

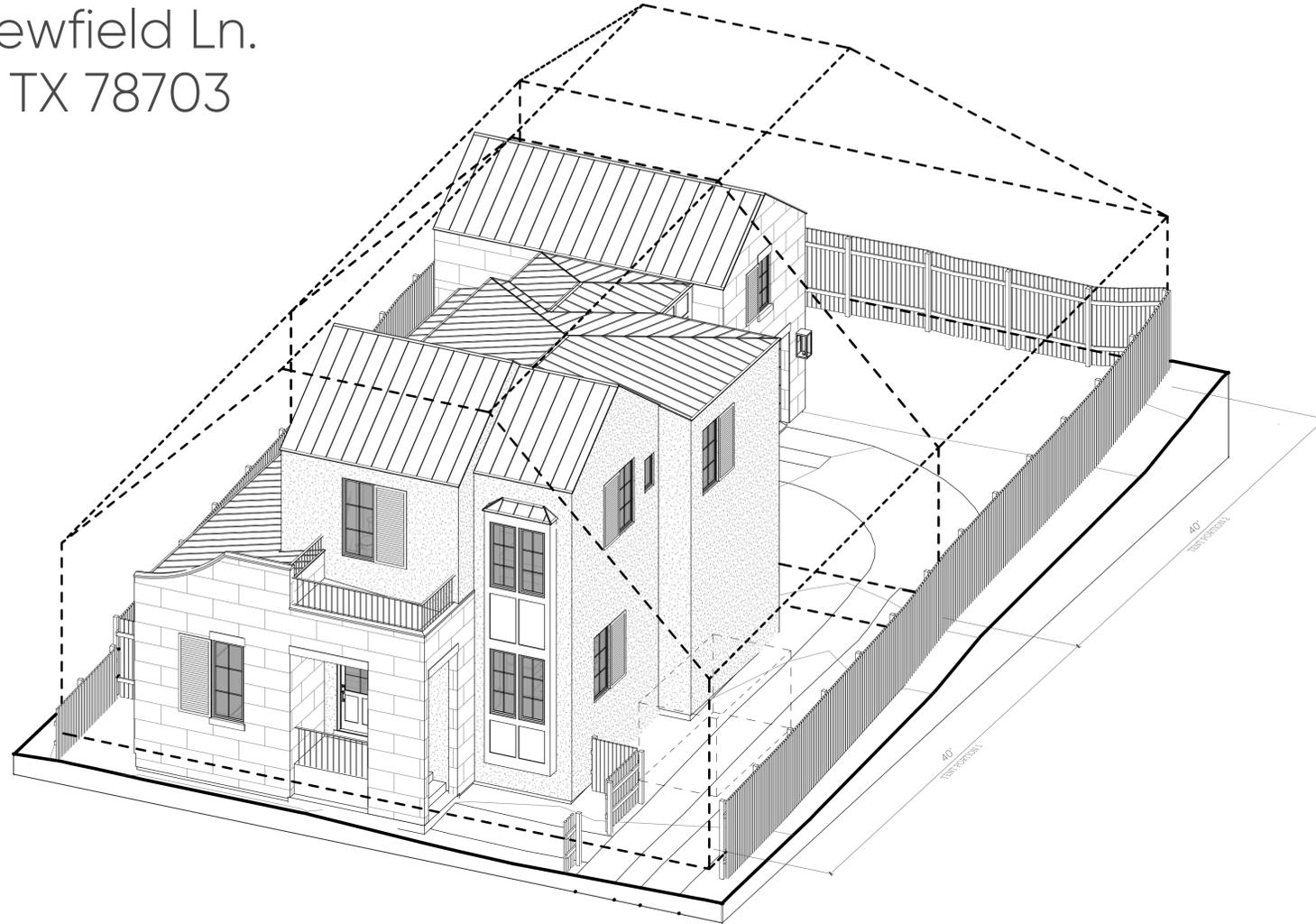
## 1505 Newfield Lane – Complete Demo and New Construction

We are proposing to demolish the existing SFR and build a new SFR at 1505 Newfield Lane. The new build would be 2 stories in height, tiered and set back, and oriented perpendicular to the street, with the new building width to match the original.

The character of the street is a mix of poorly maintained wood siding, eclectic stone and painted brick, with styles ranging from craftsman and tudor to builder-grade specials and modern boxes. The exterior of the current SFR was completely remodeled in 2008 with BP 2008-083717 that started altering it's original historic characteristics. Some examples of the mixed nature of the street is on the next block down, 2105, 2109, 2111 Newfield and 1808 Niles.

# Newfield Villa

1505 Newfield Ln.  
Austin, TX 78703



## Project Info

<b>Project Description</b>	<b>Zoning</b>	<b>Climate Zone</b>
New 2-story residence	R-3	2A
<b>Legal Description</b>	<b>Front Yard Setback</b>	<b>Roof/Ceiling</b>
Lot 72 Enfield F	25'	R-49
<b>Neighborhood /AHJ</b>	<b>Side Yard Setback</b>	<b>Ext. Wall</b>
Austin	5'	R-13
<b>Use Group</b>	<b>Rear Yard Setback</b>	<b>Floor</b>
R-3	10'	R-19
<b>Construction Type</b>	<b>Max. Building Coverage</b>	<b>Crawlspace</b>
F-4	10%	R-13
<b>Gross Area</b>	<b>Max. Impervious Coverage</b>	<b>Fenestration</b>
2,452 SF	45%	U 0.35
<b>Applicable Codes</b>	<b>Max Height</b>	SHGC 0.25
2021 IRC	32'	<b>Skylights</b>
2021 IECC		U 0.6
		SHGC 0.25

## Vicinity Map



## Project Team

<b>Architect</b>
Sloan Springer AIA
sloan@springer.archi
512.387.6433
<b>Structural</b>
Polvado Engineering Services
Stuart Polvado
rspolvado@yahoo.com
512.584.8734
<b>Contractor</b>
PSDB&C LLC
Jules Krnolek
jkrnolek@gmail.com
512.750.7903

## Sheet List

A0.0	Title Sheet
A0.1	Original Survey & Tree Exhibit
A0.2	Site Plans
A1.0	Proposed Plans
A2.0	Building Elevations
A2.1	Building Elevations
A3.0	Building Sections
A8.0	3D Views

## Drawing Conventions

<b>Level Line</b>	—LEVEL NAME
<b>Grid Line</b>	—ELEVATION
NEW #	EXISTING #
#	GRIDLINE DESIGNATION
#	INDICATES DIRECTION OF CUTTING PLANE
#	INDICATES SIMILAR SECTION
#	DRAWING ON SHEET
#	(SECTION NUMBER)
#	SHEET WHERE SECTION IS LOCATED
#	(SHEET NUMBER)
<b>Interior Elevation</b>	—INDICATES DIRECTION OF CUTTING PLANE
#	DRAWING ON SHEET
#	(ELEVATION NUMBER)
#	SHEET WHERE ELEVATION IS LOCATED
#	(SHEET NUMBER)
<b>Building Elevation</b>	—INDICATES DIRECTION OF CUTTING PLANE
#	DRAWING ON SHEET
#	(ELEVATION NUMBER)
#	SHEET WHERE ELEVATION IS LOCATED
#	(SHEET NUMBER)
<b>Callout</b>	—INDICATES SIMILAR DETAIL
SIM #	DRAWING ON SHEET
#	(DETAIL NUMBER)
#	SHEET WHERE DETAIL IS LOCATED
#	(SHEET NUMBER)
#	INDICATES APPROX. EXTENTS OF DETAIL
<b>Revision Cloud Tag</b>	—REVISION NUMBER
#	REVISION CLOUD COMMENT
#	ADDITIONAL REVISION COMMENTS, WHERE APPLICABLE
#	APPROX. EXTENT OF REVISION

<b>Drawing Label</b>	—DRAWING NUMBER ON SHEET
#	<b>Drawing Title</b>
1/8" = 1'-0"	—SCALE
<b>Dimension</b>	—DIMENSION TO FACE (TYPICAL)
—	—DIMENSION TO CENTERLINE
<b>Room Tag</b>	—ROOM NAME
101	—ROOM NUMBER
<b>Wall Tag</b>	—(SEE WALL TYPES & PARTITION SCHEDULE FOR ADDTL. INFO.)
#	—INFORMATION DESIGNATION
#	—APPROX. THICKNESS
#	—WALL TYPE
<b>Door Tag</b>	—DOOR NUMBER
#	—SEE DOOR SCHEDULE
#	EX DENOTES EXISTING
#	TO REMAIN
<b>Window Tag</b>	—WINDOW NUMBER
#	—SEE WINDOW SCHEDULE
#	EX DENOTES EXISTING
#	TO REMAIN
<b>Storefront Tag</b>	—STOREFRONT NUMBER
#	—SEE STOREFRONT ELEVATIONS
#	EX DENOTES EXISTING TO REMAIN
<b>Finish Tag</b>	—FINISH LABEL
F-#	—SEE FINISH SCHEDULE

## General Notes

- Do not scale drawings. Contact Architect upon discovery of missing information or conflicts in drawings.
- Structural, mechanical, electrical, plumbing, and fire engineering to be provided by others. Design to be coordinated with the Architect prior to start of construction.
- Contractor shall verify all existing conditions prior to initiating any portion of the work.
- Architect assumes no responsibility for any changes not authorized by the Architect.
- Window sizes are approximate unit dimensions. Verify final size and rough opening dimensions with manufacturer.
- Dimensions are taken from face of stud and centerline of fixture/opening unless otherwise noted (new constr. only - dimensions to existing constr. are from finished/exposed surface).

