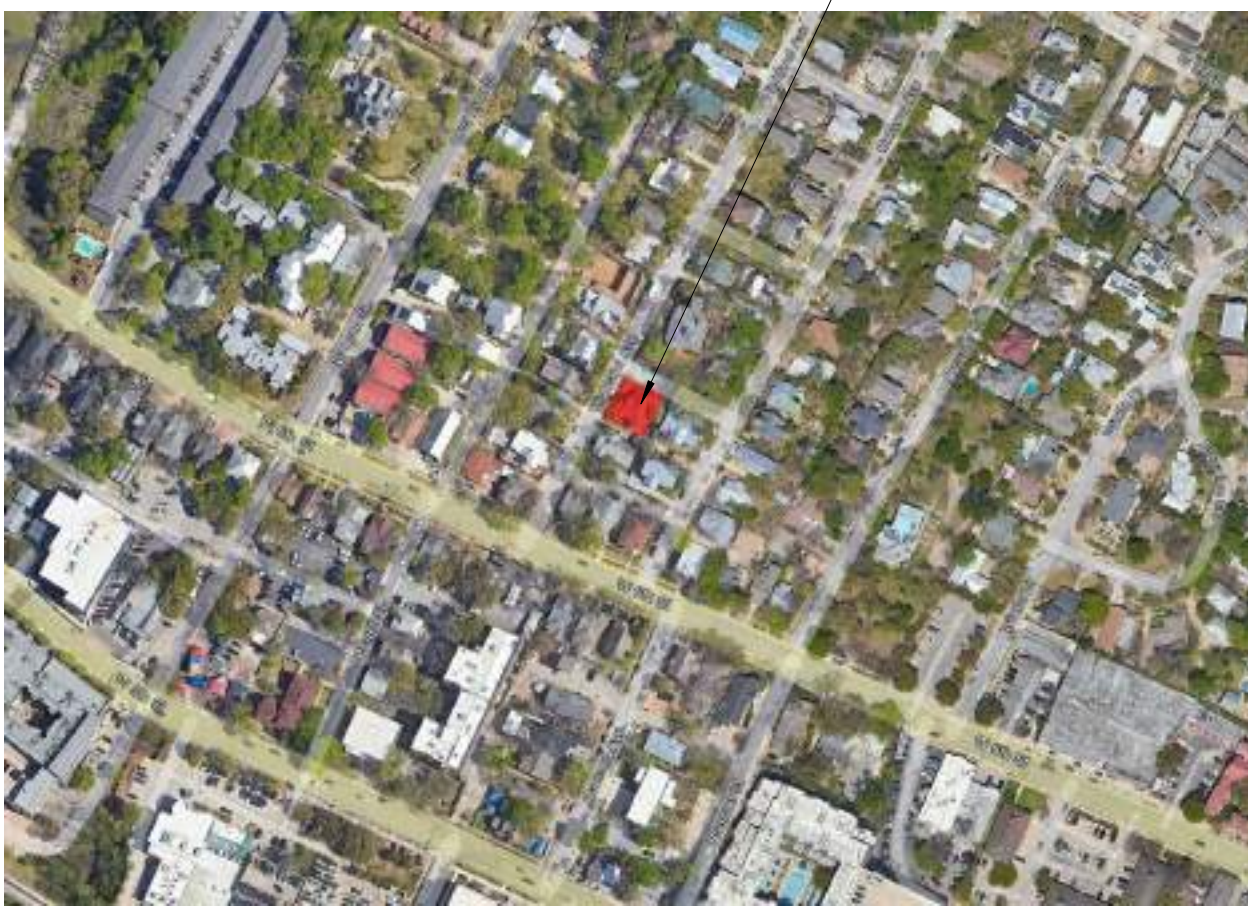


605 HIGHLAND RESIDENCE

PROJECT ADDRESS:
605 HIGHLAND AVE
AUSTIN, TEXAS 78703

PROJECT NUMBER:
202221
PROJECT ISSUE DATE:
04 MAY 2023

CONSTRUCTION LOCATION



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A101	GROUND LEVEL - ANNOTATION PLAN
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A110	ROOF PLAN
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A001	NW CORNER VIEW FROM STREET
A003	NE CORNER VIEW FROM STREET

LOCATION MAP

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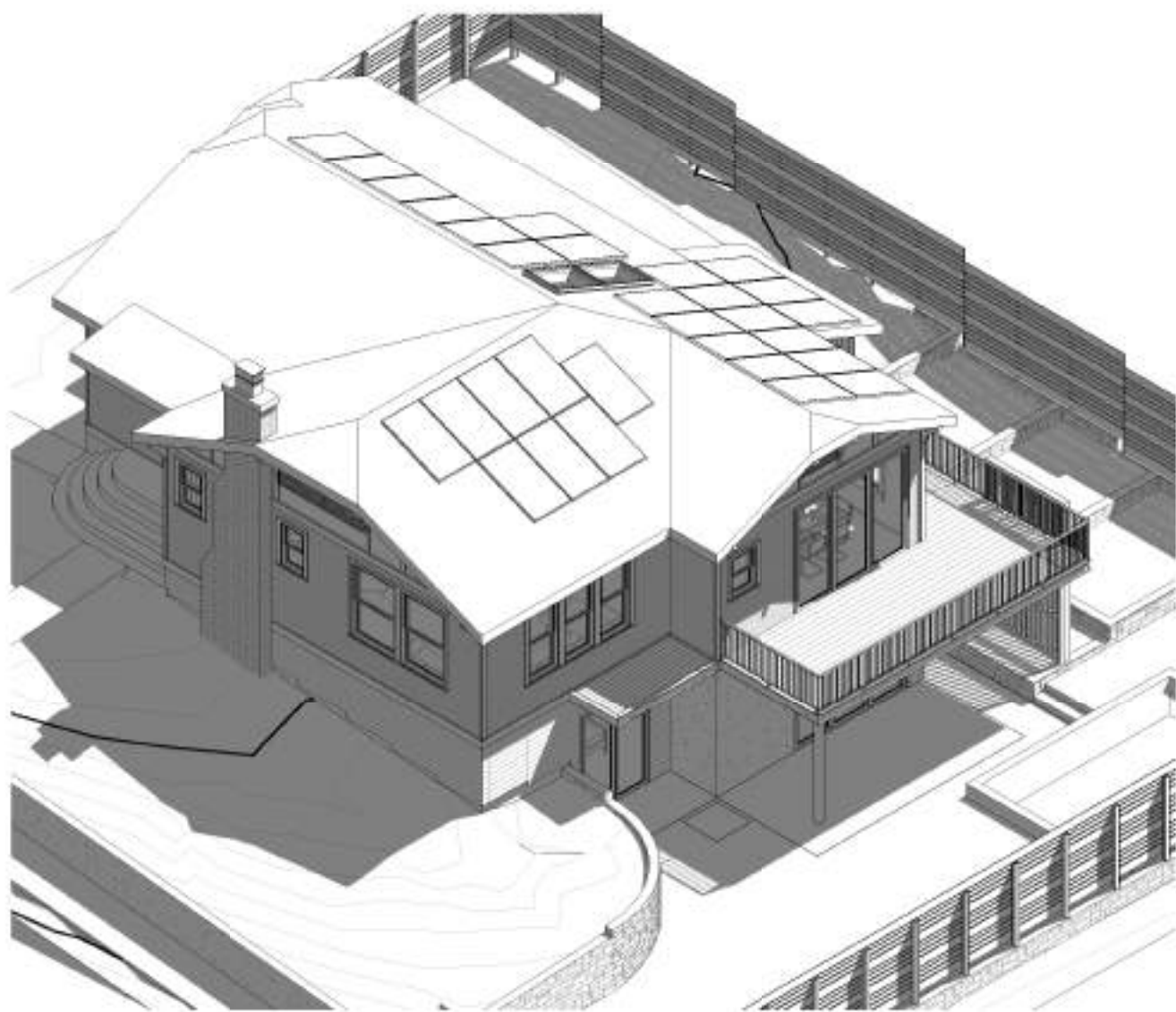
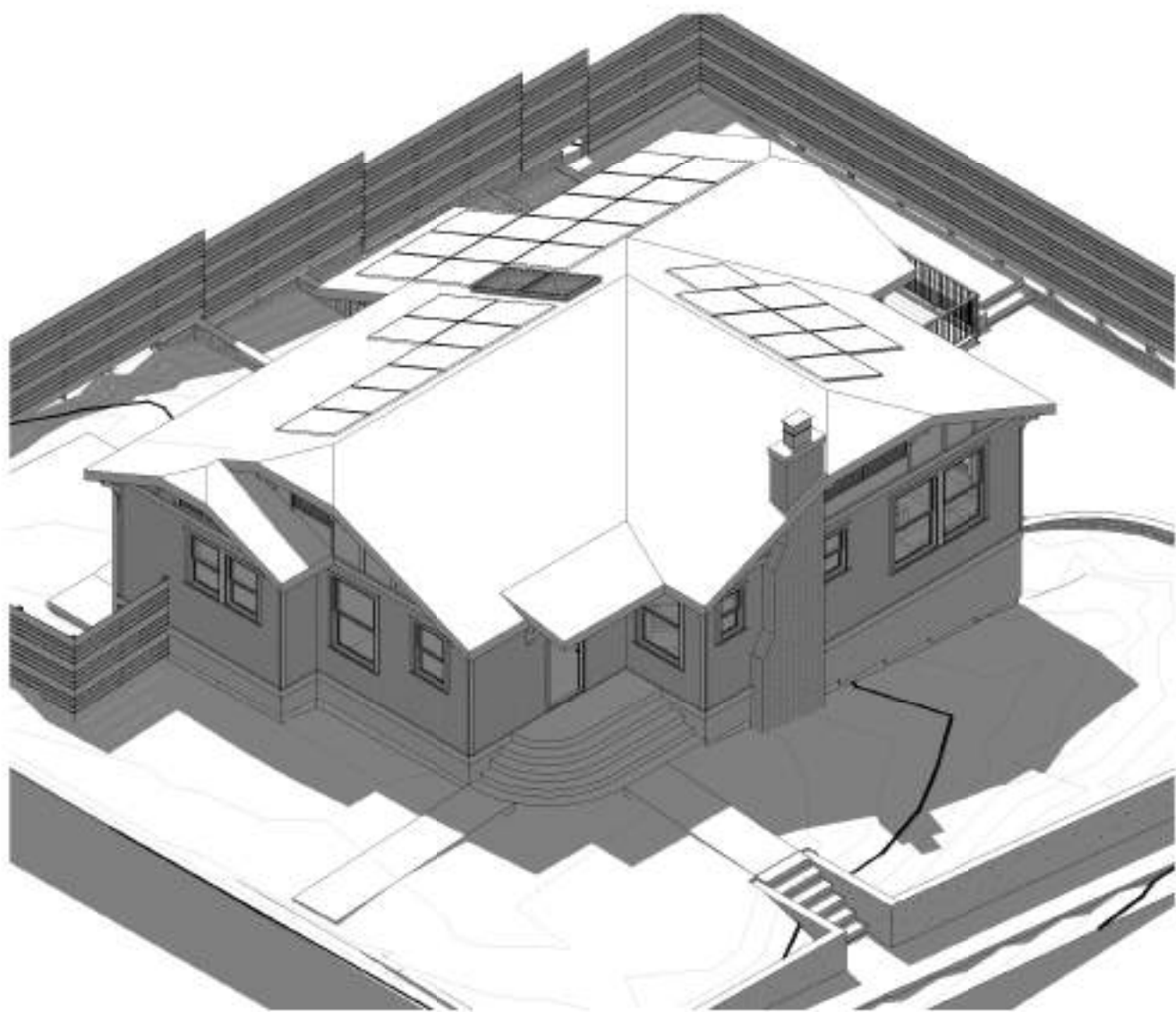
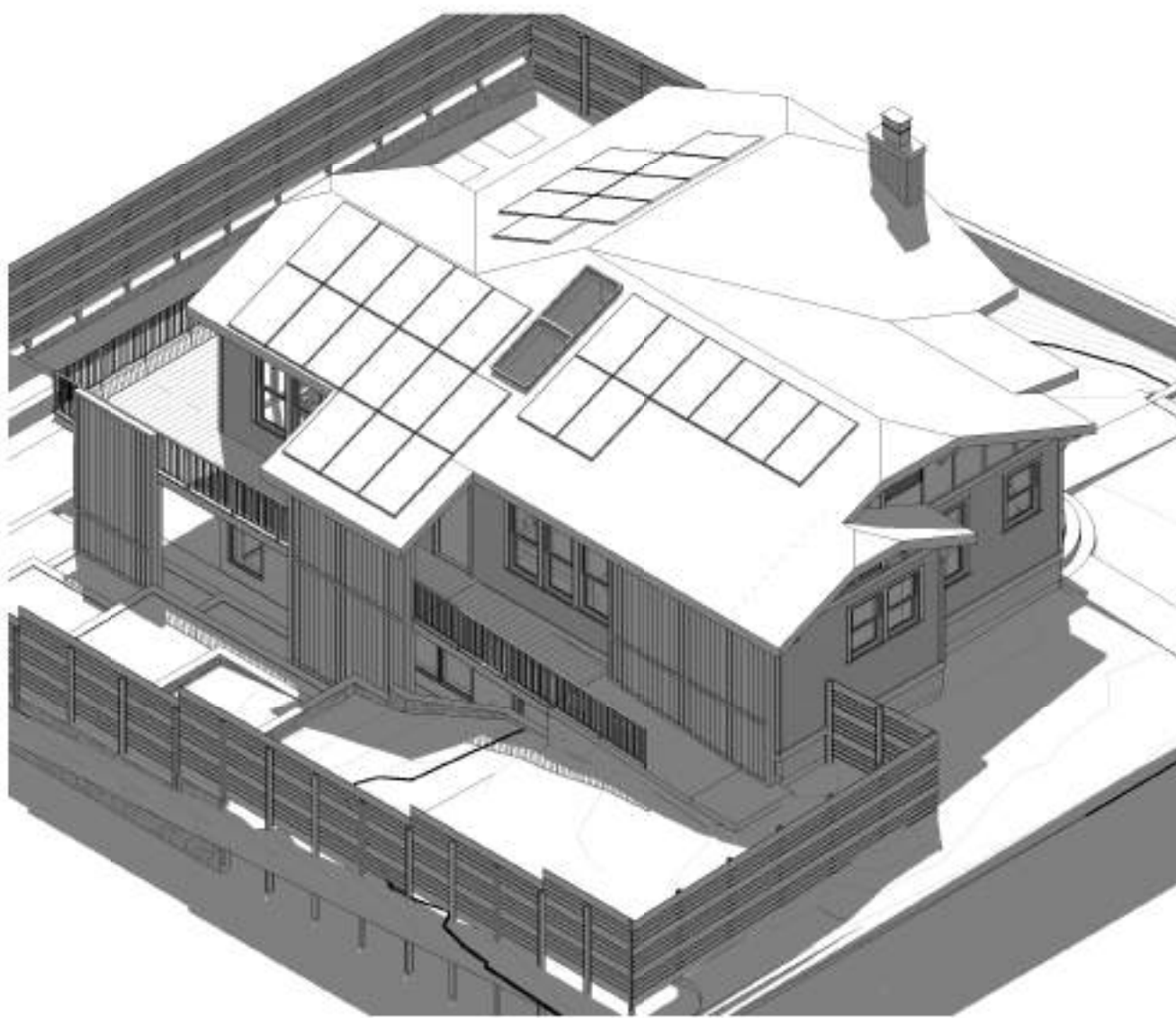
DONNA CARTER
TEXAS REGISTRATION NUMBER #8207

REVISIONS:		
NO	REFERENCE	ISSUED

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ARCHITECTURE PLANNING PRESERVATION

STRUCTURAL ENGINEER

STEINMAN LUEVANO STRUCTURES
5901 OLD FREDERICKBURG RD, B101
AUSTIN, TEXAS 78749
TEL. 512-891-6766



ABBREVIATIONS

@	AT	EWC	ELECTRIC WATER COOLER
@ F.F., @FF	AT FINISHED FLOOR	EXH.	EXHAUST
ABV.	ABOVE	EXP.	EXPANSION
ACQUST.	ACOUSTICAL	EXT.	EXTERIOR
A/C	AIR CONDITIONING	EXTING.	EXTINGUISHER
ADA	AMERICANS WITH DISABILITIES ACT	FEC	FIRE EXTINGUISHER CABINET
ADMIN.	ADMINISTRATION	F.F. (E.)	FINISHED FLOOR (ELEVATION)
A/P/F/S.	AMPS/POLES/FUSE SIZE/STARTER SIZE	FH., F.H.	FIRE HYDRANT
A.F.F., AFF	ABOVE FINISH FLOOR	FHC	FIRE HOSE CABINET
ALUM.	ALUMINUM	FIN.	FINISH
ARCH(L).	ARCHITECT, ARCHITECTURAL	FIX.	FIXTURE
ASST.	ASSISTANT	FLR.	FLOOR
A-V	AUDIO-VISUAL	FLUOR.	FLUORESCENT
BD.	BOARD	F.O.C.	FACE OF CURB
BDT.	BETWEEN	FT.	FOOT, FEET
BHL	BOREHOLE	FURR.	FURRING
BLDG.	BUILDING	FXD.	FIXED
BLK.	BLOCK	G.C.	GENERAL CONTRACTOR
BLKG	BLOCKING	GA.	GAUGE
BM(S)	BEAM(S)	GALV.	GALVANIZED
B.O.C.	BACK OF CURB	GFL.	GROUND FAULT INTERRUPT
BOT.	BOTTOM	GLZ.	GLAZING
BSMT.	BASEMENT	G.P.M.	GALLONS PER MINUTE
BTWN.	BETWEEN	GR.	GRADE
CL	CENTER LINE	GRND.	GROUND
C.	CONDUIT	GYP.	GYPSPUM
C.J., CJ	CONTROL JOINT	H.C.: H/C	HANDICAPPED
C.O.A.	CITY OF AUSTIN	HORIZ.	HORIZONTAL
CAB.	CABINET	HR.	HOUR
CAL.	CALIPER	HRDWD.	HARDWOOD
CCTS.	CIRCUITS	HT.	HEIGHT
CHAN.	CHANNEL	IN.	INCHES
CLG.	CEILING	INFO.	INFORMATION
CMU, C.M.U.	CONCRETE MASONRY UNIT	INSULA.; INSUL.	INSULATION
COL.	COLUMN	INT.	INTERIOR
COM.	COMMUNICATION	JAN.	JANITOR
CONC.	CONCRETE	JST	JOIST
CONN.	CONNECTION	JT., JNT	JOINT
CONST.	CONSTRUCTION	LAM.	LAMINATE
CONT.	CONTINUOUS	LAV.	LAVATORY
COORD	COORDINATION	LBS.	POUNDS
CORR.	CORRIDOR	LF, L.F.	LINEAR FEET
CTR(D).	CENTER(ED)	LT.	LIGHT
CU.	COPPER	MAX.	MAXIMUM
CVR.	COVER	MANUF.	MANUFACTURER
DET.	DETAIL	MECH.	MECHANICAL
DIAG.	DIAGONAL(LY)	M.E.P.	MECHANICAL, ELECTRICAL, PLUMBING
DIA.	DIAMETER	MFR.	MANUFACTURER
DISP.	DISPENSER	MGR.	MANAGER
DIV.	DIVISION	MH.	MANHOLE
DN.	DOWN	MIN.	MINIMUM
DORM.	DORMITORY	MISC.	MISCELLANEOUS
DP.	DEEP	M.O.	MASONRY OPENING
D.S.	DOWNSPOUT	MTD.	MOUNTED
DW.	DISHWASHER	MTL.	METAL
DWG.	DRAWING	N.	NORTH
DWLS.	DOWELS	NIC	NOT IN CONTRACT
E.	EAST	N.T.S.	NOT TO SCALE
E.A.	EACH	NF.	NON-FUSED
E.J., E.J.	EXPANSION JOINT	NO.	NUMBER
ELEV.	ELEVATION	O.C.	ON CENTER
ENGR.	ENGINEER	O.H.	OVERHEAD
EQ.	EQUAL	OPNG.	OPENING
ESMT.	EASEMENT	OPP.	OPPOSITE

SYMBOLS

1	View Name	DRAWING TITLE
	1/8" = 1'-0"	
PLAN	TRUE	
NORTH	NORTH	
FINISH FLOOR	100' - 0"	ELEVATION IDENTIFIER
FINISH FLOOR	100' - 0"	CEILING HEIGHT IDENTIFIER
1	A-101	ELEVATION MARKERS
1	A-101	SECTION CUT MARKER
1	A-101	DETAIL CALL-OUT MARKER
0		COLUMN GRID IDENTIFIER
100		FLOOR PLAN ROOM IDENTIFIER
100	8'-0"	RCP ROOM IDENTIFIER
101		DOOR IDENTIFIER
1i		WINDOW IDENTIFIER
1i		WALL CONSTRUCTION IDENTIFIER
		SLOPE ARROW

PROJECT INFORMATION

PROJECT NAME	605 HIGHLAND RESIDENCE
ADDRESS	605 HIGHLAND AVE
ZONING	SF-3 -HD-NP
NEIGHBORHOOD	CENTRAL WEST AUSTIN, OWANA, SMOOT TERRACE
LOT SIZE (SF)	6000
SETBACKS:	
FRONT YARD SETBACK (F)	25'
STREET SIDE YARD SETBACK (F)	15'
SIDEYARD SETBACK (F)	5'
REAR YARD SETBACK (F)	10'
MAX. BUILDING COVERAGE	40%
MAX. IMPERVIOUS COVERAGE	45%
VISITABILITY REQUIRED	NO
SUBCHAPTER F APPLICABLE	YES

APPLICABLE CODES:

INTERNATIONAL RESIDENTIAL CODE (IRC)	2021
UNIFORM PLUMBING CODE (UPC)	2021
UNIFORM MECHANICAL CODE (UMC)	2021
NATIONAL ELECTRICAL CODE (NEC)	2020
INTERNATION FIRE CODE (IFC)	2021
INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	2021
INTERNATIONAL WILDLAND-URBAN INTERFACE CODE (IWUIC)	2015
FLOOD HAZARD AREAS (CHAPTER 25-12, ARTICLE 3)	

GENERAL PROJECT NOTES

- THE ARCHITECT, ENGINEER OR OWNER SHALL NOT BE RESPONSIBLE FOR, OR HAVE CONTROL OF, OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, NOR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNNECTION WITH THE WORK. THE ARCHITECT, ENGINEER OR OWNER SHALL NOT BE RESPONSIBLE NOR HAVE CONTROL OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
- WORK SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES AND STANDARD SPECIFICATIONS OF ALL AGENCIES HAVING THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS PER THESE PLANS AND SPECIFICATIONS. IN THIS LOCALITY, COMPLY WITH ALL RECOMMENDED PRACTICES AS SET FORTH BY THE FOLLOWING, BUT NOT LIMITED TO: EPA, ASME, SMAONA, ASHRAE, NFPA, ALL LOCAL BUILDING, MECHANICAL, AND PLUMBING CODE, NATIONAL ELECTRICAL CODE, OSHA, AND REGULATIONS OF ALL GOVERNING BODIES AS THEY APPLY TO THIS PROJECT.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. INTERRUPTION OF UTILITY SERVICES IS NOT PERMITTED WITHOUT FULL COORDINATION WITH OWNER. SOME AREAS MAY REQUIRE WORK ON WEEKENDS OR OFF HOURS.
- IT SHALL BE THE CONTRACTOR'S RESONIBILITY TO NOTIFY THE OWNER OF ALL UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY SERVICE AND COORDINATE HIS WORK ACCORDINGLY.
- THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAK OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. IF EXISTING UTILITY CONSTRUCTION CONFLICTS WITH PROJECT REQUIREMENTS, CONTRACTOR SHALL NOTIFY OWNER SO THE CONFLICT MAY BE RESOLVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING PROPERTY BY HIS STAFF OR SUBCONTRACTORS.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT.
- THE DESIGN AND PROVISION OF ALL TEMPORARY SUPPORTS SUCH AS BUYING BRACES, FALSEWORK, SUPPORTS AND ANCHORS FOR SAFETY LINES, CURBBING, SHORING, OR ANY OTHER TEMPORARY ELEMENTS REQUIRED FOR THE EXECUTION OF THE CONTRACT ARE NOT INCLUDED IN THESE DRAWINGS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. TEMPORARY SUPPORTS SHALL NOT RESULT IN THE OVERSTRESS OR DAMAGE OF THE ELEMENTS TO BE BRACED NOR ANY ELEMENTS USED AS BRACE SUPPORTS.
- CONTRACTOR SHALL MEET ALL LOCAL NOISE ORDINANCES.

