

**ZONING AND PLATTING COMMISSION
SITE PLAN EXTENSION REVIEW SHEET**

CASE NUMBER: SP-2013-0076DX(XT3) **ZAP HEARING DATE:** June 6, 2023

PROJECT NAME: RRISD Pearson Ranch High School

ADDRESS OF SITE: 8501 PEARSON RANCH ROAD **COUNCIL DISTRICT:** NA

WATERSHED: Lake Creek (Suburban) **JURISDICTION:** ETJ

APPLICANT Cunningham-Allen Inc. (512) 327-2946
3103 Bee Caves Rd, Suite 202
Austin, Tx 78746

OWNERS: Round Rock I.S.D (512)464-5000
1311 Round Rock Ave
Round Rock, Tx 78681

AGENT: Cunningham-Allen Inc. (512) 327-2946
3103 Bee Caves Rd, Suite 202
Austin, Tx 78746

CASE MANAGER: Gabriel Guerrero Jr. (512) 978-4658
gabriel.guerrero@austintexas.gov

EXISTING ZONING: ETJ

PROPOSED DEVELOPMENT:

The applicant is requesting a five-year extension to a previously approved site plan. The proposed site plan is for a public high school with associated improvements.

SUMMARY STAFF RECOMMENDATION:

Staff recommends approval to extend this site plan permit by five years, from September 9, 2022 to September 9, 2027 based on LDC Section 25-5-62(B) (code sections provided below).

25-5-63(C) Extension of released site plan by the Land Use Commission: “the Land Use Commission may extend the expiration date of a released site plan beyond the date established by this chapter if the Land Use Commission determines that the request complies with the requirements for extension by the director under 25-5-62 (*Extension of Released Site Plan by Director*).”

25-5-62(C) The director may extend the expiration date of a released administrative site plan one time for a period of one year if the director determines that there is good cause for the requested extension; and

“ (1) the director determines that:

- (a) the site plan substantially complies with the requirements that apply to a new application for site plan approval;
- (b) the applicant filed the original application for site plan approval with the good faith expectation that the site plan would be constructed;
- (c) the applicant constructed at least one structure shown on the original site plan that is suitable for permanent occupancy; or

(d) the applicant has constructed a significant portion of the infrastructure required for development of the original site plan; and”

SUMMARY OF SITE PLAN:

LAND USE: The site is within the ETJ. The applicant filed the original application for site plan approval with the good faith expectation that the site plan would be constructed.

ENVIRONMENTAL: All environmental comments have been cleared.

TRANSPORTATION: All transportation comments have been cleared.

PREVIOUS APPROVALS

09/09/13 Site Plan administrative approval, permit expiration 09/09/2016
 11/08/2016 One year extension administrative approval, permit expiration 09/09/2017
 03/06/2018 Five year extension Zoning and Platting Commission approval (02/06/2018), permit expiration 09/09/2022

PROJECT INFORMATION

SITE AREA	3,628,678.68	83.303 acres
EXISTING ZONING	NA	
	Allowed/Required	Proposed
FLOOR-AREA RATIO	NA	NA
BUILDING COVERAGE	NA	8.67%
IMPERVIOUS COVERAGE	NA	35.03%
PARKING	NA	1117

EXISTING ZONING AND LAND USES

	ZONING	LAND USES
<i>Site</i>	NA	Proposed public high school
<i>North</i>	NA	Neenah Ave
<i>South</i>	NA	Vacant
<i>East</i>	NA	SF (Round Rock ETJ)
<i>West</i>	NA	Pearson Ranch RD

NEIGHBORHOOD ORGANIZATIONS:

Davis Spring HOA
 Friends of Austin Neighborhoods
 Neighborhood Empowerment Foundation
 Seltexas

Sierra Club, Austin Regional Group



Cunningham | Allen

February 26, 2013

Mr. Greg Guernsey, AICP, Director
Planning and Development Review Department
City of Austin
P.O. Box 1066
Austin, Texas 78767

RE: R.R.I.S.D. Pearson Ranch High School Site Plan
Engineer's Summary Letter
CAI No. 0575604

Dear Mr. Guernsey:

R.R.I.S.D. Pearson Ranch High School will be located on Lot 1, Block D, of the Pearson Ranch Section Two Final Plat, which is being reviewed concurrently with the site plan. The site is comprised of 84.512 acres of land out of 387.62 acres of land in the Rachel Saul Survey, Abstract 551, and the James Shelton Survey, Abstract No. 552, Williamson County, Texas. The property is outside the Corporate Limits of the City of Austin, but within Austin's Extra Territorial Jurisdiction (ETJ), and Williamson County. The High School site abuts Pearson Ranch Road and Neenah Avenue. A location map is provided as Exhibit A.