## Abbreviations

ABV	ABOVE	EA	EACH OR EXHAUST AIR	JT	JOINT	RAD	RADIUS
AFF	ABOVE FINISHED FLOOR	ELEC	ELECTRICAL	JF	JOINT FILLER	REC	RECESSED
ACOUST	ACOUSTICAL	EC	ELECTRICAL CONTRACTOR	J	JOIST	REF	REFER. REFERENCE OR REFRIGERATOR
ACT	ACOUSTICAL CEILING TILE	EP	ELECTRICAL PANELBOARD	KIT	KITCHEN	RFL, REFL.	REFLECTED
ADDL	ADDITIONAL	ELEV	ELEVATION OR ELEVATOR	KW	KILOWATTS	REINFD	REINFORCED, REINFORCING
AGGR	AGGREGATE	ENCL	ENCLOSURE / ENCLOSED	LAV	LAVATORY	RESIL	RESILIENT
A/C	AIR CONDITIONING	EQ	EQUAL	LH	LEFT HAND	REV	REVISION, REVISED
ALUM	ALUMINUM	EQUIP	EQUIPMENT	L	LENGTH, LONG	RECD	REQUIRED
ANCH	ANCHOR, ANCHORAGE	EXH	EXHAUST	LT	LIGHT	RH	RIGHT HAND
ANOD	ANODIZED	EF	EXHAUST FAN	LP	LINEAL FOOT	RFG	ROOFING
APRX	APPROXIMATE	EXIST	EXISTING	LF	LINEAL FOOT	RO	ROUGH OPENING
ARCH	ARCHITECT (URAL)	E	EXISTING TO BE RELOCATED	LP	LOW POINT	R/O	RANGE & OVEN
AHJ	AUTHORITY HAVING JURISDICTION	EXP	EXPOSED	LVT	LUXURY VINYL TILE	RPM	ROTATIONS PER MINUTE
AVG	AVERAGE	EXT	EXTERIOR	MANUF/MFR	MANUFACTURE(R)	SAN	SANITARY
BSMT	BASEMENT	FL	FLOOR	MAS	MASONRY	SECT	SECTION
BRG	BEARING	FLR	FLOOR OR FLOORING	MO	MASONRY OPENING	SHT	SHEET
BLW	BELOW	FD	FLOOR DRAIN	MAT	MATERIAL(S)	SIM	SIMILAR
BTW	BETWEEN	FIN	FINISH, FINISHED	MAX	MAXIMUM	SK	SKETCH
BVL	BEVELED	FF	FINISHED FLOOR	MECH	MECHANICAL	MECH	MECHANICAL CONTRACTOR
BT	BITUMINOUS	FLSHG	FLASHING	MC	METAL	SPEC	SPECIFICATION(S)
BLK	BLOCK	FT	FEET, FOOT	MTL	METER(S)	SQ	SQUARE
BLKG	BLOCKING	FTG	FOOTING	M	METER(S)	SI	SQUARE INCH
BD	BOARD	FOUND	FOUNDATION	MIN	MINIMUM	SF / SQFT	SQUARE FEET (FOOT)
BO	BOTTOM OF	FRMG	FRAMING, FRAME	MISC	MISCELLANEOUS	SY	SQUARE YARD
BLDG	BUILDING	FR GL	FROSTED GLASS	MT	MOUNTED, MOUNTING	SS	STAINLESS STEEL
CSMT	CASEMENT	GA	GAGE, GAUGE	MW	MICROWAVE	STD	STANDARD
CS	CAST STONE	GAL	GALLONS	NRC	NOISE REDUCTION COEFFICIENT	STL	STEEL
CLG	CEILING	GALV	GALVANIZED	NOM	NOMINAL	STR	STRUCTURE, STRUCTURAL
CH	CEILING HEIGHT	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	SUSP	SUSPENDED	T&G	TONGUE & GROOVE
CL	CENTER LINE	GL	GLASS, GLAZING	NIC/NIS	NOT IN CONTRACT/SCOPE	T&G	TO BE CONFIRMED
CER	CERAMIC	GL	GLASS, GLAZING	NTS	NOT TO SCALE	T&G	TO BE DETERMINED
CT	CERAMIC TILE	GPM	GALLONS PER MINUTE	OC	ON CENTER(S)	THK	THICKNESS
CIR	CIRCLE	GRD	GRADE, GRADING	OPG	OPENING	TO	TOP OF
CL	CENTERLINE	GWB	GYPSON WALL BOARD	OPP	OPPOSITE	TOD	TOP OF DECK
CO	CLEAN OUT	HB	HOSE BIB	OD	OUTSIDE DIAMETER/	TOP	TOP OF PLATE
COL	COLUMN	HDW	HARDWARE	OA	OVERALL OR OUTSIDE AIR	TOR	TOP OF ROOF
CONC	CONCRETE	HDR	HEADER	PDC	POWDER COATED	TOS	TOP OF SLAB
CMU	CONCRETE MASONRY UNIT	HTG	HEATING	PTD	PAINTED	TYP	TYPICAL
CONSTR	CONSTRUCTION	HVAC	HEATING/VENTILATING/AIR	PNL	PANEL	UON	UNLESS OTHERWISE NOTED
CONT	CONTINUOUS, CONTINUE	HT	HEIGHT	FED	FEDESTAL	VERT	VERTICAL
CJ	CONTROL JOINT	HM	HOLLOW METAL	PERF	PERFORATED	VIF	VERIFY IN FIELD
CORR	CORRUGATED	HORIZ	HORIZONTAL	PERM	PERIMETER	VCT	VINYL COMPOSITION TILE
CPT	CARPET	HP	HORSE POWER, HIGH POINT	PLAS	PLASTER	VTR	VENT THROUGH ROOM
CT/CTOP	COUNTER	HW	HOT WATER	PL	PLATE	WH	WATER HEATER
CU	CUBIC	IN	INCHES	PLYD	PLYWOOD	WF	WATER FOUNTAIN
CFM	CUBIC FEET PER MINUTE	INCL	INCLUDED, INCLUDING	PT	PRESSURE TREATED	WSCOT	WAINSCOT
CSMT	CASEMENT	INFO	INFORMATION	PSI	POUNDS PER SQUARE INCH	WC	WATER CLOSET
CW	COLD WATER/CURTAIN WALL	ID	INSIDE DIAMETER/	PREFAB	PREFABRICATED	WP	WEATHER/WATERPROOF
CYD	CUBIC YARD	INSUL	INSULATION	PLAM	PLASTIC LAMINATE	WWF	WELDED WIRE FABRIC
DEMO	DEMOLISH, DEMOLITION	INT	INTERIOR			W	WIDTH, WIDE
DEPR	DEPRESSED					WDW	WINDOW
DTL	DETAIL					W	WITH
DIAG	DIAGONAL					W/O	WITHOUT
DAIM	DIAMETER					WD	WOOD
DIM	DIMENSION					W/D	WASHER DRYER
DW	DISHWASHER					YD	YARD(S)
DIV	DIVISION						
DN	DOWN						
DR	DOOR						
DH	DOUBLE HUNG						
DS	DOWNSPOUT						
DWG	DRAWING						