ISSUE DATE: 04 MAY 2023

PROJECT NUMBER: 202221

DRAWN BY: ZWR

CHECKED BY: DDC

REVISIONS:

NO	REFERENCE	ISSUED

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DONNA CARTER
TEXAS REGISTRATION NUMBER #8207

DESIGN DEVELOPMENT

605 HIGHLAND
RESIDENCE

605 HIGHLAND AVE
AUSTIN, TEXAS 78703

GENERAL NOTES &
ABBREVIATIONS

G101

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ARCHITECTURE • PRESERVATION • PLANNING

REVISIONS:

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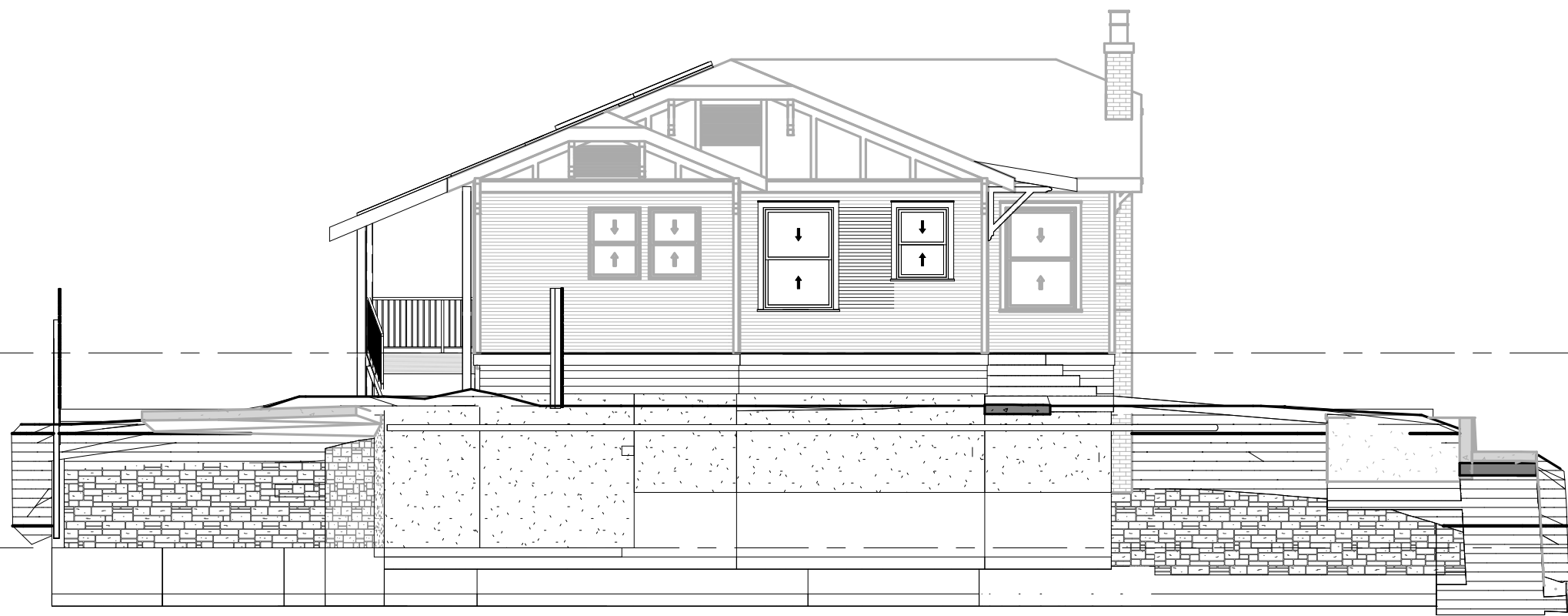
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AUSTIN, TEXAS 78703

SUBCHAPTER F
TENT ANALYSIS

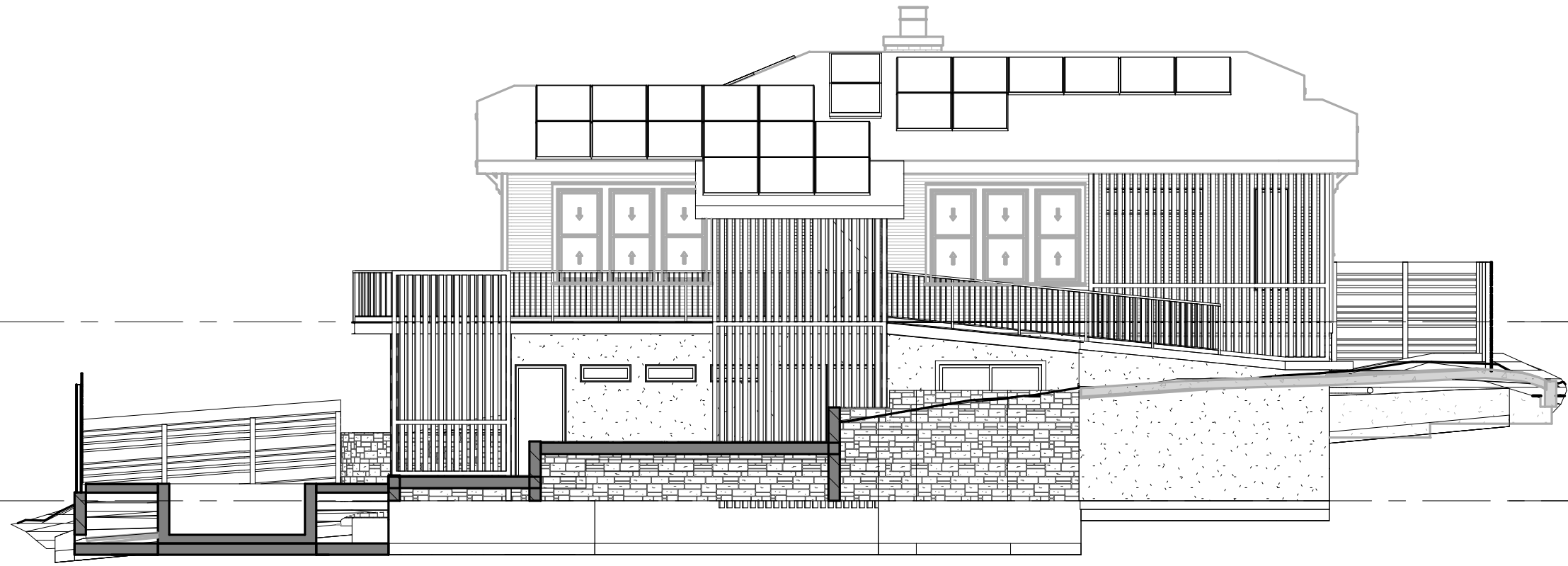
G102



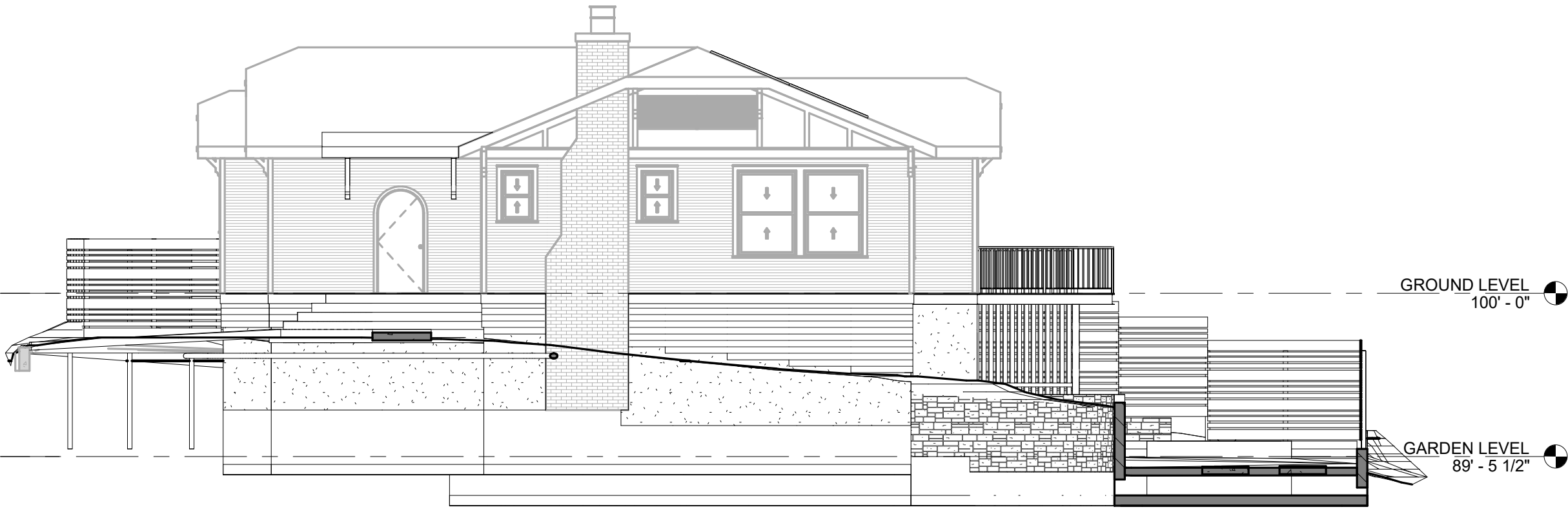
5 SUBCHAPTER F - NORTH ELEVATION
1/8" = 1'-0"



2 SUBCHAPTER F - SOUTH ELEVATION
1/8" = 1'-0"



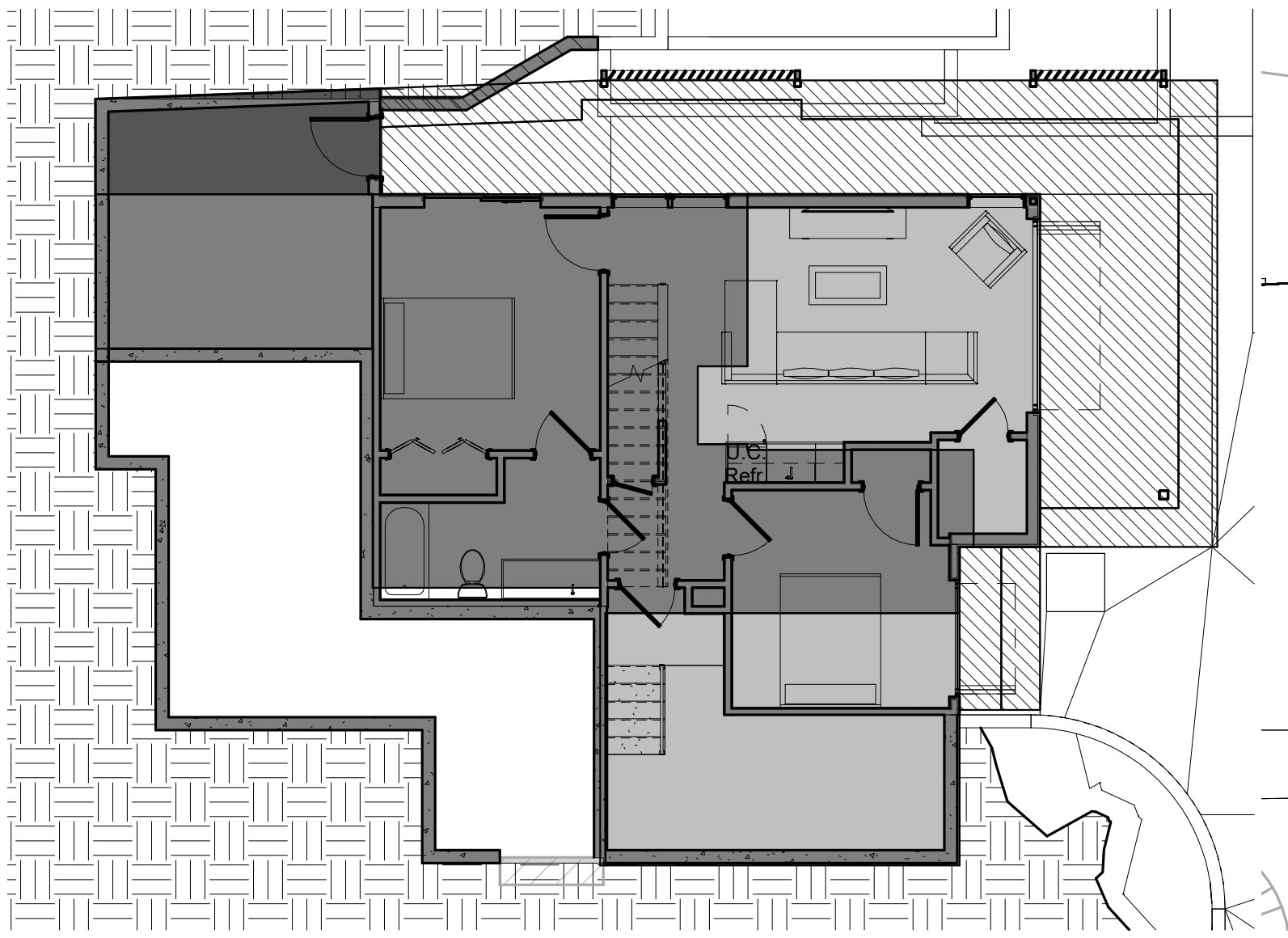
3 SUBCHAPTER F - EAST ELEVATION
1/8" = 1'-0"



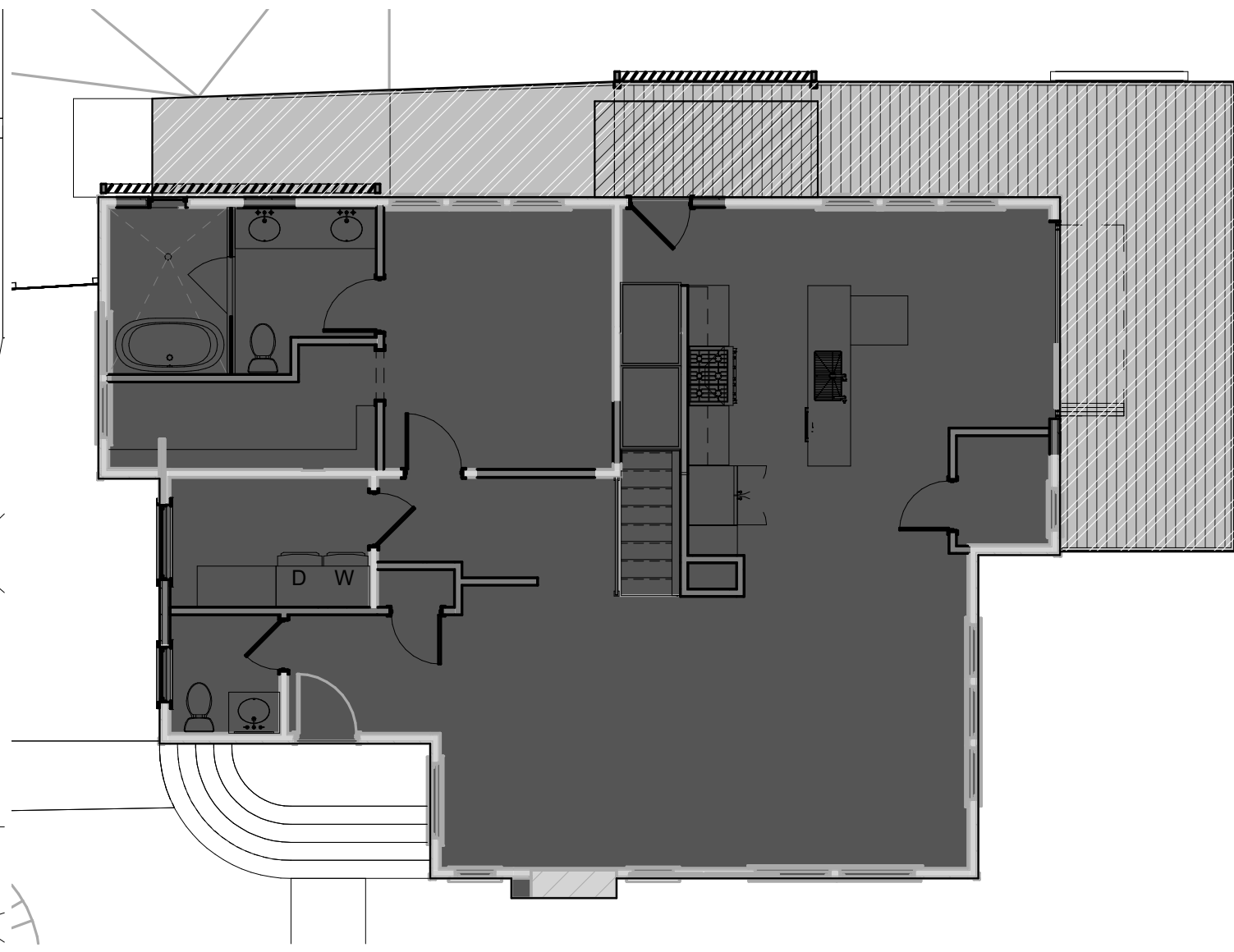
4 SUBCHAPTER F - WEST ELEVATION
1/8" = 1'-0"

FAR & VISITABILITY LEGEND

[Pattern]	HABITABLE AREA
[Pattern]	CEILINGS ABOVE 15'
[Pattern]	CEILINGS 7' OR LESS
[Pattern]	CEILINGS 5' OR LESS
[Pattern]	GROUND FLOOR PORCH 200 SF MAX EXEMPTION
[Pattern]	GROUND FLOOR PORCH FULLY EXEMPT
[Pattern]	GARAGE / CARPORT
[Pattern]	GARAGE / CARPORT UP TO 200 SF EXEMPTION
[Pattern]	GARAGE / CARPORT UP 450 SF EXEMPTION
[Pattern]	HABITABLE ATTIC OR BASEMENT