The development is subject to an Interlocal Agreement that was prepared as a result of House Bill 1445 and approved by the Austin City Council and the Commissioners Court for Williamson County in March/April 2002. The agreement states that the "City shall be granted exclusive jurisdiction to regulate all subdivision plats and approve all related permits in the City's ETJ, and may regulate subdivisions under Chapter A of Chapter 212 of the Texas Local Government Code and other statutes applicable to municipalities, and the County shall no longer exercise any of these functions in the City's ETJ."

The R.R.I.S.D. Pearson Ranch High School site is located in the Lake Creek watershed and is classified as a suburban watershed by the City of Austin. The development is located within the North Edwards Aquifer Recharge Zone. There are no Major, Intermediate, or Minor Waterways located within the boundary of the property, therefore the entire property is classified as Uplands and shall be developed, constructed, and maintained in accordance with the terms and conditions of the Land Development Code, Chapter 25. The property is located on the Federal Flood Insurance Administration (FEMA) Firm Panel No. 48491C0630 E revised on September 26, 2008, and no existing 100-year floodplain lies within the boundaries of the site.

There are no slopes over 15% onsite therefore the Net Site Area (NSA) equals the Uplands area. The NSA for the site is approximately 84.512 acres and is based on the Q1-Q2 tables provided in "Existing Conditions" Exhibit B. The maximum allowable impervious cover (50% of NSA) indicated in the Q2 table is per the suburban watershed requirements and the Land Development Agreement between the City of Austin and RRISD. The proposed impervious cover indicated in

the Q2 table (34% of NSA) is based on the proposed site layout. Please refer to the "Existing Conditions" Exhibit B for these computations.

An Environmental Assessment was prepared by Horizon Environmental Services, Inc. in May 2009, which includes Lots 3 and 4, Block A, Lot 2, Block B, Lot 1, Block C, and Lot 1, Block D, of the Pearson Ranch Preliminary Plan (C8J-2010-0058), which are lots designated for the existing Elsa England Elementary School and the future RRISD Pearson Middle and High Schools. The report also includes the street right-of-ways for Pearson Ranch Road and Neenah Avenue.

This report contains information on the geological and vegetative elements of the property, as well as a detailed evaluation of these lots for the occurrence of Critical Environmental Features (CEFs) as defined in the City of Austin Land Development Code. A copy of the Environmental Assessment is included as Exhibit D.

In conjunction with the preparation of this study, meetings with the City of Austin and the Texas Commission for Environmental Quality (TCEQ) were held in order to discuss setbacks of several recharge features. Also, a Recharge and Transition Zone Exception Request was submitted to TCEQ by Horizon Environmental Services, Inc. for Lots 3 and 4, Block A, Lot 2, Block B, Lot 1, Block C, and Lot 1, Block D, in May 2009. As a result of these meetings and Exception Request, an email from City of Austin Environmental Resources Management Division Hydrogeologist, Sylvia Pope, was received on August 4, 2009, outlining specific recommendations for features discussed in the Horizon report. These CEF locations and setback recommendations were approved with the Preliminary Plan and are included on the site plan.

City of Austin Water Utility water and wastewater mains are located in the abutting Pearson Ranch Road. Domestic water service and fire flow will be supplied by the City of Austin via an existing 24" water line located on the east side of Pearson Ranch Road. Wastewater service will be supplied by the City of Austin via an existing 12" wastewater line located on the east side of Pearson Ranch Road.

The City of Austin Drainage Criteria Manual requires that onsite storm water detention, as well as water quality measures, be provided for development of the subject tract. Two storm water detention ponds will mitigate developed storm water impacts to downstream properties resulting from this development. Detention is provided for the 2-year, 10-year, 25-year, and 100-year storms such that the resulting flow will be less than or equal to the pre-development flow rate for each design storm.

The storm water system for this site will be privately owned and maintained by Round Rock Independent School District. The storm water infrastructure is designed to convey developed flows to the proposed water quality and detention facilities.