1505 Newfield Ln.



No.	2217
Site	1505 Newfield Ln. Austin, TX 78703
# Revision	Date



Title Sheet

**A0.0**

Permit Set

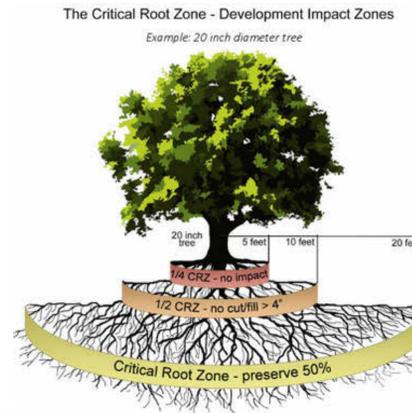
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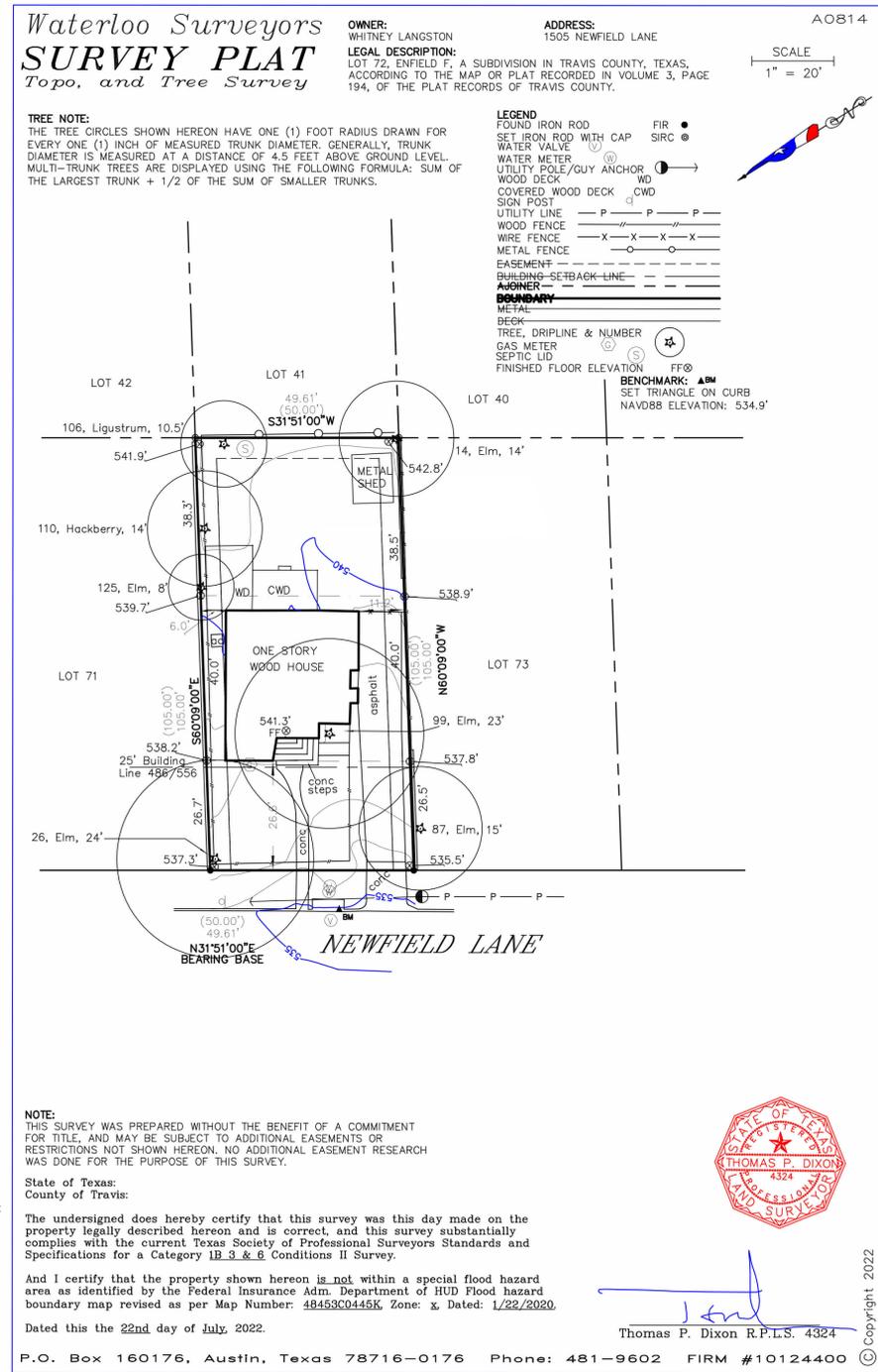
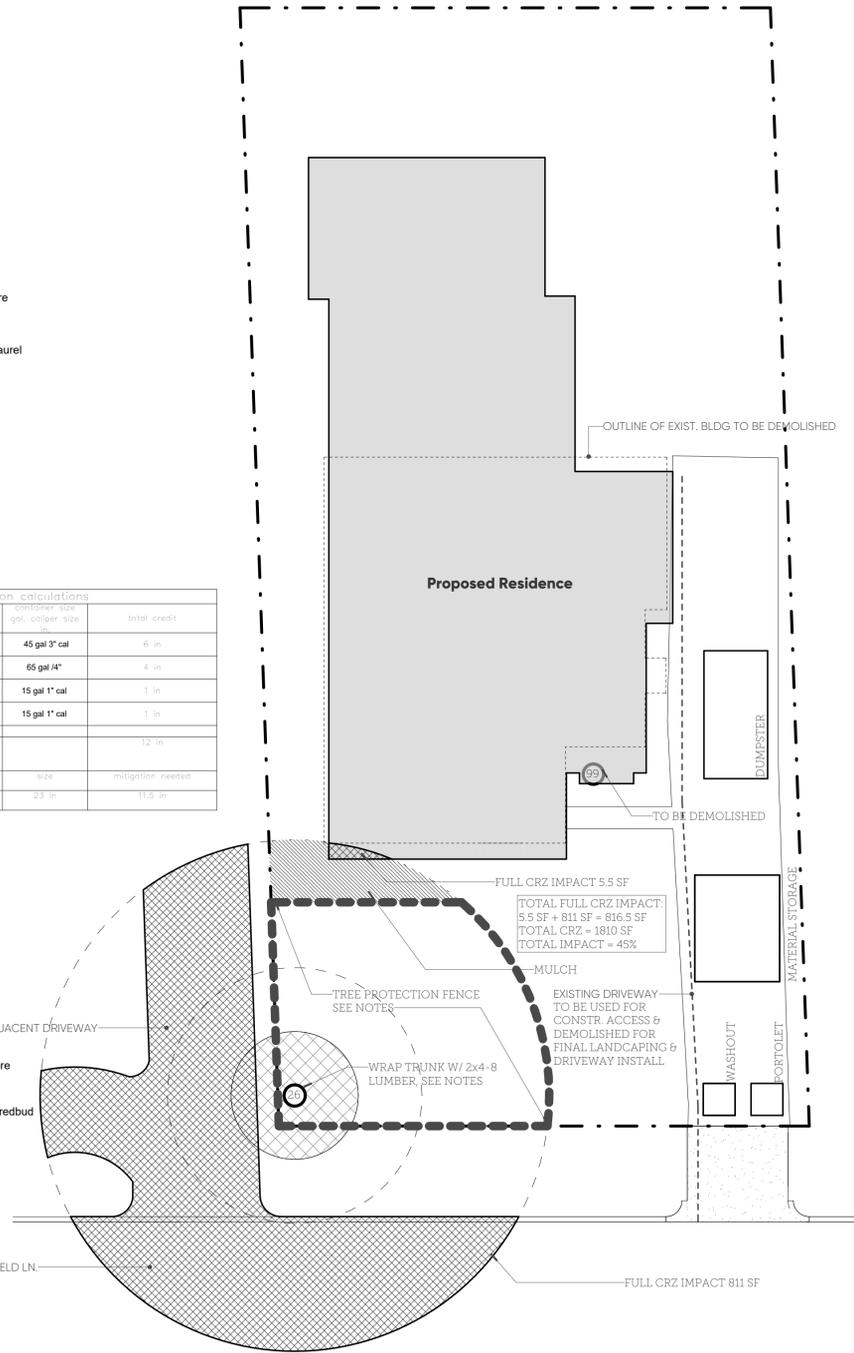
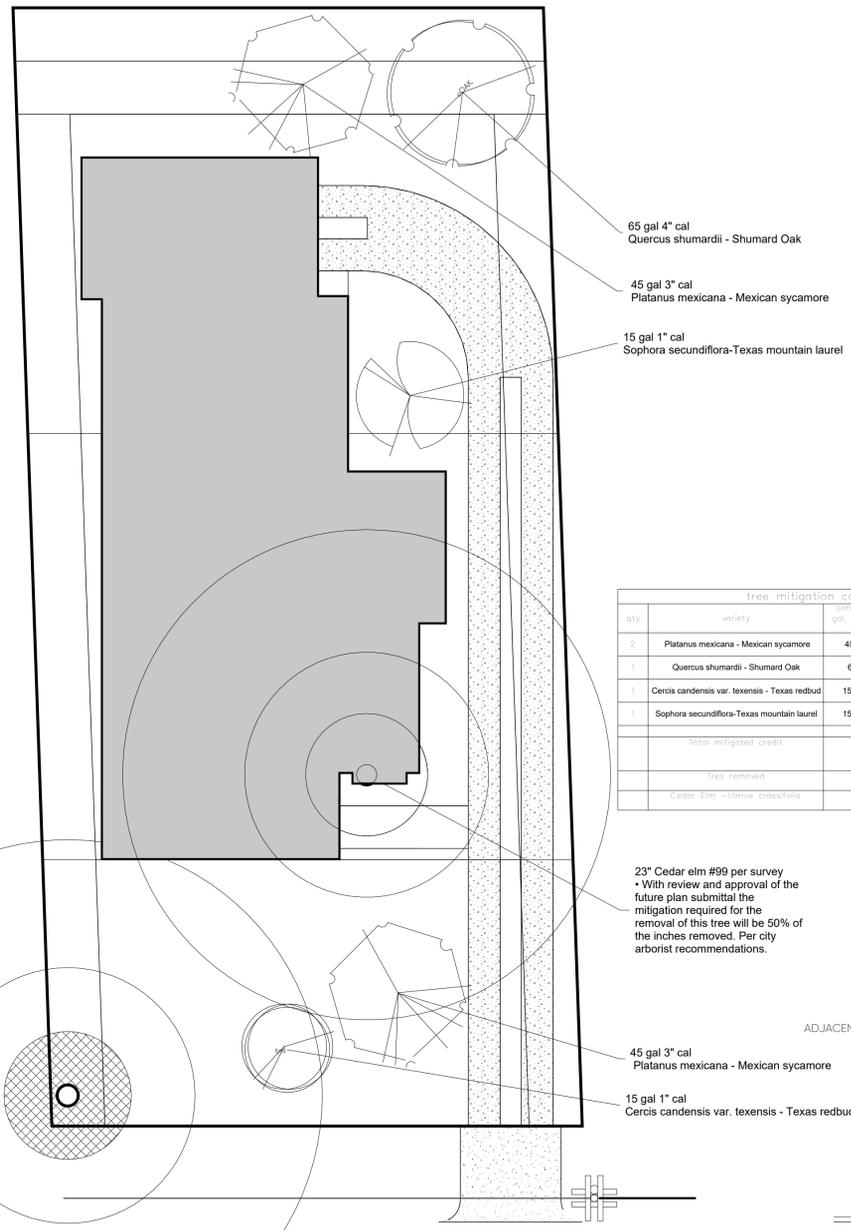
**CRZ Protected Tree Schedule (Existing)**

