

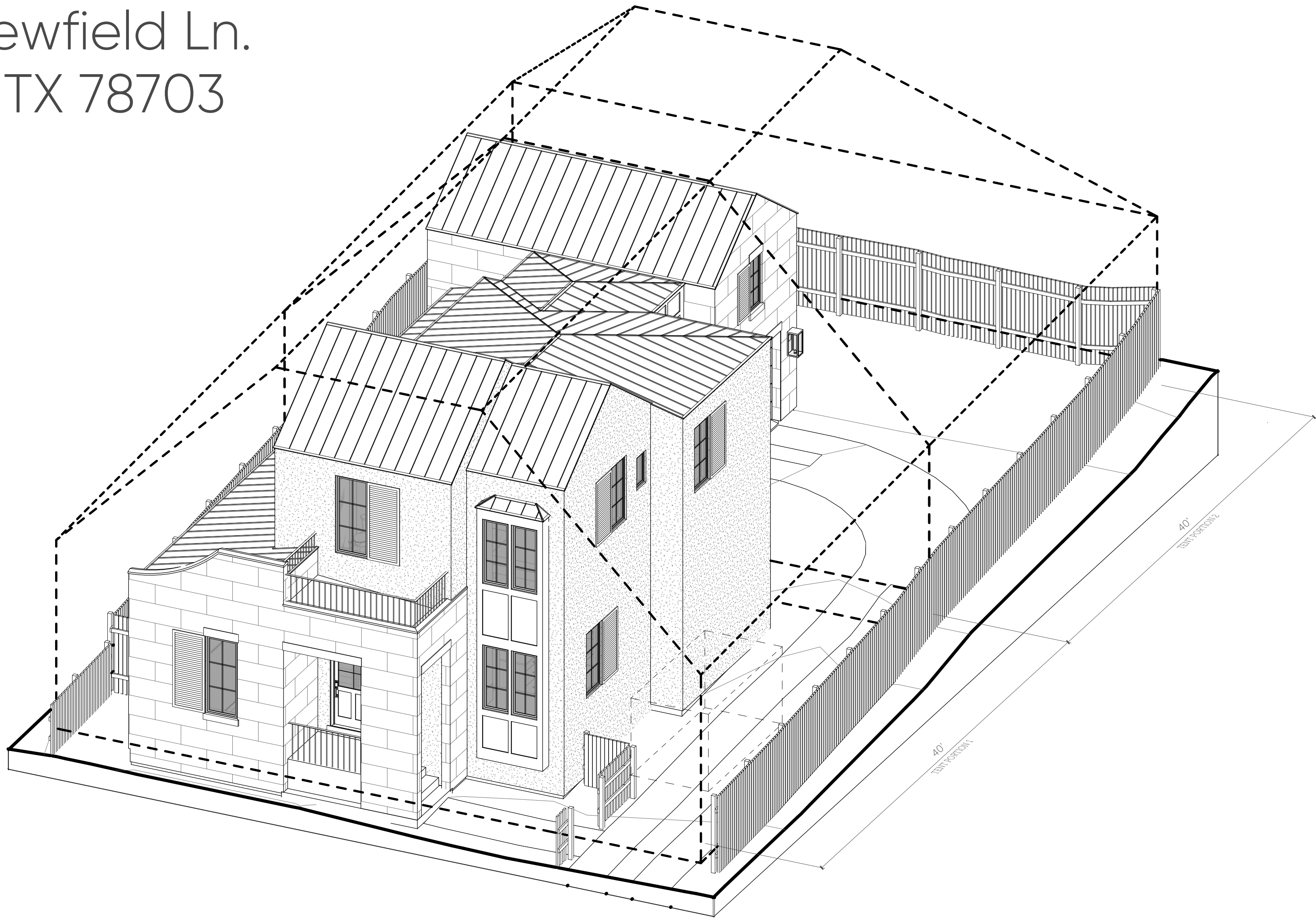
1505 Newfield Lane – Complete Demo and New Construction

We are proposing to demolish the existing SFR and build a new SFR at 1505 Newfield Lane. The new build would be 2 stories in height, tiered and set back, and oriented perpendicular to the street, with the new building width to match the original.

The character of the street is a mix of poorly maintained wood siding, eclectic stone and painted brick, with styles ranging from craftsman and tudor to builder-grade specials and modern boxes. The exterior of the current SFR was completely remodeled in 2008 with BP 2008-083717 that started altering it's original historic characteristics. Some examples of the mixed nature of the street is on the next block down, 2105, 2109, 2111 Newfield and 1808 Niles.

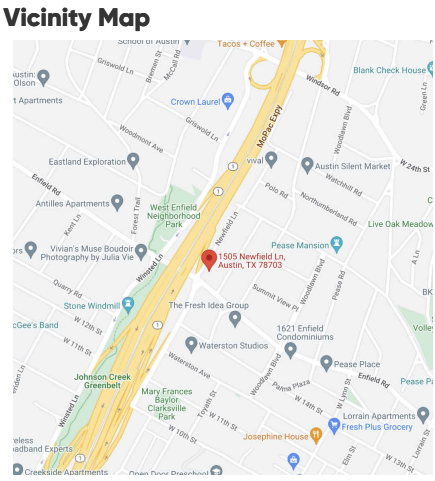
Newfield Villa

1505 Newfield Ln.
Austin, TX 78703



Project Info

Project Description	Zoning	Climate Zone
New 2-story residence	SE-3	2A
Legal Description	Front Yard Setback	Roof / Ceiling
Lot 72 Enfield F	25'	R-49
Neighborhood / AHJ	Side Yard Setback	Ext. Wall
Austin	5'	R-13
Use Group	Rear Yard Setback	Floor
R-3	10'	R-19
Construction Type	Max. Building Coverage	Crawlspace
V-1A	40%	
Gross Area	Max. Impervious Coverage	Fenestration
2,452 SF	45%	U 0.35
Applicable Codes	Max Height	SHGC 0.25
2021 IRC	32'	Skylights
2021 IECC		U 0.6
		SHGC 0.25



Project Team

Architect
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Sheet List

A0.0	Title Sheet
A0.1	Original Survey & Tree Exhibit
A0.2	Site Plans
A1.0	Proposed Plans
A2.0	Building Elevations
A2.1	Building Elevations
A3.0	Building Sections
A8.0	3D Views

Drawing Conventions

Level Line	—LEVEL NAME
Grid Line	—ELEVATION
NEW #	EXISTING #
	—GRIDLINE DESIGNATION
	—INDICATES DIRECTION OF CUTTING PLANE
Section	—INDICATES SIMILAR SECTION
	—DRAWING ON SHEET (SECTION NUMBER)
	—SHEET WHERE SECTION IS LOCATED (SHEET NUMBER)
Interior Elevation	—INDICATES DIRECTION OF CUTTING PLANE
	—DRAWING ON SHEET (ELEVATION NUMBER)
	—SHEET WHERE ELEVATION IS LOCATED (SHEET NUMBER)
Building Elevation	—INDICATES DIRECTION OF CUTTING PLANE
	—DRAWING ON SHEET (ELEVATION NUMBER)
	—SHEET WHERE ELEVATION IS LOCATED (SHEET NUMBER)
Callout	—INDICATES SIMILAR DETAIL
	—DRAWING ON SHEET (DETAIL NUMBER)
	—SHEET WHERE DETAIL IS LOCATED (SHEET NUMBER)
	—INDICATES APPROX. EXTENTS OF DETAIL
Revision Cloud Tag	—REVISION NUMBER
	—REVISION CLOUD COMMENT
	—ADDITIONAL REVISION COMMENTS, WHERE APPLICABLE
	—APPROX. EXTENT OF REVISION

Drawing Label	—DRAWING NUMBER ON SHEET
Drawing Title	—SCALE
Dimension	—DIMENSION TO FACE (TYPICAL)
	—DIMENSION TO CENTERLINE
Room Tag	—ROOM NAME
	—ROOM NUMBER
Wall Tag	—(SEE WALL TYPES & PARTITION SCHEDULE FOR ADDTL. INFO.)
	—INFORMATION DESIGNATION
	—APPROX. THICKNESS
	—WALL TYPE
Door Tag	—DOOR NUMBER
	—SEE DOOR SCHEDULE
	—EX DENOTES EXISTING
	—TO REMAIN
Window Tag	—WINDOW NUMBER
	—SEE WINDOW SCHEDULE
	—EX DENOTES EXISTING
	—TO REMAIN
Storefront Tag	—STOREFRONT NUMBER
	—SEE STOREFRONT ELEVATIONS
	—EX DENOTES EXISTING TO REMAIN
Finish Tag	—FINISH LABEL
	—SEE FINISH SCHEDULE

- Do not scale drawings. Contact Architect upon discovery of missing information or conflicts in drawings.
- Structural, mechanical, electrical, plumbing, and fire engineering to be provided by others. Design to be coordinated with the Architect prior to start of construction.
- Contractor shall verify all existing conditions prior to initiating any portion of the work.
- Architect assumes no responsibility for any changes not authorized by the Architect.
- Window sizes are approximate unit dimensions. Verify final size and rough opening dimensions with manufacturer.
- Dimensions are taken from face of stud and centerline of fixture/opening unless otherwise noted (new constr. only - dimensions to existing constr. are from finished/exposed surface).

