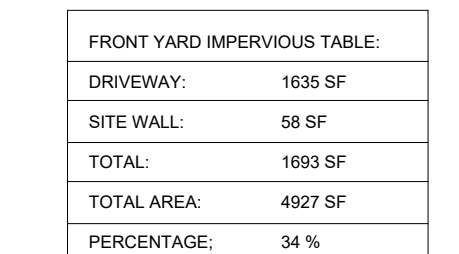


SCALE: \_\_\_\_\_  
DATE: 03-24-2023









**SITE PLAN NOTES:**

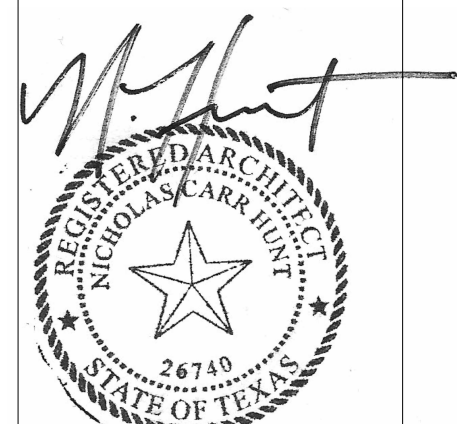
1. CONTRACTOR TO VERIFY EXACT LOCATION OF STRUCTURE AND RELATED STRUCTURES ON LOT ACCORDING TO THE SET DRAWINGS.
2. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR MUST NOTIFY THE ARCHITECT WRITING OF ANY DISCREPANCY TO THE DRAWINGS.

TREE PROTECTION NOTES:

1. PROTECTIVE PLANKS ARE 2 X 4 OR GREATER (6" TALL MIN STRAPPED SECURELY AROUND PROTECTED TREES AND ROOT FLARES
2. TREE PROTECTION FENCING BE CHAIN-LINK MESH AT A MIN OF 5' HIGH
3. TREE PROTECTION FENCING MUST BE ON LEVEL GROUND & POST BASES WEIGHTED DOWN WITH SAND BAGS) AND MUST ENCOMPASS THE 25% CRZ AT

4. TREES TO BE SAVED SHALL BE PROTECTED BY FENCING BEFORE CONSTRUCTION BEGINS. NO EQUIPMENT OR MATERIAL SHALL BE OPERATED OR STORED WITHIN THE FENCED IN AREA. FENCING SHALL BE AT THE DRIP LINE WHEREVER POSSIBLE AND COMPLETELY SURROUND THE TREE OR CLUSTER OF TREES. BURNING OF DEBRIS, CLEANING FLUIDS, CONCRETE SPILLS ETC WILL BE ALLOWED WITHIN THE AREAS. ALL STAGING, DUMPS, TOILET, CONCRETE WASHOUT, SOILS PLACEMENT TO BE LOCATED OUTSIDE THE CRITICAL ROOT

REV #	DESCRIPTION
DATE	



411 ETHRIDGE AVENUE

717 WEST 30TH STREET AUSTIN TX 78703

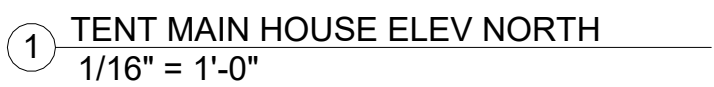
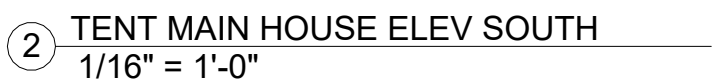
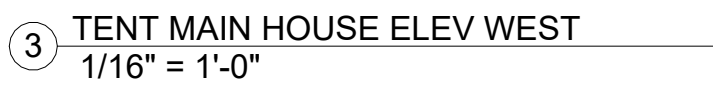
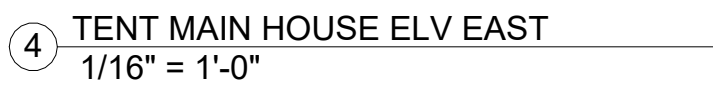
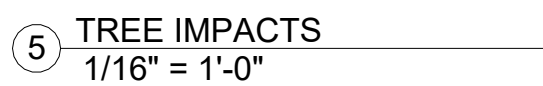
# hunt