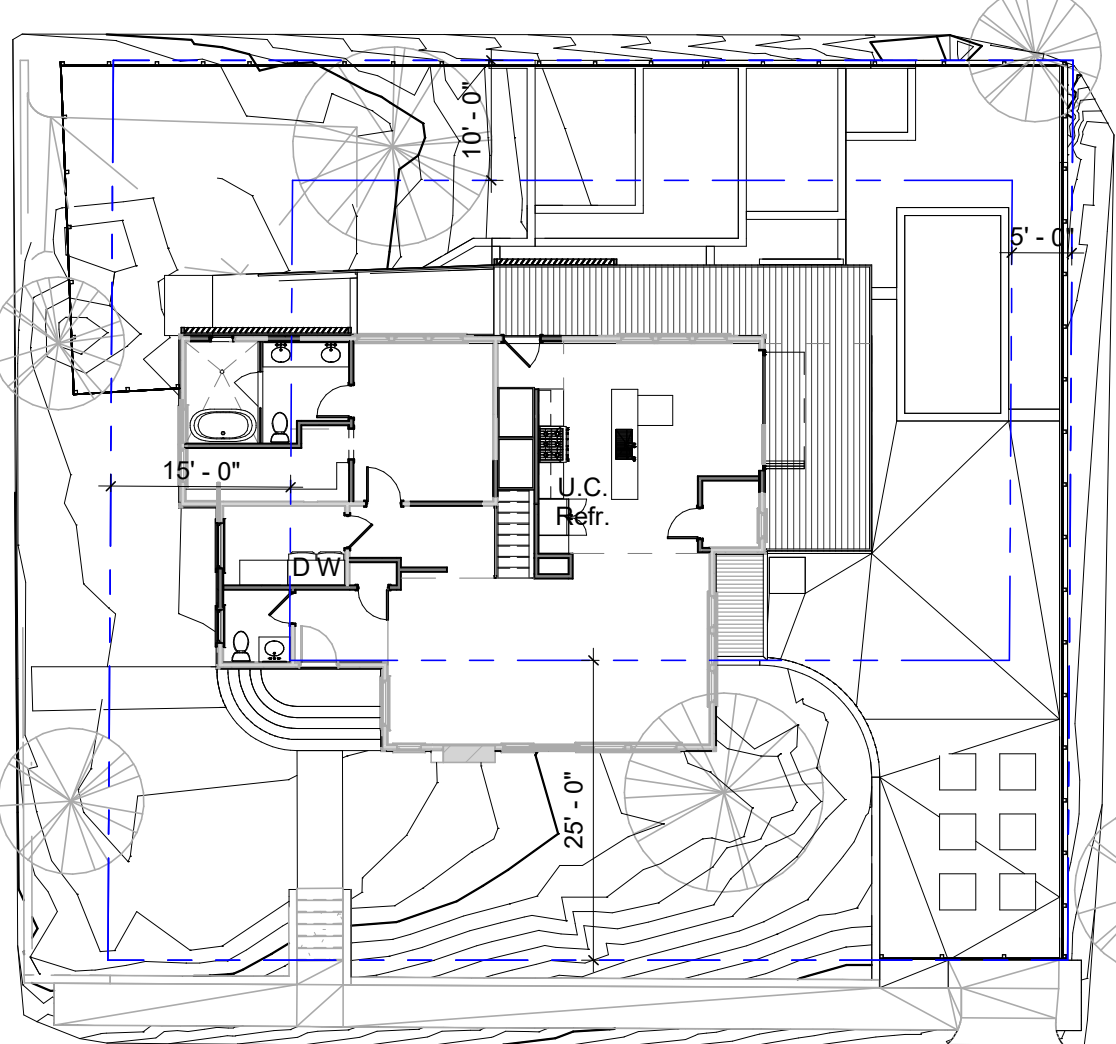


7 GARDEN LEVEL - FAR AREA CALCULATIONS
1/8" = 1'-0"



6 GROUND LEVEL - FAR AREA CALCULATIONS
1/8" = 1'-0"

FAR in McMansion Area Permit Application Page 3						
	Existing to Remain	Proposed	Exemption	SF Applied Exemption		Total SF
Existing Conditions						
Lot Size						6000
Allowable FAR (If <2300 then FAR=2300)						2400
Primary Building						
1st Floor	1469.22	0				1469.22
2nd Floor	0	0				0
3rd Floor	0	0				0
Area w/ clgs >15'	0	0				0
Ground Floor Porch (fully exempt)	0	480.2		480.2		0
Ground Floor Porch (200 sf max exempt)	0	0		0		0
Ground Floor Porch 2 (fully exempt)	0	0		0		0
Ground Floor Porch 2 (200 sf max exempt)	0	230.04		200		30.04
Ground Floor Porch 3 (fully exempt)	34.88	0		34.88		0
Ground Floor Porch 3 (200 sf max exempt)	0	0		0		0
Basement	463.77	680.61		0		1144.38
Attic	0	0		0		0
Garage						
Attached	0	0	up to 200	0		0
Detached	0	0	up to 200	0		0
	0	0	up to 450	0		0
Carport						
Attached	0	0	up to 200	0		0
	0	0	up to 450	0		0
Detached	0	0	up to 450	0		0
Accessory Building						
1st Floor	0	0		0		0
2nd Floor	0	0		0		0
Totals	1967.87	1390.85		2643.64		
Allowable FAR (If <2300)						40%
Total FAR						44%



1 SUBCHAPTER F TENT SITE PLAN
1/16" = 1'-0"

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CRAWL SPACE AND FOUNDATION



LOOKING NORTHEAST



LOOKING NORTHWEST

HOUSE INTERIOR



WINDOWS



DINING ROOM



KITCHEN



LIVING ROOM

GARAGE



GARAGE - WEST ELEVATION



GARAGE - NORTH ELEVATION

HOUSE EXTERIOR



EAST ELEVATION



NORTH ELEVATION - 6TH 1/2 STREET



SOUTH ELEVATION



WEST ELEVATION - HIGHLAND AVENUE

ISSUE DATE:	04 MAY 2023
PROJECT NUMBER:	202221
DRAWN BY:	ZWR
CHECKED BY:	DDC

REVISIONS:

NO	REFERENCE	ISSUED



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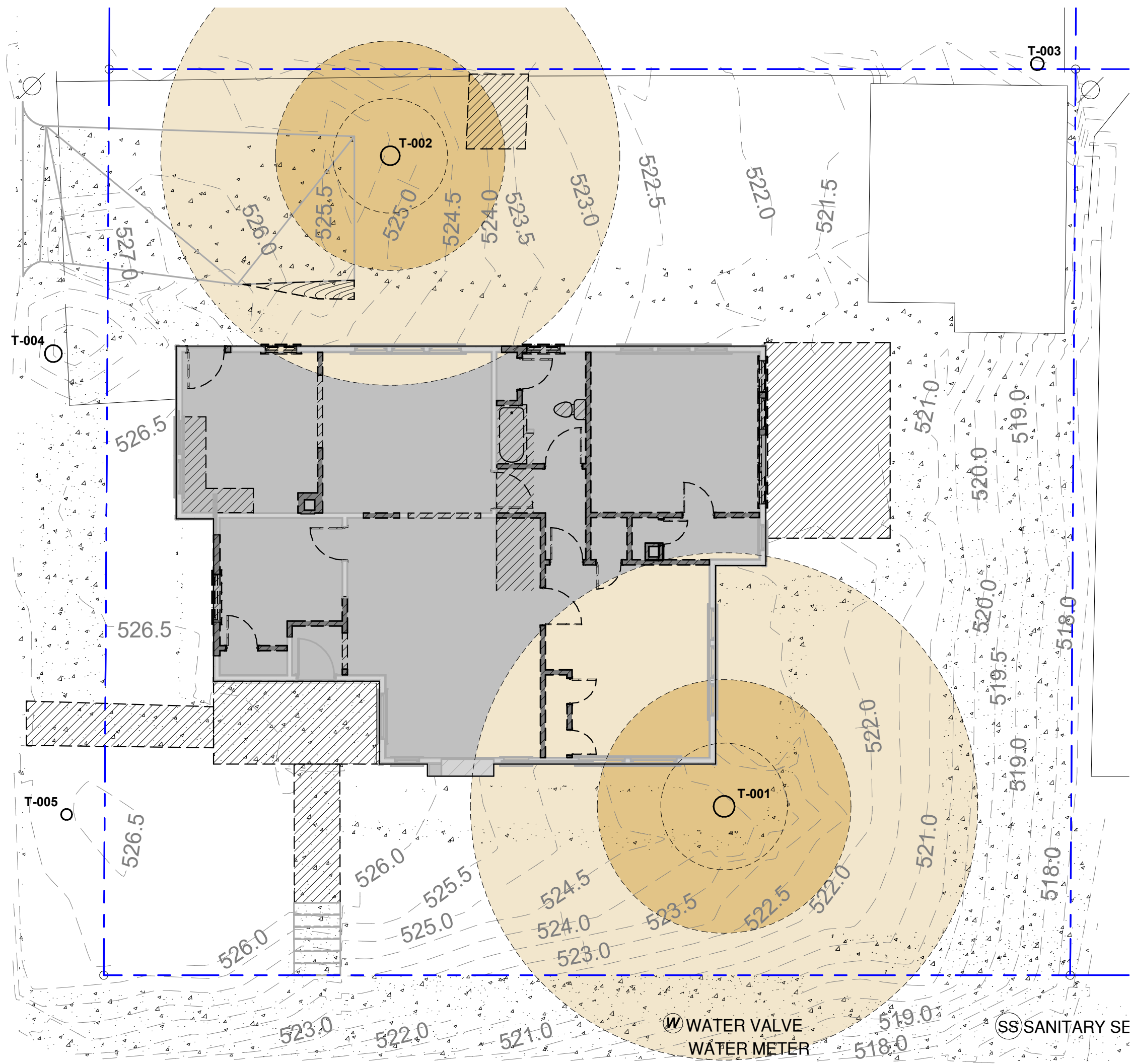
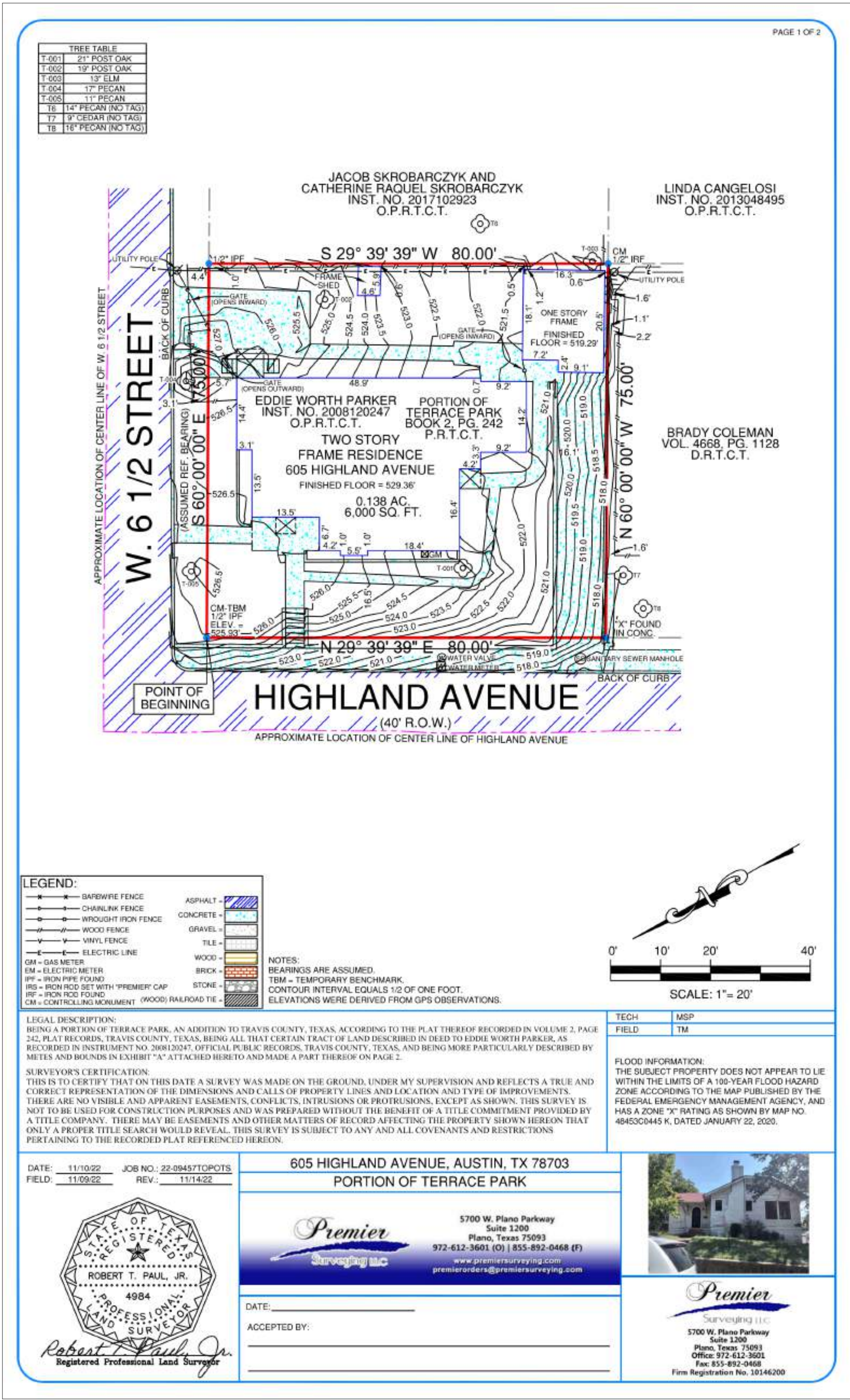
DESIGN DEVELOPMENT

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RESIDENCE

605 HIGHLAND AVE
AUSTIN, TEXAS 78703

EXISTING
CONDITION
PHOTOS

G103



- SITE PLAN NOTES
- EXISTINGS CONDITIONS ARE BASED ON SURVEY PERFORMED BY PREMIER SURVEYING LLC DATED 11/14/22, VISUAL INSPECTION AND OWNER PROVIDED INFORMATION.
 - VERIFY EXISTING SITE CONDITIONS AND REPORT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THESE PLANS PRIOR TO COMMENCING WORK.
 - ALL NEW SIDEWALKS TO HAVE MAX 1:20 GRADE WITH CROSS SLOPE TO DRAIN AT 1/4" PER FOOT AND BROOM FINISH UNLESS OTHERWISE NOTED.
 - REFER TO SHEET G101 FOR VISIBILITY REQUIREMENTS.
 - FIRST FLOOR ENTRANCES SHALL HAVE MAX 1/2" BEVELED THRESHOLDS.
 - ENSURE GRADE SLOPES AWAY FROM BUILDING ALONG ENTIRE PERIMETER.
 - THE SITE PLAN SHOWS ONLY PROTECTED TREES. OTHER TREES BELOW 19" ARE SHOWN ON THE EXISTING CONDITIONS PLAN AND ARE TO REMAIN AND BE SIMILARLY PROTECTED DURING CONSTRUCTION AS REASONABLE UNLESS SPECIFICALLY LABELED TO BE REMOVED.
 - TREES ARE SHOWING WITH ACTUAL DIAMETER.
 - ALL SITE AREAS WITH NO NEW LANDSCAPE OR HARDSCAPE SHALL BE RESTORED TO EXISTING CONDITION.
 - FRONT YARD IMPERVIOUS COVER = _____
- TREE PROTECTION NOTES
- BEFORE CONSTRUCTION
 - 1.1 ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED PER ECM 3.6.1.
 - 1.2 TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE WORK, INCLUDING DEMOLITION OR SITE PREPARATION. REFER TO ECM 3.6.1.A.
 - 1.3 FENCING FOR TREE PROTECTION SHALL BE CHAIN-LINK MESH WITH A MINIMUM HEIGHT OF 5 FEET AND SHALL BE INSTALLED AROUND OR BEYOND THE CRITICAL ROOT ZONE EXCEPT AS ALLOWED IN ECM 3.6.1.B.4.
 - 1.4 UNFENCED SECTIONS OF THE CRITICAL ROOT ZONE SHALL BE COVERED WITH MULCH AT A MINIMUM DEPTH OF 8 INCHES AND A MAXIMUM DEPTH OF 12 INCHES PER ECM 3.6.1.C.
 - 1.5 WHERE FENCING IS LOCATED 5 FEET OR LESS FROM THE TRUNK OF A PRESERVED TREE, TRUNK WRAPPING SHALL BE INSTALLED PER ECM 3.6.1.D.
 - 1.6 EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AND MAINTAINED SO AS NOT TO CAUSE IMPACTS THAT EXCEED PRESERVATION CRITERIA LISTED IN ECM 3.5.3.D.
 - DURING CONSTRUCTION
 - 2.1 TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER THAT DOES NOT EXCEED PRESERVATION CRITERIA FOR THE TREES TO REMAIN. REFER TO ECM 3.5.2 A.
 - 2.2 FENCING MAY NOT BE TEMPORARILY MOVED OR REMOVED DURING DEVELOPMENT WITHOUT PRIOR AUTHORIZATION. THE FENCED CRITICAL ROOT ZONE SHALL NOT BE USED FOR TOOL OR MATERIAL STORAGE OF ANY KIND AND SHALL BE KEPT FREE OF LITTER. REFER TO ECM 3.6.1.B.3.
 - 2.3 PRUNING SHALL BE IN COMPLIANCE WITH THE CURRENT ANSI A300 STANDARD FOR TREE CARE.
 - 3 AFTER CONSTRUCTION
 - 3.1 TREE PROTECTION SHALL BE REMOVED AT THE END OF THE PROJECT AFTER ALL CONSTRUCTION AND FINAL GRADING IS COMPLETE, BUT BEFORE FINAL INSPECTION. REFER TO ECM 3.6.1.A.
 - 3.2 LANDSCAPE INSTALLATION WITHIN THE CRZ OF PRESERVED TREES, INCLUDING IRRIGATION, SOIL AND PLANTINGS, SHALL NOT EXCEED PRESERVATION CRITERIA LISTED IN ECM 3.5.2.
 - 3.3 DOCUMENTATION OF TREE WORK PERFORMED MUST BE PROVIDED TO INSPECTOR PER ECM APPENDIX P-6.
 - 3.4 THIS LIST IS NOT EXHAUSTIVE. REFER TO APPROPRIATE ECM SECTIONS FOR FULL REQUIREMENTS.

TREE LIST

T-001	21" POST OAK
T-002	19" POST OAK
T-003	13" ELM
T-004	17" PECAN
T-005	11" PECAN

ISSUE DATE: 04 MAY 2023

PROJECT NUMBER: 202221

DRAWN BY: ZWR

CHECKED BY: DDC

REVISIONS:

NO	REFERENCE	ISSUED

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DESIGN DEVELOPMENT

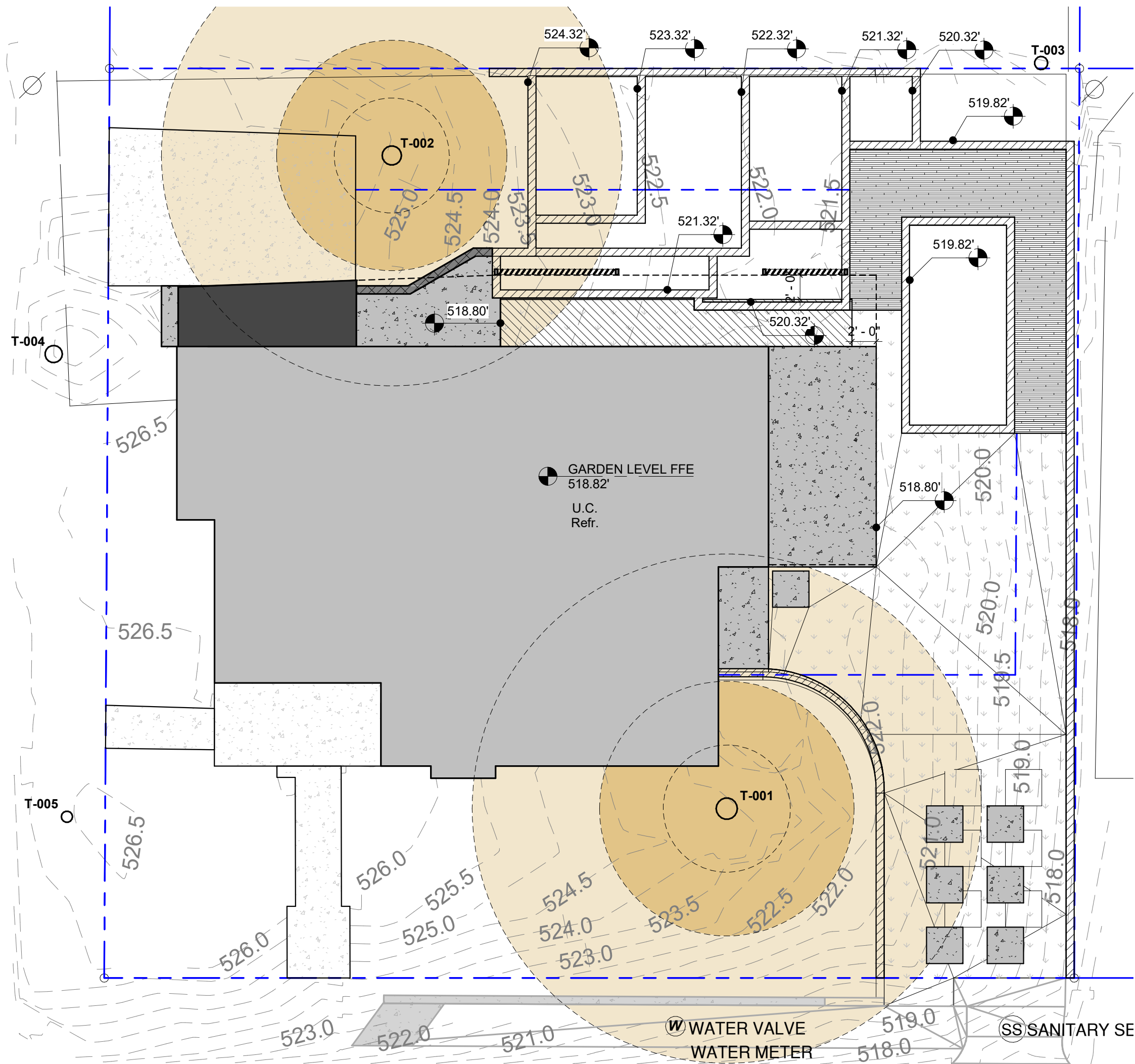
605 HIGHLAND RESIDENCE

EXISTING SITE CONDITIONS & DEMO

AS100

605 HIGHLAND AVE
AUSTIN, TEXAS 78703

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1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

Site Development Information <i>Permit Application page 2</i>	Existing to Remain		New/Added		Total SF	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1st Floor Conditioned Area	1469....	0	0	0	1469....	0
b) 2nd Floor Conditioned Area	0	0	0	0	0	0
c) 3rd Floor Conditioned Area	0	0	0	0	0	0
d) Basement	463.77	0	604.59	0	1068....	0
e) Covered Parking (garage or carport)	0	0	0	0	0	0
f) Covered patio, deck, porch and balconies	0	0	301.81	0	301.81	0
g) Other covered or roofed areas	0	0	0	0	0	0
h) Uncovered Wood Decks (counts at 50%)	0	0	203.18	0		
Total Building Area (a through h)	1932....	0	906.4	0	2839....	0
i) Pool	0	0	131.86	0		
j) Spa	0	0	0	0		
k) Remodeled Floor Area, excluding Addition/ New construction	0	0				