ID	TRUNK DIA	CRZ	1/2 CRZ	1/4 CRZ	NOTES
26	24"	24' - 0"	12' - 0"	6' - 0"	
99	23"	23' - 0"	11' - 6"	5' - 9"	TO BE REMOVED. SEE TP PERMIT NO. 2022 159015

**Tree Protection Notes**



- Fencing should protect the entire critical root zone (CRZ) area or as much of the CRZ as is practical. Fencing is required to be chain-link mesh at a minimum height of five feet (5'). When the tree protection fencing cannot incorporate the entire 1/2 critical root zone, an eight inch (8") layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the critical root zone.
- 2x4 or greater size planks (6' tall minimum) shall be strapped securely around protected tree trunks and root flares when protective fencing does not incorporate the entire 1/2 CRZ.
- Tree protection fencing must be on grade (flat post bases weighted down with sand bags) and must encompass the 1/4 CRZ at minimum.
- Account for forms, bracing, positive drainage, working areas, etc. when setting the foundation proximity to the 1/2 CRZ.
- Concrete line pump: plastic wrap connections in pump line to prevent slurry from leaching into ground and tree roots.
- Concrete truck: If heavy equipment is moved over any area of full CRZ, provide 3/4" ply or 2x4 lumber over 12" layer of mulch to bridge over roots and prevent compaction. After construction, reduce mulch to 3" max.



**1505 Newfield Ln.**

No.	Revision	Date
2217		



Original Survey & Tree Exhibit

**A0.1**

Permit Set  
03.03.23

**Demolition Legend**

-  TO BE DEMOLISHED
-  EXIST. WALL CONSTR. TO REMAIN
-  NOT IN SCOPE

**Demolition Notes**

- 1 REMOVE EXIST. HOUSE & STRUCT.
- 2 REMOVE EXIST. PATIO & DECK
- 3 REMOVE EXIST. SHED
- 4 REMOVE EXIST. FENCING
- 5 REMOVE EXIST. WALKWAY
- 6 REMOVE EXIST. DRIVEWAY
- 7 REMOVE EXIST. DYING PROTECTED TREE (TP PERMIT NO. 2022 159015)

**CRZ Tree Schedule**

ID	TRUNK DIA.	CRZ	1/2 CRZ	1/4 CRZ
26	24"	24' - 0"	12' - 0"	6' - 0"

**Allowable Coverage**

TOTAL LOT AREA	MAX LOT COVERAGE	TOTAL ALLOWED COVERAGE AREA	MAX IMPERVIOUS COVERAGE	TOTAL ALLOWED IMPERVIOUS AREA
5,247 SF	40%	2,099 SF	45%	2,361 SF

**Site Plan Legend**

-  ELECTRIC METER
-  GAS METER
-  UTILITY POLE
-  WATER METER
-  SEPTIC LID
-  ELECTRIC OVERHEAD
-  GAS LINE
-  WATER LINE
-  WASTE WATER LINE

**Gen. Site Notes**

1. Site plan drawn per Original Survey, see attached.
2. Site dimensions taken from face of building/site element, unless otherwise noted.
3. Contractor to regrade topography/finish grade to provide positive drainage away from building.
4. Civil engineering & landscaping by others.
5. Utility line locations are approximate.

**Visibility Notes**

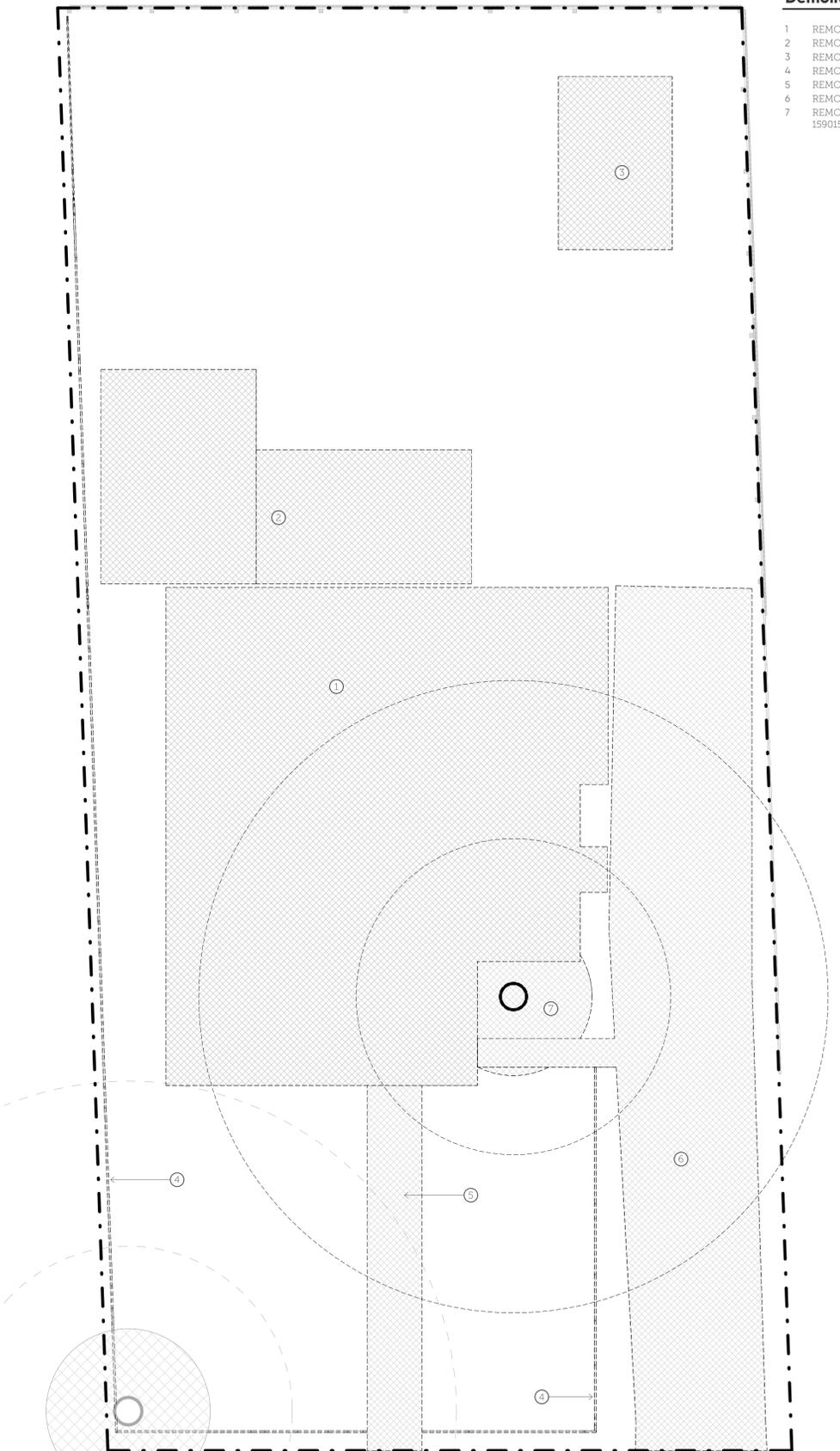
**Visible Bathroom Route**  
Min. clear opening of 32" beginning at the visible entrance and continuing through the living room, dining room, and kitchen, and be level with ramped or beveled changes at floor thresholds.

**Visible Bathroom**  
Door min. clear opening of 30" Provide lateral 2x6 wood blocking flush with wood stud edges and at a centerline height of 34" above finished floor level (except behind lavatories).