# A100

## SITE PLAN

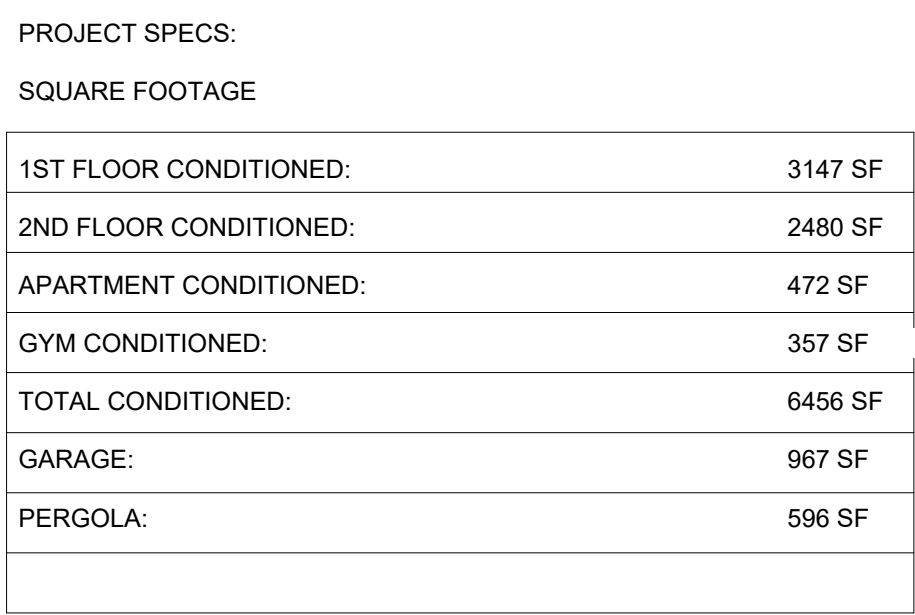
SCALE: As indicated





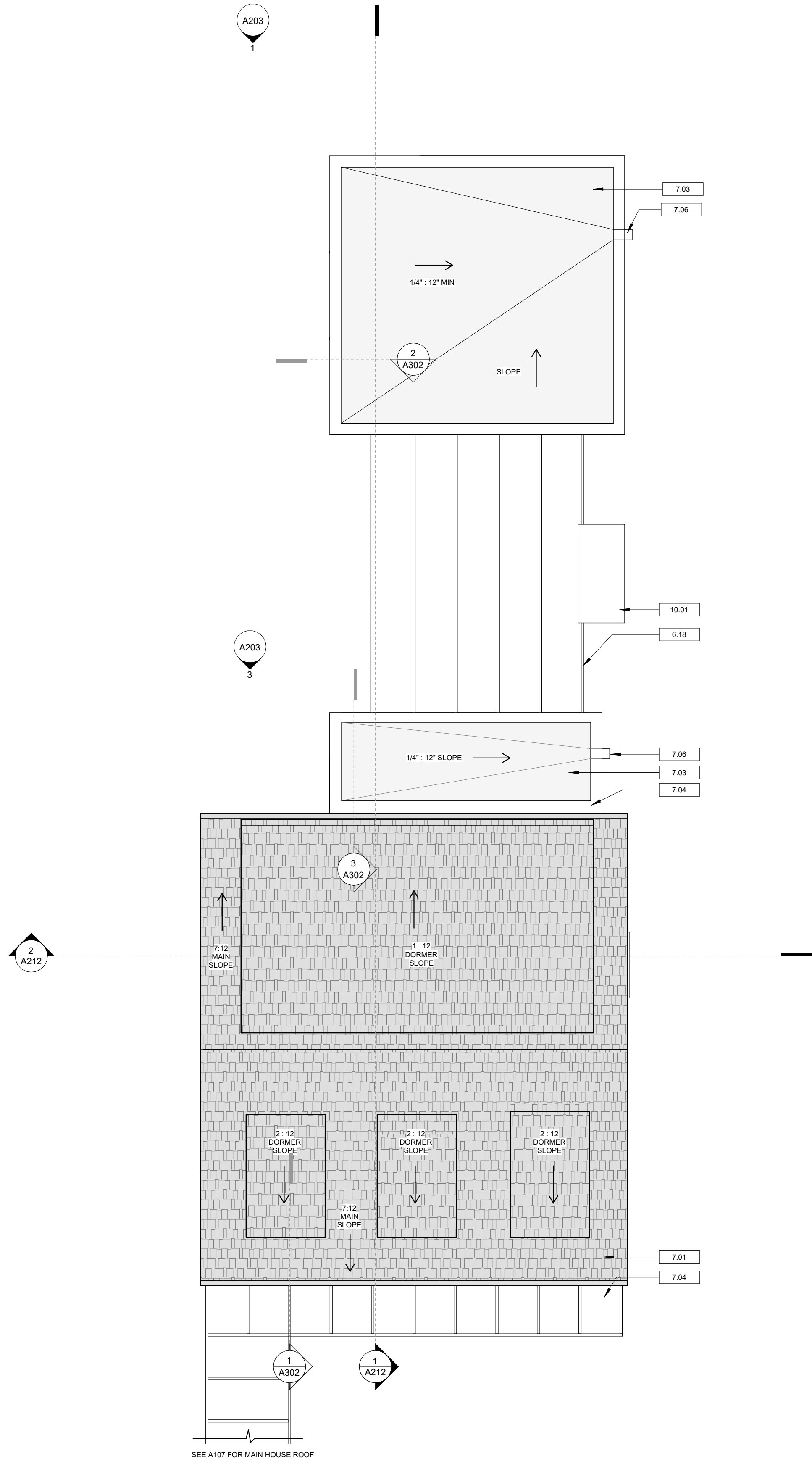
SCALE: 1/16" = 1'-0"  
DATE: 03-24-2023





SCALE: 3/16" = 1'-0"  
DATE: 03-24-2023





KEYNOTE LEGEND

6.18	WOOD PERGOLA - PAINTED
7.01	SLATE SHINGLE ROOF
7.03	LOW SLOPE TPO ROOF
7.04	HALF ROUND METAL GUTTER TO MATCH ROOF
7.06	METAL SCUPPER
10.01	METAL CHIMNEY CAP

GENERAL PLAN NOTES:

1. WALL INSULATION: OPEN CELL INSULATION, R15MIN.
2. ROOF INSULATION: OPEN CELL SPRAY FOAM R38MIN.
3. PROVIDE SOUND ISOLATING BATT INSULATION AT ALL BATHROOMS POWDER ROOMS AND BEDROOMS
4. SEE FINISH PLAN FOR FLOOR FINISHES

VISITABILITY NOTE:

1. VISITABLE BATHROOMS: A VISITABLE DWELLING MUST BE DESIGNED AND CONSTRUCTED WITH AT LEAST ONE BATHROOM GROUP OR A HALF BATH ON THE FIRST LEVEL THAT MEETS THE FOLLOWING REQUIREMENTS:
  - A MIN CLEAR OPENING OF 30" IS REQUIRED
  - LATERAL 2 X 6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
  - THE CENTERLINE OF THE BLOCKING MUST BE 34" FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF THE WALL LOCATED DIRECTLY BEHIND HE LAV
2. VISITABLE BATHROOM ROUTE: A BATHROOM GROUP OR HALF BATH DESIGNATED FOR VISITABILITY UNDER SECTION R320.3 MUST BE ACCESSIBLE BY A ROUTE WITH A MIN CLEAR OPENING OF 32" BEGINNING AT THE VISITABLE ENTRANCE DESIGNATED UNDER SECTION 320.6 AND CONTINUING THROUGH THE LIVING ROOM, DINING ROOM AND KITCHEN AND BE LEVEL WITH RAMPED OR BEVELED CHANGES AT THRESHOLDS.
3. VISITABLE DWELLING ENTRANCE: A DWELLING MUST BE ACCESSIBLE BY AT LEAST ONE NON STEP ENTRANCE WITH A BEVELED THRESHOLD OF ONE HALF INCH OR LESS, AND A DOOR WITH A CLEAR WIDTH OF AT LEAST 32". THE ENTRANCE MAY BE LOCATED AT THE FRONT, REAR OR SIDE, OR IN THE GARAGE OR CARPORT OF THE DWELLING.
4. VISITABLE LIGHT SWITCHES, RECEPTACLES AND ENVIRONMENTAL CONTROLS R320.4, THE FIRST FLOOR OF A DWELLING MUST CONTAIN THE FOLLOWING:
  - ALL LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS SHALL NOT BE INSTALLED GREATER THAN 48" ABOVE THE FINISHED FLOOR
  - ALL OUTLETS AND RECEPTACLES SHALL BE INSTALLED NO LESS THAN 15" ABOVE FLOOR (THIS APPLIES TO ALL FLOORS)

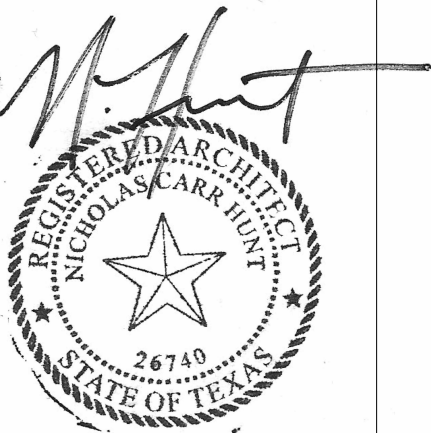
PROJECT SPECS:

SQUARE FOOTAGE

1ST FLOOR CONDITIONED:	3147 SF
2ND FLOOR CONDITIONED:	2480 SF
APARTMENT CONDITIONED:	472 SF
GYM CONDITIONED:	357 SF
TOTAL CONDITIONED:	6456 SF
GARAGE:	967 SF
PERGOLA:	596 SF