Abbreviations

ABV	ABOVE	EA	EACH OR EXHAUST AIR	JT	JOINT	RAD	RADIUS
AFF	ABOVE FINISHED FLOOR	ELEC	ELECTRICAL	JF	JOINT FILLER	REC	RECESSED
ACOUST	ACOUSTICAL	EC	ELECTRICAL CONTRACTOR	J	JOIST	REF	REFER, REFERENCE OR REFRIGERATOR
ACT	ACOUSTICAL CEILING TILE	EP	ELECTRICAL PANELBOARD			RFL, REFL.	REFLECT(ED)
ADDL	ADDITIONAL	ELEV	ELEVATION OR ELEVATOR	KIT	KITCHEN	REINF	REINFORCE(D), REINFORCING
AGGR	AGGREGATE	ENCL	ENCLOSURE / ENCLOSED	KW	KILOWATTS	RESIL	RESILIENT
A/C	AIR CONDITIONING	EQ	EQUAL	LAV	LAVATORY	REV	REVISION, REVISED
ALUM	ALUMINUM	EQUIP	EQUIPMENT	LH	LEFT HAND	REOD	REQUIRED
ANCH	ANCHOR, ANCHORAGE	EXH	EXHAUST	L	LENGTH, LONG	RH	RIGHT HAND
ANOD	ANODIZED	EF	EXHAUST FAN	LT	LIGHT	RFG	ROOFING
APRX	APPROXIMATE	EXIST	EXISTING	LF	LINEAL FOOT	RM	ROOM
ARCH	ARCHITECT (URAL)	E	EXISTING TO BE RELOCATED	LP	LOW POINT	RO	ROUGH OPENING
AHJ	AUTHORITY HAVING JURISDICTION	EXP	EXISTING TO REMAIN	LVT	LUXURY VINYL TYLE	R/O	RANGE & OVER
AVG	AVERAGE	EXT	EXTERIOR			RPM	ROTATIONS PER MINUTE
BSMT	BASEMENT	FL	FLOOR	MANUF/MFR	MANUFACTURE(R)	SAN	SANITARY
BRG	BEARING	FLR	FLOOR OR FLOORING	MAS	MASONRY	SECT	SECTION
BLW	BELOW	FD	FLOOR DRAIN	MO	MASONRY OPENING	SHT	SHEET
BTW	BETWEEN	FIN	FINISH, FINISHED	MAT	MATERIAL(S)	SIM	SIMILAR
BVL	BEVELED	FF	FINISHED FLOOR	MECH	MECHANICAL	SK	SKETCH
BIT	BITUMINOUS	FLSHG	FLASHING	MC	MECHANICAL CONTRACTOR	SPEC	SPECIFICATION(S)
BLK	BLOCK	FT	FEET, FOOT	MTL	METAL	SQ	SQUARE
BLKG	BLOCKING	FTG	FOOTING	M	METER(S)	SI	SQUARE INCH
BD	BOARD	FOUND	FOUNDATION	MIN	MINIMUM	SF / SQFT	SQUARE FEET (FOOT)
BO	BOTTOM OF	FRMG	FRAMING, FRAME	MISC	MISCELLANEOUS	SY	SQUARE YARD
BLDG	BUILDING	FR GL	FROSTED GLASS	MT	MOUNTED, MOUNTING	SS	STAINLESS STEEL
				MW	MICROWAVE	STD	STANDARD
CSMT	CASEMENT	GA	GAGE, GAUGE	NRC	NOISE REDUCTION COEFFICIENT	STL	STEEL
CS	CAST STONE	GAL	GALLONS			STR	STRUCTURE, STRUCTURAL
CLG	CEILING	GALV	GALVANIZED	NOM	NOMINAL	SUSP	SUSPENDED
CH	CEILING HEIGHT	GC	GENERAL CONTRACTOR	NIC/NIS	NOT IN CONTRACT/SCOPE	T&G	TONGUE & GROOVE
CL	CENTER LINE	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	NTS	NOT TO SCALE	T&C	TO BE CONFIRMED
CER	CERAMIC	GL	GLASS, GLAZING			T&D	TO BE DETERMINED
CT	CERAMIC TILE	GPM	GALLONS PER MINUTE	OC	ON CENTER(S)	THK	THICKNESS
CIR	CIRCLE	GRD	GRADE, GRADING	OPG	OPENING	TO	TOP OF
CL	CENTERLINE	GWB	GYPSON WALL BOARD	OPP	OPPOSITE	TOD	TOP OF DECK
CO	CLEAN OUT			OD	OUTSIDE DIAMETER/	TOP	TOP OF PLATE
COL	COLUMN			OA	OVERALL OR OUTSIDE AIR	TOR	TOP OF ROOF
CONC	CONCRETE	HB	HOSE BIB			TOS	TOP OF SLAB
CMU	CONCRETE MASONRY UNIT	HDW	HARDWARE			TYP	TYPICAL
CONSTR	CONSTRUCTION	HWD	HARDWOOD				
CONT	CONTINUOUS, CONTINUE	HDR	HEADER	PDC	POWDER COAT(ED)	UON	UNLESS OTHERWISE NOTED
CJ	CONTROL JOINT	HTG	HEATING	PTD	PAINT(ED)		
CORR	CORRUGATED	HVAC	HEATING/VENTILATING/AIR	PNL	PANEL	VERT	VERTICAL
CPT	CARPET	HT	HEIGHT	PED	PEDESTAL	VIF	VERIFY IN FIELD
CT/CTOP	COUNTER	HM	HOLLOW METAL	PERF	PERFORATE(ED)	VCT	VINYL COMPOSITION TILE
CU	CUBIC	HORIZ	HORIZONTAL	PERIM	PERIMETER	VTR	VENT THROUGH ROOM
CFM	CUBIC FEET PER MINUTE	HP	HORSE POWER, HIGH POINT	PLAS	PLASTER		
CSMT	CASEMENT	HW	HOT WATER	PL	PLATE		
CW	COLD WATER/CURTAIN WALL			PC	PLUMBING CONTRACTOR	WH	WATER HEATER
CYD	CUBIC YARD			PLYD	PLYWOOD	WF	WATER FOUNTAIN
				PT	PRESSURE TREATED	WSC	WAINSCOT
DEMO	DEMOLISH, DEMOLITION	IN	INCHES	PSI	POUNDS PER SQUARE INCH	WC	WATER CLOSET
DEPR	DEPRESSED	INCL	INCLUDE(D), INCLUDING	PREFAB	PREFABRICATE(D)	WP	WEATHER/WATERPROOF
DTL	DETAIL	ID	INSIDE DIAMETER/	PLAM	PLASTIC LAMINATE	WWF	WELDED WIRE FABRIC
DIAG	DIAGONAL	DIMENSION	DIMENSION			W	WIDTH, WIDE
DAIM	DIAMETER	INSUL	INSULATE(D), INSULATION			WDW	WINDOW
DIM	DIMENSION	INT	INTERIOR			W	WITH
DW	DISHWASHER					W/O	WITHOUT
DIV	DIVISION					WD	WOOD
DN	DOWN					W/D	WASHER DRYER
DR	DOOR					YD	YARD(S)
DH	DOUBLE HUNG						
DS	DOWNSPOUT						
DWG	DRAWING						