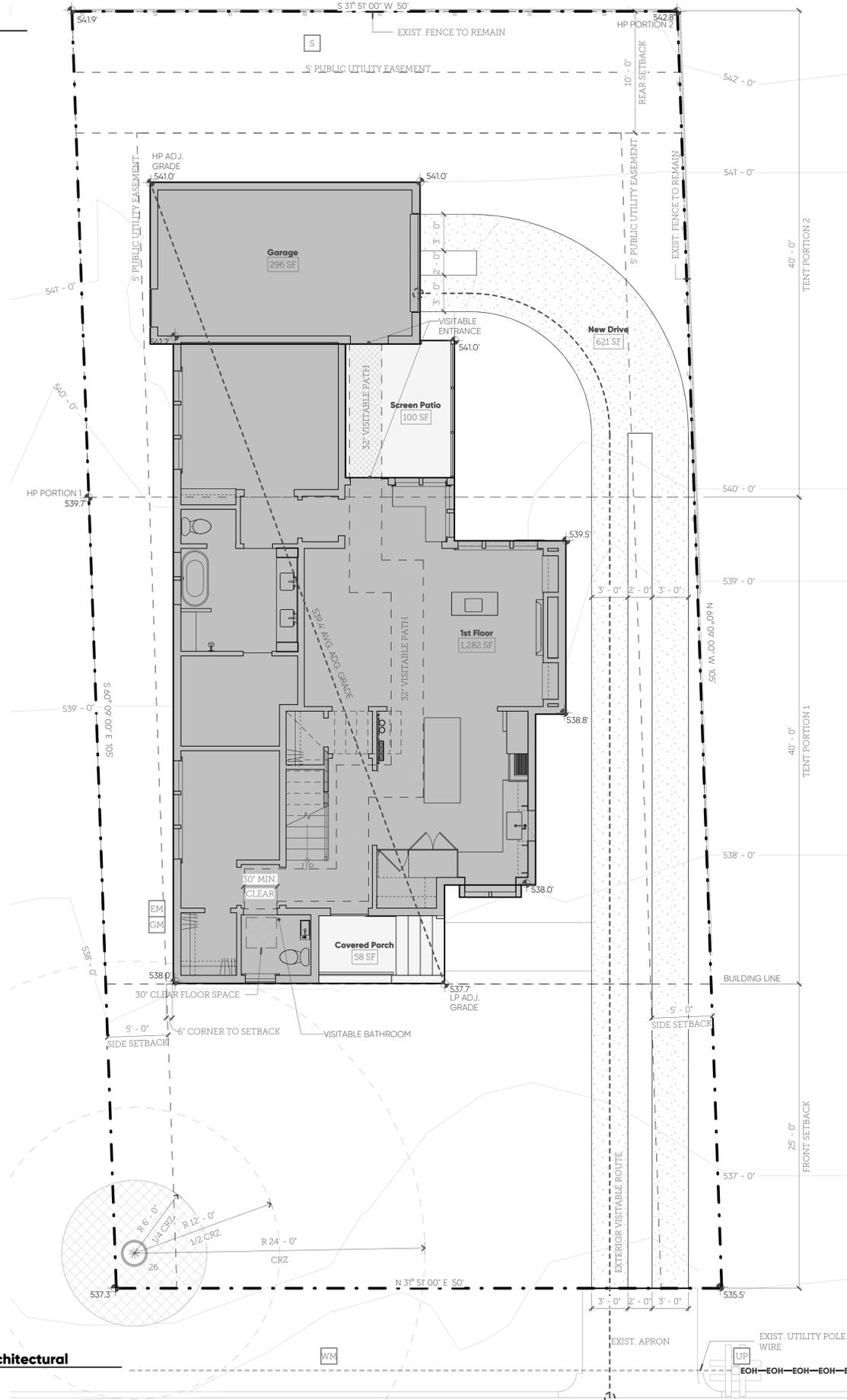
**Visible Dwelling Entrance**  
Dwelling shall be accessible by at least one no-step entrance with a beveled threshold of one-half (1/2") inch or less and a door with a clear width of at least 32".

**Visible Controls & Receptacles**  
1st floor of the dwelling must meet the following:  

- Light switches and environmental controls must be no more than 48" above finished floor.
- Outlets and receptacles must be at least 15" above finished floor, except for floor-mounted versions.



**2 Site Demolition Plan**  
3/16" = 1'-0"



**1 Site Plan - Architectural**  
3/16" = 1'-0"

**1505 Newfield Ln.**

No.	2217
Site	1505 Newfield Ln. Austin, TX 78703
# Revision	Date



Site Plans

**A0.2**

Permit Set  
03.03.23

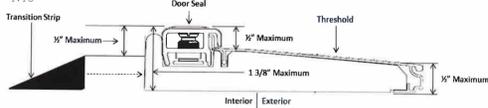
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**SloanSpringer** architect  
856.832.9789 Collingswood  
512.387.6433 Austin  
www.springer.archi

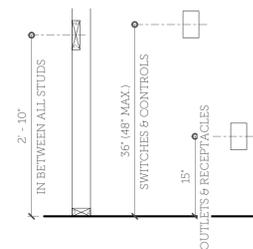
### Visitability Details

#### No-Step Entrance Threshold

Per City of Austin approved detail NTS



#### Blocking @ Visitable Bathroom Control & Receptacle Heights



#### Visitable Bathroom Route

Min. clear opening of 32\"/>

#### Visitable Bathroom

Door min. clear opening of 30\"/>

**Visitable Dwelling Entrance**  
Dwelling shall be accessible by at least one no-step entrance with a beveled threshold of one-half (1/2\") inch or less and a door with a clear width of at least 32\"/>

**Visitable Controls & Receptacles**  
1st floor of the dwelling must meet the following:  
• Light switches and environmental controls must be no more than 48\"/>

### Door Schedule

NO.	LOCATION	TYPE	WIDTH	HEIGHT	FINISH	HDWR SET	NOTES
101	Foyer	EXT GL	3'-0"	7'-0"		(none)	
102	Kitchen	CASED	6'-0"	7'-0"		(none)	
103	Clo.	SWING	2'-3"	5'-6"		(none)	
104	Living Rm.	CASED	9'-0"	7'-0"		(none)	
105	Screen Patio	EXT GL	3'-0"	7'-0"		(none)	
106	Screen Patio	SCREEN	2'-5"	7'-10 3/4"		(none)	
107	Garage	OVERHEAD	8'-0"	7'-0"		(none)	
108	Screen Patio	EXT GL	3'-0"	7'-0"		(none)	
109	Bedrm.	CASED	4'-0"	7'-0"		(none)	
110	Bedrm.	SWING	3'-0"	7'-0"		(none)	
111	Bathrm.	SWING	2'-3"	7'-0"		(none)	
112	Bathrm.	POCKET	2'-3"	7'-0"		(none)	
113	Bathrm.	POCKET	2'-3"	7'-0"		(none)	
114	Gym/Office	POCKET	2'-0"	7'-0"		(none)	
115	Gym/Office	SWING	3'-0"	7'-0"		(none)	
116	Pdrm.	SWING	2'-8"	7'-0"		(none)	
117	Foyer	CASED	3'-0"	7'-0"		(none)	
118	Garage	EXT SWING	3'-0"	7'-0"		(none)	
201	Bathrm.	POCKET	2'-3"	7'-0"		(none)	
202	Bedrm.	POCKET	2'-3"	7'-0"		(none)	
203	Bedrm.	SWING	3'-0"	7'-0"		(none)	
204	Laundry	SWING	3'-0"	7'-0"		(none)	
205	Bedrm.	SWING	3'-0"	7'-0"		(none)	
206	Bedrm.	SLIDING	5'-0"	6'-8"		(none)	
207	Bathrm.	SWING	2'-6"	7'-0"		(none)	

### Window Schedule VERIFY WITH MANUFACTURER FOR FINAL WINDOW & ROUGH OPENING SIZES PRIOR TO ORDERING

NO.	LOCATION	TYPE	WIDTH	HEIGHT	SILL HT.	FINISH	NOTES
101	Pdrm.	CASEMENT	2'-6"	6'-0"	2'-0"	BROWN/WOOD	
102	Kitchen	FIXED	2'-0"	5'-0"	3'-0"	PTD ACCENT	
103	Kitchen	FIXED	2'-0"	5'-0"	3'-0"	PTD ACCENT	
104	Kitchen	CASEMENT	2'-6"	5'-0"	3'-0"	BROWN/WOOD	
105	Living Rm.	CASEMENT	2'-0"	5'-0"	2'-0"	BROWN/WOOD	
106	Living Rm.	CASEMENT	2'-0"	5'-0"	2'-0"	BROWN/WOOD	
107	Living Rm.	CASEMENT	2'-0"	5'-0"	2'-0"	BROWN/WOOD	
108	Nook	FIXED	2'-0"	5'-0"	2'-0"	PTD ACCENT	
109	Nook	FIXED	2'-0"	5'-0"	2'-0"	PTD ACCENT	
110	Nook	FIXED	2'-0"	5'-0"	2'-0"	PTD ACCENT	
111	Nook	FIXED	2'-0"	5'-0"	2'-0"	PTD ACCENT	
112	Bedrm.	FIXED	1'-3"	2'-3"	4'-9"	BROWN/WOOD	
113	Bedrm.	CASEMENT	2'-6"	6'-0"	2'-0"	BROWN/WOOD	
114	Bedrm.	CASEMENT	2'-6"	6'-0"	2'-0"	BROWN/WOOD	
115	Bedrm.	CASEMENT	2'-6"	6'-0"	2'-0"	BROWN/WOOD	
116	Bathrm.	CASEMENT	2'-0"	6'-0"	2'-0"	BROWN/WOOD	
117	Bathrm.	CASEMENT	2'-0"	6'-0"	2'-0"	BROWN/WOOD	
118	Gym/Office	CASEMENT	2'-6"	6'-0"	2'-0"	BROWN/WOOD	
119	Gym/Office	CASEMENT	2'-6"	6'-0"	2'-0"	BROWN/WOOD	
120	Gym/Office	CASEMENT	2'-6"	6'-0"	2'-0"	BROWN/WOOD	
201	Bathrm.	CASEMENT	2'-6"	6'-0"	2'-6"	BROWN/WOOD	
202	Bedrm.	FIXED	2'-0"	5'-0"	1'-8"	PTD ACCENT	
203	Bedrm.	FIXED	2'-0"	5'-0"	1'-8"	PTD ACCENT	
204	Bedrm.	CASEMENT	2'-6"	5'-0"	3'-0"	BROWN/WOOD	
205	Hall	FIXED	1'-6"	2'-6"	4'-6"	BROWN/WOOD	
206	Laundry	CASEMENT	2'-6"	5'-0"	3'-0"	BROWN/WOOD	
207	Bathrm.	CASEMENT	2'-6"	5'-0"	3'-0"	BROWN/WOOD	
208	Bedrm.	FIXED	2'-0"	5'-0"	2'-6"	PTD ACCENT	
209	Bedrm.	FIXED	2'-0"	5'-0"	2'-6"	PTD ACCENT	
210	Bedrm.	FIXED	2'-0"	5'-0"	2'-6"	PTD ACCENT	
211	Bedrm.	FIXED	2'-0"	5'-0"	2'-6"	PTD ACCENT	
212	Bedrm.	FIXED	2'-0"	5'-0"	2'-6"	PTD ACCENT	
213	Bedrm.	CASEMENT	2'-6"	5'-0"	3'-0"	BROWN/WOOD	
214	Hall	CASEMENT	2'-6"	5'-0"	3'-0"	BROWN/WOOD	
215	Garage	CASEMENT	2'-0"	4'-0"	10'-6"	BROWN/WOOD	SILL HT FROM 1ST FL.
216	Bedrm.	FIXED	1'-3"	2'-3"	4'-9"	BROWN/WOOD	