1 ROOF PLAN - GARAGE & GYM  
3/16" = 1'-0"

REV #	DESCRIPTION
DATE	



1411 ETHRIDGE AVENUE  
AUSTIN TX 78703

1717 WEST 30TH STREET, AUSTIN TX 78703

hunt  
ARCHITECTURE

A108

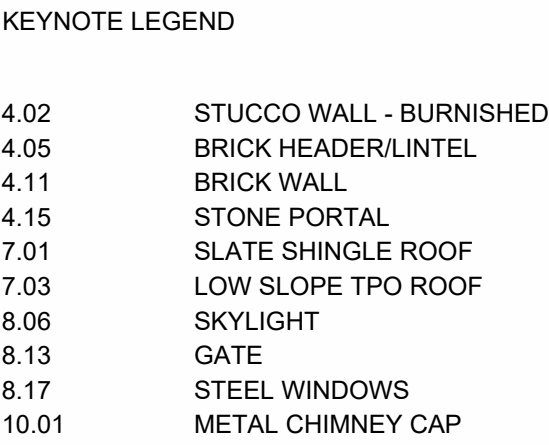
ROOF PLAN - GARAGE &  
GYM

SCALE: 3/16" = 1'-0"  
DATE: 03-24-2023

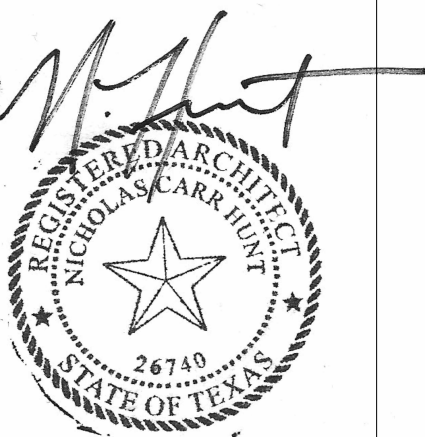








1 MAIN HOUSE ELV EAST  
3/16" = 1'-0"

[illegible]

1411 ETHRIDGE AVENUE  
AUSTIN TX 78703

1717 WEST 30TH STREET, AUSTIN TX 78703

# hunt

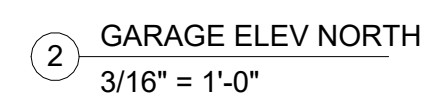
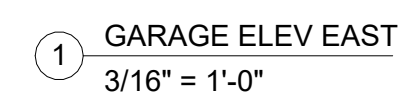
ARCHITECTURE

# A201

EXT. ELEVATIONS

SCALE:  $3/16" = 1'-0"$   
DATE: 03-24-2023





4.02	STUCCO WALL - BURNISHED
4.05	BRICK HEADER/LINTEL
4.11	BRICK WALL
6.18	WOOD PERGOLA - PAINTED
7.01	SLATE SHINGLE ROOF
7.02	METAL FASCIA
7.04	HALF ROUND METAL GUTTER TO MATCH ROOF
8.13	GATE
10.01	METAL CHIMNEY CAP
26.01	METAL MOUNTED SCONCE

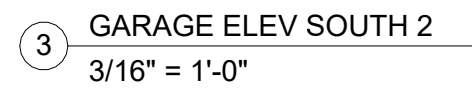
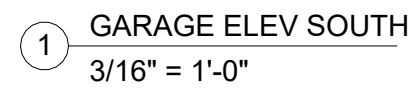
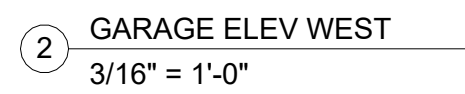
1717 WEST 30TH STREET, AUSTIN TX 78703

# A202

EXT. ELEVATIONS

SCALE: 3/16" = 1'-0"



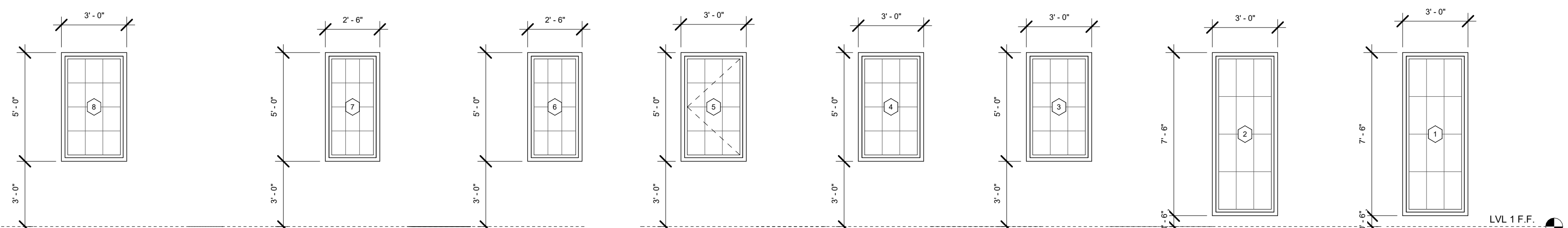


- |       |                                       |
|-------|---------------------------------------|
| 4.02  | STUCCO WALL - BURNISHED               |
| 4.11  | BRICK WALL                            |
| 6.18  | WOOD PERGOLA - PAINTED                |
| 7.01  | SLATE SHINGLE ROOF                    |
| 7.02  | METAL FASCIA                          |
| 7.03  | LOW SLOPE TPO ROOF                    |
| 7.04  | HALF ROUND METAL GUTTER TO MATCH ROOF |
| 7.06  | METAL SCUPPER                         |
| 8.13  | GATE                                  |
| 10.01 | METAL CHIMNEY CAP                     |