The south detention and water quality ponds are located at the southeast corner of the site. Released storm water will discharge via proposed pipe from the detention facility into an existing

Mr. Greg Guernsey, AICP, Director

February 26, 2013

Page 3

drainage easement that runs south across undeveloped property to FM 620. The outflow from the detention basin will flow into an existing set of culverts under old FM 620 which drains through an existing box culvert and eventually to an unnamed tributary of Lake Creek.

The west water quality pond is located just west of the proposed school building. The west detention pond is located directly across Pearson Ranch Road from the school building. Released stormwater will discharge via an outlet structure from the detention facility into an existing drainage channel in the existing drainage easement that runs southeast across undeveloped property to an unnamed tributary of Lake Creek.

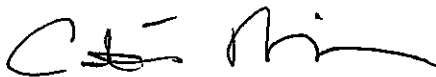
The Corp of Engineers Hydrologist Center in Hydrologic Modeling System (HEC-HMS) version 3.5 was used to model the existing and proposed site conditions, as well as the two proposed detention ponds with their outlet structures. See the Detention Pond Plan Sheets in the plan set for pond design and calculations associated with the water quality ponds. Refer to the Drainage Area maps and HEC-HMS models in Exhibit F.

Water quality ponds for the project will be partial sedimentation/filtration ponds designed to treat the water quality volume in accordance with the water quality provisions of the City of Austin *Environmental Criteria Manual*. See the Water Quality Pond Plan Sheets in the site plan set for pond design and calculations associated with the water quality ponds.

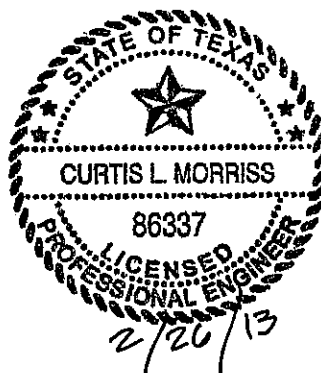
If you have any questions regarding this project, or if you require any additional information to assist you in your review of this project, please contact Jana Rice or me.

Sincerely,

CUNNINGHAM-ALLEN, INC.



Curtis L. Morriss, P.E.
Project Engineer





6504 Bridge Point Parkway, Suite 200
Austin, Texas 78730

May 25, 2023

Development Services Department
City of Austin
P.O. Box 1066
Austin, Texas 78767

**RE: Engineer's Summary Letter
Round Rock ISD Pearson Ranch High School, SP-2013-0076DX (XT3)
Request for Land Use Commission Site Plan Extension (5 years)
CAI No. 057.5607**

On behalf of the Round Rock Independent School District (RRISD), we hereby respectfully request a five-year extension for the RRISD Pearson Ranch High School (SP-2013-0076DX XT2) site plan as outlined in the City of Austin (COA) Land Development Code (LDC), 25-5-63, Extension of Released Site Plan by the Land Use Commission. The originally approved site plan permit was extended for five years, with a current expiration date of September 9, 2022.

This project is associated with the RRISD Pearson Ranch educational complex consisting of a High School, a Middle School, an Elementary School, and a Transportation Facility. The district constructed approximately 1.5 miles of a major arterial roadway and a 24" water line along with the associated drainage and wastewater infrastructure to serve this complex. The Elementary School, Middle School, and the Transportation Center have been completed and are currently operational. Construction of the High School did not start immediately because the bond that was proposed to include the construction funds did not pass. However, the recently completed demographic studies confirmed the need for the High School at this location and the School Board decided to proceed with finalizing the design and starting the construction of this project as soon as funds are available.

RRISD Pearson Ranch High School will be located on Lot 1, Block D, of the Pearson Ranch Section Two Final Plat. The property is outside the Corporate Limits of the City of Austin, but within Austin's Extra Territorial Jurisdiction (ETJ), and Williamson County. The High School site abuts Pearson Ranch Road and Neenah Avenue.