### Accessory Schedule

SYMBOL	DESCRIPTION	MANUF.	MODEL	FINISH	QTY.	NOTES
		<varies>	<varies>		43	<varies>

### Plumbing Schedule

SYMBOL	DESCRIPTION	MANUF.	MODEL	FINISH	QTY.	NOTES
	TOILET	AMERICAN STANDARD	221CA004.020		9	
					4	

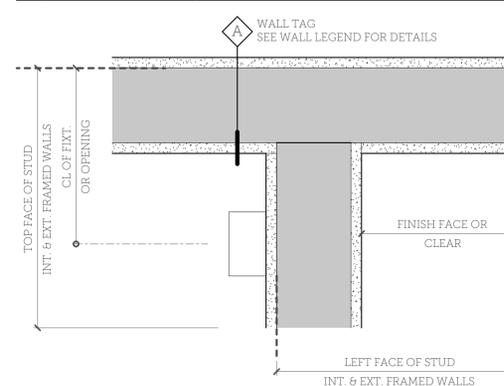
### Lighting Schedule

SYMBOL	DESCRIPTION	MANUF.	MODEL	FINISH	QTY.	NOTES
	CLG FAN	MODERN FAN CO.	ALT-HUG-GW-42-WH-NL-001		1	
	EXH LT				2	
	PENDANT				1	
	RECESSED CAN				35	
	WALL SCONCE	TRANS GLOBE LTG	40751		3	

### Equipment Schedule

SYMBOL	DESCRIPTION	MANUF.	MODEL	FINISH	QTY.	NOTES
D	7.3 CU. FT. GAS DRYER w/ FRONT CONTROL	LG	DLGY1202W		1	DRYER
EXH					1	10\"/>
REF					1	PANEL-READY
W	4.3 CU. FT. TOP LOAD WASHER w/ FRONT CONTROL	LG	WT1201CW		1	WASHER

### Typ. Dimension Diagram



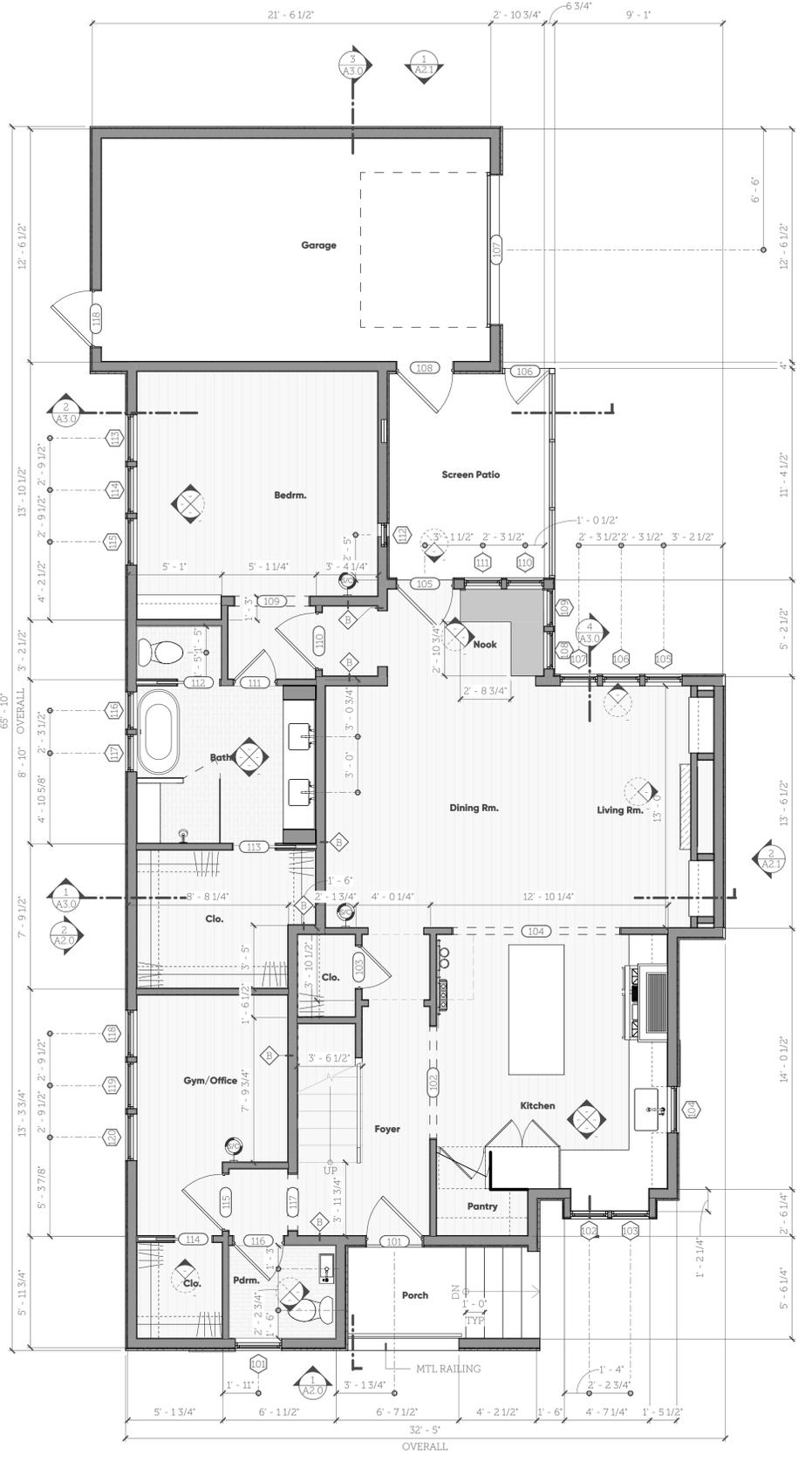
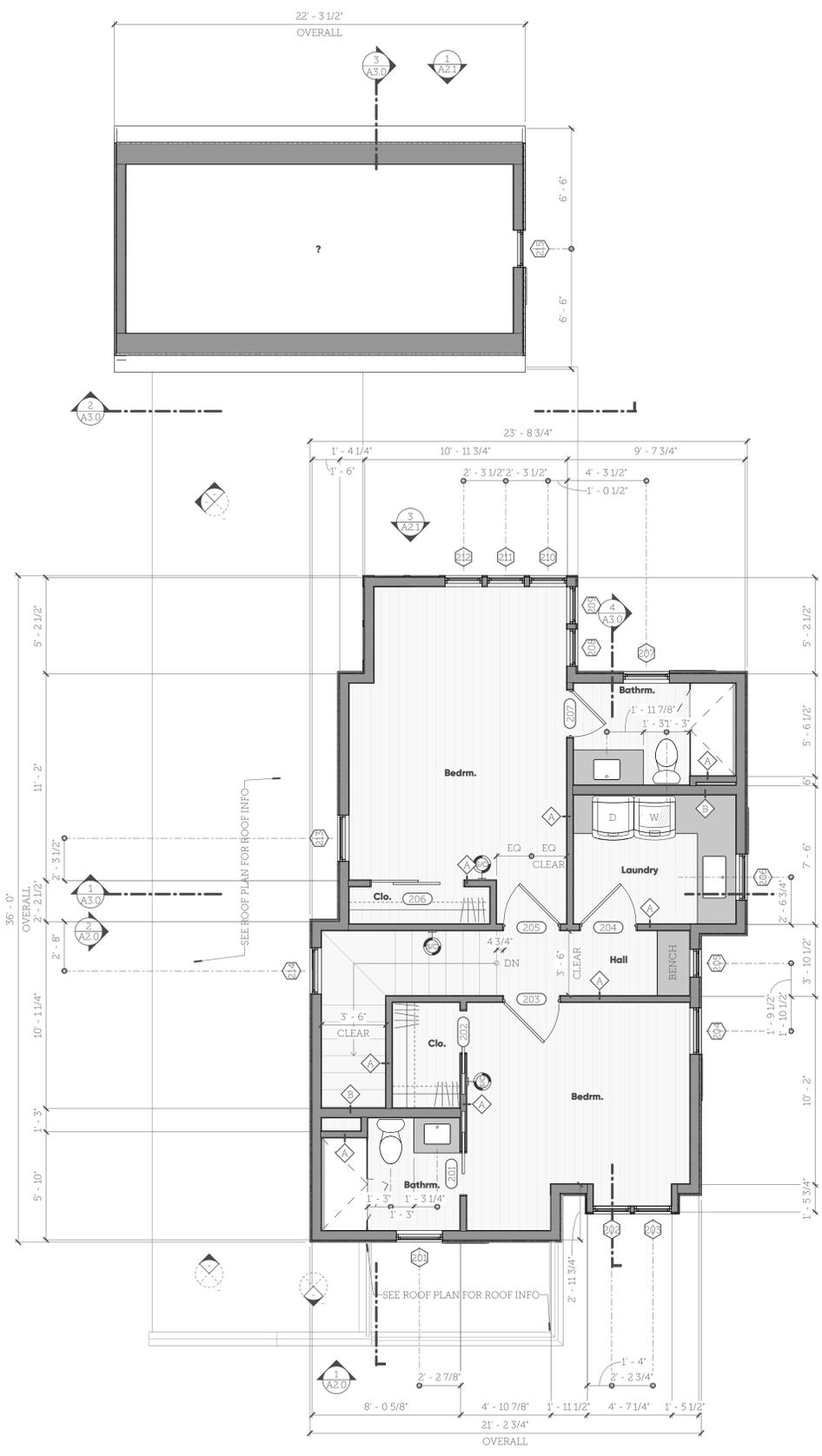
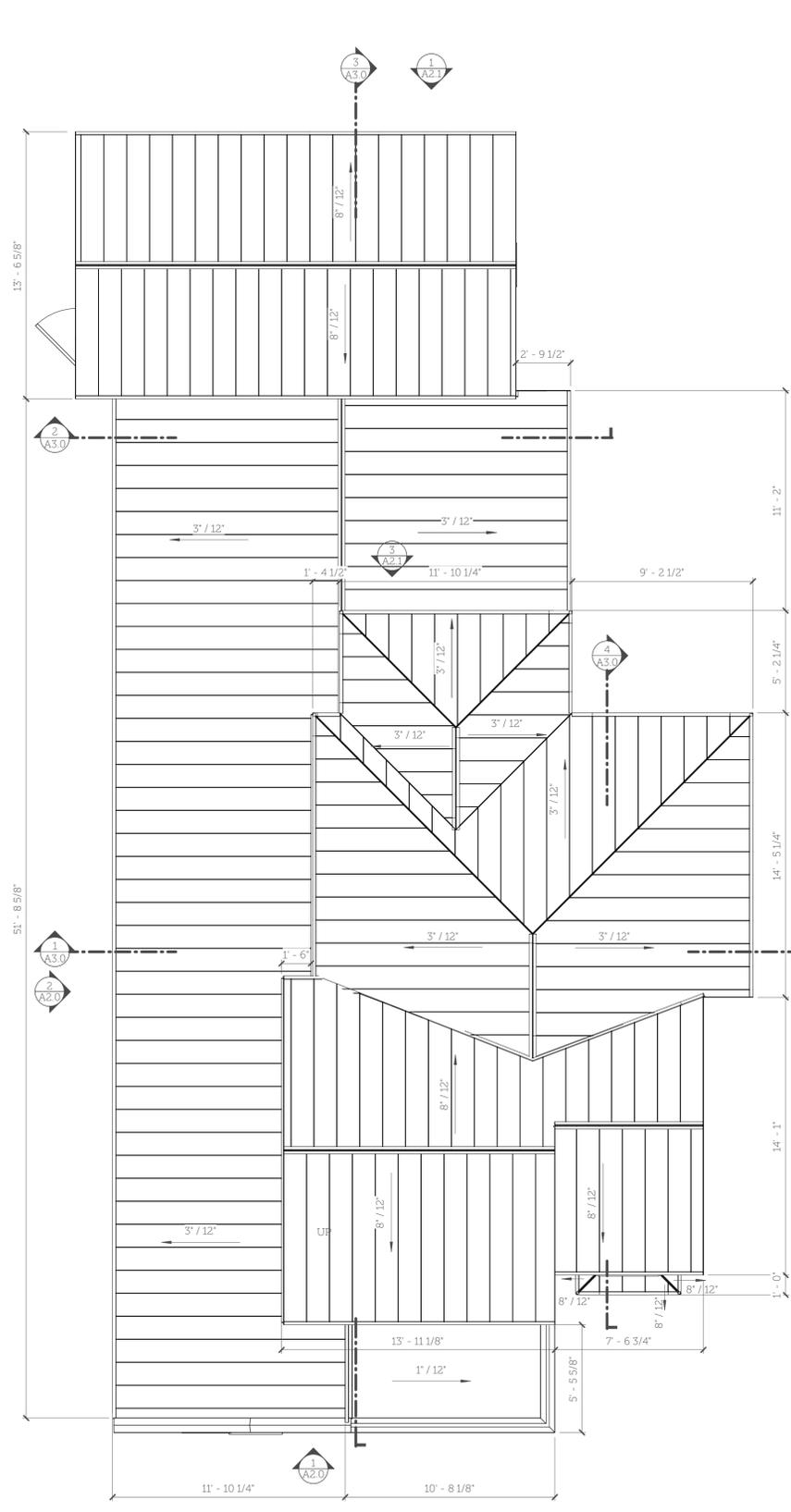
# 1505 Newfield Ln.

