, Austin, Texas 78716 Phone: 481-9602

Survey Dated this the 14TH day of JULY . 202 2.

Thomas P. Dixon R.P.L.S. 4324 FIRM#10124400







# **GENERAL NOTES**

1. ALL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES, AND TO INCLUDE ALL REQUIREMENTS OF OTHER AGENCIES HAVING JURISDICTION.

3. EXAMINATION OF THE SITE AND PORTIONS THEREOF THAT AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE EXISTING CONDITIONS WITH THE CONTRACT DOCUMENTS AND SATISFY HIM/HERSELF AS TO THE EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. CONTRACTOR SHALL AT SUCH TIME ASCERTAIN AND VERIFY THE LOCATIONS OF EXISTING STRUCTURES.

4. THE CONTRACT DOCUMENTS DESCRIBE DESIGN INTENT, AND ARE NOT INTENDED TO BE ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS TO PROVIDE COMPLETE OPERATIONAL SYSTEMS AND INSTALLATIONS. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR WHICH IS REASONABLY INFERABLE FROM THEM.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES. ALL CLAIMS FOR ADDITIONAL WORK WILL NOT BE AWARDED FOR ANY AND ALL WORK RELATED TO SUCH COORDINATION.

6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE, CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY AND ALL WORK IN QUESTION.

7. ALL DIMENSIONS ARE TO FINISH FACE OF CONCRETE, CENTERLINE OF STEEL, FACE OF STUD OR CASEWORK UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECTS APPROVAL UNLESS NOTED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES.

8. ALL DIMENSIONS, NOTES AND DETAILS SHOWN ON ONE PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITEHAND AND/OR CONDITIONS UNLESS OTHERWISE NOTED.

9. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

10. THE CONTRACT DOCUMENTS ARE COMPLIMENTARY. WHAT IS SHOWN OR REFERRED TO PARTIALLY OR WHOLE ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL.

11. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DRAWINGS AT A LARGE SCALE SHALL TAKE PRECEDENCE OVER DRAWINGS OF A SMALL SCALE. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.

12. CONTRACTOR SHALL VERIFY LAYOUT OF PARTITIONS, DOORS, ELECTRICAL OUTLETS, DATA AND TELEPHONE OUTLETS, LIGHT FIXTURES, AND SWITCHES WITH ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY MECHANICAL, TELEPHONE, DATA, ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE BUT NOT LIMITED TO ALL PIPING, DUCTWORK AND CONDUIT AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.

13. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.

14. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONTRACT DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE.

15. IN CASE OF CONFLICTS BETWEEN ARCHITECT'S AND ENGINEER'S DRAWINGS IN THE LOCATION OF MATERIALS AND/OR EQUIPMENT, ARCHITECTURAL DRAWINGS SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH CONFLICT.

16. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE INSTALLED, CONNECTED, ERECTED CLEANED, AND CONDITIONED PER THE MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.

17. ALL WORK NOTED AS "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT. SUBMIT TO THE ARCHITECT AND OWNER SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN THE CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.

18. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING ANY FINISHED AREAS IN OR OUTSIDE THE JOB SITE. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.

19. CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION FROM THE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.

# **VICINITY MAP**



# SYMBOL LEGEND

1/A3.0	ELEVATION	ROOM NAME  1 11  This is a sample comment	ROOM NAME NUMBER AREA
1 A3.0	BUILDING SECTION	(1.01)	DOOR NUMBER
A3.0	WALL SECTION	1.01	WINDOW TYPE
A3.0	SECTION DETAIL	A1	PARTITION TYPE
A3.0	DETAIL	A	PLUMBING FIXTURE TYPE
		TA-1	TOILET ACCESSORY TYPE

# **PROJECT TEAM**

INTERIOR

DESIGNER

MICHELLE AND TOM WALSH 4601 EDGEMONT DRIVE

**ARCHITECT** OUTWARD ARCHITCTURE

JOE BOYLE, AIA

RISHER MARTIN FINE HOMES **CONTRACTOR** 3904 MEDICAL PARKWAY STE A

**AUSTIN, TX 78731** 

AUSTIN, TX 78756

CHRIS RISHER chris@rishermartin.com

LAURA ROBERTS DESIGN

LAURA ROBERTS

laura@laurarobertsdesign.com 512-589-5201

joe@outwardarchitecture.com

**STRUCTURAL** FORT STRUCTURES **ENGINEER** 

GEOTECH.

2120 E. 7TH STE 200 AUSTIN, TX 78702

SAM YOUNG 512-817-9264

syoung@fortstructures.com

12028 RADIUM SAN ANTONIO, TX 78216

210-525-9033

INTEC

LANDSCAPE **ARCHITECT** 

# **ZONING & CODE ANALYSIS**

LOT 13 BLK K BALCONES PARK ADDITION SEC 5 **LEGAL DESCRIPTION** 

PARCEL ID 789296 ZONING SF-3

**BUILDING CODES** 2021 INTERNATIONAL BUILDING CODE 2021 UNIFORM MECHANICAL CODE

2021 UNIFORM PLUMBING CODE 2020 NATIONAL ELECTRIC CODE

CITY OF AUSTIN, TRAVIS COUNTY

2021 INTERNATIONAL ENERGY CONSERVATION CODE UNIFIED DEVELOPMENT CODE

STRUCTURAL

**BUILDING DESCRIPTION** WOOD AND STEEL FRAME RESIDENCE

OCCUPANCY CLASSIFICATION R-3 TYPE OF CONSTRUCTION FIRE SPRINKLER

**LEGAL JURISDICTION** 

# **AREA CALCULATIONS**

RE: A0.3 & A0.4

# DRAWING INDEX

**ARCHITECTURAL** A0.3 SITE AREA PLAN

A0.4 Coa Subchapter F A0.5E EXISTING CONDITIONS A0.6D FIRST FLOOR PLAN DEMO

A0.7D DEMOLITION PHOTOS A1.0 SITE PLAN A1.1 FIRST FLOOR PLAN

SECOND FLOOR PLAN A1.2 A1.3 ROOF PLAN

EXTERIOR ELEVATIONS A2.1 A2.3 EXTERIOR ELEVATIONS A3.1

A3.2 BUILDING SECTIONS A3.3 BUILDING SECTIONS

FOUNDATION DETAILS \$4.10 S7.01 TYPICAL STEEL DETAILS BUILDING SECTIONS \$8.01 TYPICAL WOOD DETAILS S8.02 TYPICAL WOOD DETAILS