1505 Newfield Ln.

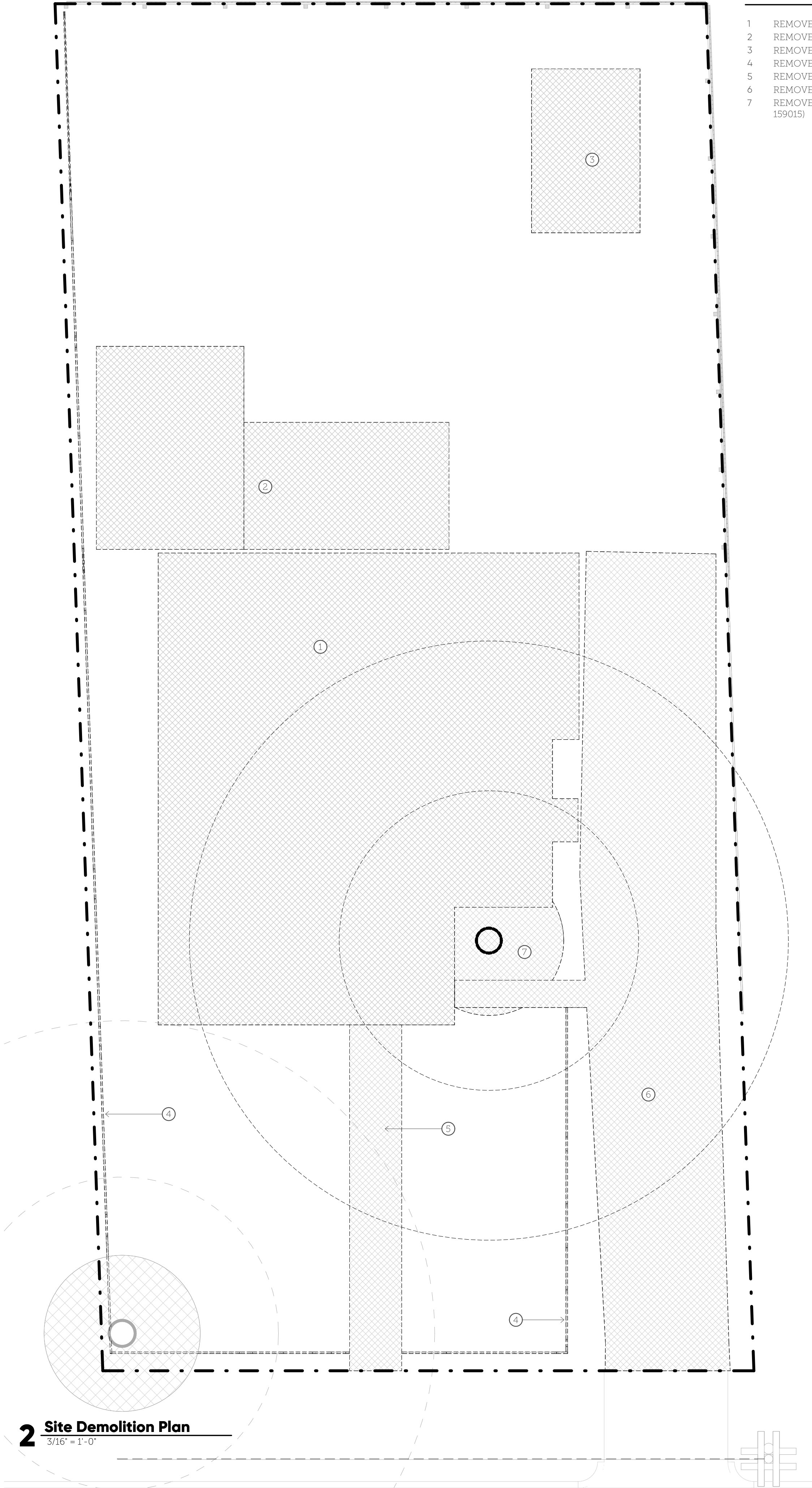


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No.	2217
Site	1505 Newfield Ln. Austin, TX 78703
# Revision	Date



Title Sheet
A0.0
Permit Set 03.03.23
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2 Site Demolition Plan
3/16" = 1'-0"

Demolition Legend

- TO BE DEMOLISHED
- EXIST. WALL CONSTR. TO REMAIN
- NOT IN SCOPE

Demolition Notes

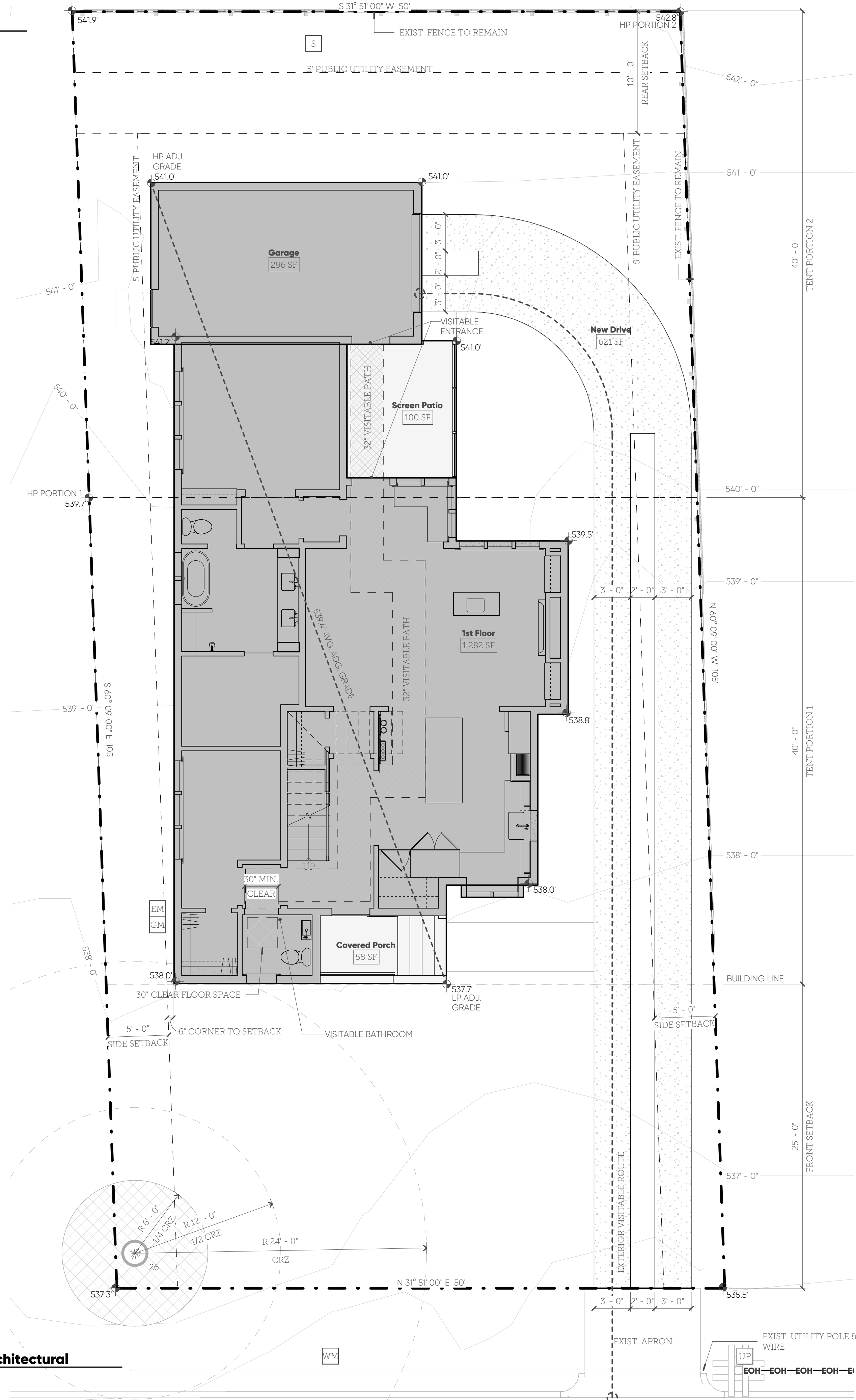
- REMOVE EXIST. HOUSE & STRUCT.
- REMOVE EXIST. PATIO & DECK
- REMOVE EXIST. SHED
- REMOVE EXIST. FENCING
- REMOVE EXIST. WALKWAY
- REMOVE EXIST. DRIVEWAY
- REMOVE EXIST. DYING PROTECTED TREE (TP PERMIT NO. 2022 159015)

CRZ Tree Schedule

ID	TRUNK DIA.	CRZ	1/2 CRZ	1/4 CRZ
26	24"	24' - 0"	12' - 0"	6' - 0"

Allowable Coverage

TOTAL LOT AREA	MAX LOT COVERAGE	TOTAL ALLOWED COVERAGE AREA	MAX IMPERVIOUS COVERAGE	TOTAL ALLOWED IMPERVIOUS AREA
5,247 SF	40%	2,099 SF	45%	2,361 SF



1 Site Plan - Architectural
3/16" = 1'-0"

Site Plan Legend

- ELECTRIC METER
- GAS METER
- UTILITY POLE
- WATER METER
- SEPTIC LID
- ELECTRIC OVERHEAD
- GAS LINE
- WATER LINE
- WASTE WATER LINE

Gen. Site Notes

- Site plan drawn per Original Survey, see attached.
- Site dimensions taken from face of building/site element, unless otherwise noted.
- Contractor to regrade topography/finish grade to provide positive drainage away from building.
- Civil engineering & landscaping by others.
- Utility line locations are approximate.

Visitability Notes

- Visible Bathroom Route**
Min. clear opening of 32" beginning at the visible entrance and continuing through the living room, dining room, and kitchen, and be level with ramped or beveled changes at floor thresholds.
- Visible Bathroom**
Door min. clear opening of 30" Provide lateral 2x6 wood blocking flush with wood stud edges and at a centerline height of 34" above finished floor level (except behind lavatories).
- Visible Dwelling Entrance**
Dwelling shall be accessible by at least one no-step entrance with a beveled threshold of one-half (1/2") inch or less and a door with a clear with of at least 32".
- Visible Controls & Receptacles**
1st floor of the dwelling must meet the following:
 - Light switches and environmental controls must be no more than 48" above finished floor.
 - Outlets and receptacles must be at least 15" above finished floor, except for floor-mounted versions.