Calculation Aid <i>Permit Application page 7</i>		Existing SF	New/Added SF	Total SF
a) 1st Floor Conditioned Area		1469.22	0	1469.22
b) 2nd Floor Conditioned Area		0	0	0
c) 3rd Floor Conditioned Area		0	0	0
d) Basement		463.77	604.59	1068.36
e) Attached Covered Parking (garage or...		0	0	0
f) Detached Covered Parking (garage or...		0	0	0
g) Covered Wood Decks (count at 100%)		0	0	0
h) Covered Patio		0	301.81	301.81
i) Covered Porch		0	0	0
j) Balcony		0	0	0
k) Other: Specify	Extended...	0	76.02	76.02
Total Building Area (TBA) (add a thru k)		1932.99	982.42	2915.41
Total Building Coverage (TBC) <i>(TBA minus, if applicable: b,c,d and j)</i>		1469.22	377.83	1847.05
l) Driveway		255.87	0	255.87
m) Sidewalks		107.1	20	127.1
n) Uncovered Patio		94.12	150.12	244.24
o) Uncovered Wood Decks (counted at 50%)		0	101.59	101.59
p) AC pads & other Flatwork		0	63	63
q) Other (Pool coping & Retaining Walls)		0	224.96	224.96
Total Site Impervious Coverage <i>(sum TBC + l thru q)</i>		1926.31	937.5	2863.81
r) Pool		0	131.86	131.86
s) Spa		0	0	0

Building Coverage Calculation		Existing	Total
Existing Building Coverage		24%	
Final Building Coverage			31%

Impervious Coverage Calculation		Existing	Total
Existing Impervious Coverage		32%	
Final Impervious Coverage			48%

LEGEND

- EXISTING CONCRETE TO REMAIN
- CONCRETE
- EXISTING ASPHALT TO REMAIN
- ASPHALT
- PERVIOUS PLANTINGS
- NEW ADDITION
- AREA TO BE REMODELED
- EXISTING BUILDING TO REMAIN
- CRITICAL ROOT ZONES OF PROTECTED TREES
- 1/2 AND 1/4 CRITICAL ROOT ZONES OF PROTECTED TREES
- GRAVEL
- AREA TO BE MULCHED
- NEW TOPO LINE
- EXISTING TOPO

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SITE PLAN NOTES

- EXISTINGS CONDITIONS ARE BASED ON SURVEY PERFORMED BY PREMIER SURVEYING LLC DATED 11/14/22. VISUAL INSPECTION AND OWNER PROVIDED INFORMATION.
- VERIFY EXISTING SITE CONDITIONS AND REPORT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THESE PLANS PRIOR TO COMMENCING WORK.
- ALL NEW SIDEWALKS TO HAVE MAX 1:20 GRADE WITH CROSS SLOPE TO DRAIN AT 1/4" PER FOOT AND BROOM FINISH UNLESS OTHERWISE NOTED.
- REFER TO SHEET G101 FOR VISIBILITY REQUIREMENTS.
- FIRST FLOOR ENTRANCES SHALL HAVE MAX 1/2" BEVELED THRESHOLDS.
- ENSURE GRADE SLOPES AWAY FROM BUILDING ALONG ENTIRE PERIMETER.
- THE SITE PLAN SHOWS ONLY PROTECTED TREES. OTHER TREES BELOW 19" ARE SHOWN ON THE EXISTING CONDITIONS PLAN AND ARE TO REMAIN AND BE SIMILARLY PROTECTED DURING CONSTRUCTION AS REASONABLE UNLESS SPECIFICALLY LABELED TO BE REMOVED.
- TREES ARE SHOWING WITH ACTUAL DIAMETER.
- ALL SITE AREAS WITH NO NEW LANDSCAPE OR HARDSCAPE SHALL BE RESTORED TO EXISTING CONDITION.
- FRONT YARD IMPERVIOUS COVER = _____

TREE PROTECTION NOTES

- BEFORE CONSTRUCTION
 - ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED PER ECM 3.6.1.
 - TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE WORK, INCLUDING DEMOLITION OR SITE PREPARATION. REFER TO ECM 3.6.1.A.
 - FENCING FOR TREE PROTECTION SHALL BE CHAIN-LINK MESH WITH A MINIMUM HEIGHT OF 5 FEET AND SHALL BE INSTALLED AROUND OR BEYOND THE CRITICAL ROOT ZONE EXCEPT AS ALLOWED IN ECM 3.6.1.B.4.
 - UNFENCED SECTIONS OF THE CRITICAL ROOT ZONE SHALL BE COVERED WITH MULCH AT A MINIMUM DEPTH OF 8 INCHES AND A MAXIMUM DEPTH OF 12 INCHES PER ECM 3.6.1.C.
 - WHERE FENCING IS LOCATED 5 FEET OR LESS FROM THE TRUNK OF A PRESERVED TREE, TRUNK WRAPPING SHALL BE INSTALLED PER ECM 3.6.1.D.
 - EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AND MAINTAINED SO AS NOT TO CAUSE IMPACTS THAT EXCEED PRESERVATION CRITERIA LISTED IN ECM 3.5.3.D.
- DURING CONSTRUCTION
 - TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER THAT DOES NOT EXCEED PRESERVATION CRITERIA FOR THE TREES TO REMAIN. REFER TO ECM 3.5.2.A.
 - FENCING MAY NOT BE TEMPORARILY MOVED OR REMOVED DURING DEVELOPMENT WITHOUT PRIOR AUTHORIZATION. THE FENCED CRITICAL ROOT ZONE SHALL NOT BE USED FOR TOOL OR MATERIAL STORAGE OF ANY KIND AND SHALL BE KEPT FREE OF LITTER. REFER TO ECM 3.6.1.B.3.
 - PRUNING SHALL BE IN COMPLIANCE WITH THE CURRENT ANSI A300 STANDARD FOR TREE CARE.
 - AFTER CONSTRUCTION
 - TREE PROTECTION SHALL BE REMOVED AT THE END OF THE PROJECT AFTER ALL CONSTRUCTION AND FINAL GRADING IS COMPLETE, BUT BEFORE FINAL INSPECTION. REFER TO ECM 3.6.1.A.
 - LANDSCAPE INSTALLATION WITHIN THE CRZ OF PRESERVED TREES, INCLUDING IRRIGATION, SOIL AND PLANTINGS, SHALL NOT EXCEED PRESERVATION CRITERIA LISTED IN ECM 3.5.2.
 - DOCUMENTATION OF TREE WORK PERFORMED MUST BE PROVIDED TO INSPECTOR PER ECM APPENDIX P-6.
 - THIS LIST IS NOT EXHAUSTIVE. REFER TO APPROPRIATE ECM SECTIONS FOR FULL REQUIREMENTS.

TREE LIST

- T-001 21" POST OAK
- T-002 19" POST OAK
- T-003 13" ELM
- T-004 17" PECAN
- T-005 11" PECAN

ISSUE DATE: **04 MAY 2023**
PROJECT NUMBER: **202221**
DRAWN BY: **ZWR**
CHECKED BY: **DDC**

REVISIONS:

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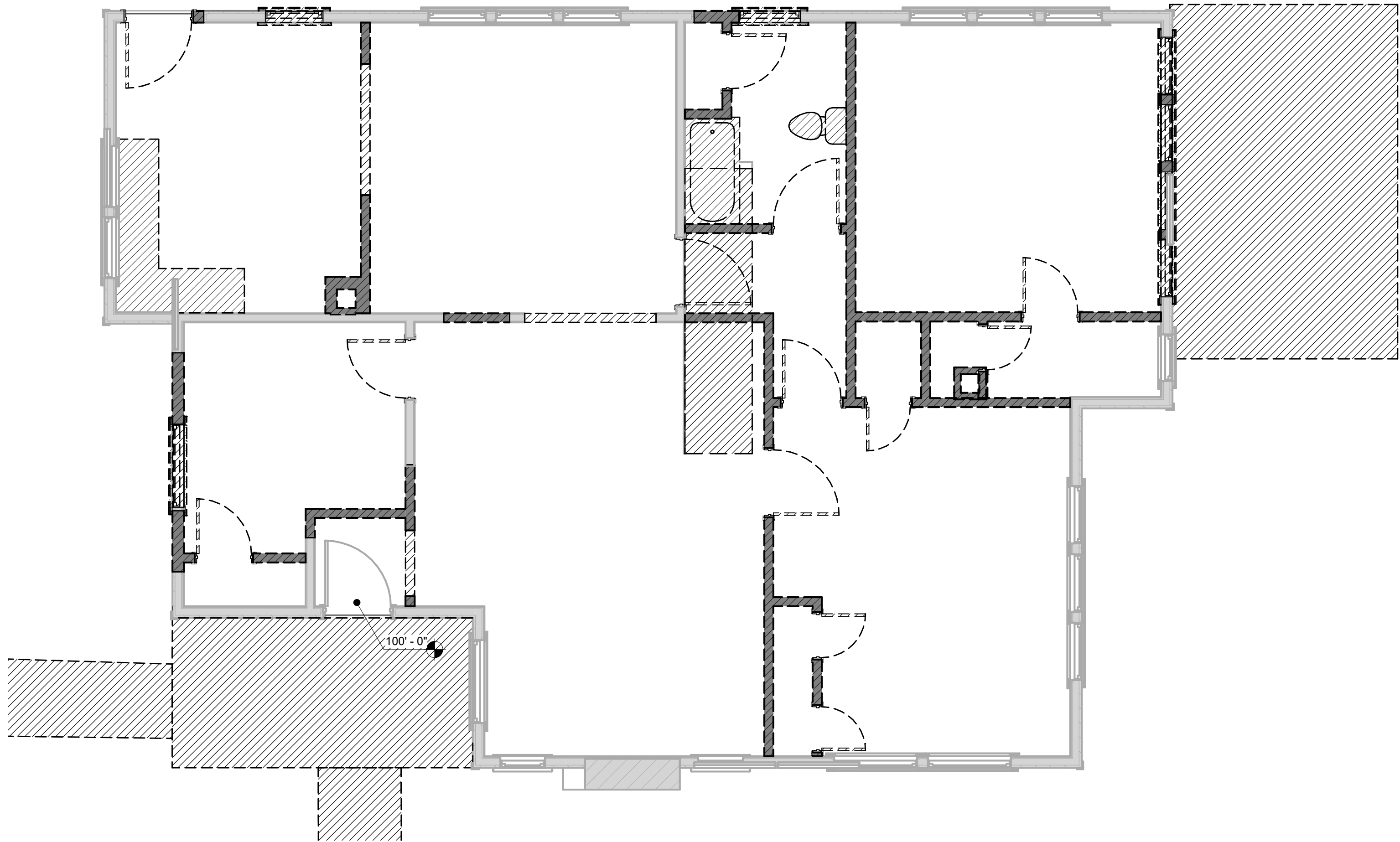
605 HIGHLAND
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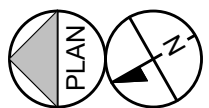
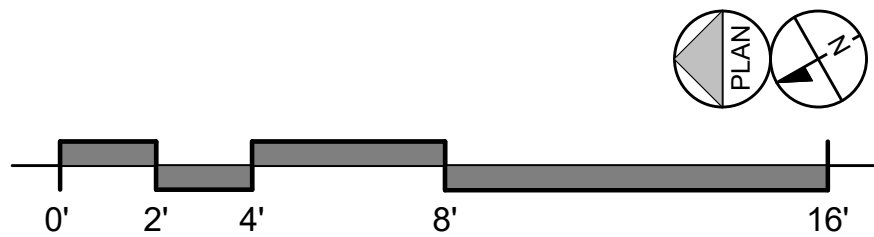
SITE PLAN & LDC
CALCULATIONS

AS101

8/8/2023 9:55:49 PM E:\Project Plans\605 Highland_21_cad\CADSET.dwg



1 GROUND LEVEL - DEMO PLAN
1/4" = 1'-0"



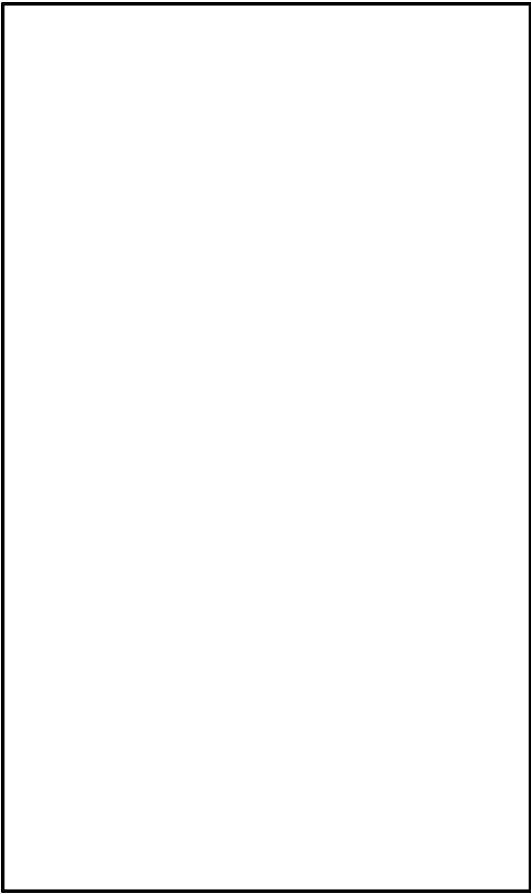
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CHECKED BY:	DDC

REVISIONS:

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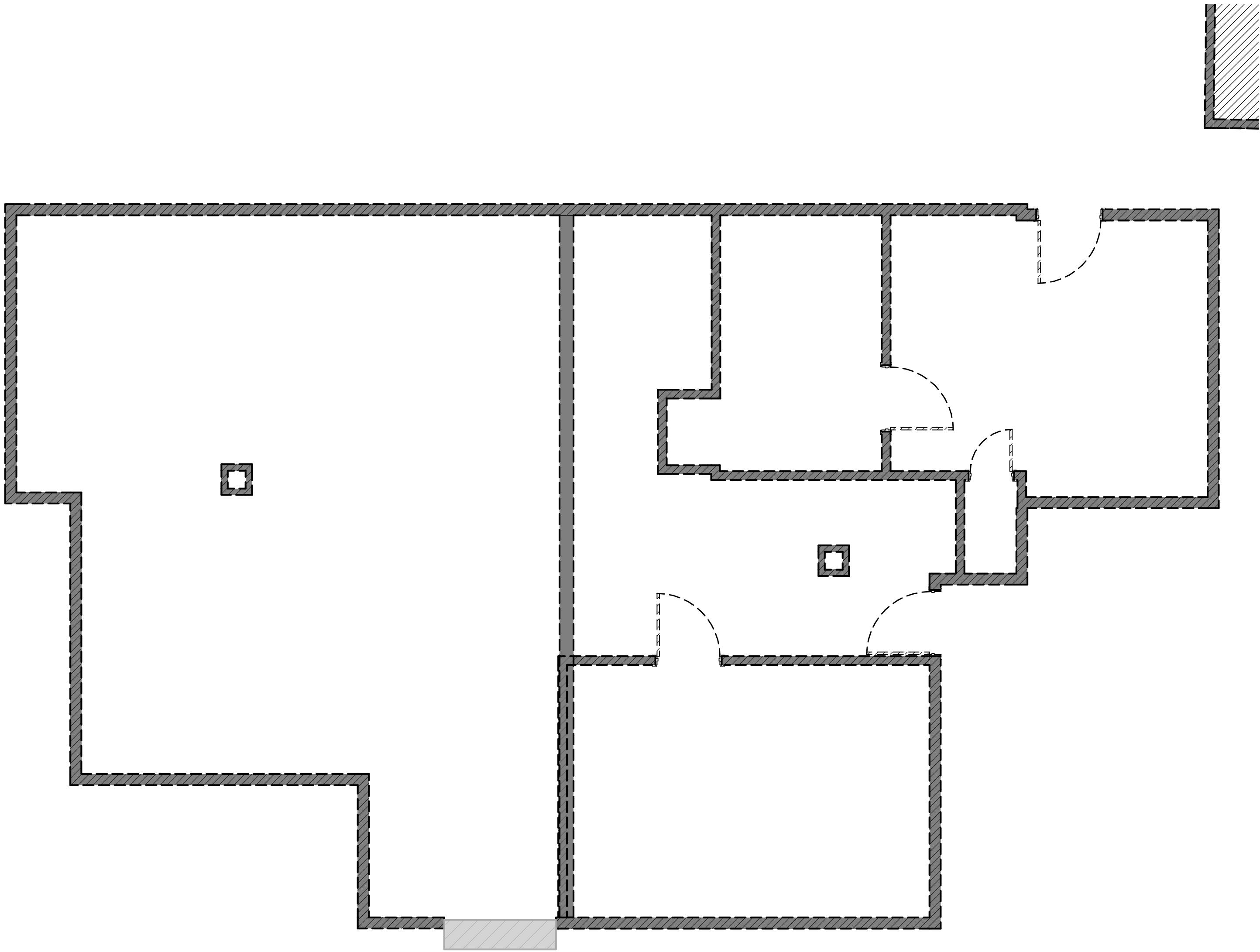
DESIGN DEVELOPMENT

605 HIGHLAND
RESIDENCE

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AUSTIN, TEXAS 78703

GROUND LEVEL -
DEMO PLAN

AD101



1 GARDEN LEVEL - DEMO PLAN
1/4" = 1'-0"

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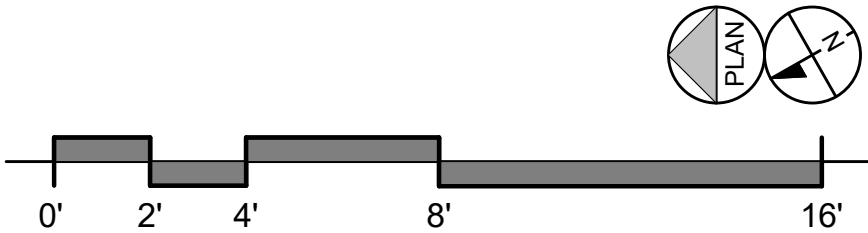
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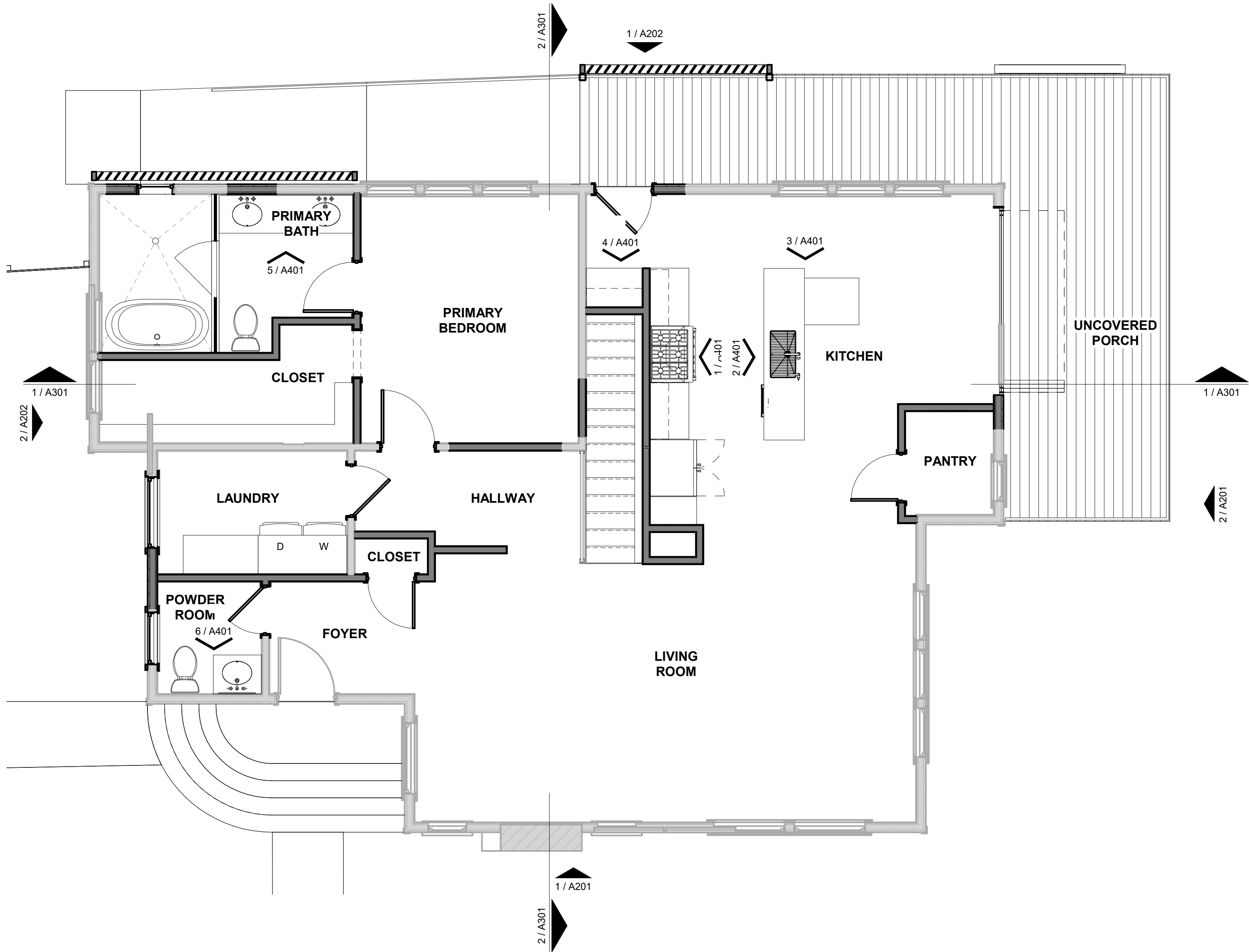
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GARDEN LEVEL -
DEMO PLAN