> \$8.03 TYPICAL WOOD DETAILS \$8.04 TYPICAL WOOD SHEAR WALL DETAILS TYPICAL WOOD SHEAR WALL DETAILS

\$0.01 STRUCTURAL GENERAL NOTES

S0.02 ABBREVIATIONS & LEGENDS

\$2.01A LEVEL-1 WINDBRACING PLAN

\$2.02A LEVEL-2 WINDBRACING PLAN

TYPICAL FOUNDATION DETAILS

TYPICAL FOUNDATION DETAILS

\$1.01 AXONOMETRIC VIEWS

\$2.02 LEVEL-2 FRAMING PLAN

S2.03 ROOF FRAMING PLAN

\$2.01 FOUNDATION PLAN

WOOD FLOOR FRAMING DETAILS \$8.21 ROOF FRAMING SECTION DETAILS

OUTWARD ARCHITECTURE

**ISSUED DATE** 03.10.2023 PROJECT NUMBER 2209

**PERMIT SET** 

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**COVER SHEET** 

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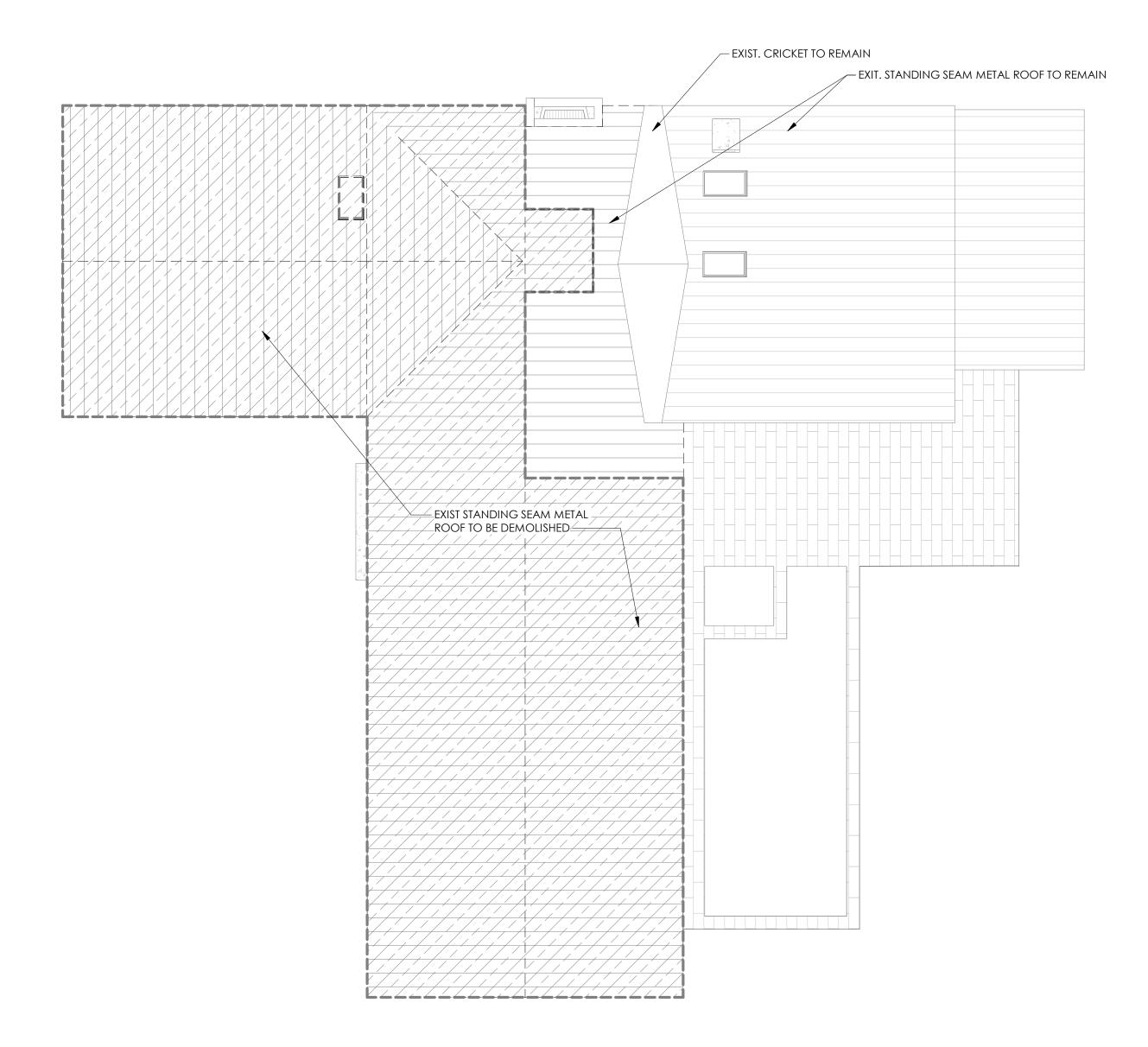




ISSUED DATE 03.10.2023
PROJECT NUMBER 2209

PERMIT SET

# EDGEMONT RENOVATION



DEMOLISH ALL EXISTING FINISH FLOORS EXIST. CABANA TO REMAIN EXISTING WALL FRAMING TO REMAIN — EXIST. POOL, DECK AND COVERED PORCH TO REMAIN - EXIST. BRICK WALL TO REMAIN

- EXIST. BRICK WALL AND CHIMNEY TO REMAIN

EXIST. CHIMNEY TO REMAIN

 $2_{\frac{1/8"=1'-0"}{1/8"=1'-0"}}$ 

FIRST FLOOR PLAN - DEMOLITION

1/8" = 1'-0"





**ISSUED DATE** 03.10.2023 PROJECT NUMBER 2209

**PERMIT SET** 

**RENOVATION** EDGEMONT

A0.6D FIRST FLOOR PLAN DEMO



**VIEW FROM SOUTH** 



**VIEW FROM EAST** 



**VIEW FROM NORTH** 



**VIEW FROM NORTHWEST** 



VIEW FROM WEST (FRONT)



VIEW FROM WEST (FRONT)



PERMIT SET

RENOV

A0.7D DEMOLITION PHOTOS

P.O. Box 160176, Austin, Texas 78716 Phone: 481-9602

Waterloo Surveyors

SURVEY PLAT

Topographic & Tree



• PROVIDE 5' TALL CHAIN LINK MESH TREE PROTECTION FENCING PER CITY OF AUSTIN REQUIREMENTS AND 8" MULCH

CONSTRUCTION AROUND ALL TREES IN THE CONSTRUCTION AREA. • PROVIDE BREATHABLE RUBBER MAT OVER 8" MULCH AT LOCATIONS WHERE TREE

PROTECTION FENCING IS NOT POSSIBLE. WRAP 2X4 BOARDS AROUND ALL TREE TRUNKS ON SITE OR IN ADJACENT RIGHT OF WAY DURING CONSTRUCTION. ALL LIMBS AND TREE TRIMMING TO BE

PERFORMED BY OWNER PROVIDED ARBORIST. • GC TO ENSURE THAT ANY CONCRETE

WASHOUT DOES NOT OCCUR WITHIN THE CRZ OF ANY TREES. GC TO AVOID TRENCHING WITHIN 1/2 CRZ OF ANY TREES.