1505 Newfield Ln.

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Site Plans

A0.2

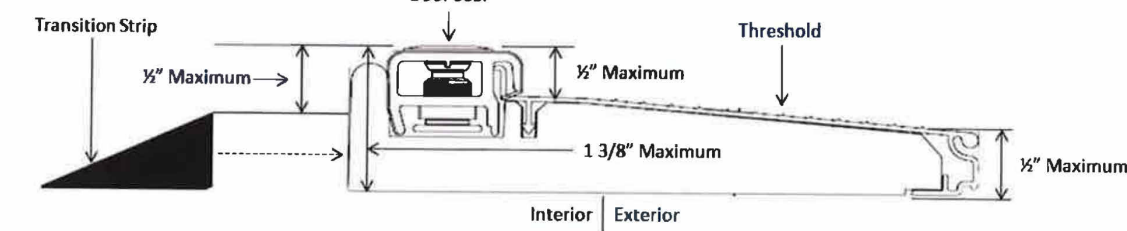
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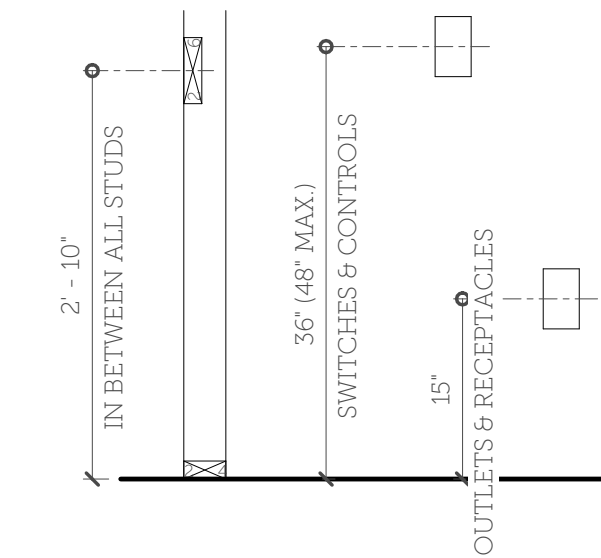
Visitability Details

No-Step Entrance Threshold

Per City of Austin approved detail
NTS



Blocking @ Visitable Bathroom Control & Receptacle Heights



Visitable Bathroom Route

Min. clear opening of 32" beginning at the visitable entrance and continuing through the living room, dining room, and kitchen, and be level with ramped or beveled changes at floor thresholds.

Visitable Bathroom

Door min. clear opening of 30" Provide lateral 2x6 wood blocking flush with wood stud edges and at a centerline height of 34" above finished floor level (except behind lavatories).

Visitable Dwelling Entrance

Dwelling shall be accessible by at least one no-step entrance with a beveled threshold of one-half (1/2") inch or less and a door with a clear with of at least 32"

Visitable Controls & Receptacles

- 1st floor of the dwelling must meet the following:
- Light switches and envionmental controls must be no more than 48" above finished floor.
 - Outlets and receptacles must be at least 15" above finished floor, except for floor-mounted versions.

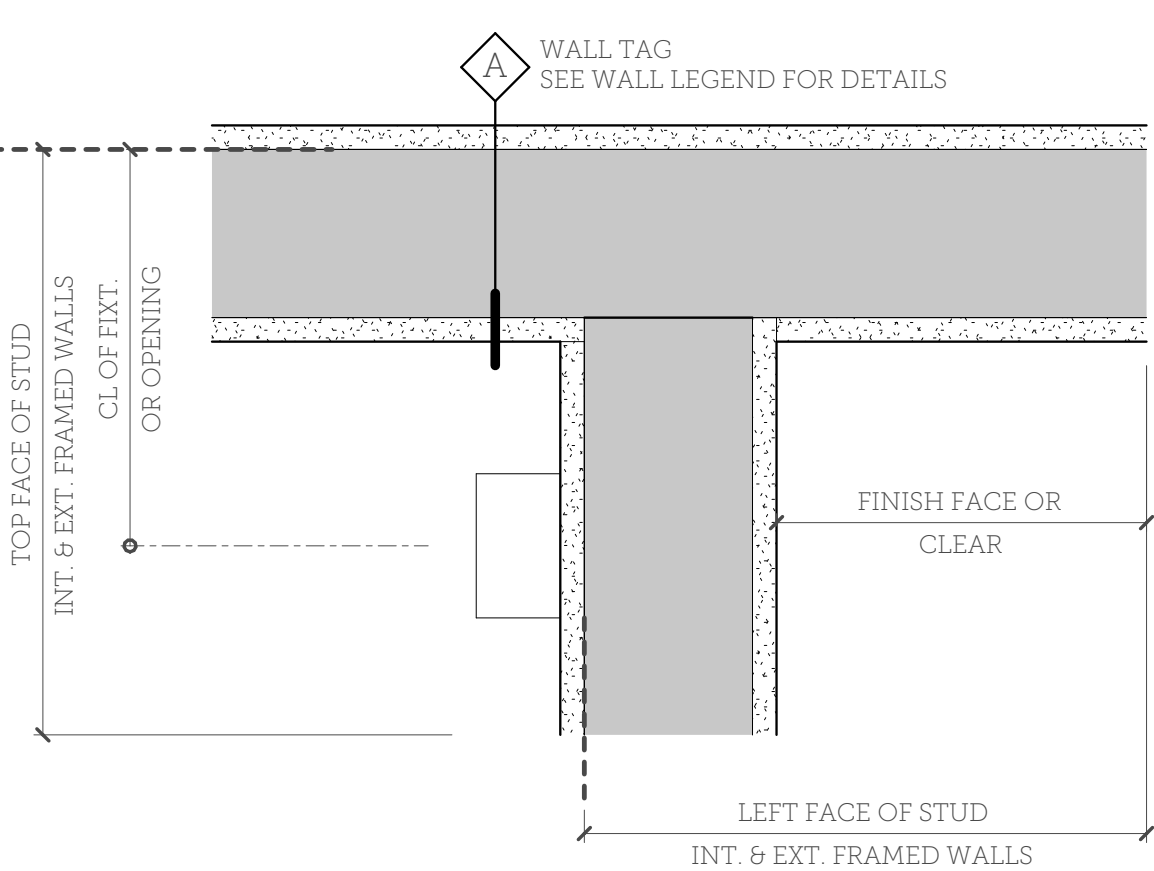
Door Schedule

NO.	LOCATION	TYPE	WIDTH	HEIGHT	FINISH	HDWR SET	NOTES
101	Foyer	EXT GL	3' - 0"	7' - 0"		(none)	
102	Kitchen	CASED	6' - 0"	7' - 0"		(none)	
103	Clo.	SWING	2' - 3'	5' - 6'		(none)	
104	Living Rm.	CASED	9' - 0"	7' - 0"		(none)	
105	Screen Patio	EXT GL	3' - 0"	7' - 0"		(none)	
106	Screen Patio	SCREEN	2' - 5"	7' - 10 3/4"		(none)	
107	Garage	OVERHEAD	8' - 0"	7' - 0"		(none)	
108	Screen Patio	EXT GL	3' - 0"	7' - 0"		(none)	
109	Bedrm.	CASED	4' - 0"	7' - 0"		(none)	
110	Bedrm.	SWING	3' - 0"	7' - 0"		(none)	
111	Bathrm.	SWING	2' - 3'	7' - 0"		(none)	
112	Bathrm.	POCKET	2' - 3'	7' - 0"		(none)	
113	Bathrm.	POCKET	2' - 3'	7' - 0"		(none)	
114	Gym/Office	POCKET	2' - 0"	7' - 0"		(none)	
115	Gym/Office	SWING	3' - 0"	7' - 0"		(none)	
116	Pdrm.	SWING	2' - 8"	7' - 0"		(none)	
117	Foyer	CASED	3' - 0"	7' - 0"		(none)	
118	Garage	EXT SWING	3' - 0"	7' - 0"		(none)	
201	Bathrm.	POCKET	2' - 3'	7' - 0"		(none)	
202	Bedrm.	POCKET	2' - 3'	7' - 0"		(none)	
203	Bedrm.	SWING	3' - 0"	7' - 0"		(none)	
204	Laundry	SWING	3' - 0"	7' - 0"		(none)	
205	Bedrm.	SWING	3' - 0"	7' - 0"		(none)	
206	Bedrm.	SLIDING	5' - 0"	6' - 8"		(none)	
207	Bathrm.	SWING	2' - 6"	7' - 0"		(none)	