Sincerely,

Walker Partners

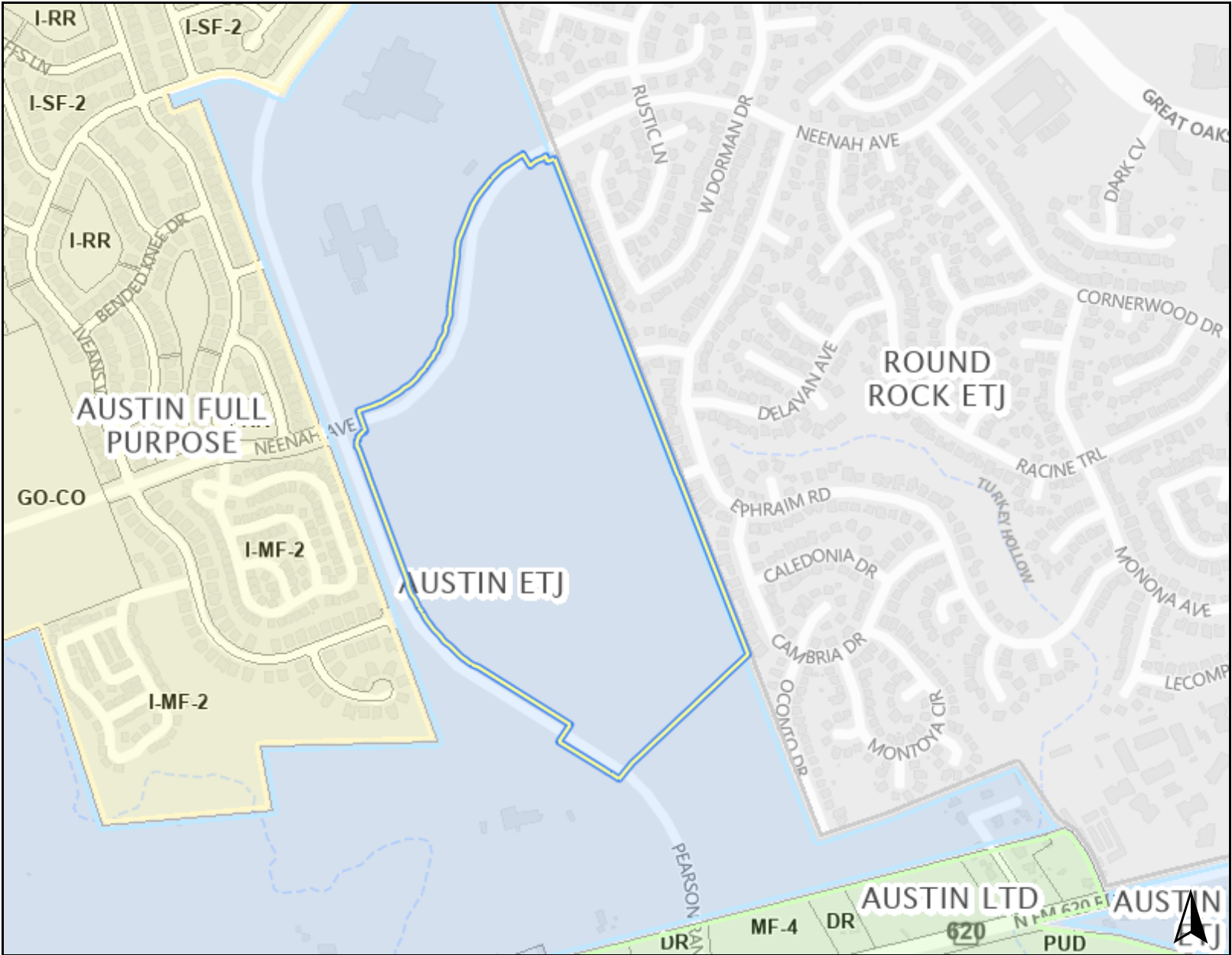
A handwritten signature in blue ink that reads "Elias Haddad".

Elias Haddad, P.E.,
Client Manager



Property Profile

Staff Map



Legend

Property

Jurisdictions (No Fill)

- FULL PURPOSE
- LIMITED PURPOSE
- EXTRATERRITORIAL JURISDICTION
- OTHER CITIES ETJ

Jurisdictions Fill

Jurisdiction

- FULL PURPOSE
- LIMITED PURPOSE
- EXTRATERRITORIAL JURISDICTION
- OTHER CITIES ETJ

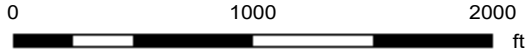
Zoning 1

Zoning Text

-

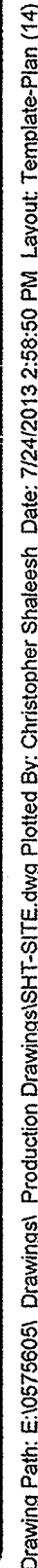
Notes

SP-2013-0076DX(XT3)