• IN AREAS WHERE SILT FENCE IS LOCATED WITHIN THE 1/2 CRZ OF ANY PROTECTED TREE, A MULCH SOCK IS TO BE USED IN-PLACE OF SILT FENCE. • TREE PROTECTION FENCING MUST BE ON GRADE (FLAT POST BASES WEIGHTED

DOWN WITH SAND BAGS) AND MUST ENCOMPASS THE 1/4 CRZ AT MINIMUM. • 50% MITIGATION TO BE PROVIDED FOR REMOVED 22.5" CEDAR ELM.

## **GENERAL NOTES:**

T1247

EXIST. CABANA

EXIST. PATIO

EXIST. POOL

PERMITTED IN THE 1/2 CRITICAL ROOT 2. NO ACCESS, PARKING OR MATERIAL

STORAGE WITHIN THE LIMITS OF THE TREE PROTECTION FENCE.

FRAYED EDGES)

TRENCHING WITHIN 12' OF TREE TRUNKS.

MULCH GROUND COVER DURING CONSTRUCTION AROUND ALL TREES IN THE CONSTRUCTION AREA. 7. PROVIDE BREATHABLE RUBBER MAT

OVER 8" MULCH AT LOCATIONS WHERE TREE PROTECTION FENCING IS NOT POSSIBLE. 8. WRAP 2X4 BOARDS AROUND ALL TREE

CONSTRUCTION.

ARBORIST. 10. GC TO ENSURE THAT ANY CONCRETE WASHOUT DOES NOT OCCUR WITHIN

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LOCATED WITHIN THE 1/2 CRZ OF ANY PROTECTED TREE, A MULCH SOCK IS

WEIGHTED DOWN WITH SAND BAGS) AND MUST ENCOMPASS THE 1/4 CRZ AT MINIMUM.

17. NOTIFY APPROPRIATE AUTHORITY TO PROTECT ALL UTILITIES FROM EXCAVATION OR SIMILAR HAZARDS.

20. GRAVEL: RAINBOW PEA GRAVEL (FINAL COLOR SELECTION TO BE AS SPECIFIED ON DRAWINGS.

21. STONE PAVERS: REFERENCE LIST OF FINISHES: 2 1/4" THICK PAVERS, SET PAVERS IN SAND BED OVER MINIMUM 6" LAYER OF COMPACTED FILL. PAVERS ARE TO BE BUTTED TIGHT WITH MINIMAL JOINTS THAT REQUIRE NO GROUT.

22. STEEL EDGING AND RETAINING WALLS: REFERENCE DIVISION 5 SPECIFICATIONS. 23. ALL DIMENSIONS ARE TO FACE OF FOUNDATION UNLESS OTHERWISE

NOTED.

**ISSUED DATE** PROJECT NUMBER GROUND COVER DURING

Z

**R**E

**PERMIT SET** 

\* OUTWARD ARCHITECTURE

03.10.2023

2209

1. NO UNDERGROUND UTILITY TRENCHES

3. ALL ROOT CUTS TO BE CLEAN (NO

4. FERTILIZE TREE ROOTS AND PROVIDE IRRIGATION DURING CONSTRUCTION. 5. NO UNDERGROUND UTILITY

> 6. PROVIDE 5' TALL CHAIN LINK MESH TREE PROTECTION FENCING PER CITY OF AUSTIN REQUIREMENTS AND 8"

TRUNKS ON SITE OR IN ADJACENT RIGHT OF WAY DURING

9. ALL LIMBS AND TREE TRIMMING TO BE PERFORMED BY OWNER PROVIDED

11. GC TO AVOID TRENCHING WITHIN

1/2 CRZ OF ANY TREES. 12. IN AREAS WHERE SILT FENCE IS

TO BE USED IN-PLACE OF SILT FENCE. 13. TREE PROTECTION FENCING MUST BE ON GRADE (FLAT POST BASES

14. MINIMIZE DISTURBANCE OF EXISTING GRADE AND LANDSCAPE WHEREVER POSSIBLE, WHILE PROVIDING POSITIVE DRAINAGE AWAY FROM HOUSE. 15. AFTER CONSTRUCTION, AIRSPADE

ALL TREES WHERE CONSTRUCTION

ACTIVITIES HAVE COMPACTED SOIL WITHIN CRITICAL ROOT ZONE. 16. PROVIDE AND MAINTAIN AN EROSION CONTROL SYSTEM WITH APPROPRIATE DEVICES PER STATUTORY REQUIREMENTS.

LOCATE EXISTING UTILITY LINES AND 18. PROTECT STRUCTURES, SIDEWALKS,

PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.

19. REFERENCE LIST OF FINISHES FOR FLATWORK. USE 1X4 REDWOOD AT ALL CONTROL JOINTS.

APPROVED BY ARCHITECT) FOR AREAS

**SITE PLAN** 



TREE LEGEND:

T68

A0775

Trees as shown on this survey are measured 4.5' above natural grade;

the circle represents a simulated root zone with one foot of radius for one inch of tree diameter.