1717 WEST 30TH STREET, AUSTIN TX 78703

SCALE:  $3/16" = 1'-0"$   
DATE: 03-24-2023





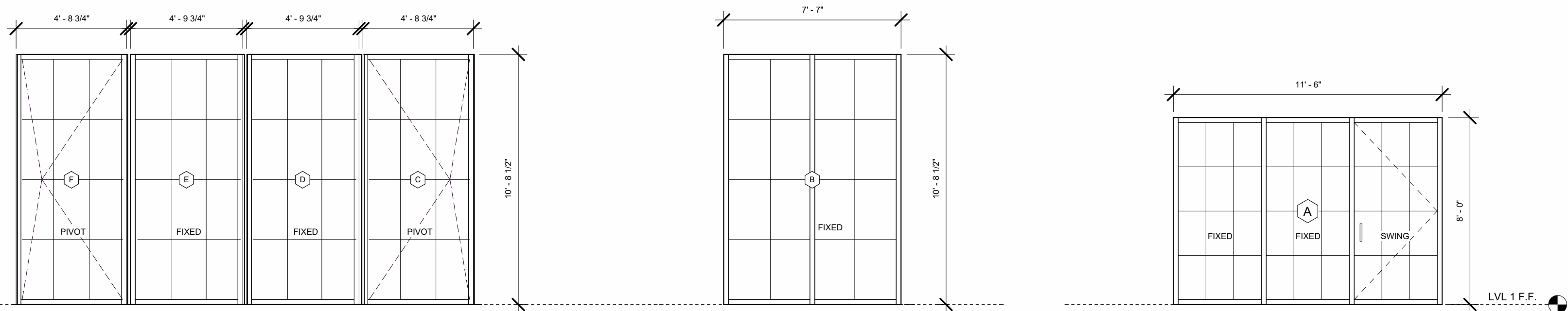
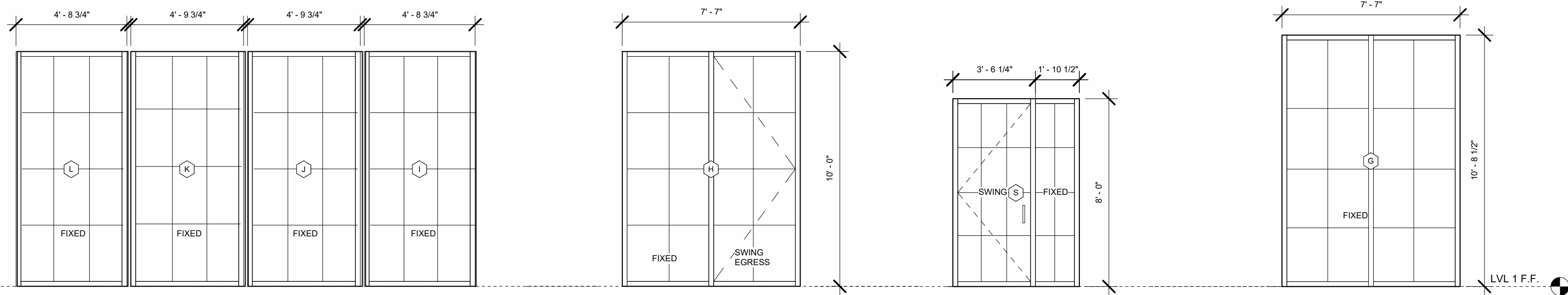
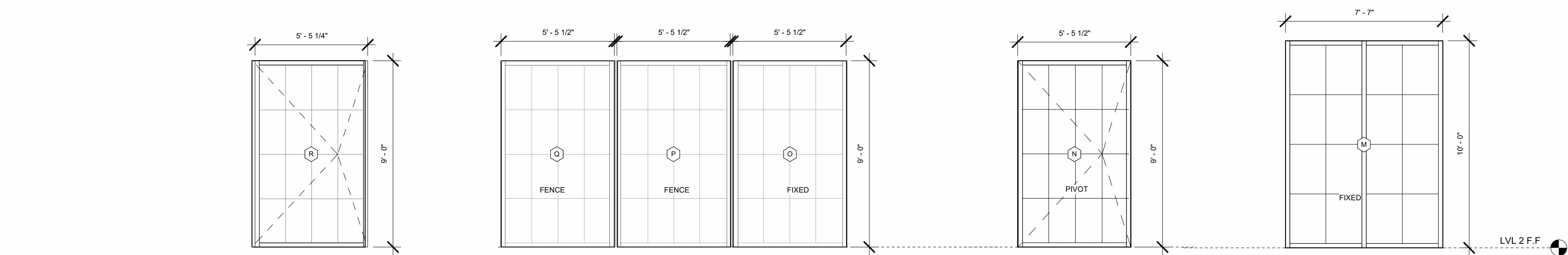
NUMBER	UNIT HEIGHT	UNIT WIDTH	SPEC
A	8' - 0"	11' - 6"	REHME STEEL OR SIM
B	10' - 8 1/2"	7' - 7"	REHME STEEL OR SIM
C	10' - 8 1/2"	4' - 8 1/2"	REHME STEEL OR SIM
D	10' - 8 1/2"	4' - 9 1/2"	REHME STEEL OR SIM
E	10' - 8 1/2"	4' - 9 1/2"	REHME STEEL OR SIM
F	10' - 8 1/2"	4' - 8 1/2"	REHME STEEL OR SIM
G	10' - 8 1/2"	7' - 7"	REHME STEEL OR SIM
H	10' - 0"	7' - 7"	REHME STEEL OR SIM
I	10' - 0"	4' - 8 1/2"	REHME STEEL OR SIM
J	10' - 0"	4' - 9 1/2"	REHME STEEL OR SIM
K	10' - 0"	4' - 9 1/2"	REHME STEEL OR SIM
L	10' - 0"	4' - 8 1/2"	REHME STEEL OR SIM
M	10' - 0"	7' - 7"	REHME STEEL OR SIM
N	9' - 0"	5' - 5"	REHME STEEL OR SIM
O	9' - 0"	5' - 5 1/2"	REHME STEEL OR SIM
P	9' - 0"	5' - 6 1/2"	REHME STEEL OR SIM
Q	9' - 0"	5' - 5 1/2"	REHME STEEL OR SIM
R	9' - 0"	5' - 5"	REHME STEEL OR SIM
S	8' - 0"	5' - 4 1/2"	REHME STEEL OR SIM