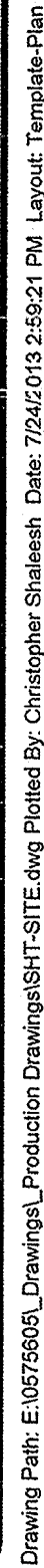


5/25/2023

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey. This product has been produced by the City of Austin for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

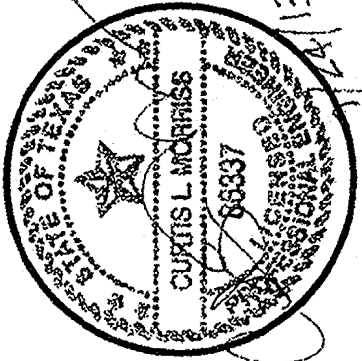


PROJECT NO.: 057.5905	<div style="text-align: center;"> <h1>SHEET</h1> <h2>37</h2> </div>	
DESIGN: C.L.M.		
TECHNICIAN:		
C.S.		
ISSUED: ID		
FOR CITY OF AUSTIN USE		
37	OF	114



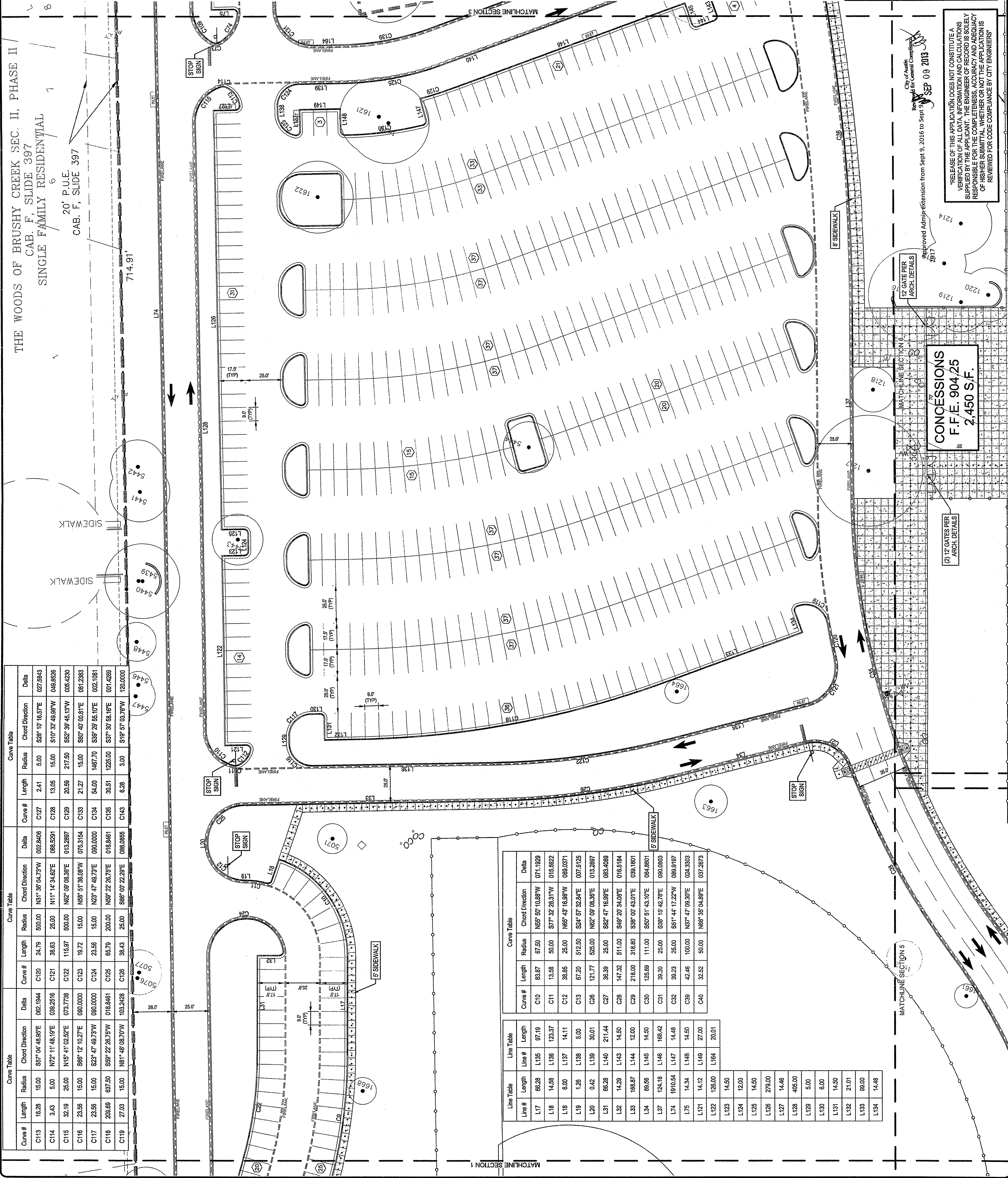
Cummingham | Allen, Inc.
Engineers • Surveyors • Planners
Tel: (512) 327-2946
www.cummingham-allen.com
TYPE REG. NO. P-284
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CA