T# TYPE SIZE 66 avn 19° 68 hockberry 21 14°

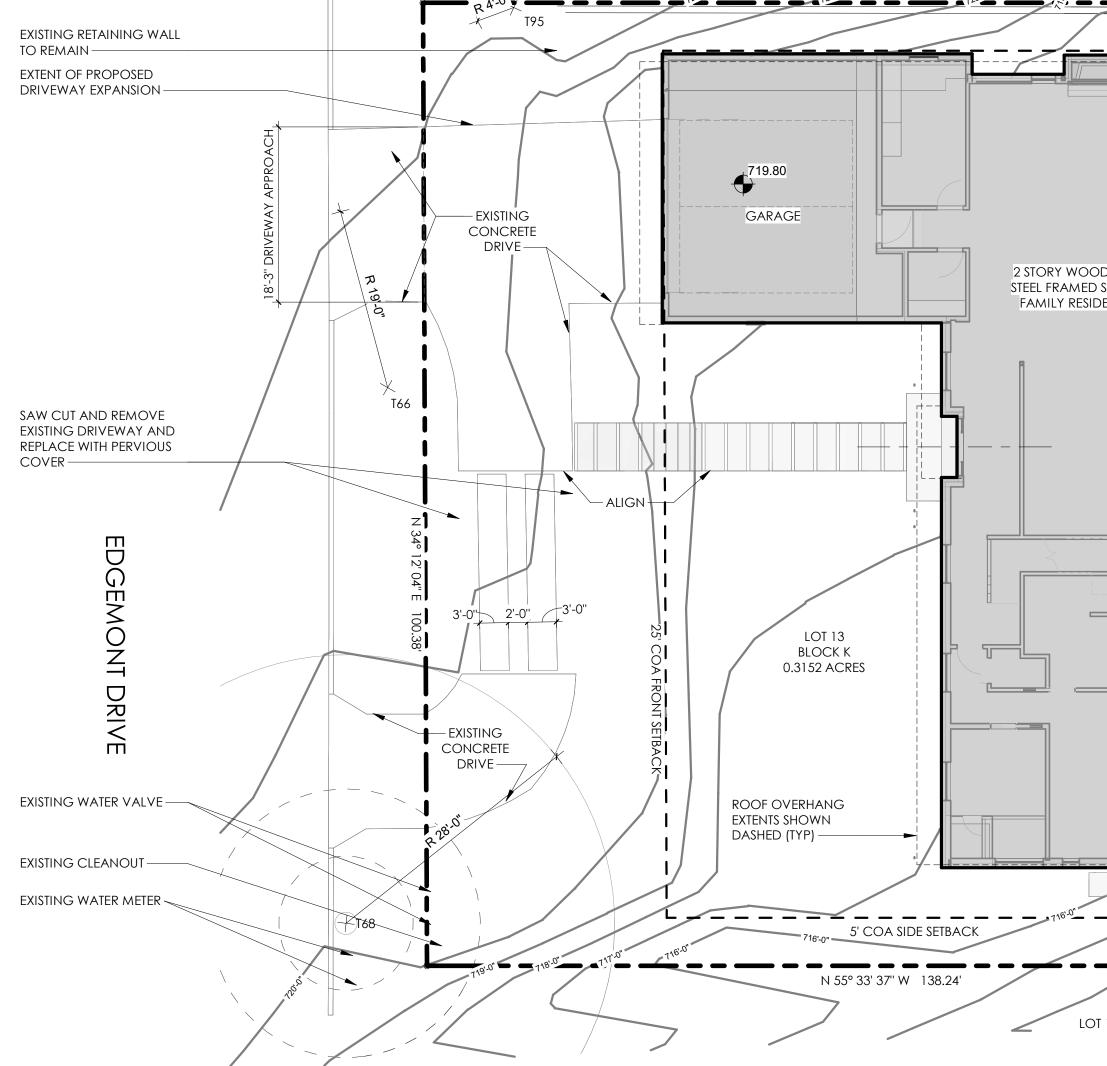
19" ELM

T95 4" MAGNOLIA

T146 23" HACKBERRY

T147 19" PECAN

28" HACKBERRY



SPOILS PLACEMENT

PAINT WASHOUT -

PORTABLE TOILET -

DUMPSTER -

TRUE

NORTH

CONCRETE WASHOUT

TRUE NORTH

SITE PLAN 1" = 10'-0"

© Copyright 2022

OWNER: THOMAS WALSH MICHELLE WALSH ADDRESS:

:35

3:51

10/2023

3 ds

4601 EDGEMONT DRIVE

This survey was made without the benefit

easements and/or restrictions may apply

of a title commitment and additional

LEGAL DESCRIPTION:
LOT 13, BLOCK K, BALCONES PARK ADDITION SECTION FIVE, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 7, PAGE 43, PLAT RECORDS, TRAVIS COUNTY, TEXAS.

LOT 13 IS SUBJECT TO EASEMENT RIGHTS AND RESTRICTIVE COVENANTS



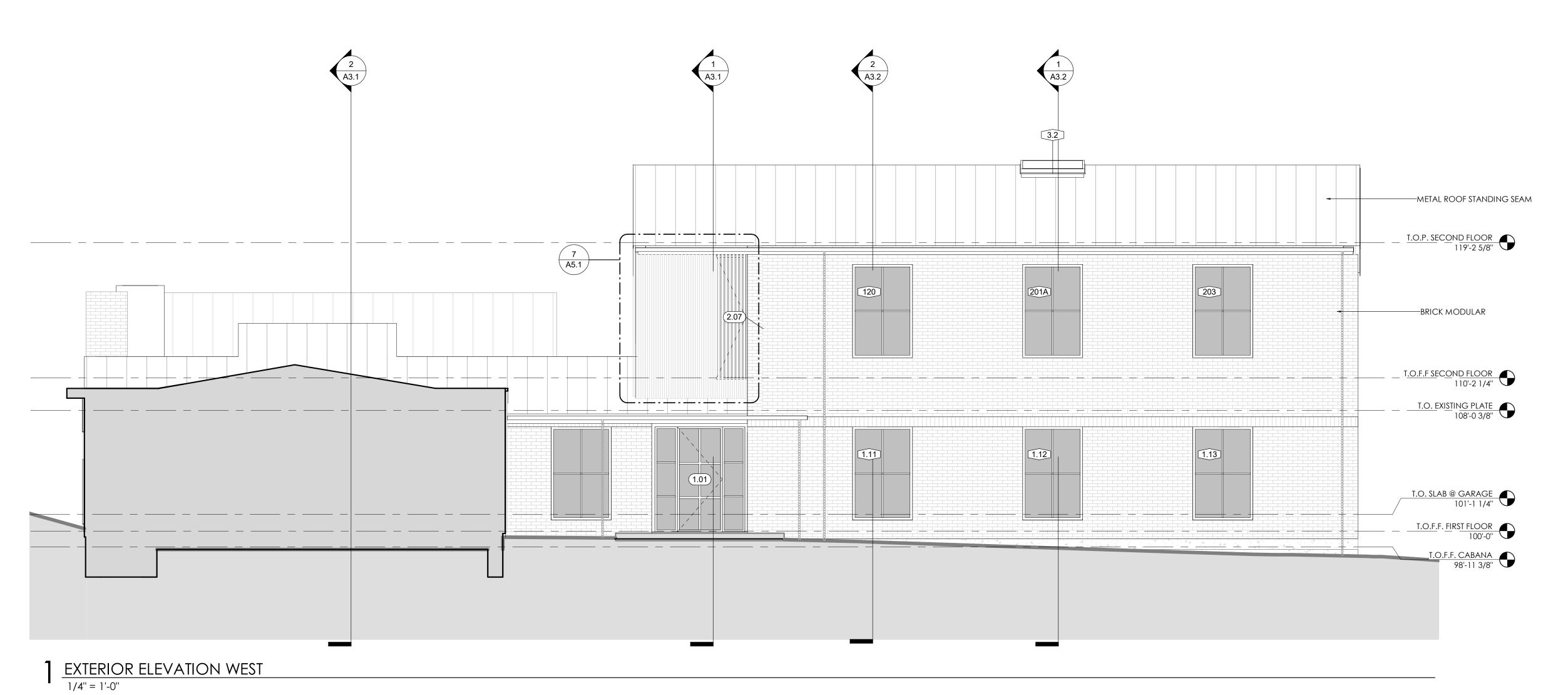


ISSUED DATE 03.10.2023
PROJECT NUMBER 2209

**PERMIT SET** 

EDGEMONT RENOVAT

A1.3 ROOF PLAN



RENOVATION

EXTERIOR ELEVATION EAST

1/4" = 1'-0"