Window Schedule VERIFY WITH MANUFACTURER FOR FINAL WINDOW & ROUGH OPENING SIZES PRIOR TO ORDERING

NO.	LOCATION	TYPE	WIDTH	HEIGHT	SILL HT.	FINISH	NOTES
101	Pdrm.	CASEMENT	2' - 6"	6' - 0"	2' - 0"	BROWN/WOOD	
102	Kitchen	FIXED	2' - 0"	5' - 0"	3' - 0"	PTD ACCENT	
103	Kitchen	FIXED	2' - 0"	5' - 0"	3' - 0"	PTD ACCENT	
104	Kitchen	CASEMENT	2' - 6"	5' - 0"	3' - 0"	BROWN/WOOD	
105	Living Rm.	CASEMENT	2' - 0"	5' - 0"	2' - 0"	BROWN/WOOD	
106	Living Rm.	CASEMENT	2' - 0"	5' - 0"	2' - 0"	BROWN/WOOD	
107	Living Rm.	CASEMENT	2' - 0"	5' - 0"	2' - 0"	BROWN/WOOD	
108	Nook	FIXED	2' - 0"	5' - 0"	2' - 0"	PTD ACCENT	
109	Nook	FIXED	2' - 0"	5' - 0"	2' - 0"	PTD ACCENT	
110	Nook	FIXED	2' - 0"	5' - 0"	2' - 0"	PTD ACCENT	
111	Nook	FIXED	2' - 0"	5' - 0"	2' - 0"	PTD ACCENT	
112	Bedrm.	FIXED	1' - 3'	2' - 3'	4' - 9"	BROWN/WOOD	
113	Bedrm.	CASEMENT	2' - 6"	6' - 0"	2' - 0"	BROWN/WOOD	
114	Bedrm.	CASEMENT	2' - 6"	6' - 0"	2' - 0"	BROWN/WOOD	
115	Bedrm.	CASEMENT	2' - 6"	6' - 0"	2' - 0"	BROWN/WOOD	
116	Bathrm.	CASEMENT	2' - 0"	6' - 0"	2' - 0"	BROWN/WOOD	
117	Bathrm.	CASEMENT	2' - 0"	6' - 0"	2' - 0"	BROWN/WOOD	
118	Gym/Office	CASEMENT	2' - 6"	6' - 0"	2' - 0"	BROWN/WOOD	
119	Gym/Office	CASEMENT	2' - 6"	6' - 0"	2' - 0"	BROWN/WOOD	
120	Gym/Office	CASEMENT	2' - 6"	6' - 0"	2' - 0"	BROWN/WOOD	
201	Bathrm.	CASEMENT	2' - 6"	6' - 0"	2' - 6"	BROWN/WOOD	
202	Bedrm.	FIXED	2' - 0"	5' - 0"	1' - 8"	PTD ACCENT	
203	Bedrm.	FIXED	2' - 0"	5' - 0"	1' - 8"	PTD ACCENT	
204	Bedrm.	CASEMENT	2' - 6"	5' - 0"	3' - 0"	BROWN/WOOD	
205	Hall	FIXED	1' - 6"	2' - 6"	4' - 6"	BROWN/WOOD	
206	Laundry	CASEMENT	2' - 6"	5' - 0"	3' - 0"	BROWN/WOOD	
207	Bathrm.	CASEMENT	2' - 6"	5' - 0"	3' - 0"	BROWN/WOOD	
208	Bedrm.	FIXED	2' - 0"	5' - 0"	2' - 6"	PTD ACCENT	
209	Bedrm.	FIXED	2' - 0"	5' - 0"	2' - 6"	PTD ACCENT	
210	Bedrm.	FIXED	2' - 0"	5' - 0"	2' - 6"	PTD ACCENT	
211	Bedrm.	FIXED	2' - 0"	5' - 0"	2' - 6"	PTD ACCENT	
212	Bedrm.	FIXED	2' - 0"	5' - 0"	2' - 6"	PTD ACCENT	
213	Bedrm.	CASEMENT	2' - 6"	5' - 0"	3' - 0"	BROWN/WOOD	
214	Hall	CASEMENT	2' - 6"	5' - 0"	3' - 0"	BROWN/WOOD	
215	Garage	CASEMENT	2' - 0"	4' - 0"	10' - 6"	BROWN/WOOD	SILL HT FROM 1ST FL.
216	Bedrm.	FIXED	1' - 3'	2' - 3'	4' - 9"	BROWN/WOOD	

Typ. Dimension Diagram



Accessory Schedule

SYMBOL	DESCRIPTION	MANUF.	MODEL	FINISH	QTY.	NOTES
					43	<varies>

Plumbing Schedule

SYMBOL	DESCRIPTION	MANUF.	MODEL	FINISH	QTY.	NOTES
					9	
	TOILET	AMERICAN STANDARD	221CA004.020		4	

Equipment Schedule

SYMBOL	DESCRIPTION	MANUF.	MODEL	FINISH	QTY.	NOTES
D	7 3 CU. FT. GAS DRYER w/ FRONT CONTROL	LG	DLGY1202W		1	DRYER
EXH					1	10" EXHAUST FAN
REF					1	PANEL-READY
W	4.3 CU. FT. TOP LOAD WASHER w/ FRONT CONTROL	LG	WT1201CW		1	WASHER

Lighting Schedule

SYMBOL	DESCRIPTION	MANUF.	MODEL	FINISH	QTY.	NOTES
	CLG FAN	MODERN FAN CO.	ALT-HUG-GW-42-WH-NL-001		1	
	EXH LT				2	
	PENDANT				1	
	RECESSED CAN				35	
	WALL SCONCE	TRANS GLOBE LTG	40751		3	

1505 Newfield Ln.



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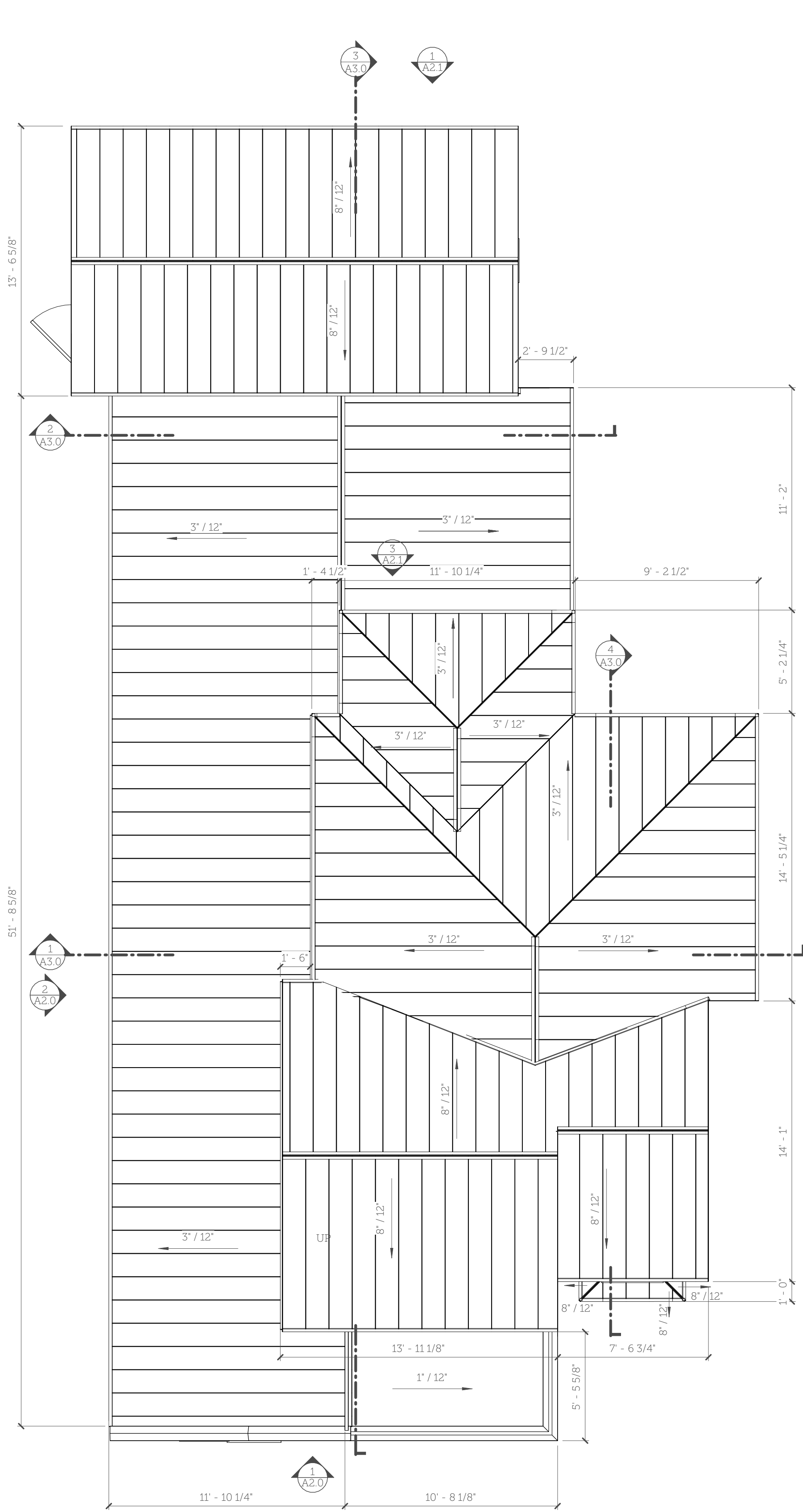
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General Details & Schedules