R.R.I.S.D. PEARSON RANCH HIGH SCHOOL
8501 PEARSON RANCH ROAD
AUSTIN, TEXAS
SITE PLAN SECTION 2

PROJECT No. 067.6005
DESIGN: C.L.M.
TECHNICIAN: C.S.
ISSUED: ID
SHEET 38
FOR CITY OF AUSTIN USE
38 OF 114



Curve Table				Curve Table			
Curve #	Length	Radius	Chord Direction	Delta	Curve #	Length	Chord Direction
C13	16.28	15.00	S57°04'48.39"E	062.1944	C127	2.41	S28°10'16.57"E
C14	3.43	25.00	N72°11'48.19"E	039.2516	C128	13.05	S10°32'49.98"W
C15	32.19	50.00	N6°41'02.92"E	073.7738	C129	20.59	S62°39'45.19"W
C16	23.58	15.00	S66°12'02.27"E	090.0000	C130	21.27	S90°40'00.81"E
C17	23.58	15.00	S23°47'49.73"E	090.0000	C134	54.00	S39°29'55.10"E
C18	200.09	637.50	S59°22'28.75"W	016.8461	C135	30.51	S37°30'58.16"E
C19	27.03	15.00	N81°48'08.70"W	103.2428	C143	6.28	S19°57'03.76"W

Line Table				Curve Table			
Line #	Length	Line #	Length	Curve #	Length	Radius	Chord Direction
L17	14.58	L136	122.37	C10	83.87	67.50	N55°50'10.89"W
L18	6.00	L137	14.11	C11	13.59	50.00	S77°32'28.31"W
L19	1.26	L138	5.00	C12	36.85	25.00	N65°43'16.98"W
L20	0.42	L139	30.01	C13	67.20	512.50	S24°57'32.94"E
L31	66.28	L140	211.44	C26	121.77	525.00	N82°09'08.36"E
L32	14.29	L143	14.50	C27	36.39	25.00	S82°47'16.99"E
L33	168.87	L144	12.00	C28	147.32	511.00	S49°20'34.08"E
L34	89.56	L145	14.50	C29	218.00	318.80	S38°00'43.01"E
L37	124.18	L146	168.42	C30	125.69	111.00	S50°51'43.10"E
L74	1910.54	L147	14.48	C31	39.30	25.00	S38°15'42.78"E
L75	14.34	L148	14.50	C32	36.23	25.00	S51°44'17.22"W
L121	14.12	L149	27.00	C39	42.46	100.00	N37°47'09.30"E
L122	126.00	L164	20.01	C40	32.52	50.00	N88°35'04.89"E
L123	14.50						
L124	12.00						
L125	14.50						
L126	275.00						
L127	14.46						
L128	485.00						
L129	5.00						
L130	6.00						
L131	14.50						
L132	21.01						
L133	99.00						
L134	14.48						

LEGEND

PROPERTY LINE (ADJACENT)

EXISTING EASEMENT

EXISTING ELECTRICAL

EXISTING UNDERGROUND ELEC.

EXISTING OVERHEAD ELEC.