**SloansSpringer** Architect  
856.832.9789 Collingswood  
512.387.6433 Austin  
www.sloanspringer.archt

No.	2217
Site	1505 Newfield Ln. Austin, TX 78703
# Revision	Date



General Details & Schedules  
**A0.3**  
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03.03.23  
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**Constr. Legend**

	NEW WALL CONSTR.
	EXIST. WALL CONSTR. TO REMAIN
	NEW CASEWORK
	NOT IN SCOPE

- Gen. Roof Notes**
- Vent all mechanical and plumbing fixtures per local code & manuf. requirements.
  - All venting through roof shall be painted to match roof color.
  - Flashing, underlayment, fastening, and penetration details per roofing manuf. Installer to verify with Architect.
  - All roof dimensions are to edge of roof or intersection/ridge/valley, unless otherwise noted. See sections for overhang info.

- Visitability Notes**
- Visitable Bathroom Route**  
Min. clear opening of 32" beginning at the visitable entrance and continuing through the living room, dining room, and kitchen, and be level with ramped or beveled changes at floor thresholds.
- Visitable Bathroom**  
Door min. clear opening of 30" Provide lateral 2x6 wood blocking flush with wood stud edges and at a centerline height of 34" above finished floor level (except below lavatories).
- Visitable Dwelling Entrance**  
Dwelling shall be accessible by at least one no-step entrance with a beveled threshold of one-half (1/2) inch or less and a door with a clear width of at least 32".
- Visitable Controls & Receptacles**  
1st floor of the dwelling must meet the following:  
  - Light switches and environmental controls must be no more than 48" above finished floor.
  - Outlets and receptacles must be at least 15" above finished floor, except for in-m-mounted versions.

**3 Roof Plan**  
1/4" = 1'-0"

**2 2nd Fl. Plan**  
1/4" = 1'-0"

**1 1st Fl. Plan**  
1/4" = 1'-0"

**1505 Newfield Ln.**

**SloanSpringer** architect  
 856.832.9789 Collingswood  
 512.387.6435 Austin  
 www.sloanpringer.arch

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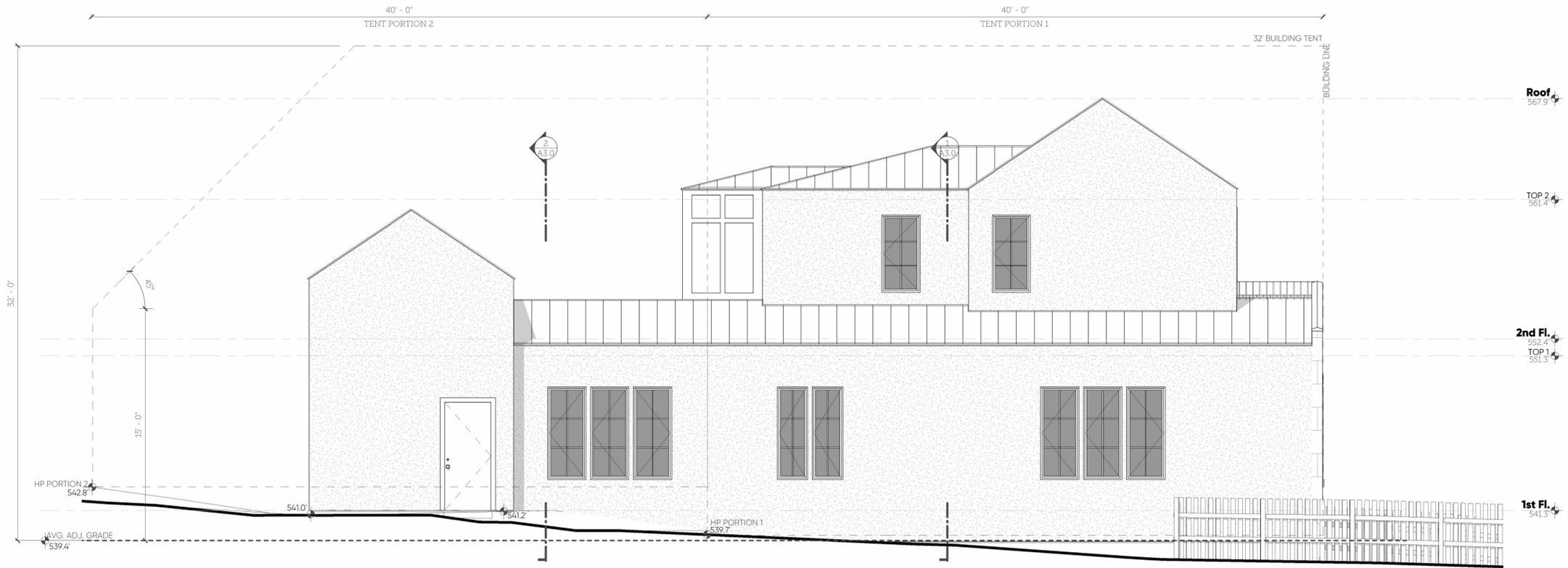