AD102





2 GROUND LEVEL - ANNOTATION PLAN
1/4" = 1'-0"

GENERAL NOTES

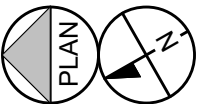
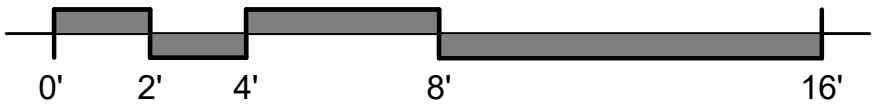
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LEGEND

- | | |
|------|--------------------------------------|
| ELEC | ELECTRIC SERVICE METER / WEATHERHEAD |
| GAS | GAS METER |
| WH | TANKLESS WATER HEATER |
| — | GAS CONNECTION |
| + | HOSE BIB |
| □ | DOWNSPOUT WITH SPLASHBLOCK |
| ■ | CONCRETE FINISH |



ISSUE DATE: 04 MAY 2023
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DRAWN BY: ZWR
CHECKED BY: DDC

REVISIONS:

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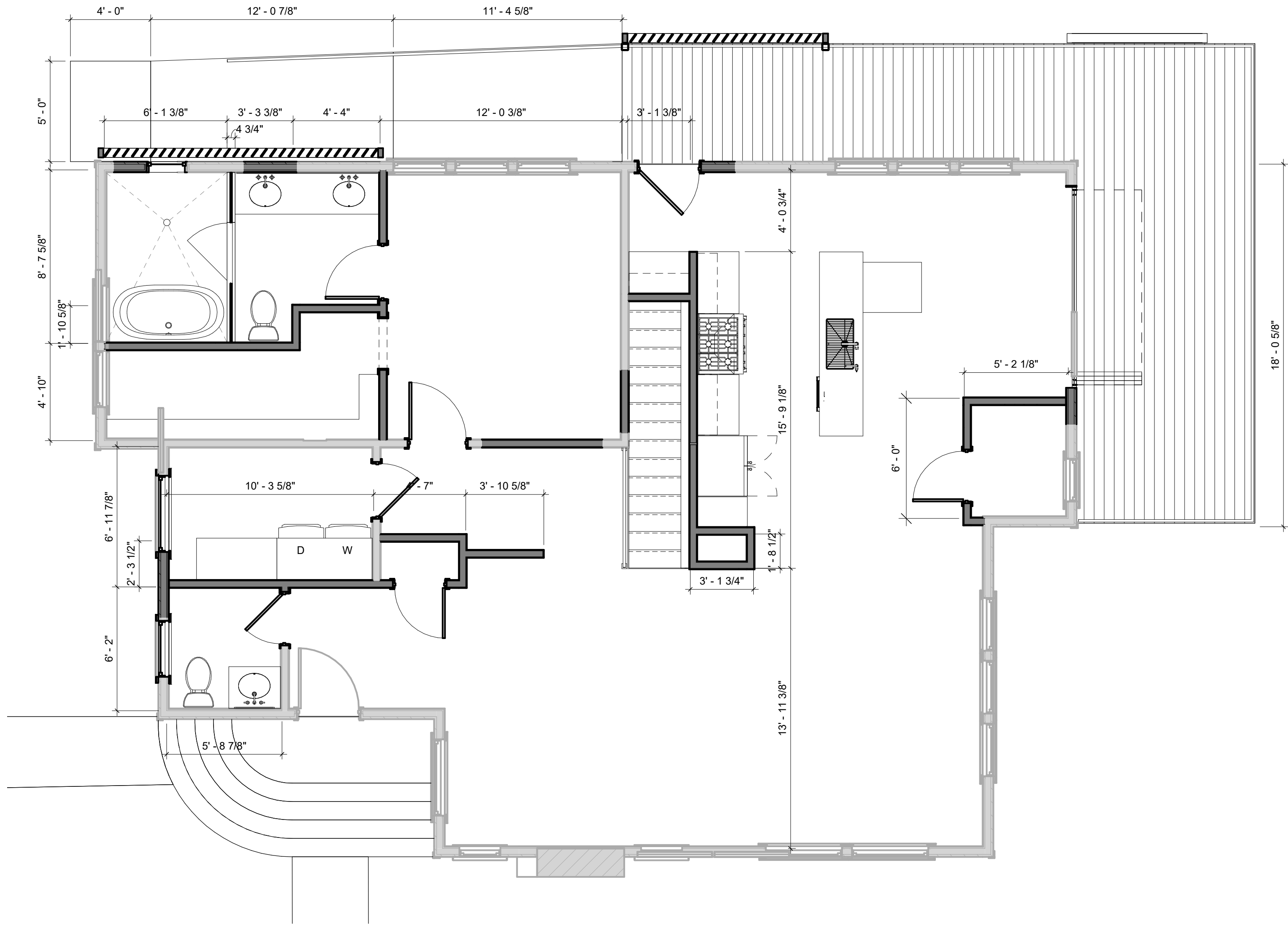
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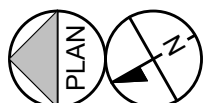
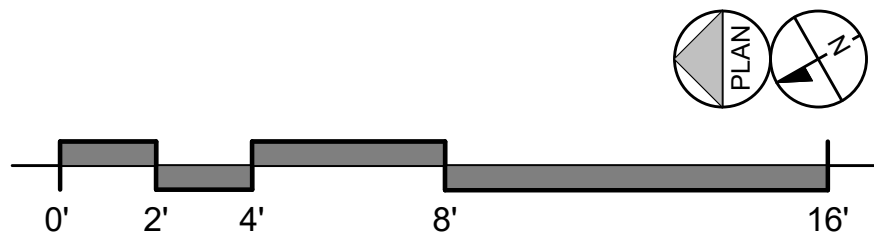
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GROUND LEVEL -
ANNOTATION PLAN

A101



1 GROUND LEVEL - DIMENSION PLAN
1/4" = 1'-0"



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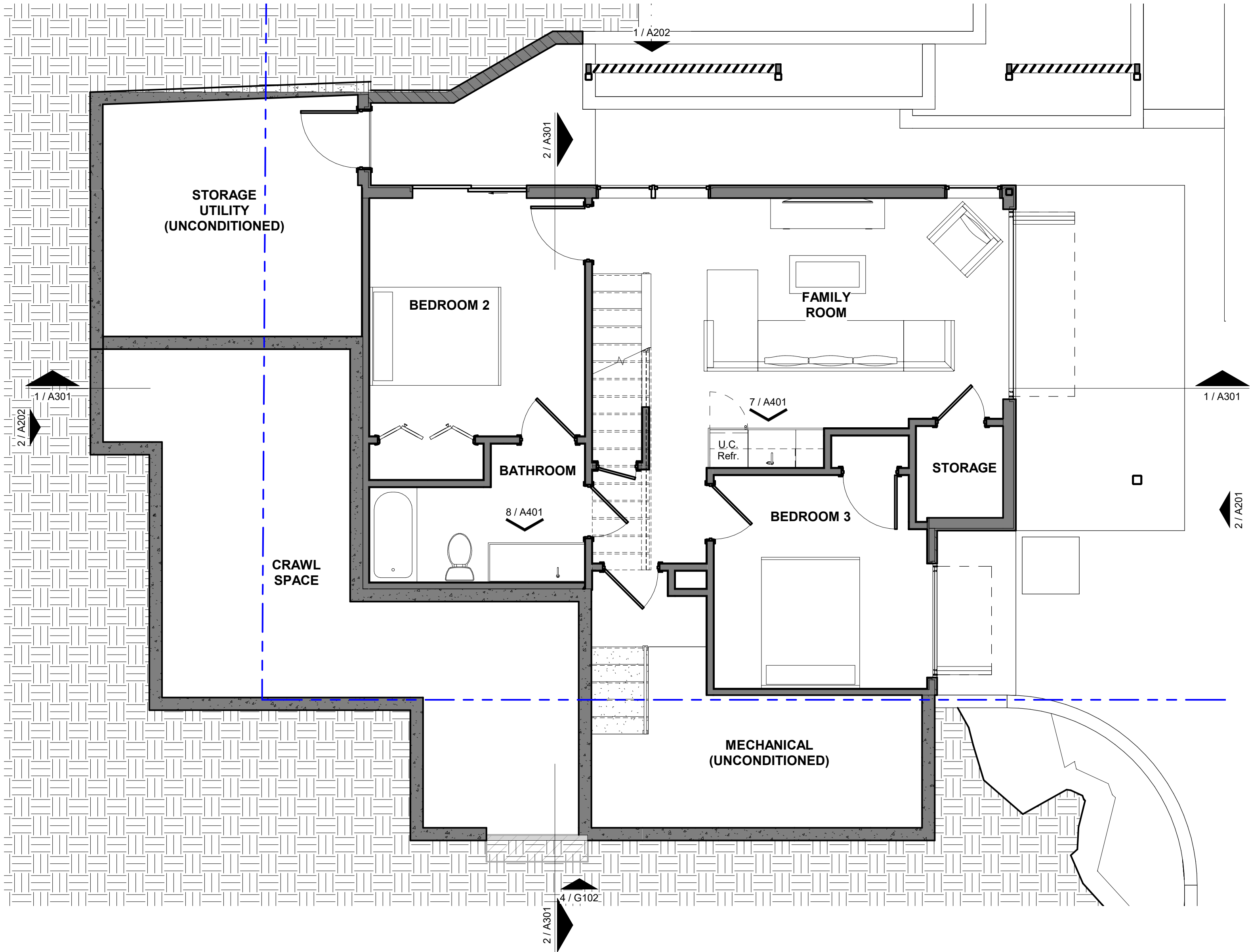
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GROUND LEVEL -
DIMENSION PLAN

A102



1 GARDEN LEVEL - ANNOTATION PLAN
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GENERAL NOTES

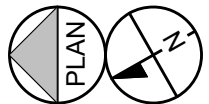
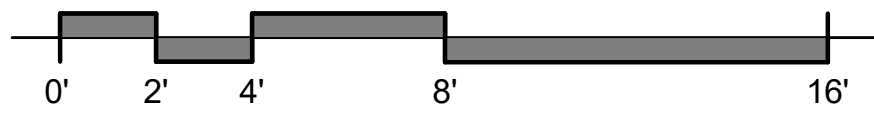
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8. COORDINATE ALL KITCHEN AND BATHROOM DIMENSIONS AND UTILITY REQUIREMENTS WITH OWNER'S SPECIFIC CHOICES OF FIXTURES, APPLIANCES AND CABINETS.
9. FIRST FLOOR ENTRANCES SHALL HAVE MAX 1/2" BEVELED THRESHOLD.
10. PROVIDE 2 x 6 BLOCKING AT CENTER LINE OF 34" AFF AT WALLS IN SHOWERS, BATHTUBS AND ADJACENT TO WATERCLOSETS.
11. ALL PORCH AND BALCONY FLOORS SHALL SLOPE TO DRAIN AWAY FROM BUILDING.
12. COORDINATE ALL FINAL OWNER CHOSEN FLOOR FINISHES WITH CONCRETE SLAB PRIOR TO PLACEMENT FOR CONINUOUS FLOOR LEVEL.

LEGEND

- | | |
|------|--------------------------------------|
| ELEC | ELECTRIC SERVICE METER / WEATHERHEAD |
| GAS | GAS METER |
| WH | TANKLESS WATER HEATER |
| + | GAS CONNECTION |
| + | HOSE BIB |
| □ | DOWNSPOUT WITH SPLASHBLOCK |
| ■ | CONCRETE FINISH |



ISSUE DATE: 04 MAY 2023
PROJECT NUMBER: 202221
DRAWN BY: ZWR
CHECKED BY: DDC

REVISIONS:

NO	REFERENCE	ISSUED

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TEXAS REGISTRATION NUMBER #8207

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AUSTIN • TEXAS • 78701
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ARCHITECTURE • PRESERVATION • PLANNING

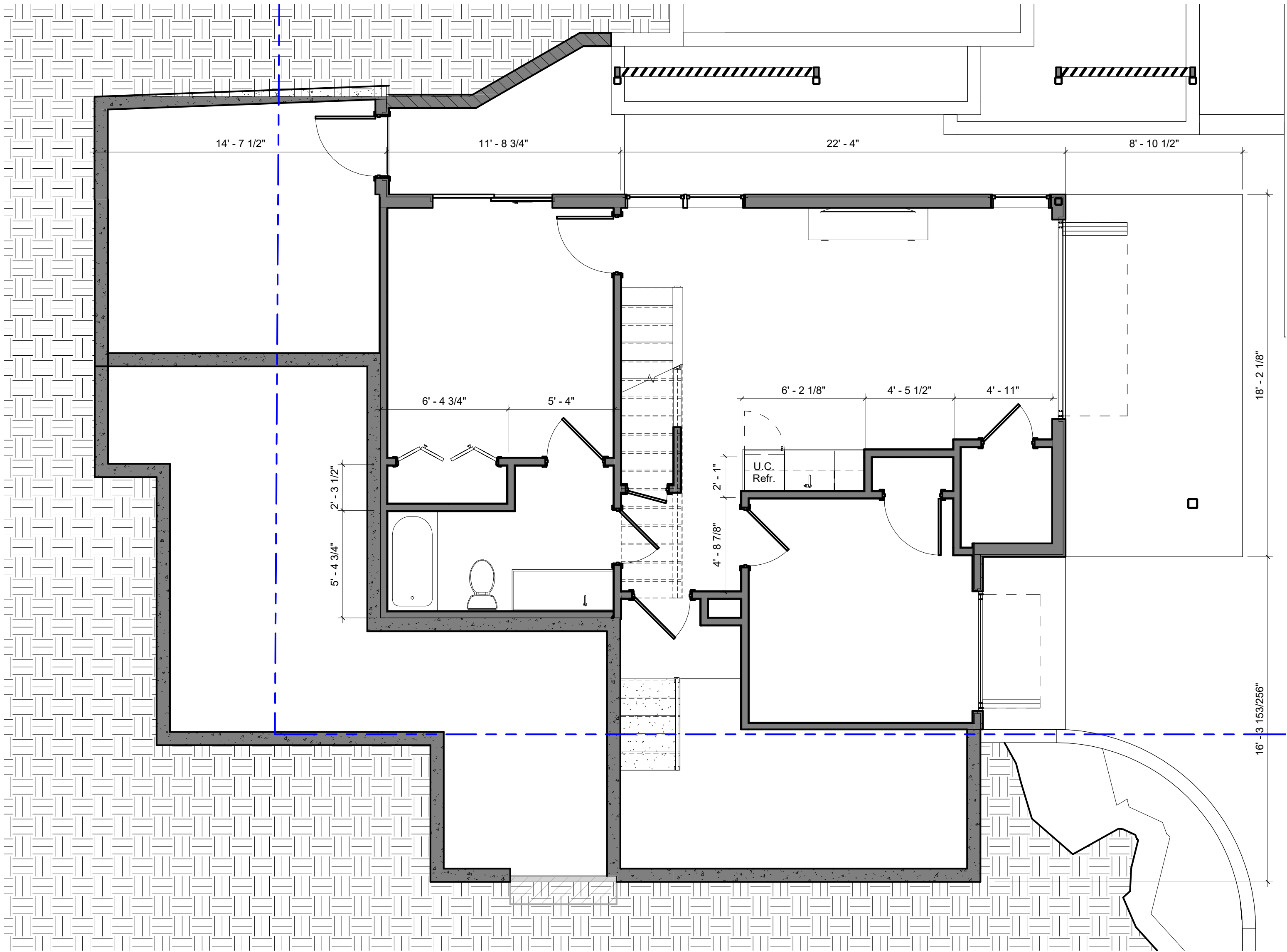
DESIGN DEVELOPMENT

605 HIGHLAND
RESIDENCE

605 HIGHLAND AVE
AUSTIN, TEXAS 78703

GARDEN LEVEL -
ANNOTATION PLAN

A103



1 GARDEN LEVEL - DIMENSION PLAN
1/4" = 1'-0"

GENERAL NOTES

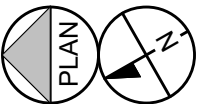
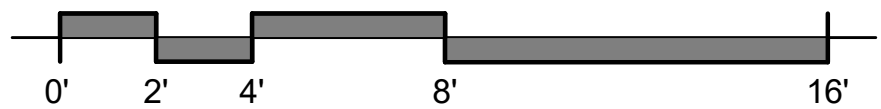
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8. PROVIDE ATTIC ACCESS PULL DOWN LADDER AT EACH ATTIC SPACE.
9. PROVIDE A MIN 30" SPACE CENTERED ON WATER CLOSETS AT ALL LOCATIONS UNLESS NOTED TO BE MORE. PROVIDE A MINIMUM OF 21" IN FRONT OF WATER CLOSETS.
10. PROVIDE DRAFT BLOCKING BETWEEN FLOORS, BETWEEN FLOORS AND ATTIC, HORIZONTALLY AT 10' MAX INCREMENTS AND AS REQUIRED BY IRC SECTION 302.11.

GENERAL NOTES - FLOOR PLAN

1. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
2. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALL PARTITIONS ARE 2 x 6 WOOD STUDS WITH 5/8" GYPSUM BOARD AT INTERIOR FACE, AND EXTERIOR ENVELOPE REQUIREMENTS PER IRC AND LOCAL AMENDMENTS AND EXTERIOR FINISH UNLESS OTHERWISE NOTED.
4. ALL EXTERIOR SIDING, PANELS, PLASTER AND STUCCO SHALL BE INSTALLED AS A RAINSCREEN SYTEM UNLESS SPECIFICALLY NOTED OTHERWISE.
5. ALL INTERIOR WALL PARTITIONS ARE 2 x 4 WOOD STUDS WITH SOUND BATT INSULATION AND 5/8" GYPSUM BOARD UNLESS OTHERWISE NOTED.
6. REFER TO SLAB PLAN FOR LAYOUT DIMENSIONS.
7. REFER TO STRUCTURAL SHEETS FOR FOUNDATION AND FRAMING.
8. COORDINATE ALL KITCHEN AND BATHROOM DIMENSIONS AND UTILITY REQUIREMENTS WITH OWNER'S SPECIFIC CHOICES OF FIXTURES, APPLIANCES AND CABINETS.
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LEGEND

- | | |
|--|--------------------------------------|
| | ELECTRIC SERVICE METER / WEATHERHEAD |
| | GAS METER |
| | TANKLESS WATER HEATER |
| | GAS CONNECTION |
| | HOSE BIB |
| | DOWNSPOUT WITH SPLASHBLOCK |
| | CONCRETE FINISH |



ISSUE DATE: 04 MAY 2023
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REVISIONS:

NO	REFERENCE	ISSUED

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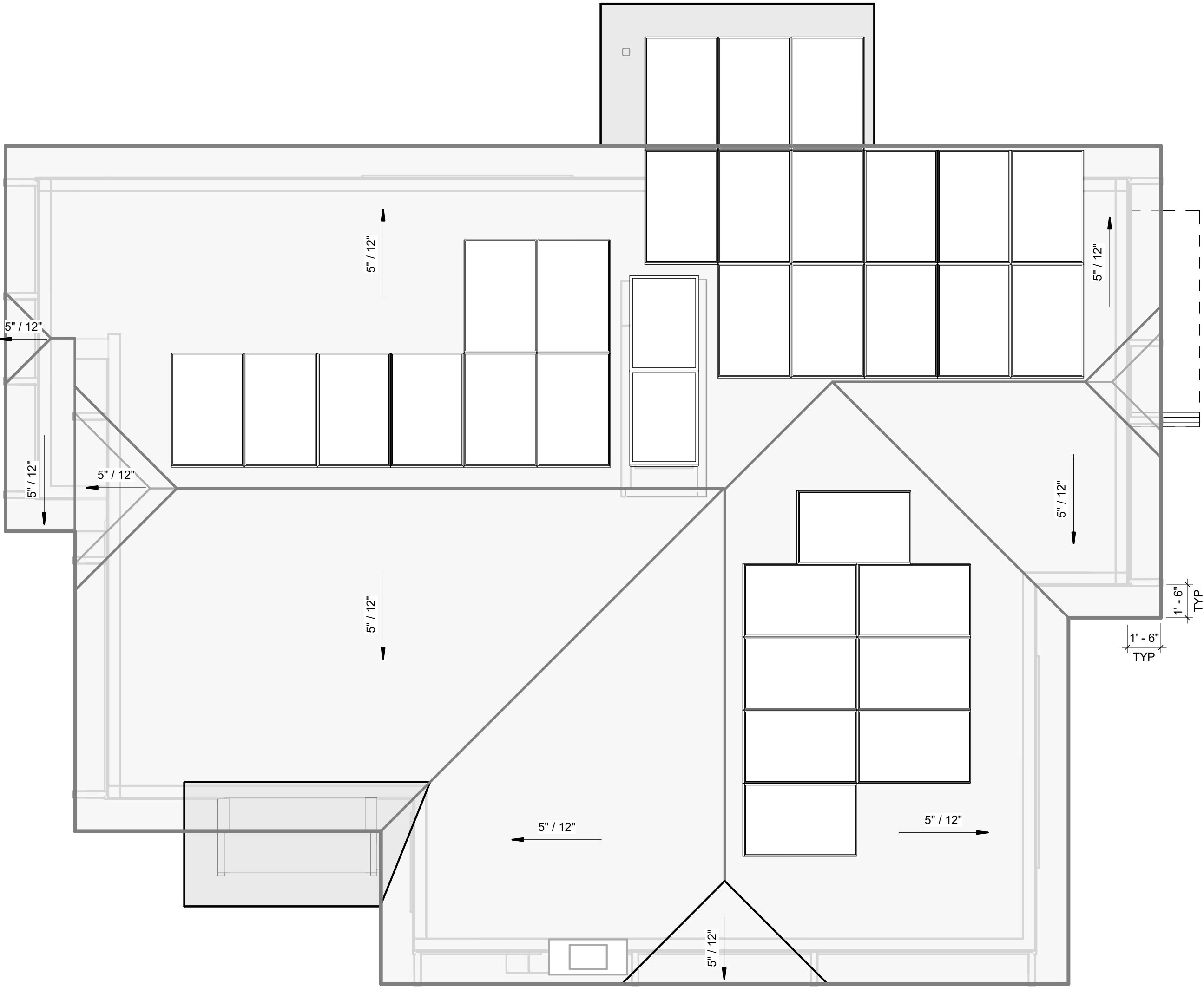
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RESIDENCE

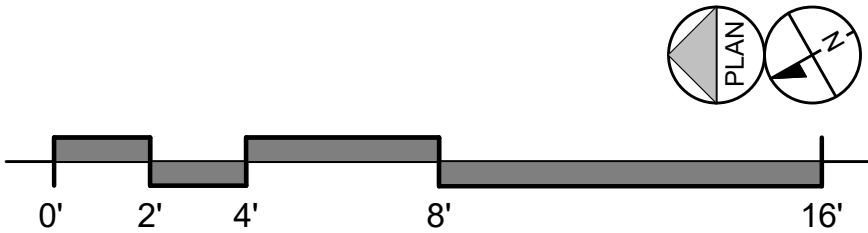
605 HIGHLAND AVE
AUSTIN, TEXAS 78703

GARDEN LEVEL -
DIMENSION PLAN

A104



1 ROOF PLAN
1/4" = 1'-0"



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8. PROVIDE ATTIC ACCESS PULL DOWN LADDER AT EACH ATTIC SPACE.
9. PROVIDE A MIN 30" SPACE CENTERED ON WATER CLOSETS AT ALL LOCATIONS UNLESS NOTED TO BE MORE. PROVIDE A MINIMUM OF 21" IN FRONT OF WATER CLOSETS.
10. PROVIDE DRAFT BLOCKING BETWEEN FLOORS, BETWEEN FLOORS AND ATTIC, HORIZONTALLY AT 10' MAX INCREMENTS AND AS REQUIRED BY IRC SECTION 302.11.