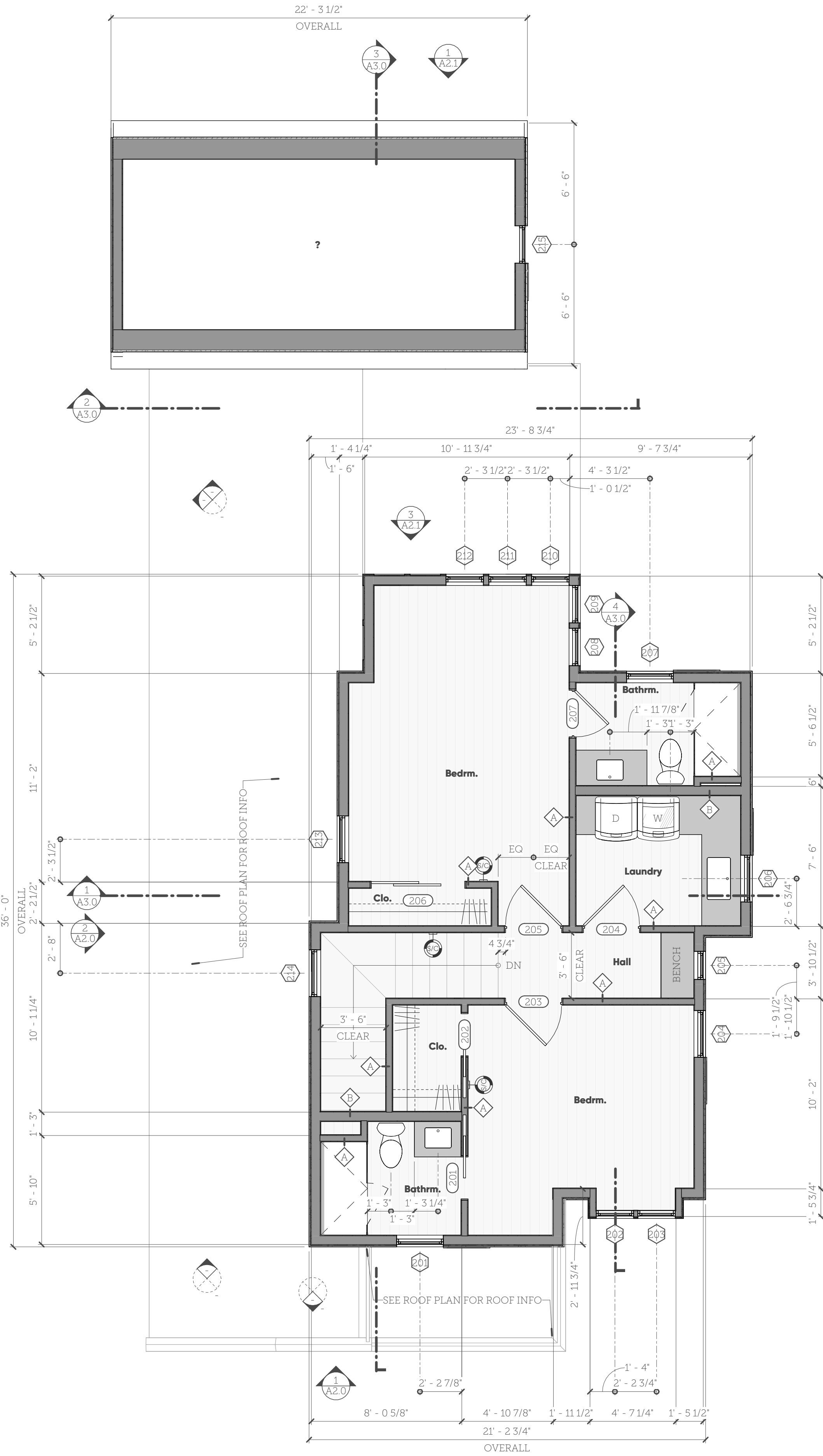
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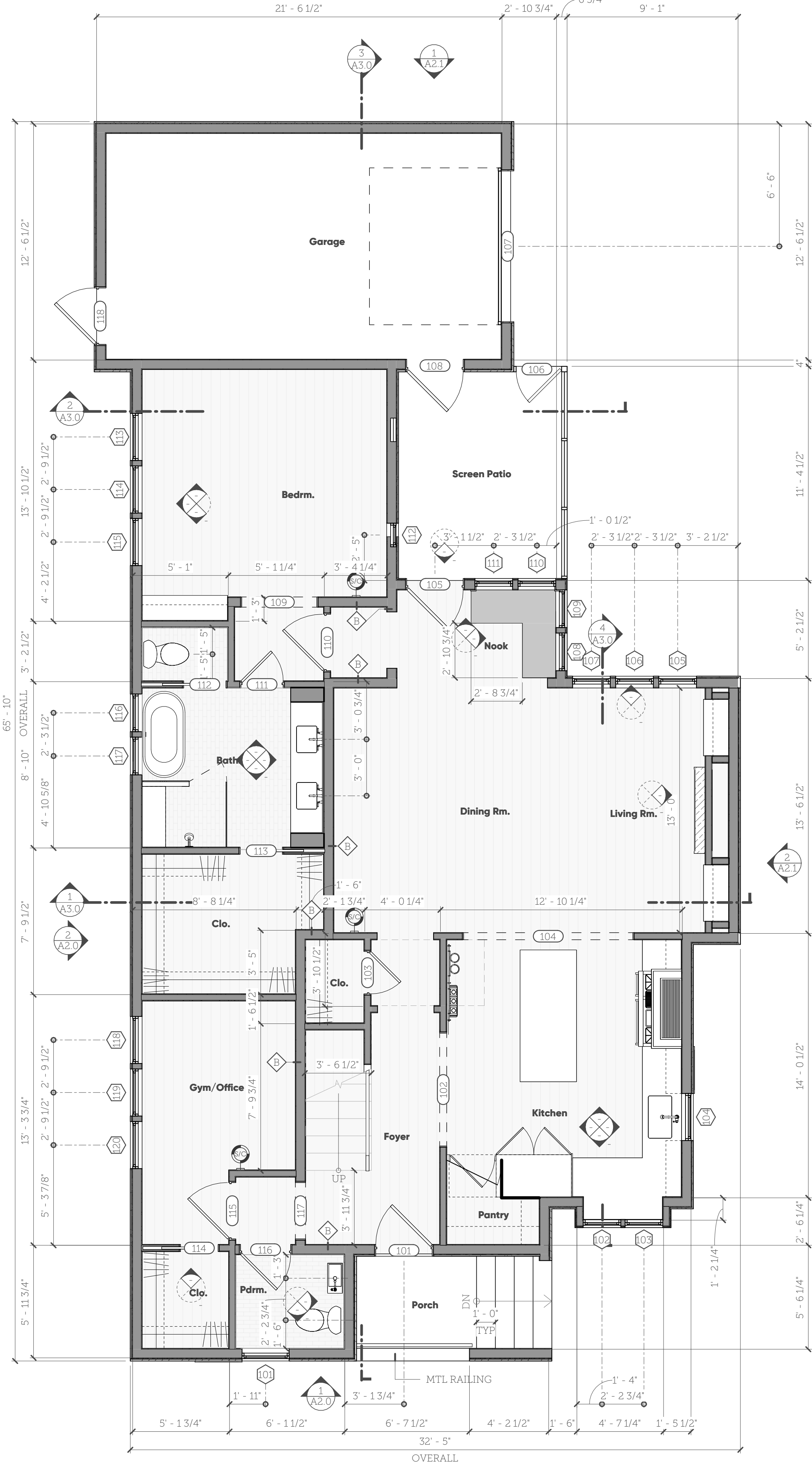
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3 Roof Plan
1/4" = 1'-0"



2 2nd Fl. Plan
1/4" = 1'-0"



1 1st Fl. Plan
1/4" = 1'-0"

Constr. Legend

- NEW WALL CONSTR.
- EXIST. WALL CONSTR. TO REMAIN
- NEW CASEWORK
- NOT IN SCOPE

Gen. Roof Notes

- Vent all mechanical and plumbing fixtures per local code & manuf. requirements.
- All venting through roof shall be painted to match roof color.
- Flashing, underlayment, fastening, and penetration details per roofing manuf. Installer to verify with Architect.
- All roof dimensions are to edge of roof or intersection/ridge/valley, unless otherwise noted. See sections for overhang info.

Visitability Notes

Visitable Bathroom Route

Min. clear opening of 32" beginning at the visitable entrance and continuing through the living room, dining room, and kitchen, and be level with ramped or beveled changes at floor thresholds.

Visitable Bathroom

Door min. clear opening of 30" Provide lateral 2x6 wood blocking flush with wood stud edges and at a centerline height of 34" above finished floor level (except behind lavatories).