EXISTING CONTOURS

EXISTING TREE (TO REMAIN)

EXISTING TREE (REMOVAL)

PROPOSED ACCESSIBLE ROUTE

PROPOSED CURB & GUTTER

PROPOSED FIRE LANE (PAINTED "FIRE LANE")

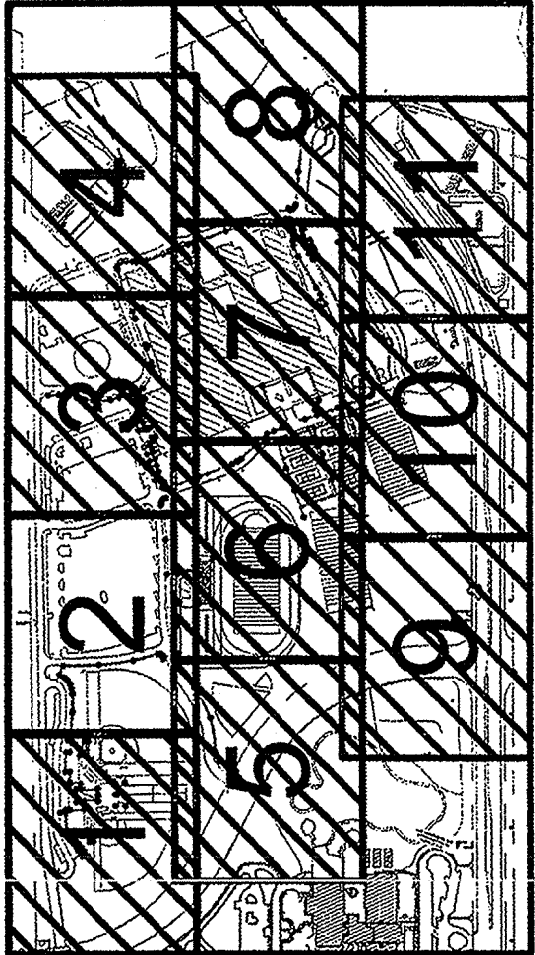
PROPOSED SIDEWALK

PROPOSED CONCRETE SIDEWALK (SHOWING EXPANSION & CONTRACTION JOINTS)

PROPOSED STRIPING TO BE PAINTED ON AREA

PROPOSED CONCRETE AREAS

- SITE PLAN NOTES:
- ALL WORK IN PUBLIC RIGHT-OF-WAYS AND CONNECTIONS TO PUBLIC UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD DETAILS AND SPECIFICATIONS AVAILABLE FROM THE CITY OF AUSTIN.
 - CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE CONTINUITY OF SERVICES AS NECESSARY.
 - ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB RETURNS SHALL BE 3' RADIUS UNLESS OTHERWISE NOTED.
 - FOR FIRE LANES, REFER TO NOTE No.3 ON OVERALL SITE PLAN.



!!! CAUTION !!!
EXISTING OVERHEAD UTILITIES IN VICINITY CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES

!!! WARNING !!!
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND AVOIDING ALL EXISTING UTILITIES BY CALLING THE "ONE CALL" LOCATOR SERVICE AT (800) 344-3377 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

SITE PLAN APPROVAL

FILE NUMBER _____ APPLICATION DATE _____
APPROVED BY COMMISSION ON _____ UNDER SECTION _____
OF CHAPTER _____ OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-91, LDC) _____ CASE MANAGER _____
PROJECT EXPIRATION DATE (ORD #070605-A) _____
DWG2: _____ DDZ: _____

Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE
Rev. 1 _____ ZONING _____
Rev. 2 _____ Correction 1 _____
Rev. 3 _____ Correction 3 _____

Final plan must be recorded by the Project Expiration Date, if applicable.
Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

CONCESSIONS
F.F.E. 904/25
2,450 S.F.

(A) 12 GATES PER ARCH. DETAILS

(B) 12 GATES PER ARCH. DETAILS

Approved Admin extension from Sept 9, 2015 to Sept 9, 2016
City of Austin
Approved for General Compliance
SEP 03 2013

"RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS"

Cunningham Allen, Inc.
Engineers • Surveyors • Planners
Tel: (512) 327-2946
www.cunningham-allen.com
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CA



R.R.I.S.D. PEARSON RANCH HIGH SCHOOL
8501 PEARSON RANCH ROAD
AUSTIN, TEXAS

SITE PLAN SECTION 3

PROJECT NO: 057-5905
DESIGN: C.S.
TECHNICIAN: C.S.
ISSUED: ID

SHEET 39 OF 114

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

LEGEND

PROPERTY LINE (ADJACENT)

EXISTING EASEMENT

EXISTING ELECTRICAL

EXISTING UNDERGROUND ELEC.