A2.2
EXTERIOR
ELEVATIONS

**RENOVATION** 

EDGEMONT

OUTWARD ARCHITECTURE

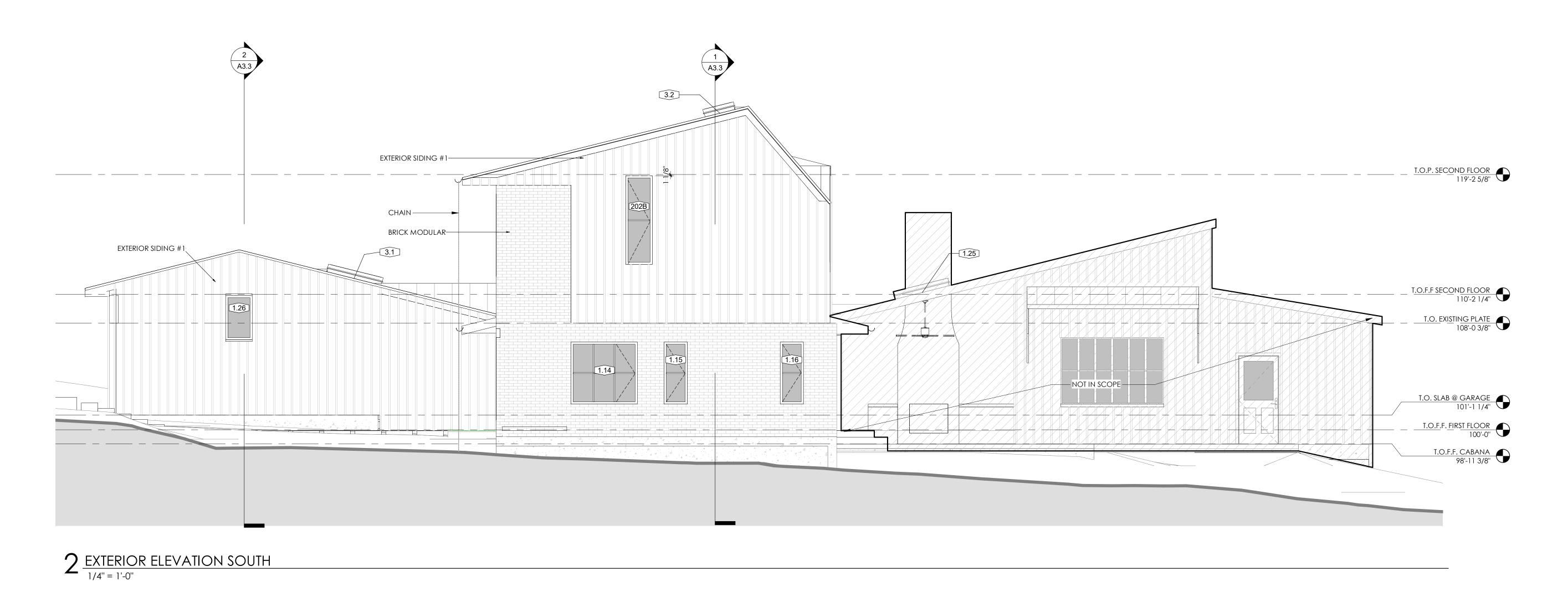
PROJECT NUMBER 2209

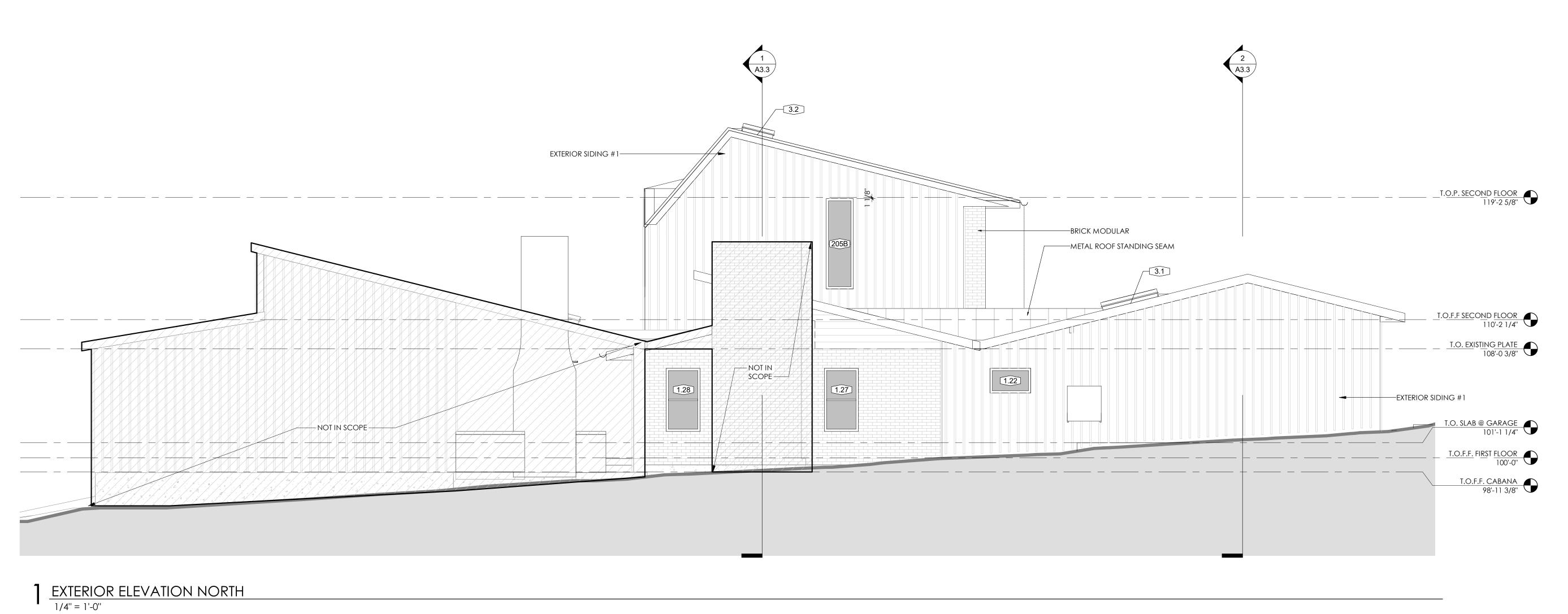
**ISSUED DATE** 

**PERMIT SET** 

03.10.2023

A2.3
EXTERIOR
ELEVATIONS





FORT STRUCTURES SHEET SERIES LEGEND			
SHEET SERIES DESCRIPTION			
S0	STRUCTURAL NOTES		
S1	AXONOMETRIC VIEWS		
S2	PLANS		
S3	ELEVATIONS & BUILDING SECTIONS		
S4	FOUNDATION DETAILS		
S5	ELEVATED CONCRETE DETAILS		
S6	CMU DETAILS/3D PRINTED DETAILS		
S7	STEEL DETAILS		
S8	WOOD DETAILS		
S9	COLD-FORMED STEEL DETAILS		