GENERAL NOTES - ROOF

1. CONTRACTOR SHALL KEEP BUILDING WEATHER TIGHT.
2. ALL ROOFS SHALL SLOPE TO DRAIN.
3. CONTRACTOR SHALL PROVIDE ALL TRIM, FLASHING, UNDERLAYMENTS, FASTOVERS AND ACCESSORIES NECESSARY TO ENSURE A COMPLETE, WARRANTABLE, WEATHERTIGHT CONSTRUCTED ROOF.
4. AT DOWNSLOPING ROOFS PROVIDE GUTTERS OVER DOORS AND NEAR DOOR APPROACHES. PROVIDE LEAVE PROTECTION AT GUTTERS NEAR TREES. SECURE ALL DOWN SPOUTS SHALL TO BUILDING, DS BOTTOM TO POINT AWAY FROM HOUSE TOWARD SPLASH BLOCK AT GRADE.

ISSUE DATE:	04 MAY 2023
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CHECKED BY:	DDC

REVISIONS:

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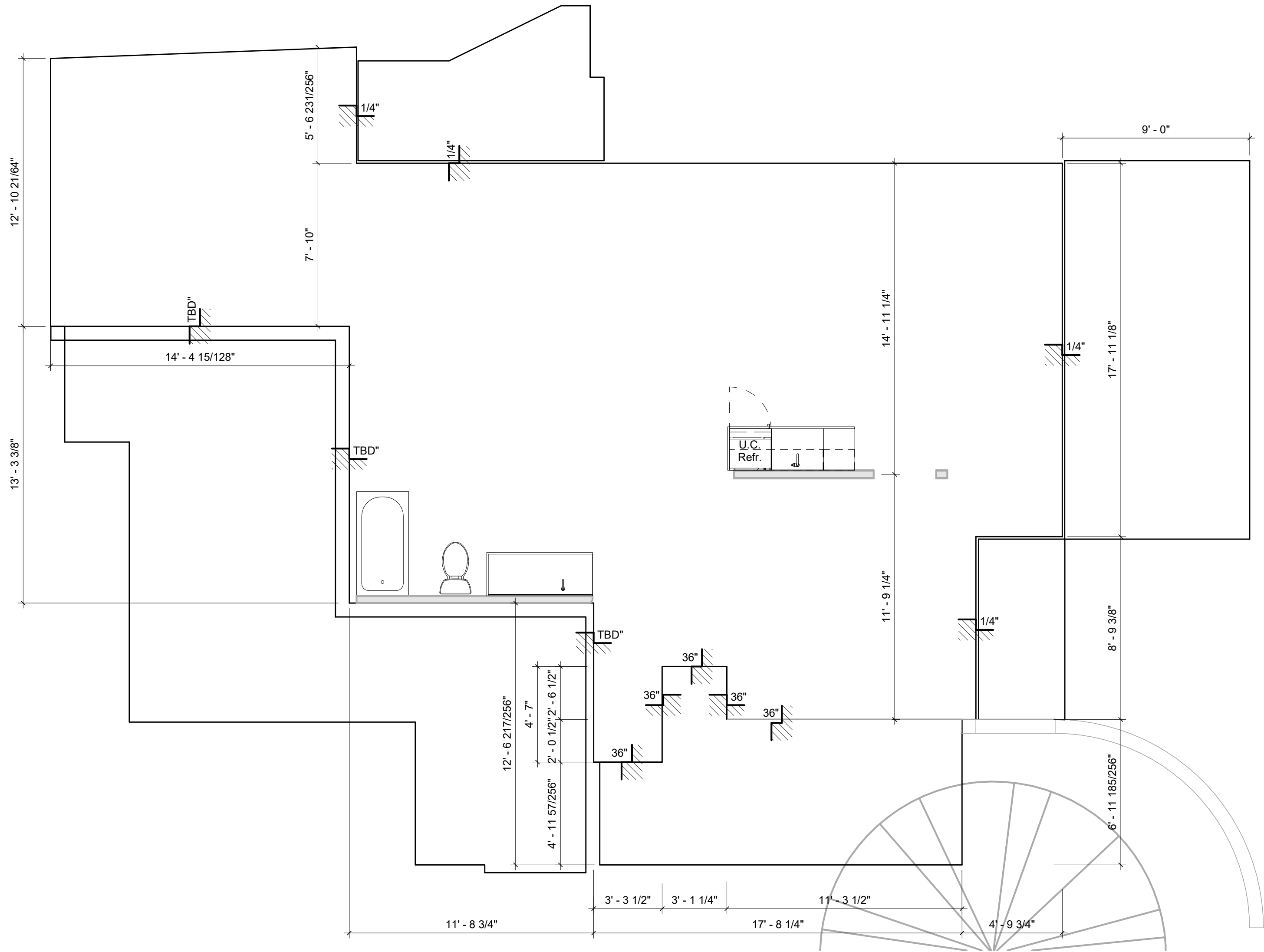
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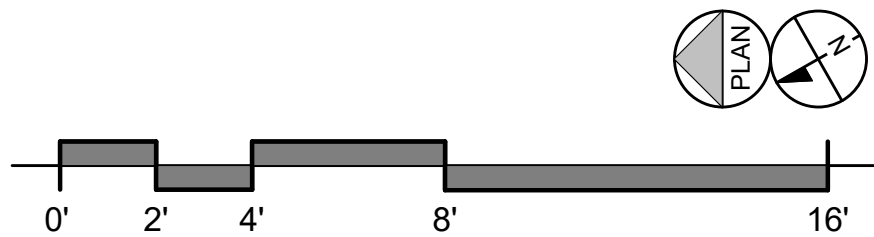
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ROOF PLAN

A110



1 SLAB PLAN
1/4" = 1'-0"



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GENERAL NOTES - SLAB LAYOUT PLAN

1. VERIFY ALL SLAB PENETRATION LOCATIONS WITH FLOOR PLAN DIMENSIONS, PARTITION TYPES AND EQUIPMENT
2. REFER TO STRUCTURAL SHEETS FOR FOUNDATION AND FRAMING.
3. FIRST FLOOR ENTRANCES SHALL HAVE MAX 1/2" BEVELED THRESHOLD. COORDINATE BLOCKOUTS AS NEEDED FOR THRESHOLDS.

ISSUE DATE:	04 MAY 2023
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CHECKED BY:	DDC

REVISIONS:

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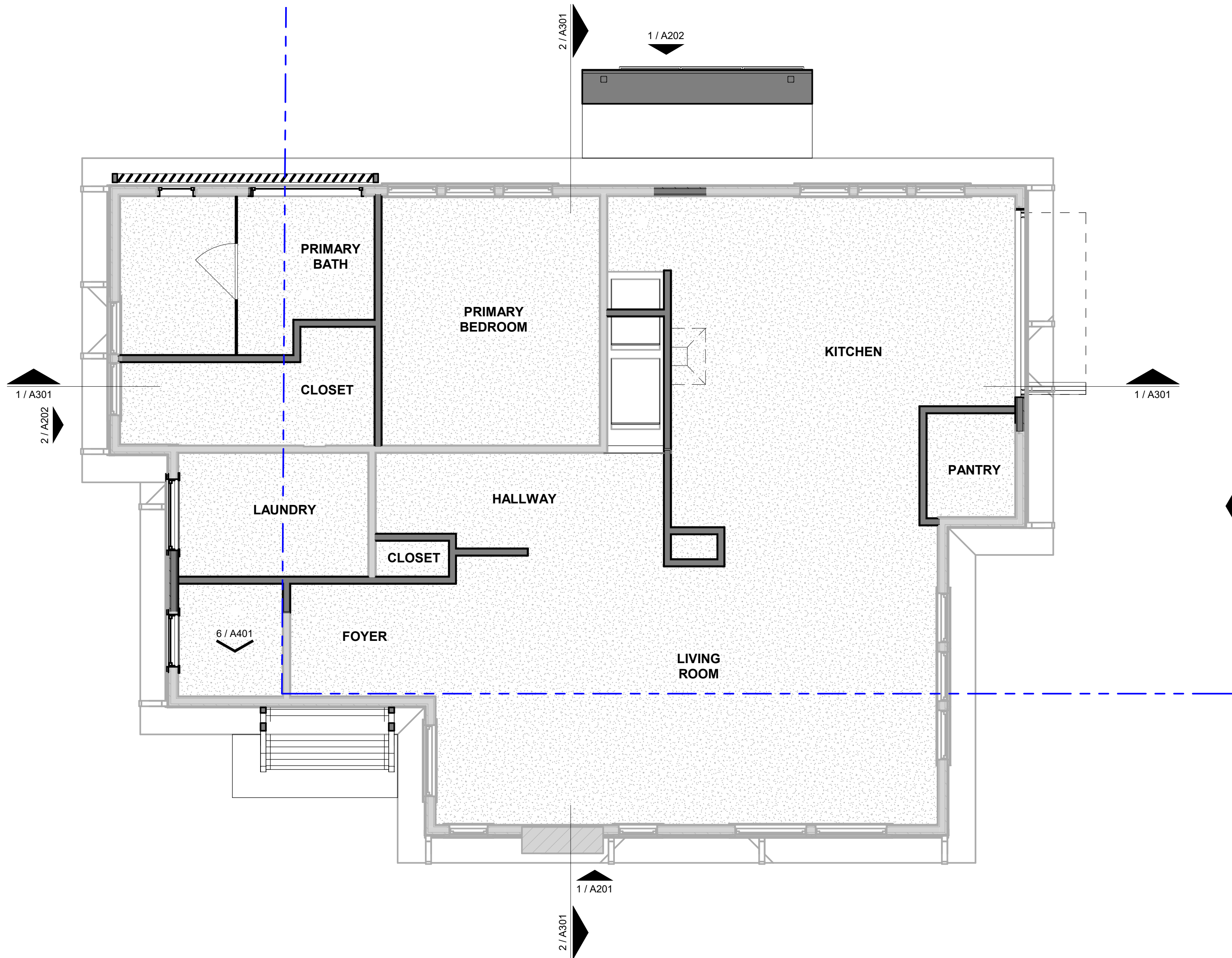
DESIGN DEVELOPMENT

605 HIGHLAND
RESIDENCE

605 HIGHLAND AVE
AUSTIN, TEXAS 78703

SLAB PLAN

A111



1 GROUND LEVEL - RCP
1/4" = 1'-0"

LEGEND

- GYPSUM BOARD
- TONGUE & GROOVE WOOD
- BEAD BOARD
- VENT HOOD AREA (VERIFY AREA)
- RECESSED DOWNLIGHT
- SURFACE MOUNTED DOWN LIGHT
- SURFACE MOUNTED DOWN LIGHT
- SURFACE MOUNTED DOWN LIGHT
- PENDANT LIGHT
- TRACKLIGHTING
- RECESSED COVE UPLIGHT
- UNDERCABINET LIGHTS
- CEILING FAN W/ LIGHT KIT
- CEILING FAN NO LIGHT KIT
- WALL SCONCE LIGHT FIXTURE
- AIR SUPPLY REGISTER
- RETURN AIR GRILL
- RETURN AIR "JUMPER" (DO NOT UNDERCUT DOORS FOR AIR RETURN)
- EXHAUST FAN
- EXHAUST FAN / LIGHT
- HEATER / FAN
- HEATER / FAN / LIGHT
- SMOKE DETECTOR
- CARBON MONOXIDE SENSOR / ALARM (MOUNT PER MANUFACTURER'S RECOMMENDED HEIGHT)
- PULL DOWN STAIR
- THERMOSTAT
- DUPLEX OUTLET
- GFCI DUPLEX OUTLET
- TOP SWITCHED DUPLEX RECEPTACLE
- WATERPROOF GFCI DUPLEX OUTLET
- QUADPLEX OUTLET
- GFCI QUADPLEX RECPTACLE
- FLOOR OUTLET
- 220V OUTLET
- LIGHT SWITCH
- 3-WAY LIGHT SWITCH
- 4-WAY LIGHT SWITCH
- DIMMING LIGHT SWITCH
- DOOR BELL
- INTERNET/ CABLE / PHONE

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GENERAL NOTES - REFLECTED CEILING PLAN

- ALL CEILINGS TO BE 5/8" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- REFER TO LIGHTING AND POWER PLAN FOR SWITCHING AND FIXTURE DESIGNATIONS. IF SCHEULE IS NOT PROVIDED COORDINATE WITH OWNER FOR SPECIFIC FIXTURES.
- PROVIDE ATTIC ACCESS PULL DOWN LADDER AT EACH ATTIC SPACE.
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- CENTER FIXTURE IN ROOM UNLESS NOTED OTHERWISE.
- VERIFY CEILING HEIGHTS IN THE FIELD WHERE ATTACHED TO THE UNDERSIDE OF STRUCTURE.

GENERAL NOTES - POWER & LIGHTING PLAN

- COORDINATE ALL KITCHEN AND BATHROOM DIMENSIONS AND UTILITY REQUIREMENTS WITH OWNER'S SPECIFIC CHOICES OF FIXTURES, APPLIANCES AND CABINETS.
- REFER TO REFLECTED CEILING PLANS FOR FIXTURE LOCATIONS. IT IS NOT IN CONTRACT.
- FURNITURE SHOWN FOR INFORMATION AND COORDINATION ONLY. IT IS NOT IN CONTRACT.
- OUTLETS AND RECEPTACLES SHALL BE MOUNTED MINIMUM 15" ABOVE FINISH FLOOR.
- LIGHT SWITCHED AND ENVIRONMENTAL CONTROLS SHALL BE MOUNTED 48" MAX ABOVE FINISH FLOOR.
- OUTLETS AND SWITCHES SHOWN ABOVE AT COUNTERTOPS TO BE MOUNTED 6" ABOVE COUNTERTOP.
- COORDINATE AND CONFIRM DATA SYSTEM, SECURITY SYSTEM AND AV SYSTEMS WITH OWNER AND OWNER'S PROVIDER.
- ALL LIGHTING TO HAVE NEW LAMPS.

ISSUE DATE: 04 MAY 2023
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CHECKED BY: DDC

REVISIONS:

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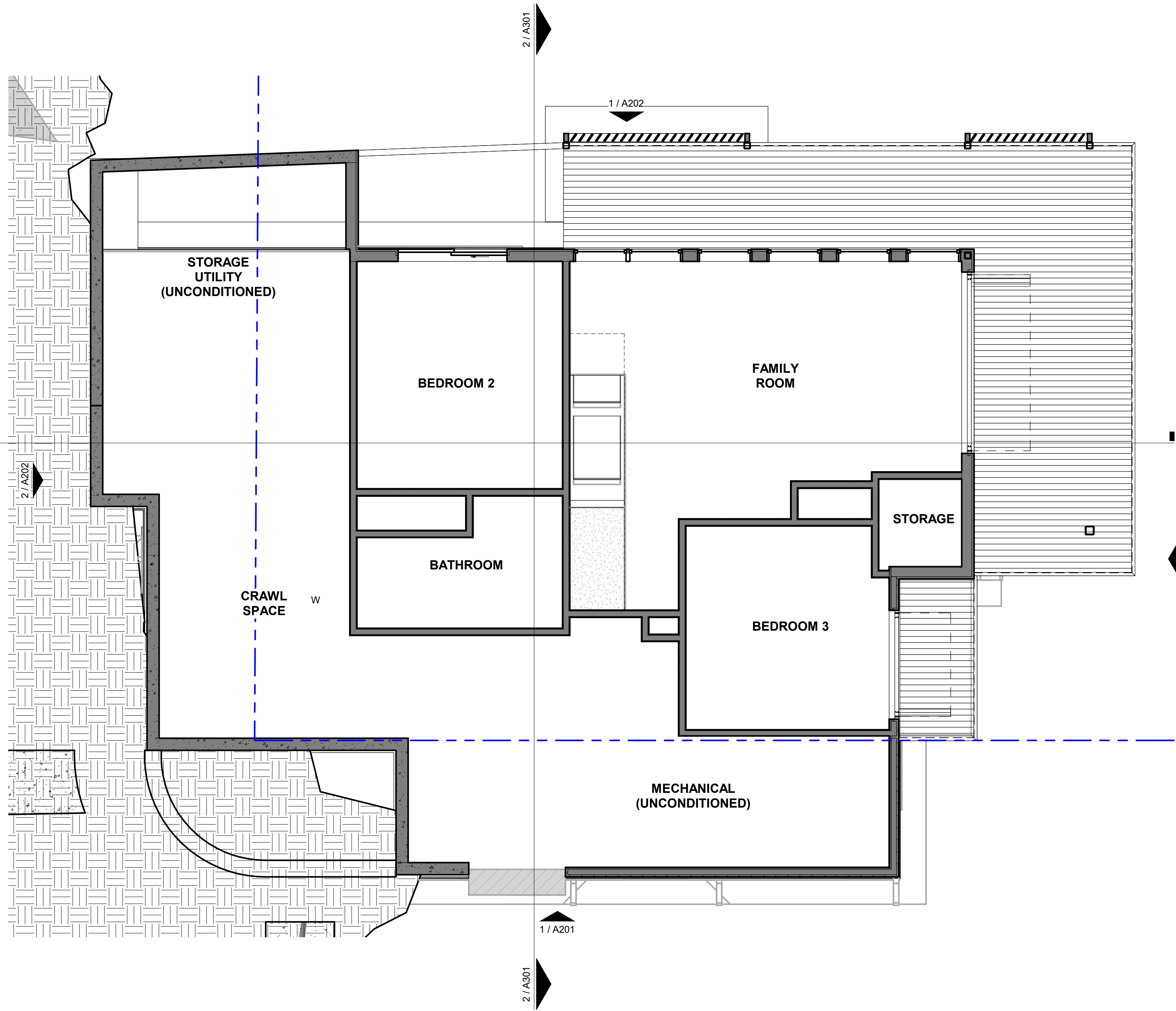
DESIGN DEVELOPMENT

605 HIGHLAND
RESIDENCE

605 HIGHLAND AVE
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GROUND LEVEL -
RCP

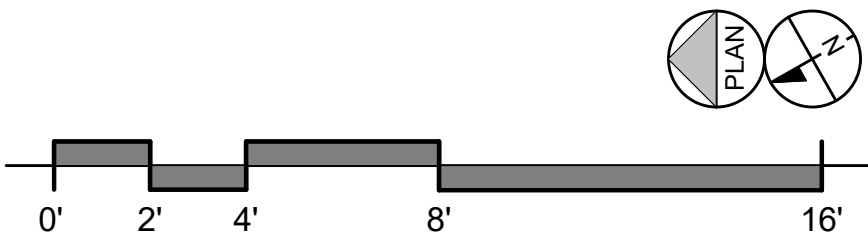
A121



1 GARDEN LEVEL - RCP
1/4" = 1'-0"

- LEGEND**
- GYPSUM BOARD
 - TONGUE & GROOVE WOOD
 - BEAD BOARD
 - VENT HOOD AREA (VERIFY AREA)
 - RECESSED DOWNLIGHT
 - SURFACE MOUNTED DOWN LIGHT
 - SURFACE MOUNTED DOWN LIGHT
 - SURFACE MOUNTED DOWN LIGHT
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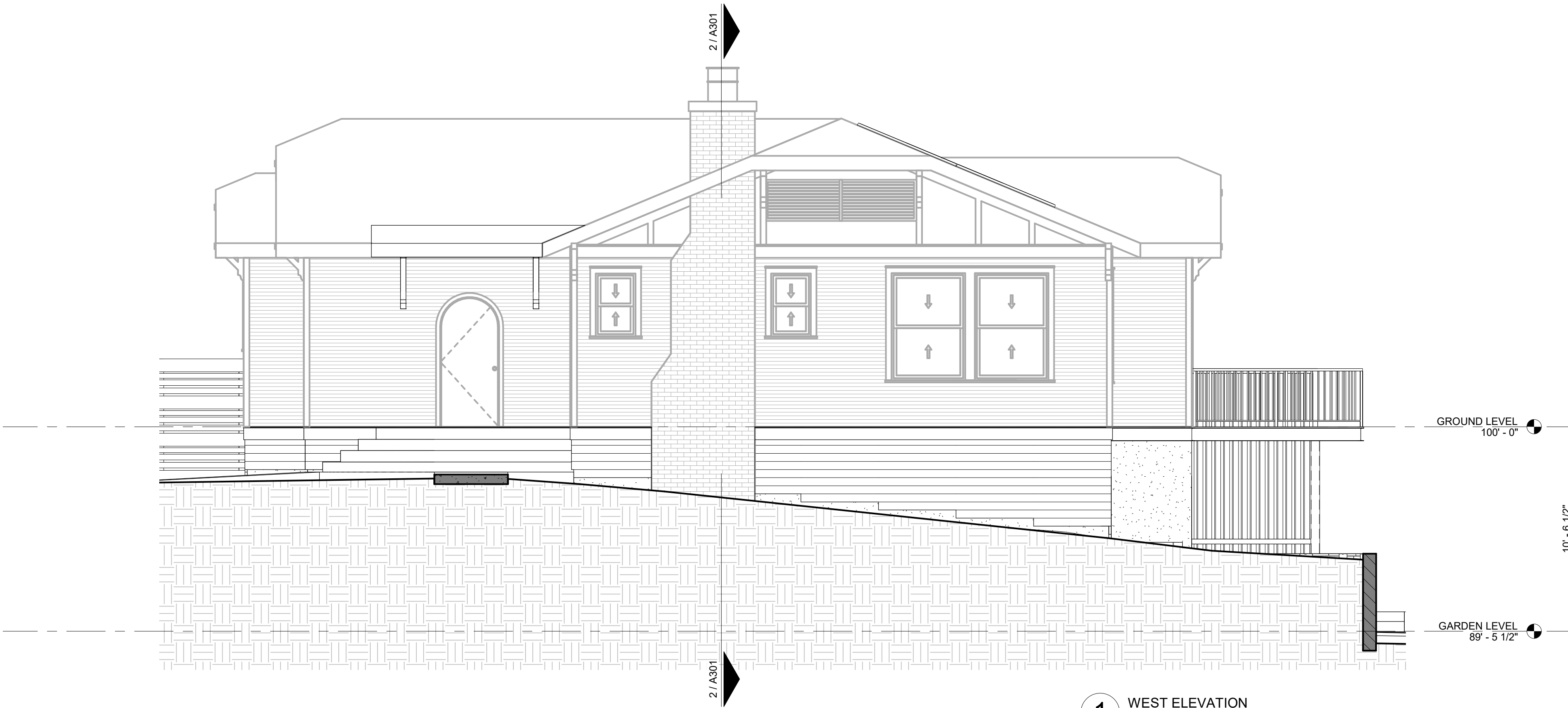
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**GARDEN LEVEL -
RCP**