Visitable Dwelling Entrance

Dwelling shall be accessible by at least one no-step entrance with a beveled threshold of one-half (1/2) inch or less and a door with a clear width of at least 32".

Visitable Controls & Receptacles

- 1st floor of the dwelling must meet the following:
- Light switches and environmental controls must be no more than 48" above finished floor.
 - Outlets and receptacles must be at least 15" above finished floor, except for floor-mounted versions.

1505 Newfield Ln.



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Site 1505 Newfield Ln.
Austin, TX 78703

Revision Date



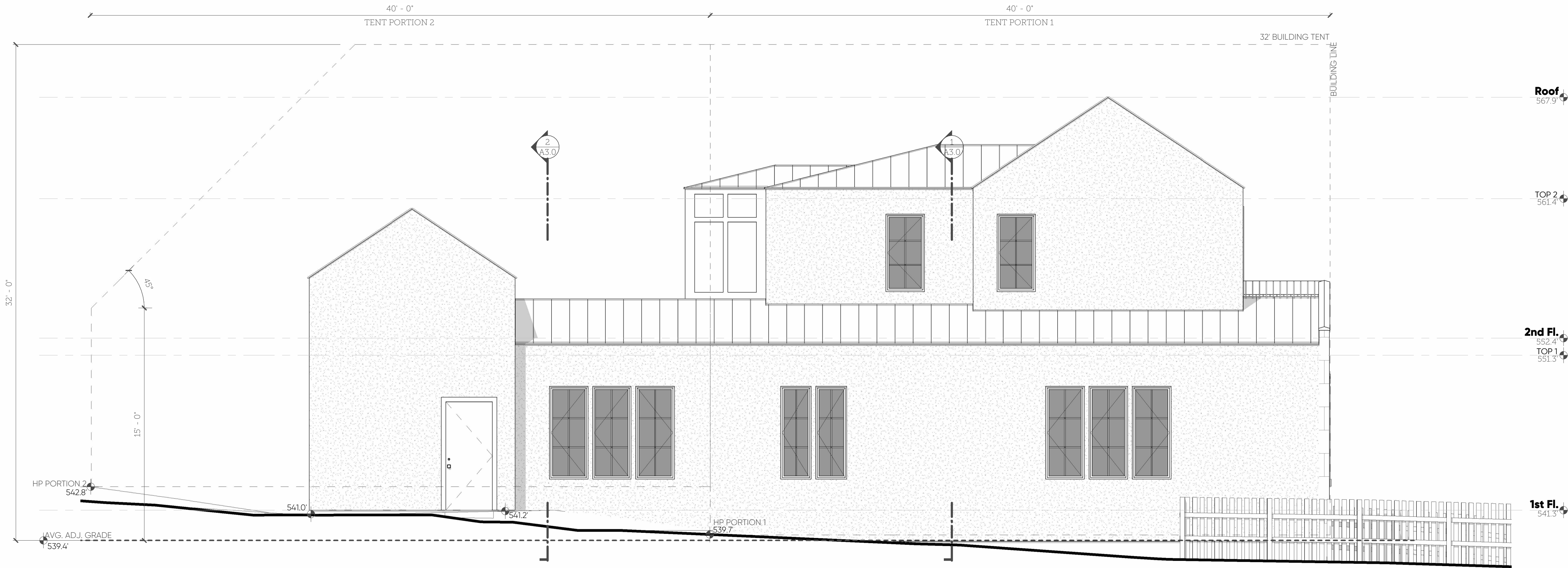
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Proposed Plans

A1.0

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2 Northeast Elevation
1/4" = 1'-0"



1 Northwest Elevation
1/4" = 1'-0"

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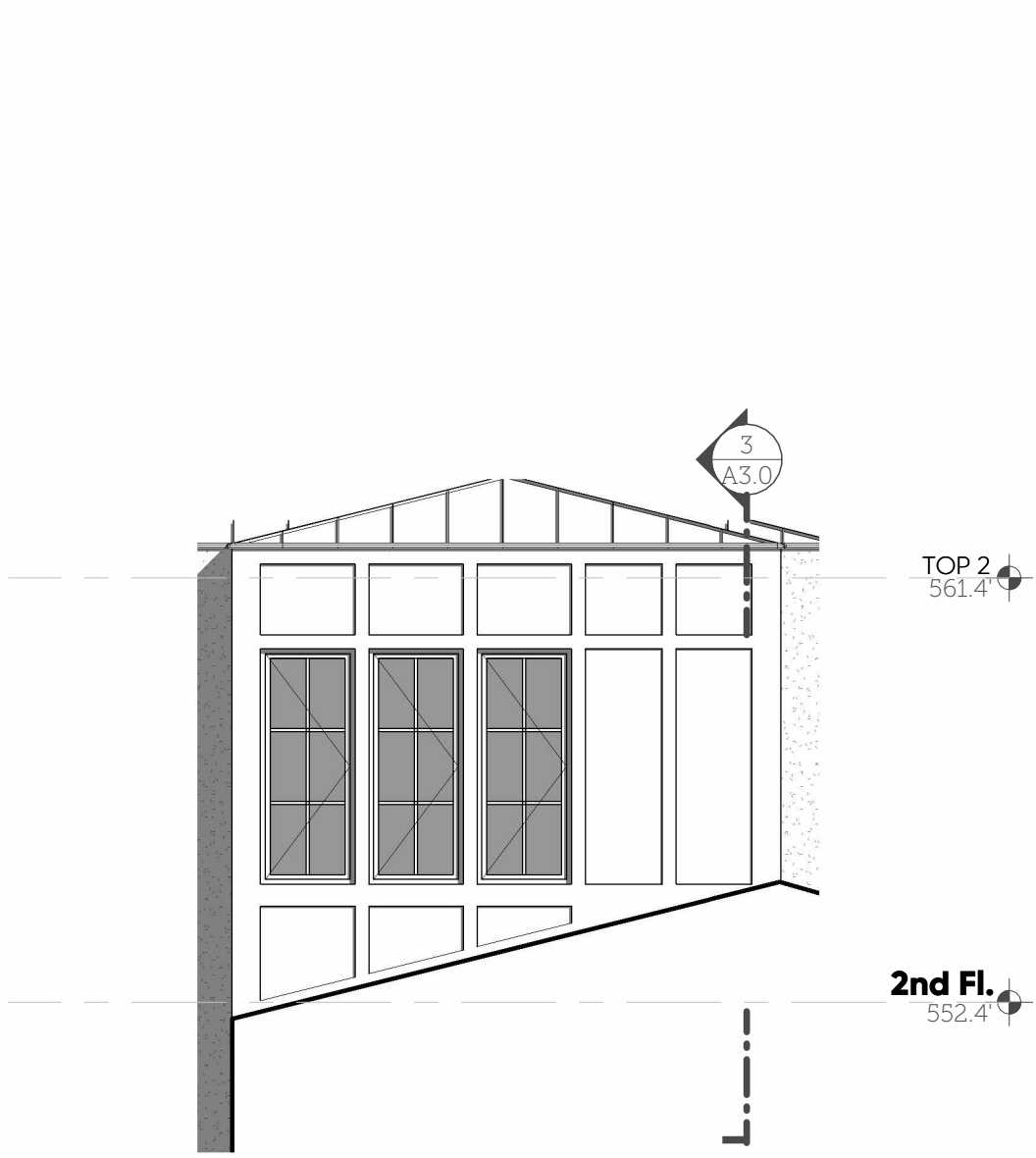
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Building Elevations