STRUCTURAL SHEET LIST (23006)				
SHEET NUMBER	SHEET NAME			
S0.01	STRUCTURAL GENERAL NOTES			
S0.02	ABBREVIATIONS & LEGENDS			
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S8.03	TYPICAL WOOD DETAILS			
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S8.11	WOOD FLOOR FRAMING DETAILS			
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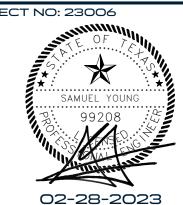
FORT STRUCTURES DRAWING LEGEND					
TAG	AG DESCRIPTION		DESCRIPTION		
GB1.0	GRADE BEAM (REFER TO GRADE BEAM SCHEDULE)	<b>←</b> +	POST-TENSIONED LIVE END		
F2.0	FOOTING (REFER TO FOOTING SCHEDULE)	-	POST-TENSIONED DRAPE		
SF2.0	STRIP FOOTING (REFER TO FOOTING SCHEDULE)	<b>→</b>	POST-TENSIONED DEAD END		
P24	DRILLED STRAIGHT SHAFT PIER (REFER TO SCHEDULE)		MATCHLINE		
P24/UR48	DRILLED STRAIGHT SHAFT PIER WITH UNDERREAM (REFER TO SCHEDULE)	Û	SHORING INDICATION		
SDP6	STEEL DRIVEN PILE (REFER TO PLANS & DETAILS)	[A]	ABOVE INDICATION		
PC-X	PIER/PILE CAP (REFER TO SCHEDULE)	@	"AT" INDICATION		
<u> </u>	FOOTING/GRADE BEAM STEP	Æ	CENTERLINE INDICATION		
BT-XX	POST-TENSIONED GRADE BEAM W/ TENDON LENGTH (REFER TO SCHEDULE)	Ø	DIAMETER INDICATION		
ST-XX	POST-TENSIONED SLAB ON GRADE W/ TENDON LENGTH (REFER TO SCHEDULE)	[E]	EXISTING INDICATION		
CS-WSP 4'-0"	CONTINUOUSLY SHEATHED-WOOD STRUCTURAL PANEL (REFER TO SCHEDULE)	mc	MOMENT CONNECTION		
HD-X HD-X	SHEAR WALL POINTS TO NAILING PATTERN SIDE (REFER TO SCHEDULE)	±	PLUS OR MINUS INDICATION		
XXXX [E]Type Name	STEEL/CONCRETE COLUMN (REFER TO SCHEDULE)	FLUSH	FLUSH FLOOR INDICATION		
BP-X	BASEPLATE (REFER TO DETAIL SCHEDULE)		SLOPE/RAMP DOWN INDICATION		
SP-X	SADDLE PLATE (REFER TO DETAIL SCHEDULE)		SLOPE/RAMP UP INDICATION		
SR-X	STUD RAIL (REFER TO DETAILS)	X"	STEP DOWN INDICATION		
1TB	REINFORCEMENT TYPE (REFER TO SCHEDULE)		ROOF RIDGE INDICATION		
MD-X	METAL DECK SPAN DIRECTION (REFER TO SCHEDULE)		ROOF VALLEY INDICATION		
RT-X	RIM TRACK (REFER TO SCHEDULE)				
T/XXX = X'-X"	TOP ELEVATION OF ELEMENT				
B/XXX = X'-X"	BOTTOM ELEVATION OF ELEMENT				
XX/SX.XX	SECTION VIEW (DETAIL NUMBER/SHEET NUMBER)				
XX/SX.XX	CALLOUT VIEW (DETAIL NUMBER/SHEET NUMBER)				
XX/SX.XX	ELEVATION VIEW (DETAIL NUMBER/SHEET NUMBER)				
<u>^</u>	REVISION DELTA (REFER TO REVISION SCHEDULE)				

FORT STRUCTURES MATERIAL PATTERN LEGEND					
+ + + + + + + + + + + + + + + + + + + +	ADDITIONAL LOADING (PLANS)		GRADING (PLANS/DETAILS)		PLYWOOD (DETAILS)
	CFS BEARING WALL (PLANS)		GRADING UNDISTURBED (PLANS/DETAILS)		POUR STRIP (PLANS)
	CFS NON-BEARING WALL (PLANS)		GRATING (PLANS)		PRECAST CONCRETE (PLANS/DETAILS)
	CMU BEARING (PLANS/DETAILS)		GRAVEL (DETAILS)		ROCK (DETAILS)
	CMU NON-BEARING (PLANS/DETAILS)		GROUT (DETAILS)		STEEL (DETAILS)
44 4 4 4	CAST-IN-PLACE CONCRETE BEARING (PLANS/DETAILS)		3D PRINTED BEARING WALL (PLANS/DETAILS)		WOOD BEARING WALL (PLANS)
	CAST-IN-PLACE CONCRETE NON-BEARING (PLANS/DETAILS)		3D PRINTED CORE (PLANS)		WOOD NON-BEARING WALL (PLANS)
	CRITICAL ROOT ZONE FOR NO IMPACTS (PLANS)		MASONRY BEARING (PLANS/DETAILS)		
	EXISTING (PLANS/DETAILS)		MASONRY NON-BEARING (PLANS/DETAILS)		
	FILL (DETAILS)		OVER-FRAMING (PLANS)		