A122



2 SOUTH ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"

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 - PROVIDE A MIN 30" SPACE CENTERED ON WATER CLOSETS AT ALL LOCATIONS UNLESS NOTED TO BE MORE. PROVIDE A MINIMUM OF 21" IN FRONT OF WATER CLOSETS.
 - PROVIDE DRAFT BLOCKING BETWEEN FLOORS, BETWEEN FLOORS AND ATTIC, HORIZONTALLY AT 10' MAX INCREMENTS AND AS REQUIRED BY IRC SECTION 302.11.
- GENERAL NOTES - EXTERIOR ELEVATIONS
- CONTROL JOINT @ STONE - TO FOLLOW STONE EDGE STARTING FROM TOP EDGE OF WINDOW/DOOR SYSTEM TO TOP OF PARAPET.
 - CONTROL JOINT @ STUCCO - STARTING FROM TOP EDGE OF WINDOW/DOOR SYSTEM TO TOP OF PARAPET.
 - ALL EXTERIOR SIDING, PANELS, PLASTER AND STUCCO SHALL BE INSTALLED AS A RAINSCREEN SYTEM UNLESS SPECIFICALLY NOTED OTHERWISE.
 - PAINT TO BE A 3 COLOR SCHEME + PORCH CEILING AND FLOOR COLORS. ALL TRANSPARENT FINISHES TO BE THE SAME UNLESS OTHERWISE NOTED.
 - ALL EXISTING SURFACES ABUTING NEW WORK SHALL BE RESTORED TO ORIGINAL CONDITION IF NOT PART OF SCOPE.

EXTERIOR ELEVATION LEGEND

	STONE
	LATH & PLASTER (STUCCO)
	CEMENTITIOUS SIDING 4"
	CEMENTITIOUS SIDING 6"
	CEMENTITIOUS SIDING 8"
	BOARD & BATTEN SIDING 8"
	ASPHALT DIMENSIONAL SHINGLES
	STANDING SEAM METAL ROOFM
	EARTH
	GRAVEL

0' 2' 4' 8' 16'

ISSUE DATE: 04 MAY 2023		
PROJECT NUMBER: 202221		
DRAWN BY: ZWR		
CHECKED BY: DDC		
REVISIONS:		
NO	REFERENCE	ISSUED

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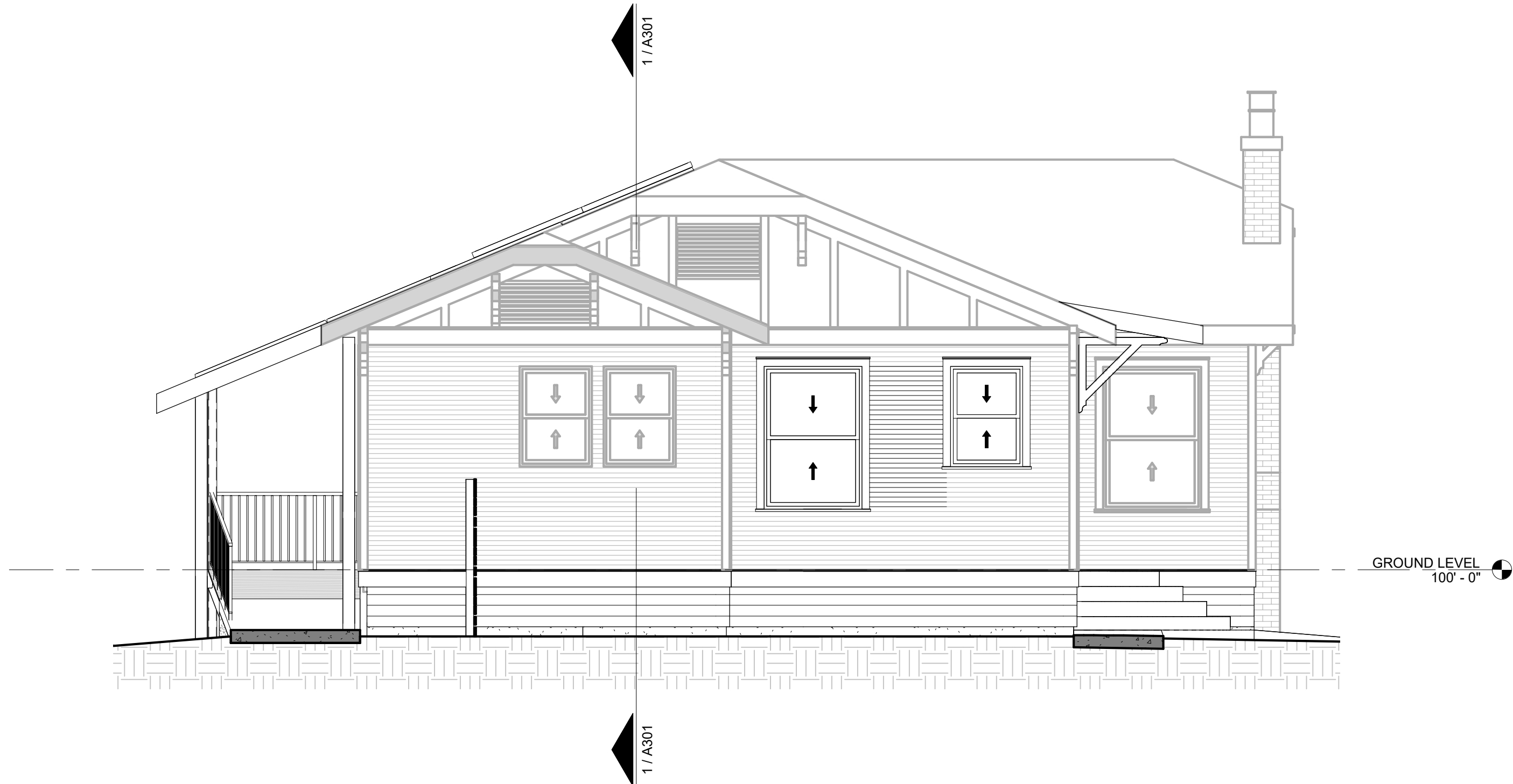
DESIGN DEVELOPMENT

605 HIGHLAND
RESIDENCE

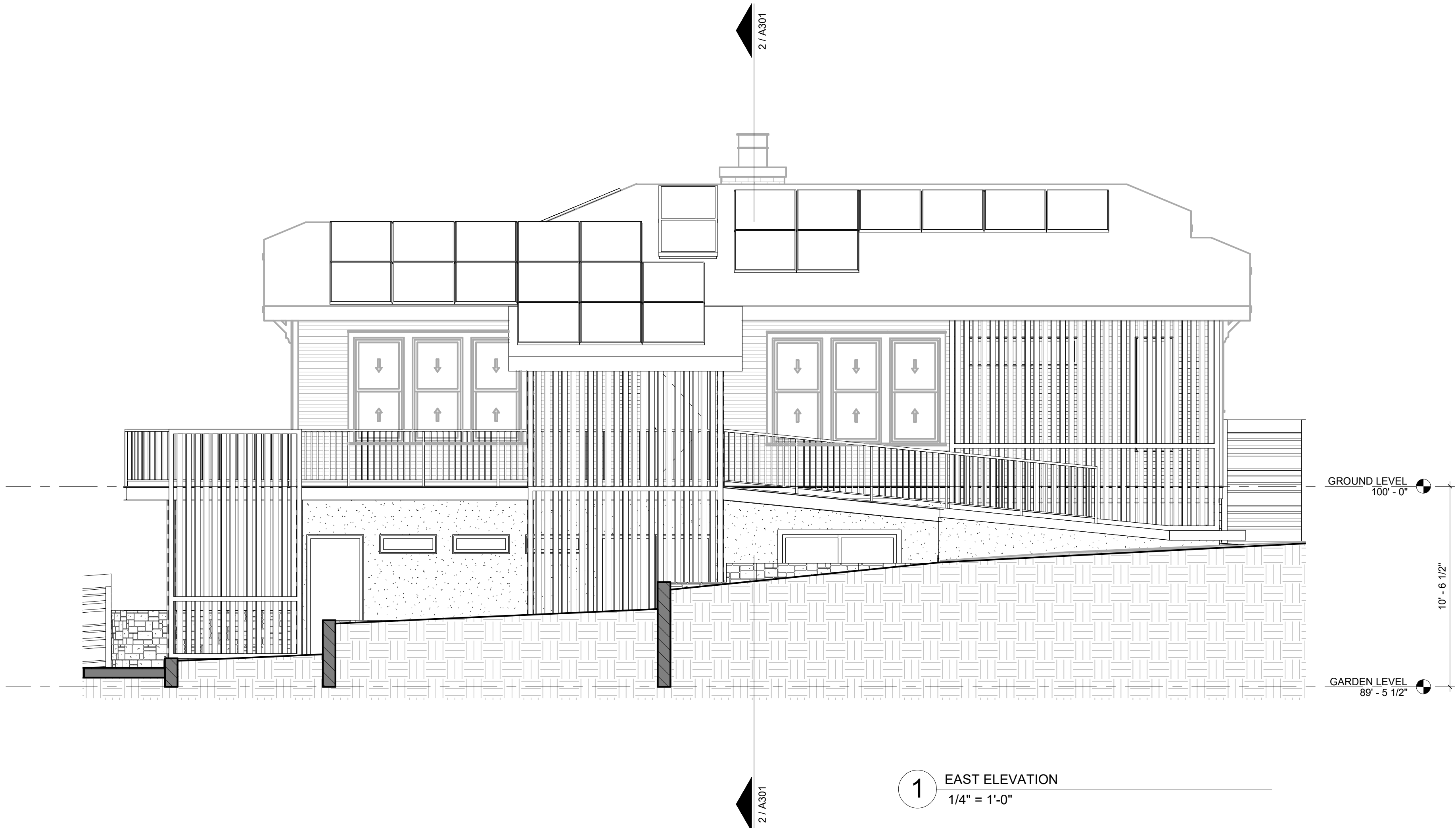
605 HIGHLAND AVE
AUSTIN, TEXAS 78703

EXTERIOR
ELEVATIONS

A201



2 NORTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

GENERAL NOTES

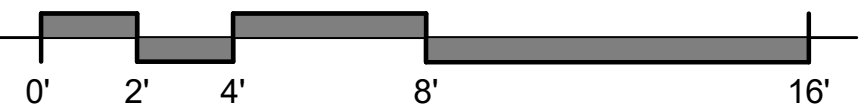
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2. WIND, SEISMIC AND THERMAL ENVELOPE REQUIREMENTS SHALL BE DETERMINED BASED ON SPECIFIC PROJECT LOCATION.
3. PROVIDE SAFETY GLAZING IN DOORS AND WINDOWS IN COMPLIANCE WITH IRC SECTION 308.
4. GUARDRAILS AND WINDOW FALL PROTECTION SHALL BE IN COMPLIANCE WITH IRC SECTION 312.
5. PROVIDE FIRE SPRINKLERS IN COMPLIANCE WITH IRC SECTION 313.
6. PROVIDE SMOKE DETECTORS IN AND OUTSIDE ALL BEDROOMS AND SLEEPING AREAS IN COMPLIANCE WITH IRC PER SECTION 314. MOUNT PER MANUFACTURER'S RECOMMENDATION.
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GENERAL NOTES - EXTERIOR ELEVATIONS

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EXTERIOR ELEVATION LEGEND

- STONE
- LATH & PLASTER (STUCCO)
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- CEMENTITIOUS SIDING 6"
- CEMENTITIOUS SIDING 8"
- BOARD & BATTEN SIDING 8"
- ASPHALT DIMENSIONAL SHINGLES
- STANDING SEAM METAL ROOFM
- EARTH
- GRAVEL



ISSUE DATE: 04 MAY 2023
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CHECKED BY: DDC

REVISIONS:

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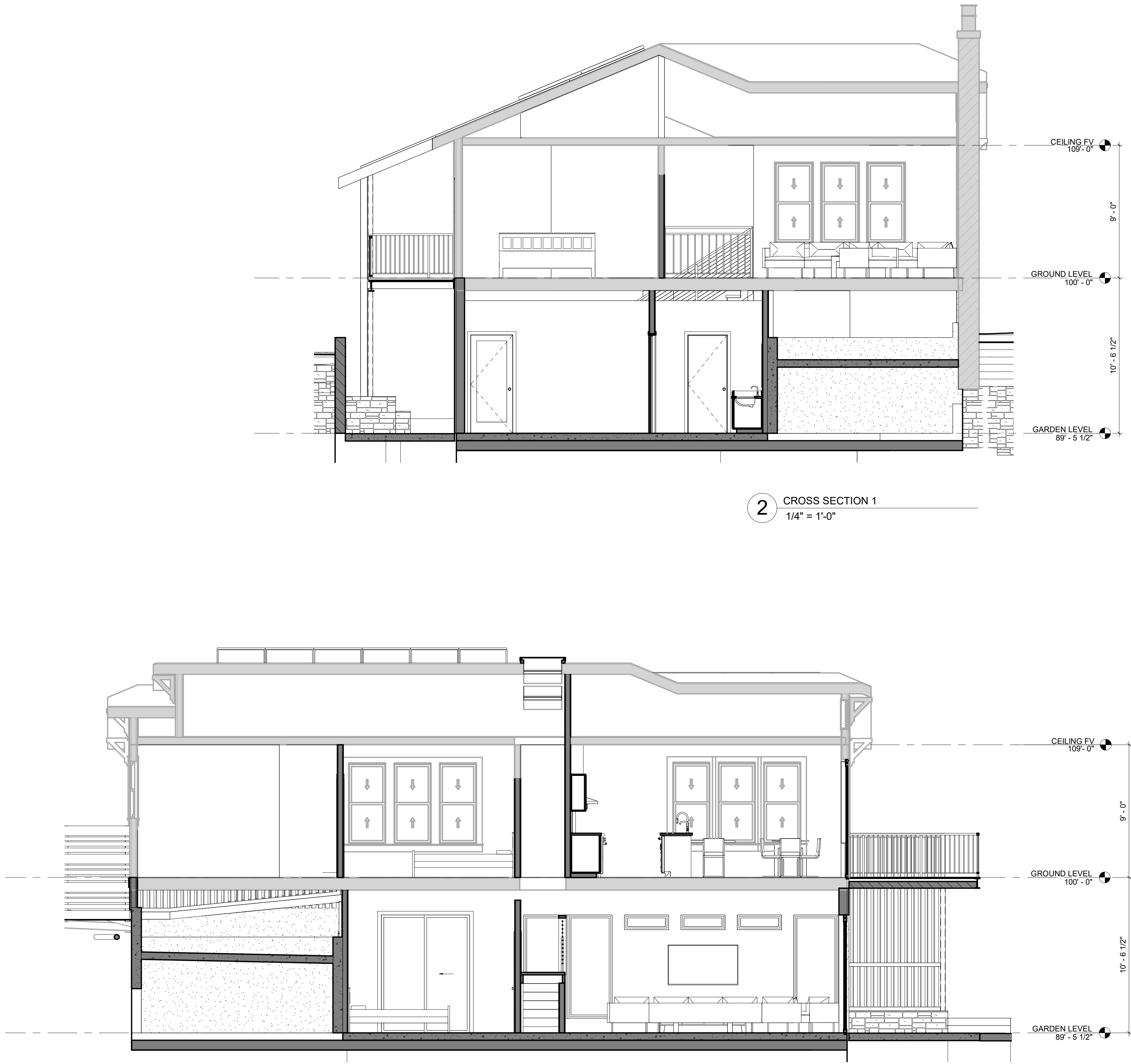
605 HIGHLAND
RESIDENCE

605 HIGHLAND AVE
AUSTIN, TEXAS 78703

EXTERIOR
ELEVATIONS

A202

8/8/2023 9:55:45 PM E:\Project Plans\605 Highland_21_cad\CAR\c.dwg



2 CROSS SECTION 1
1/4" = 1'-0"

1 LONGITUDINAL SECTION 1
1/4" = 1'-0"

GENERAL NOTES

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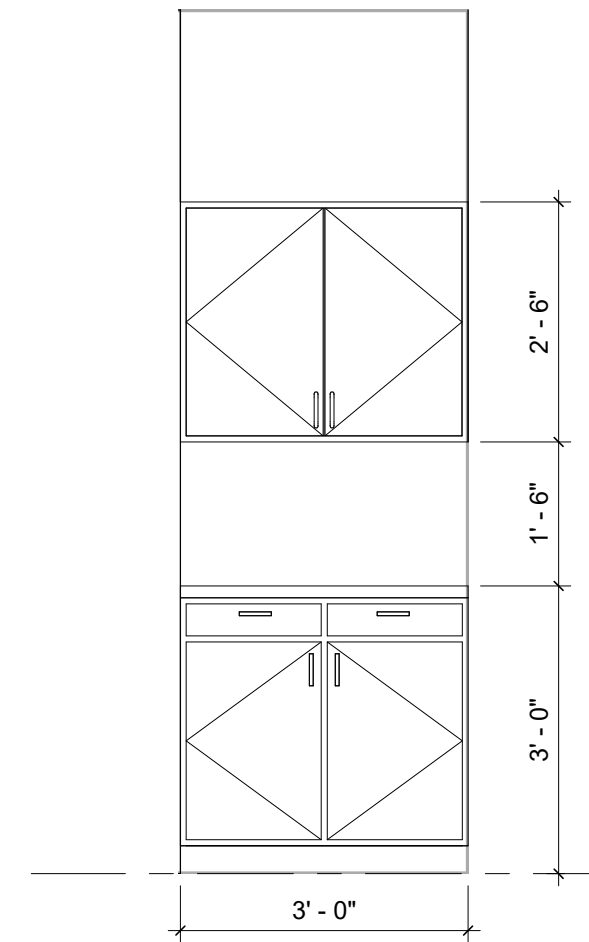
DESIGN DEVELOPMENT

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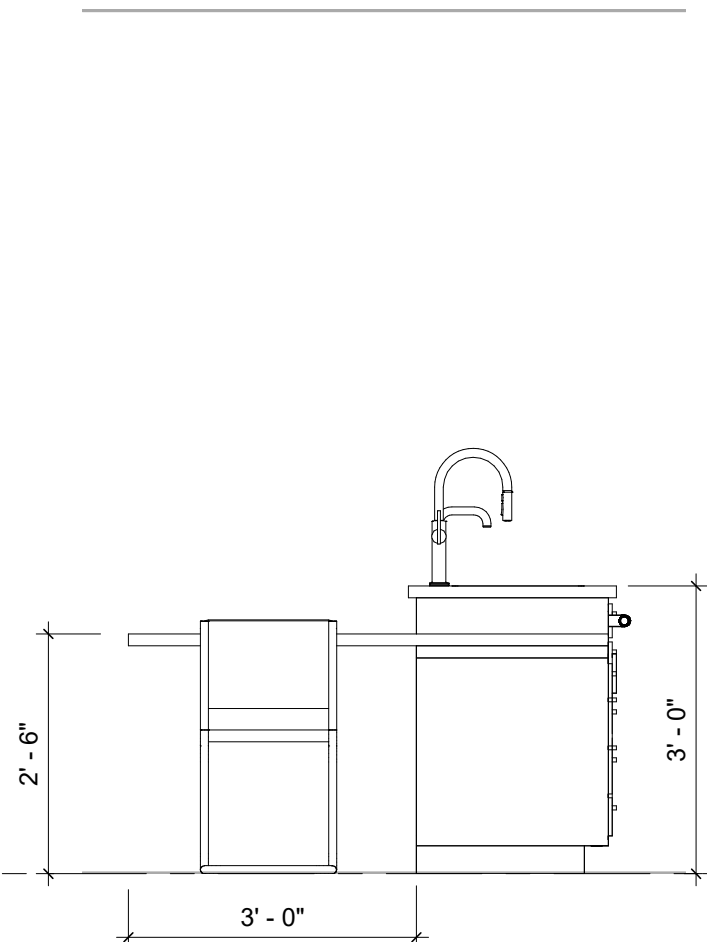
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AUSTIN, TEXAS 78703