Proposed Plans

**A1.0**

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**2 Northeast Elevation**  
1/4" = 1'-0"



**1 Northwest Elevation**  
1/4" = 1'-0"

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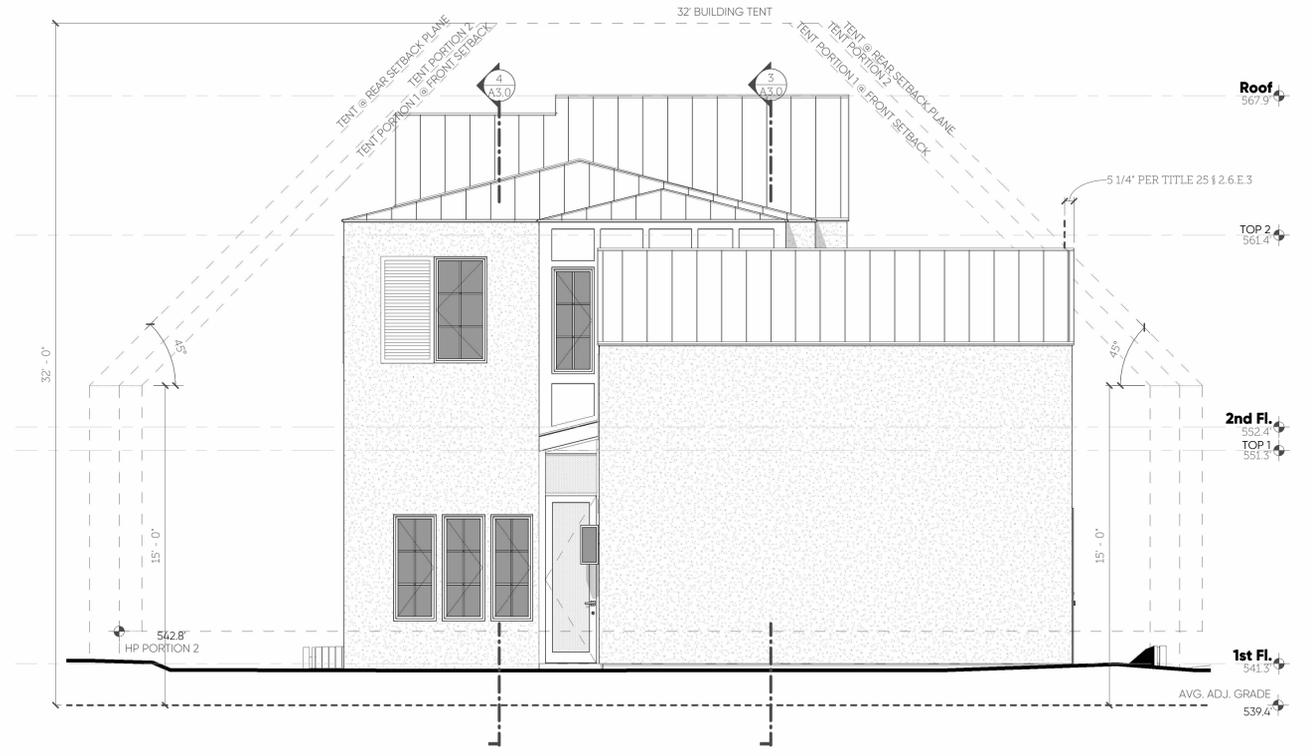
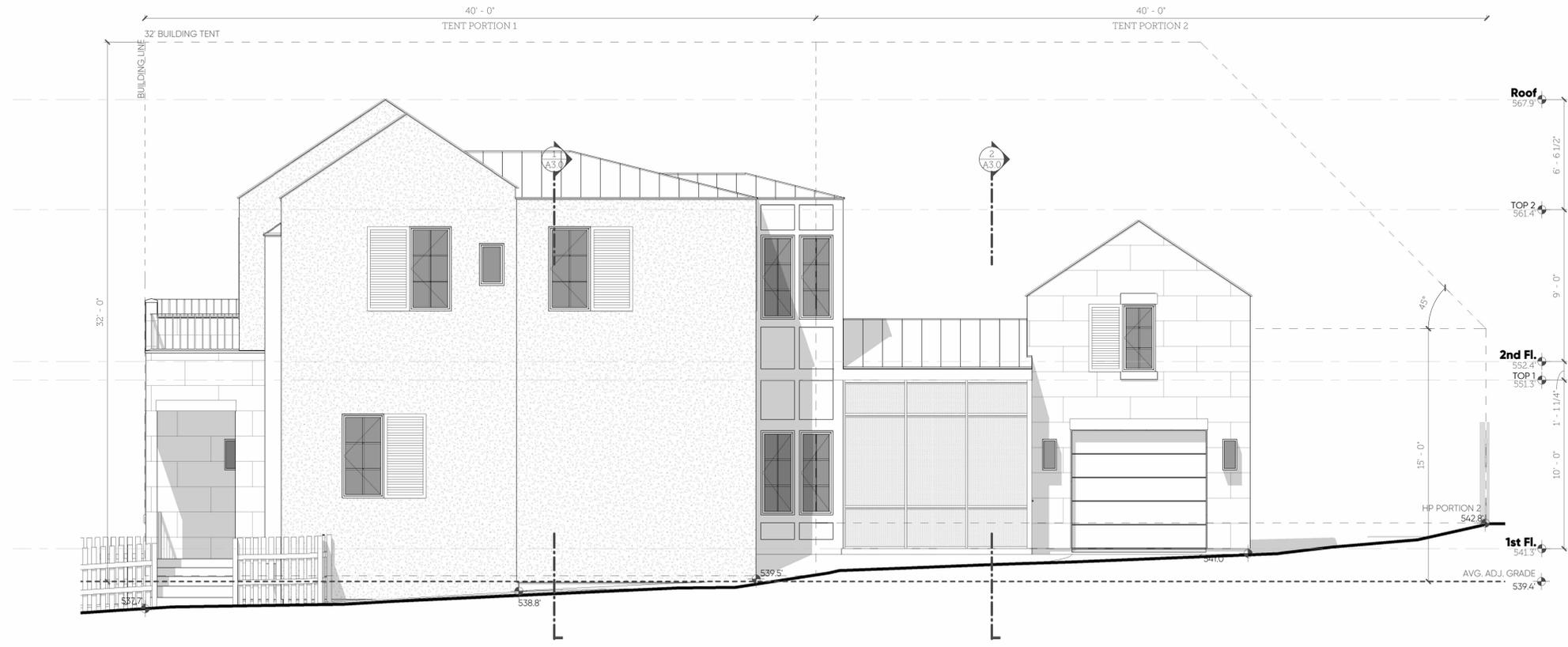
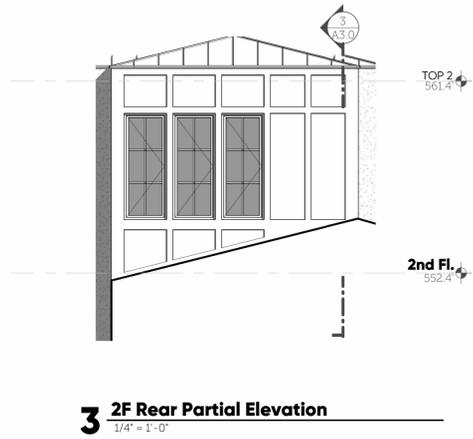


Building Elevations

**A2.0**

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Building Elevations

**A2.1**

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**4 Back Corner (East) View**  
SEE BUILDING ELEVATIONS 2/ A2.0  
1/ A2.1



**2 Front Corner (West) View**  
SEE BUILDING ELEVATIONS 1/ A2.0  
2/ A2.1



**3 Back Corner (South) View**  
SEE BUILDING ELEVATIONS 1/ A2.1  
2/ A2.1



**1 Front (Northwest) View**  
SEE BUILDING ELEVATION 1/ A2.0

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3D Views  
**A8.0**  
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03.03.23



Back



Front

# Existing House Photos

## Existing Materials

Aluminum siding (not original)  
Vinyl windows (not original)  
Asphalt shingle roof (not original)

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# Existing House Context Photos

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