AB	_ANCHOR BOLT	GA	_GAGE	R	_RADIUS
ADDL	ADDITIONAL	GALV	 _GALVANIZE(D)	RCP	REINFORCED CONCRETE PIPE
ADH	_ADHESIVE	GC	_GENERAL CONTRACTOR	RD	_ROOF DRAIN
ADJ	_ADJACENT	GEN	_GENERAL	RECT	_RECTANGULAR
ALT	ALTERNATE APPROXIMATE(LY)	GEOTECH_ GL	_GEOTECHNICAL GLUE LAMINATED TIMBER	REF REINF	_REFER/REFERENCE
APPROX AR	ANCHOR ROD	GL GR	_GLUE LAMINATED TIMBER GRADE	REINF	_REINFORCE(ING)(ED)(MENT) REMAINDER
ARCH	ARCHITECT(URAL)		GRADE BEAM	REQ	REQUIRE(D)
, <u> </u>		GYP	GYPSUM BOARD	RET	RETAINING
B or BOT_	_BOTTOM		_	RF	 _ROOF
B/	_BOTTOM OF	HD	_HOLD-DOWN	RND	_ROUND
BCB	_BOTTOM CHORD BEARING	HDR	_HEADER	RO	_ROUGH OPENING
BF	_BACK FACE	HGR HI	_HANGER	RT	_RIM TRACK
BLMI	_BRACE FRAME BUILDING LINE	HI	_HIGH HOOK(S)	SCHED	SCHEDULE(D)
BLDG	BUILDING	HORIZ	_NOOK(3) HORIZONTAL	SDP	STEEL DRIVEN PILE
BLKG	BLOCKING	HP	HIGH POINT	SF	SQUARE FOOT
ВО	BLOCK-OUT	HSS	HOLLOW STRUCTURAL SECTION	SHTHG	SHEATHING
BP	_BASE PLATE	HT	_HEIGHT	SIM	_SIMILAR
BRDG	_BRIDGING	HTD	_HOT DIP(PED)	SLBB	_SHORT LEG BACK TO BACK
BRG BRL	_BEARING BRICK LEDGE	IBC	INTERNATIONAL BUILDING CODE	SMF SOG	_SPECIAL MOMENT FRAME SLAB ON GRADE
BTW	BETWEEN	IDC	INSIDE DIAMETER	SP	SADDLE PLATE
BWL	BRACE WALL LINE	IE	INVERT ELEVATION	SPA	_SPACE(S)(D)(ING)
		I/F	_ _INSIDE FACE	SPEC	SPECIFICATION(S)
c	_CAMBER	INT	_INTERIOR	SPECD	_SPECIFIED
CANT	_CANTILEVER	INTERM	_INTERMEDIATE	SPINE	_SOUTHERN PINE
CBORE	_COUNTERBORE		10.117	SQ	_SQUARE
CG	CENTER OF GRAVITY CAST-IN-PLACE	JT	_JOINT	SR	_STUDRAIL STAINLESS STEEL
CIP	CAST-IN-PLACE CONSTRUCTION JOINT	k	KIPS	SS STAGG	_STAINLESS STEEL STAGGER(ED)
CJ	COMPLETE JOINT PENETRATION	TX	0	STAGG	_STAGGER(ED) STANDARD
CLG_	CEILING	L <sub>i</sub>	ANGLE	STIFF	_STIFFENER
CLR	CLEAR(ANCE)	LF	_LINEAL FOOT	STIR	_STIRRUPS
CLT	CROSS-LAMINATED TIMBER	LL	_LIVE LOAD	STL	STEEL
CMU	CONCRETE MASONRY UNIT	LLBB	LONG LEG BACK-TO-BACK	STR	STRAIGHT
COL	_COLUMN	LLH	_LONG LEG HORIZONTAL	STRUCT	_STRUCTURE(AL)
COM	_COMPRESSION CONCRETE	LLV LOC	_LONG LEG VERTICAL LOCATION	SUPT	_SUPPORT(S)
CONC	CONDITION	LOC	_LOCATION LONGITUDINAL	т	TOP
CONST	CONSTRUCTION	LP	LOW POINT	T/	TOP OF
CONT	CONTINUOUS	LSH	LONG SIDE HORIZONTAL		TOP AND BOTTOM
CONX	CONNECTION(S)	LSL	_ _LAMINATED STRAND LUMBER	TC AX LD_	_ _TOP CHORD AXIAL LOAD
COORD	_COORDINATE	LSV	_LONG SIDE VERTICAL	TCB	_TOP CHORD BEARING
CP	_COVER PLATE	LVL	_LAMINATED VENEER LUMBER	TCX	_TOP CHORD EXTENSION
CRZ	_CRITICAL ROOT ZONE	LWT	_LIGHTWEIGHT	TDS	_TIE DOWN SYSTEM
CSINK	_COUNTERSINK CONTROL JOINT	M	MOMENT	T&G THK	_TONGUE AND GROOVE
CTRD	CENTERED	M MATL	_MOMENT MATERIAL	THRD	_THICK(NESS) THREADED
J.ND		MAX	_MAXIMUM	TPG	TOPPING
DR BEAM	_DROP(PED) BEAM	mc	_MOMENT CONNECTION(S)	TRANSV_	_
DBA	DROT (1 EB) BETAINDEFORMED BAR ANCHOR(S)	MECH	_MECHANICAL	TYP	_TYPICAL
DBL	DOUBLE	MEZZ	MEZZANINE		
DEMO	DEMOLISH	MFR	_MANUFACTURE(R)	UBC	_UNIFORM BUILDING CODE
DEV	DEVELOPMENT	MID	_MIDDLE	UMU	_UNREINFORCED MASONRY UN
DFIR	DOUGLAS FIR	MIN	_MINIMUM _MISCELLANEOLIS	UNO	_UNLESS NOTED OTHERWISE
DIAG DIM	_DIAGONAL DIMENSION(S)	MISC MTL	_MISCELLANEOUS METAL	UR	_UNDER-REAM
DIST	DIMENSION(S) DISTRIBUTED	171 1 L		V	SHEAR FORCE
DIST	DISTRIBUTED DEAD LOAD	NF	_NEAR FACE	VERT_	_SHEAR FORCE _VERTICAL
DN	DOWN	NIC	NOT IN CONTRACT	VIF	_VERIFY IN FIELD
DP	DEPTH/DEEP	NLT	NAIL LAMINATED TIMBER	VOL	VOLUME
DTL	DETAIL(S)(D)	No	_NUMBER		
DWG	DRAWING(S)	NOM	_NOMINAL	W	_WIDE
DWL	_DOWEL(S)	NS	_NON-SHRINK	W/	_WITH
EA	EACH	NTS NW	_NOT TO SCALE  NORMAL WEIGHT	WB WHS	_WIND BRACE WELDED HEADED STUD
EA EF	EACH EACH FACE	1 4 4 4	TAOMINAL MEIGHT	WHS	_WELDED HEADED STOD
EJ	EXPANSION JOINT	OC	ON CENTER	W/O	_WITHOUT
EL	ELEVATION	OD	OUTSIDE DIAMETER	WP	_WORK POINT
ELEC	ELECTRICAL	O/F	_OUTSIDE FACE	WPR	 _WATER PROOFING
ELEV	_ELEVATOR	OH	_OPPOSITE HAND	WS	_WATER STOP
EMBED	EMBEDMENT	OPNG	_OPENING(S)	WWF	_WELDED WIRE FABRIC
ENG	_ENGINEER OF RECORD	OPP	OPPOSITE	VC	EVTDA CTDONO
EOR EQ	_ENGINEER OF RECORD EQUAL	OSB OVHG	_ORIENTED STRAND BOARD OVERHANG	XS	_EXTRA STRONG EXTRA EXTRA STRONG
EQ EQPT	EQUAL EQUIPMENT	OVHG	_OVERHANG OPEN WEB STEEL JOIST	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	_LATINA LATINA STRUNU
EW	EACH WAY	OMM1	OPEN WEB STEEL JOIST		
EXIST	_EXISTING	·			
EXP	EXPANSION	P	_AXIAL LOAD		
EXT	_EXTERIOR	PAF	_POWDER ACTUATED FASTENER		
<b>-</b> /	FACE OF	PC	_PIER/PILE CAP		
F/	FACE OF	P/C	_PRECAST CONCRETE		
FAB FD	FABRICATE(ION)(OR) FLOOR DRAIN	PCF PCY	_POUNDS PER CUBIC FOOT POUNDS PER CUBIC YARD		
ги FF	FLOOR DRAIN FINISHED FLOOR	PEN	PENETRATION		
FIN	FINISH(ED)	PERF	_PERFORATED		
FL	FLOOR	PERP	_PERPENDICULAR		
FLG	FLANGE	PJP	PARTIAL JOINT PENETRATION		
FND	FOUNDATION	PL	PLATE		
FP	_FIREPROOF(ING)	PLF	_POUNDS PER LINEAR FOOT		
FRM	FRAMING	PLYWD	_PLYWOOD		
FRT	FIRE RETARDANT TREATED	PREFAB	_PREFABRICATED		
FS FSTN	FAR SIDE FASTEN(ER)(ED)	PRELIM PSF	_PRELIMINARY POUNDS PER SQUARE FOOT		
FTF	FASTEN(ER)(ED) FACE TO FACE	PSF PSI	POUNDS PER SQUARE FOOT  POUNDS PER SQUARE INCH		
FTG	FOOTING	PSL	PARALLEL STRAND LUMBER		
		PT	PRESSURE TREATED		
			POST-TENSION(ED)		