BUILDING
SECTIONS

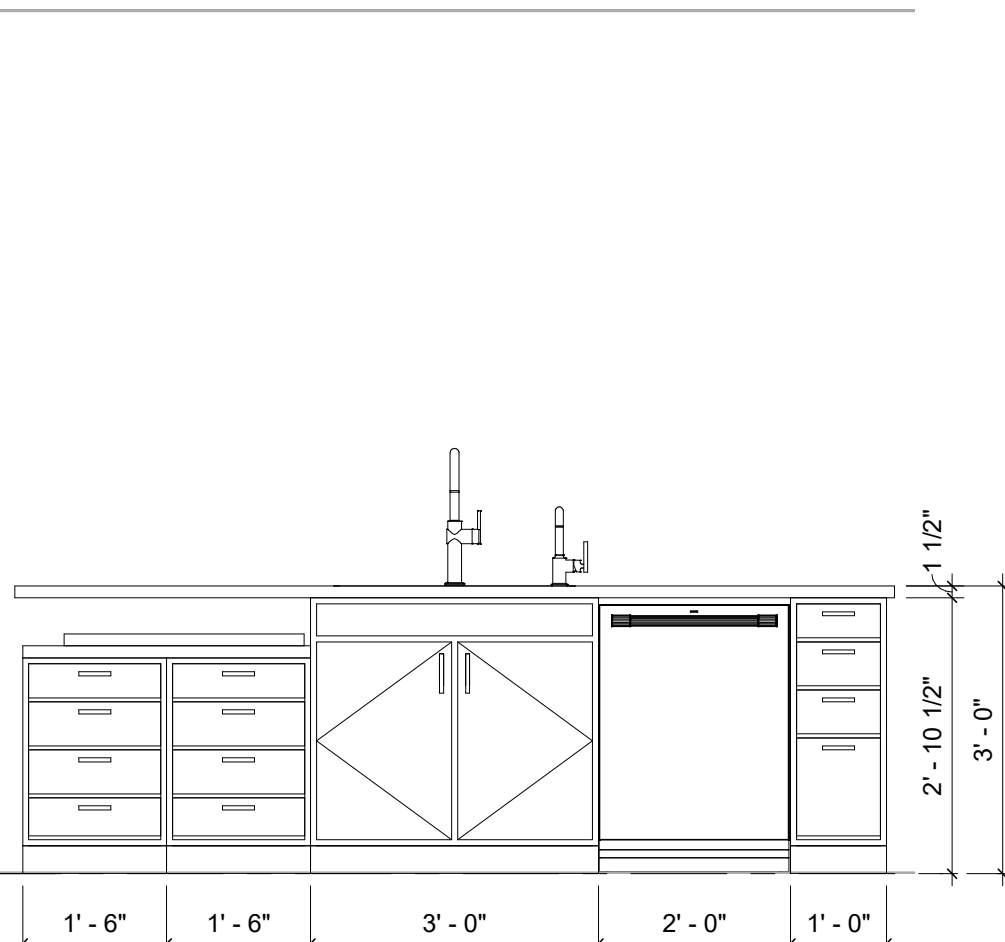
A301



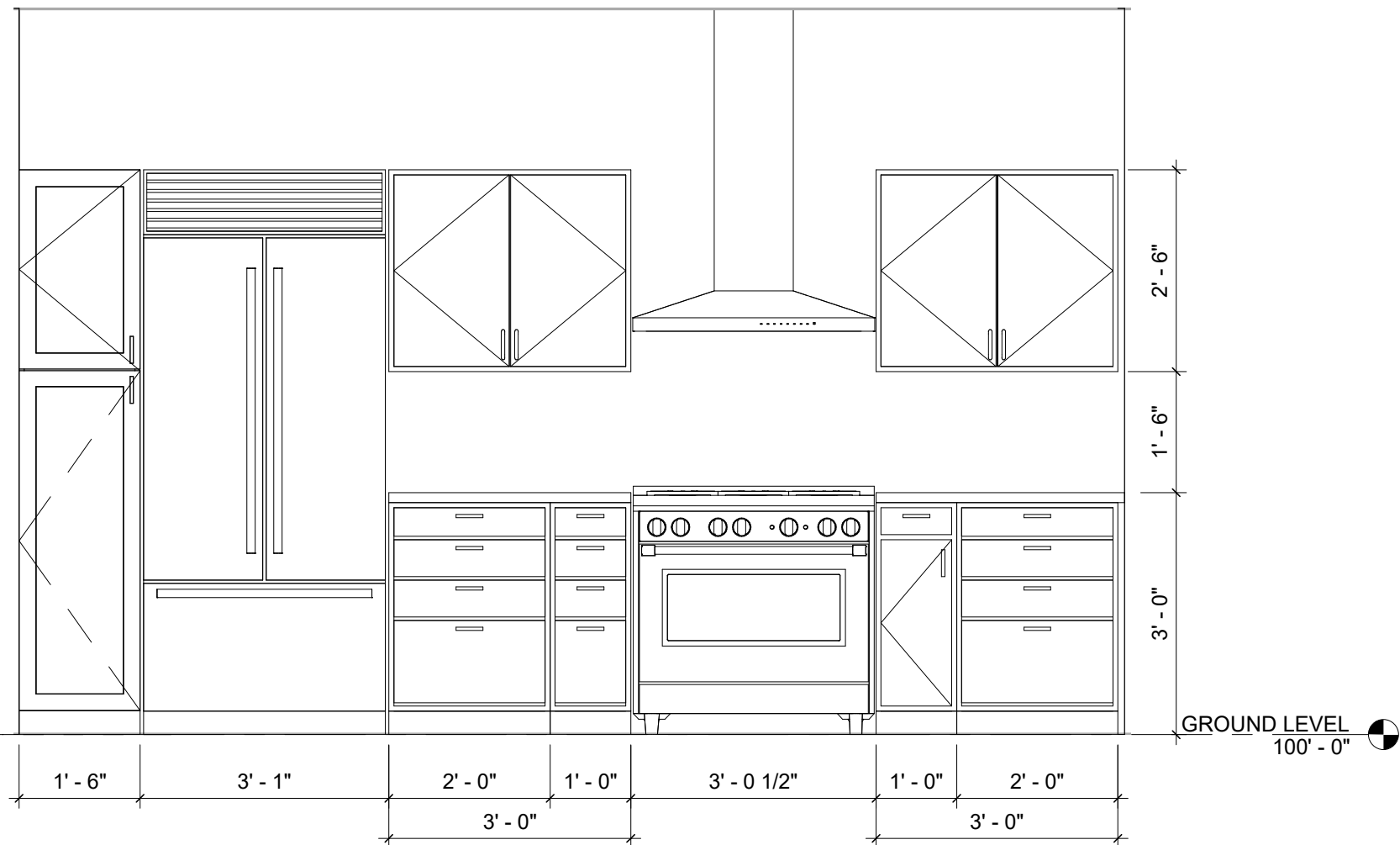
4 GROUND LEVEL - KITCHEN ENTRY
1/2" = 1'-0"



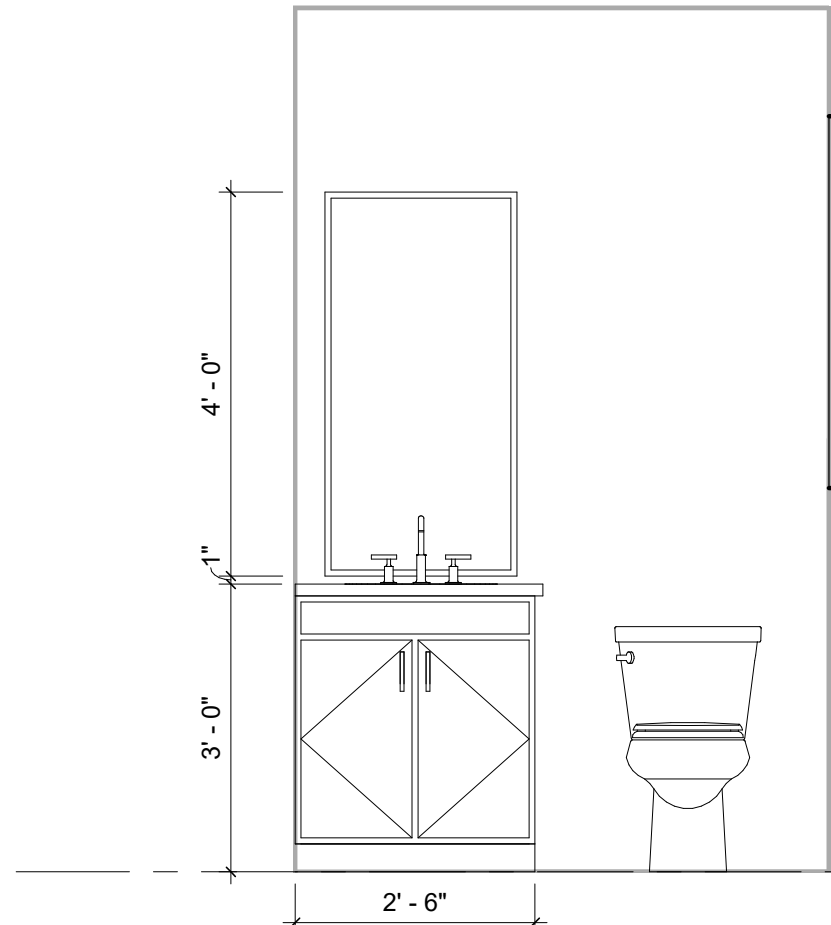
3 GROUND LEVEL - KITCHEN SEATING
1/2" = 1'-0"



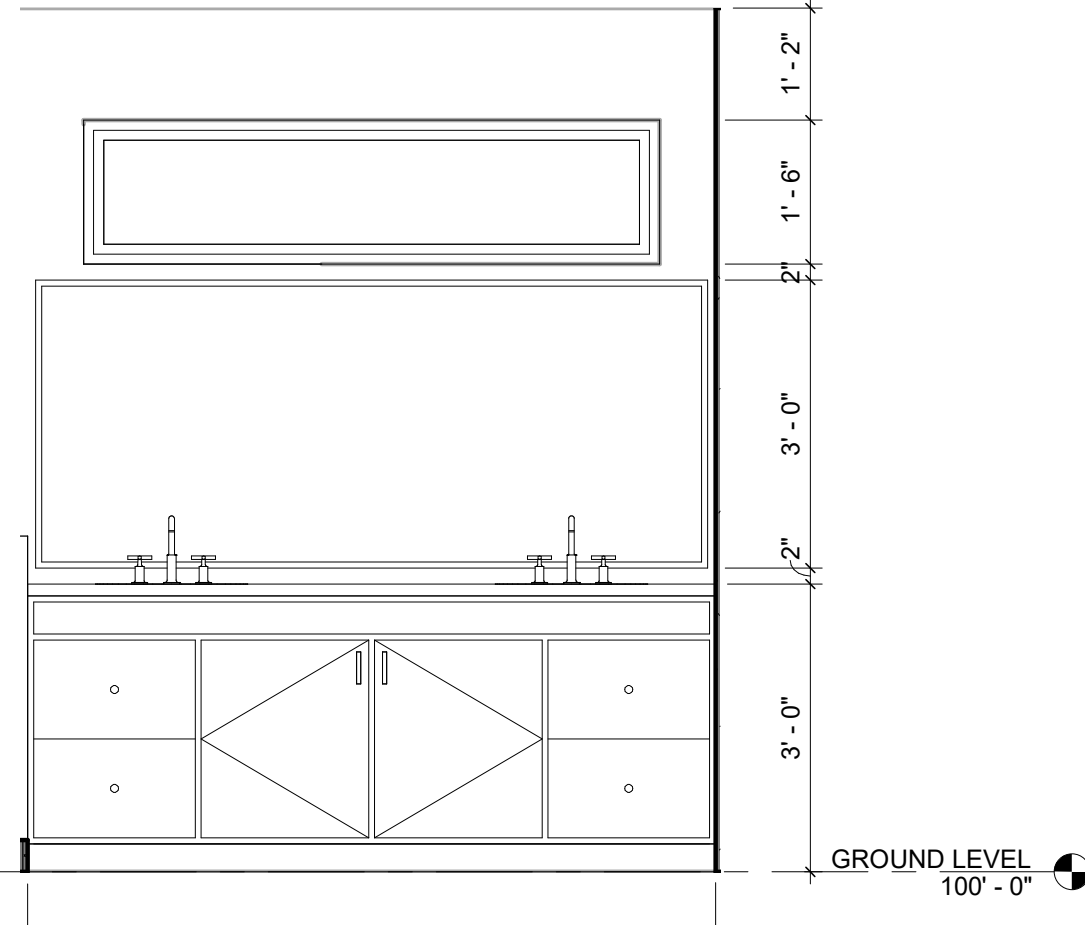
2 GROUND LEVEL - KITCHEN ISLAND
1/2" = 1'-0"



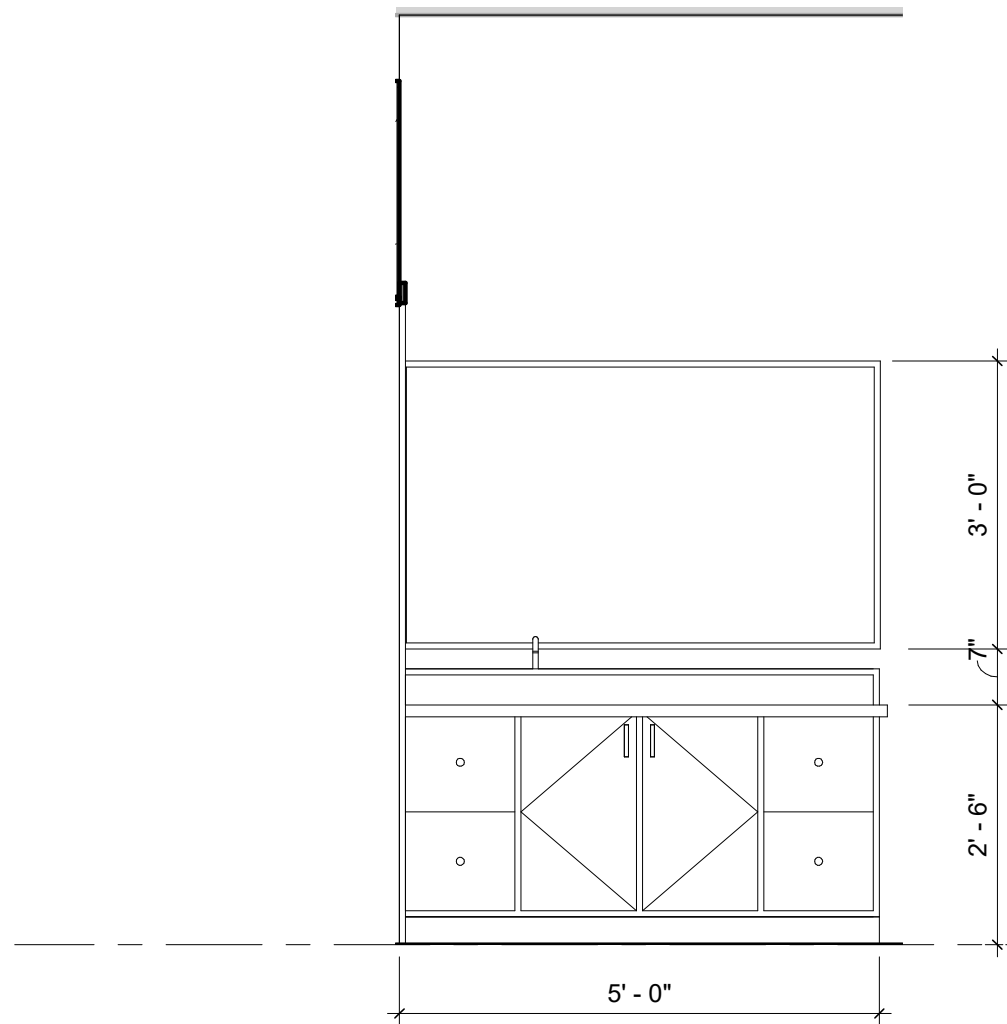
1 GROUND LEVEL - KITCHEN
1/2" = 1'-0"



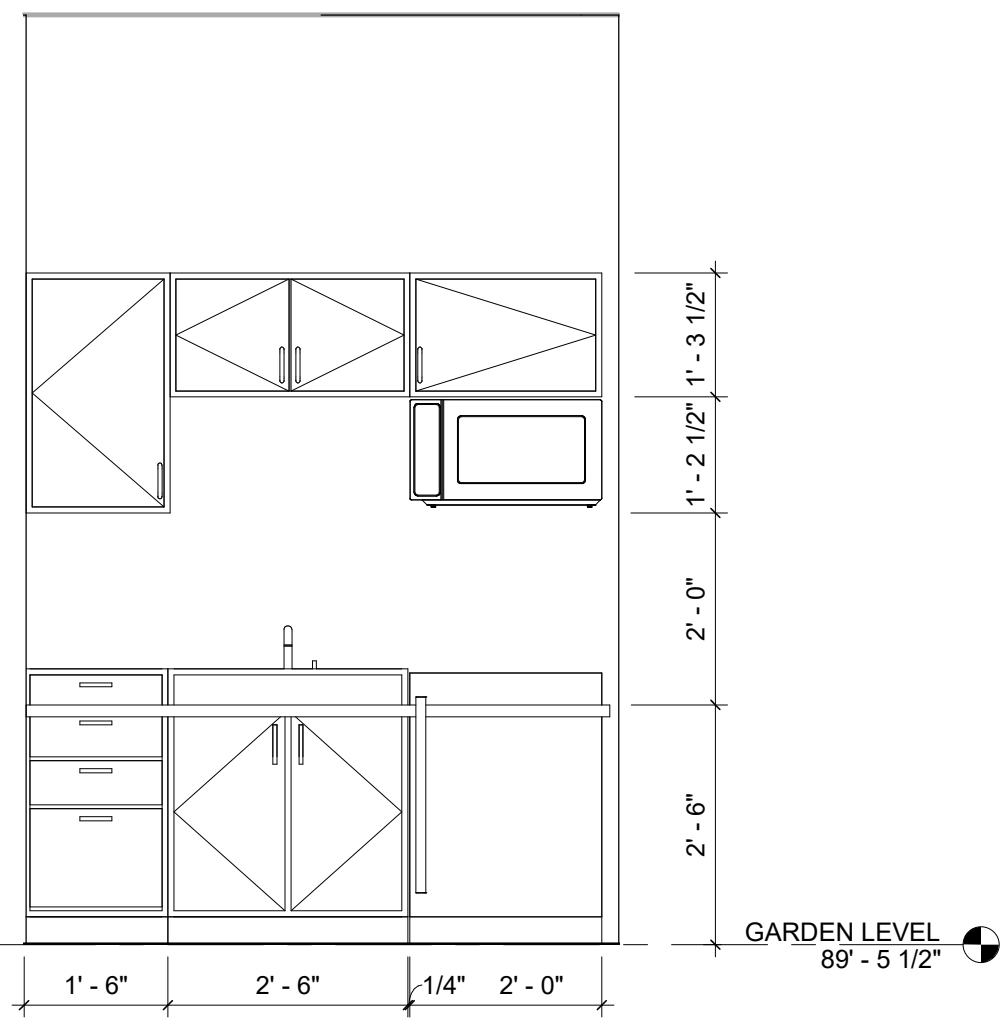
6 GROUND LEVEL - POWDER ROOM VANITY
1/2" = 1'-0"



5 GROUND LEVEL - PRIMARY BATH VANITY
1/2" = 1'-0"



8 GARDEN LEVEL - BATHROOM VANITY
1/2" = 1'-0"



7 GARDEN LEVEL - KITCHENETTE
1/2" = 1'-0"

GENERAL NOTES - FLOOR PLAN

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALL PARTITIONS ARE 2 x 6 WOOD STUDS WITH 5/8" GYPSUM BOARD AT INTERIOR FACE, AND EXTERIOR ENVELOPE REQUIREMENTS PER IRC AND LOCAL AMENDMENTS AND EXTERIOR FINISH UNLESS OTHERWISE NOTED.
- ALL EXTERIOR SIDING, PANELS, PLASTER AND STUCCO SHALL BE INSTALLED AS A RAINSCREEN SYTEM UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL INTERIOR WALL PARTITIONS ARE 2 x 4 WOOD STUDS WITH SOUND BATT INSULATION AND 5/8" GYPSUM BOARD UNLESS OTHERWISE NOTED.
- REFER TO SLAB PLAN FOR LAYOUT DIMENSIONS.
- REFER TO STRUCTURAL SHEETS FOR FOUNDATION AND FRAMING.
- COORDINATE ALL KITCHEN AND BATHROOM DIMENSIONS AND UTILITY REQUIREMENTS WITH OWNER'S SPECIFIC CHOICES OF FIXTURES, APPLIANCES AND CABINETS.
- FIRST FLOOR ENTRANCES SHALL HAVE MAX 1/2" BEVELED THRESHOLD.
- PROVIDE 2 x 6 BLOCKING AT CENTER LINE OF 34" AFF AT WALLS IN SHOWERS, BATHTUBS AND ADJACENT TO WATERCLOSETS.
- ALL PORCH AND BALCONY FLOORS SHALL SLOPE TO DRAIN AWAY FROM BUILDING.
- COORDINATE ALL FINAL OWNER CHOSEN FLOOR FINISHES WITH CONCRETE SLAB PRIOR TO PLACEMENT FOR CONINUOUS FLOOR LEVEL.

GENERAL NOTES - INTERIOR ELEVATIONS

- PROVIDE 2 x 6 BLOCKING AT CENTER LINE OF 34" AFF AT WALLS IN SHOWERS, BATHTUBS AND ADJACENT TO WATERCLOSETS.
-
-

ISSUE DATE: 04 MAY 2023
PROJECT NUMBER: 202221
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ENLARGED FLOOR
PLAN & INTERIOR
ELEVATIONS

A401