A2.0

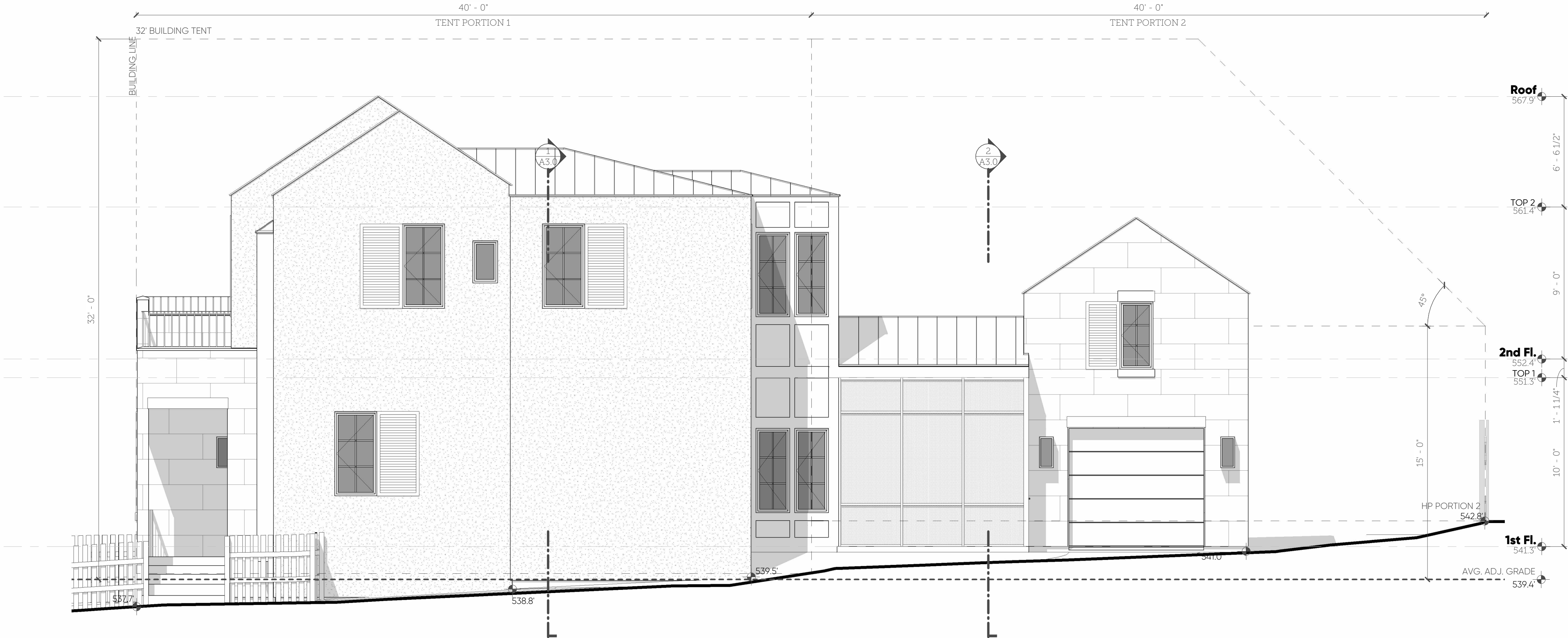
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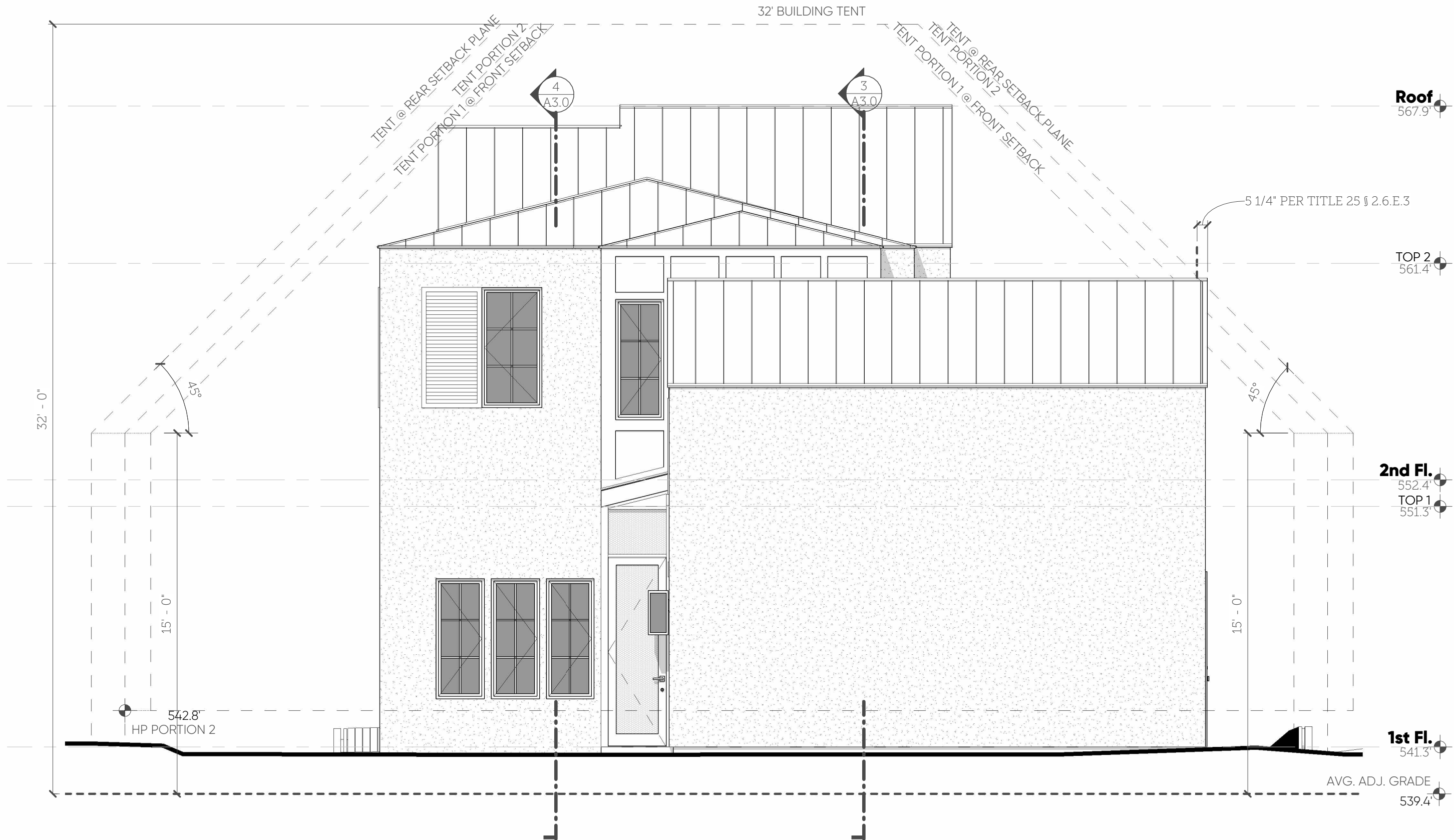
3 2F Rear Partial Elevation

1/4" = 1'-0"



2 Southwest Elevation

1/4" = 1'-0"



1 Southeast Elevation

1/4" = 1'-0"

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Building Elevations

A2.1

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4 Back Corner (East) View
SEE BUILDING ELEVATIONS 2/ A2.0
1/ A2.1



2 Front Corner (West) View
SEE BUILDING ELEVATIONS 1/ A2.0
2/ A2.1



3 Back Corner (South) View
SEE BUILDING ELEVATIONS 1/ A2.1
2/ A2.1



1 Front (Northwest) View
SEE BUILDING ELEVATION 1/ A2.0

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3D Views
A8.0
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Back



Front

Existing House Photos

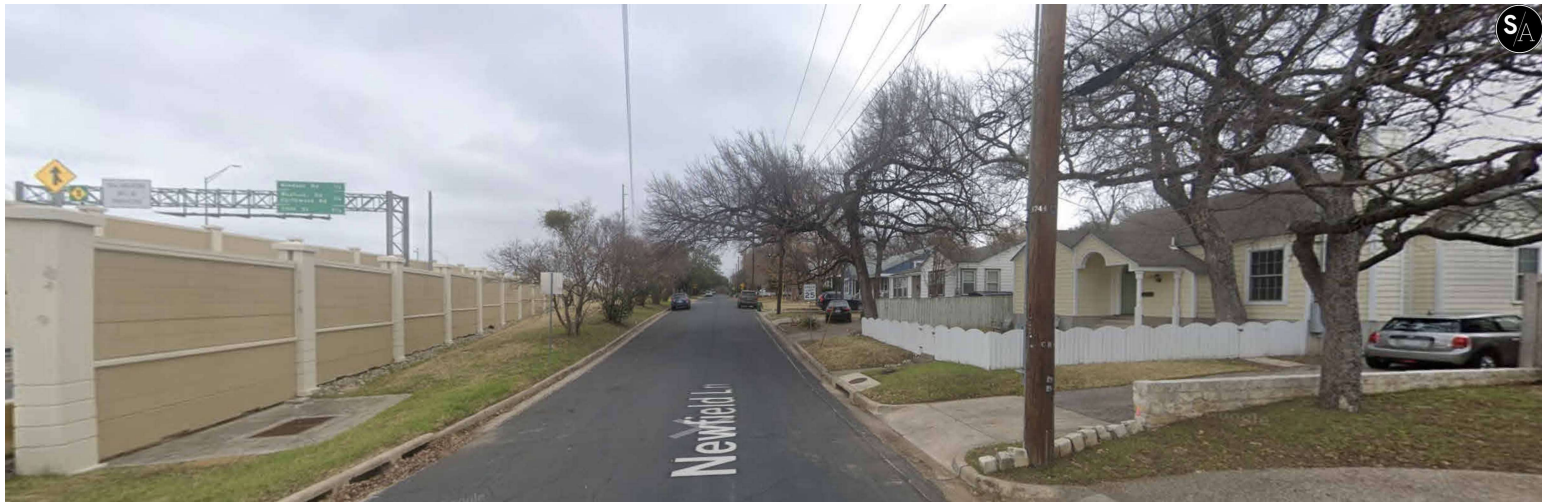
Existing Materials

Aluminum siding (not original)
Vinyl windows (not original)
Asphalt shingle roof (not original)

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Existing House Context Photos

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