FORTURES

FIRM REGISTRATION NO. 18034
WWW.FORTSTRUCTURES.COM
PROJECT NO: 23006



OUTWARD ARCHITECTURE
joe@outwardarchitecture.com

EDGEMONT

4601 Edgemont Dr. Austin, Texas 78731

RENOVATION

PERMIT SET 02-28-2023

PM: S. Young

ENG: P. Wright

BIM PM: E. Nunez

QA/QC: S. Covey

If printed on 22x34 or 24x36 sheet, the scale is as indicated.

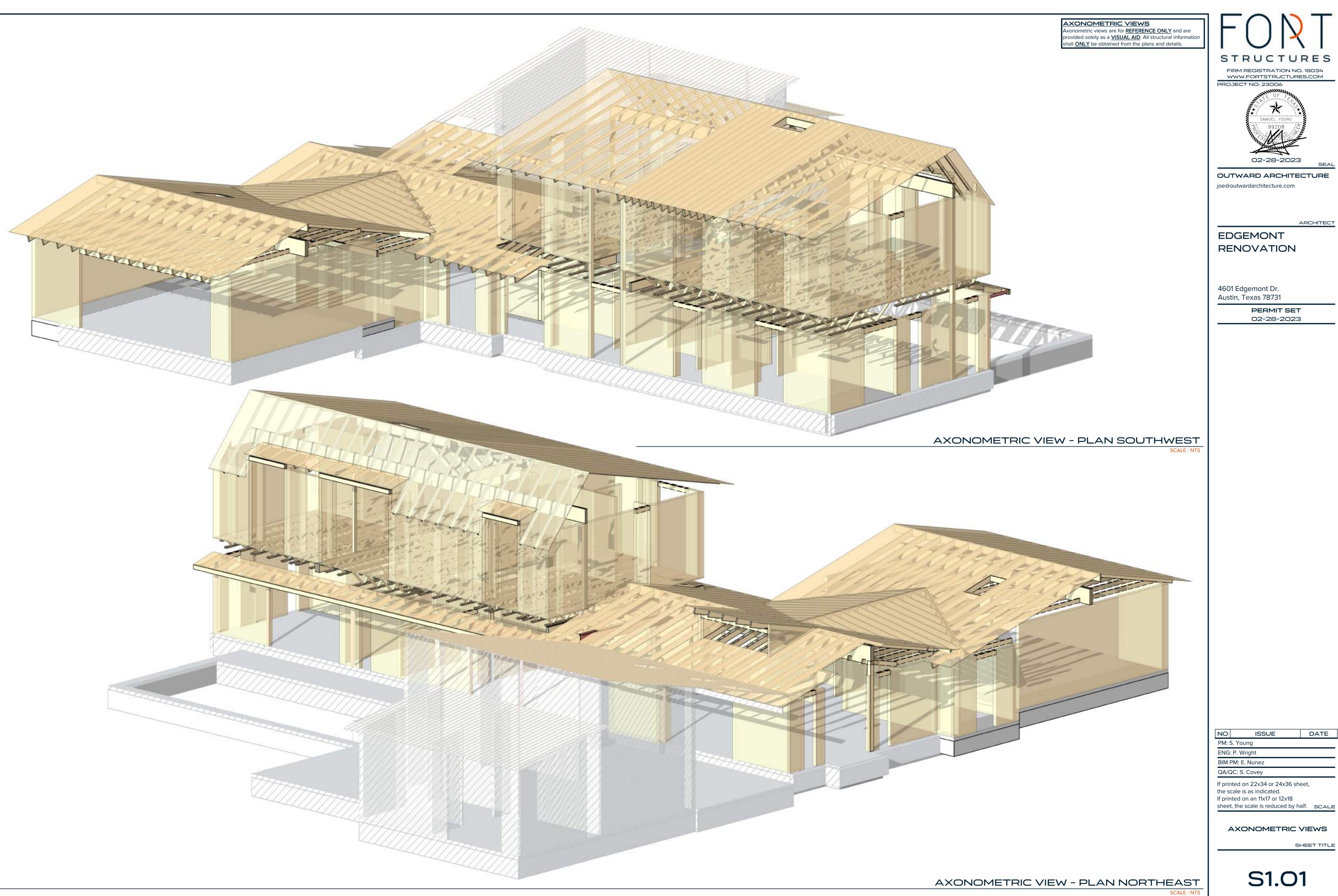
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ABBREVIATIONS & LEGENDS

sheet, the scale is reduced by half. SCALE

SHEET TITLE

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OUTWARD ARCHITECTURE joe@outwardarchitecture.com

ARCHITECT

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AXONOMETRIC VIEWS

**S1.01** 

SHEET NUMBER