SCALE: 1/4" = 1'-0"

DATE: 03-24-2023

1717 WEST 30TH STREET, AUSTIN TX 78703



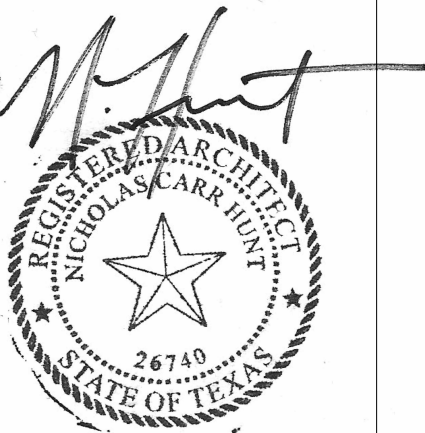


WINDOW SCHEDULE			
NUMBER	UNIT HEIGHT	UNIT WIDTH	SPEC
1	7' - 6"	3' - 0"	
2	7' - 6"	3' - 0"	
3	5' - 0"	3' - 0"	
4	5' - 0"	3' - 0"	
5	5' - 0"	3' - 0"	
6	5' - 0"	2' - 6"	
7	5' - 0"	2' - 6"	
8	5' - 0"	3' - 0"	
9	5' - 0"	3' - 0"	
10	5' - 0"	3' - 0"	
11	5' - 0"	3' - 0"	
12	5' - 0"	3' - 0"	
13	5' - 0"	3' - 0"	
14	5' - 0"	3' - 0"	
15	7' - 6"	3' - 0"	
16	7' - 6"	3' - 0"	
17	7' - 6"	3' - 0"	
18	7' - 6"	3' - 0"	
19	6' - 0"	3' - 0"	
20	6' - 0"	3' - 0"	
21	6' - 0"	3' - 0"	
22	4' - 6"	3' - 0"	
23	4' - 6"	3' - 0"	
24	5' - 0"	3' - 0"	
25	5' - 0"	3' - 0"	
26	5' - 0"	3' - 0"	
27	5' - 0"	3' - 0"	
28	5' - 0"	3' - 0"	
29	5' - 0"	3' - 0"	
30	5' - 0"	3' - 0"	
31	5' - 0"	3' - 0"	
32	6' - 0"	3' - 0"	
33	6' - 0"	3' - 0"	
34	6' - 0"	3' - 0"	
35	6' - 0"	3' - 0"	
36	5' - 0"	3' - 0"	
37	5' - 0"	3' - 0"	
38	5' - 0"	4' - 2"	
39	5' - 0"	4' - 2"	
40	5' - 0"	4' - 2"	
41	3' - 8"	3' - 6"	
42	3' - 8"	3' - 6"	
43	3' - 8"	3' - 6"	

NUMBER	UNIT HEIGHT	UNIT WIDTH	SPEC
A	8' - 0"	11' - 6"	REHME STEEL OR SIM
B	10' - 8 1/2"	7' - 7"	REHME STEEL OR SIM
C	10' - 8 1/2"	4' - 8 1/2"	REHME STEEL OR SIM
D	10' - 8 1/2"	4' - 9 1/2"	REHME STEEL OR SIM
E	10' - 8 1/2"	4' - 9 1/2"	REHME STEEL OR SIM
F	10' - 8 1/2"	4' - 8 1/2"	REHME STEEL OR SIM
G	10' - 8 1/2"	7' - 7"	REHME STEEL OR SIM
H	10' - 0"	7' - 7"	REHME STEEL OR SIM
I	10' - 0"	4' - 8 1/2"	REHME STEEL OR SIM
J	10' - 0"	4' - 9 1/2"	REHME STEEL OR SIM
K	10' - 0"	4' - 9 1/2"	REHME STEEL OR SIM
L	10' - 0"	4' - 8 1/2"	REHME STEEL OR SIM
M	10' - 0"	7' - 7"	REHME STEEL OR SIM
N	9' - 0"	5' - 5"	REHME STEEL OR SIM
O	9' - 0"	5' - 5 1/2"	REHME STEEL OR SIM
P	9' - 0"	5' - 6 1/2"	REHME STEEL OR SIM
Q	9' - 0"	5' - 5 1/2"	REHME STEEL OR SIM
R	9' - 0"	5' - 5"	REHME STEEL OR SIM
S	8' - 0"	5' - 4 1/2"	REHME STEEL OR SIM

REV #  
DATE

DESCRIPTION



1411 ETHRIDGE AVENUE  
AUSTIN TX 78703

1717 WEST 30TH STREET, AUSTIN TX 78703

hunt  
ARCHITECTURE

A221  
WINDOWS

SCALE: 1/4" = 1'-0"

DATE: 03-24-2023