EXISTING OVERHEAD ELEC.

EXISTING GAS

EXISTING CONTOURS

EXISTING TREE (TO REMAIN)

EXISTING TREE (REMOVAL)

PROPOSED ACCESSIBLE ROUTE

PROPOSED CURB & GUTTER

PROPOSED FIRE LANE (PAINTED FIRE LANE WITH 15' TRANSITION TO RIBBON CURB AND/OR CUTTER AS PRESCRIBED & SHOWN)

PROPOSED SIDEWALK

PROPOSED CONCRETE

PROPOSED STRIPING TO BE PAINTED ON AREA

PROPOSED CONCRETE AREAS

1. ALL WORK IN PUBLIC RIGHT-OF-WAYS AND CONNECTIONS TO PUBLIC UTILITIES SHALL BE PER CITY OF AUSTIN STANDARD DETAILS AND SPECIFICATIONS AVAILABLE FROM THE CITY OF AUSTIN.

2. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE CONTINUITY OF SERVICES AS NECESSARY.

3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

4. ALL CURB RETURNS SHALL BE 3' RADIUS UNLESS OTHERWISE NOTED.

5. FOR FIRE LANES, REFER TOP NOTE No.3 ON OVERALL SITE PLAN.

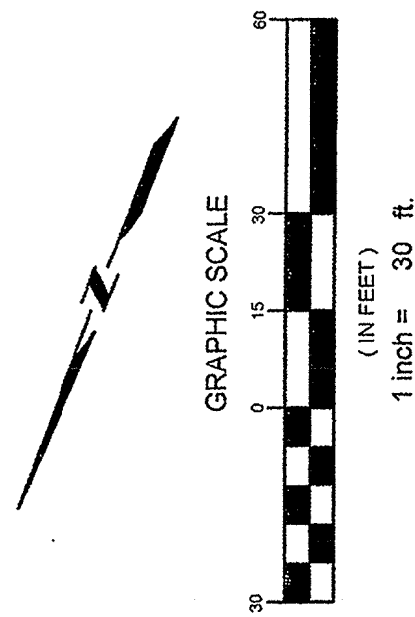
6. CHAIN LINK FENCE -- 6' HEIGHT, 8' POST SPACING, NO TOP RAIL, PER CITY OF AUSTIN SPECIFICATIONS.

11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 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1826 1827 1828 1829 1830 1831 1832 1833 1834 1835 1836 1837 1838 1839 1840 1841 1842 1843 1844 1845 1846 1847 1848 1849 1850 1851 1852 1853 1854 1855 1856 1857 1858 1859 1860 1861 1862 1863 1864 1865 1866 1867 1868 1869 1870 1871 1872 1873 1874 1875 1876 1877 1878 1879 1880 1881 1882 1883 1884 1885 1886 1887 1888 1889 1890 1891 1892 1893 1894 1895 1896 1897 1898 1899 1900 1901 1902 1903 1904 1905 1906 1907 1908 1909 1910 1911 1912 1913 1914 1915 1916 1917 1918 1919 1920 1921 1922 1923 1924 1925 1926 1927 1928 1929 1930 1931 1932 1933 1934 1935 1936 1937 1938 1939 1940 1941 1942 1943 1944 1945 1946 1947 1948 1949 1950 1951 1952 1953 1954 1955 1956 1957 1958 1959 1960 1961 1962 1963 1964 1965 1966 1967 1968 1969 1970 1971 1972 1973 1974 1975 1976 1977 1978 1979 1980 1981 1982 1983 1984 1985 1986 1987 1988 1989 1990 1991 1992 1993 1994 1995 1996 1997 1998 1999 2000 2001 2002 2003 2004 2005 2006 2007 2008 2009 2010 2011 2012 2013 2014 2015 2016 2017 2018 2019 2020 2021 2022 2023 2024 2025 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R.R.I.S.D. PEARSON RANCH HIGH SCHOOL
8501 PEARSON RANCH ROAD
AUSTIN, TEXAS
SITE PLAN SECTION 4

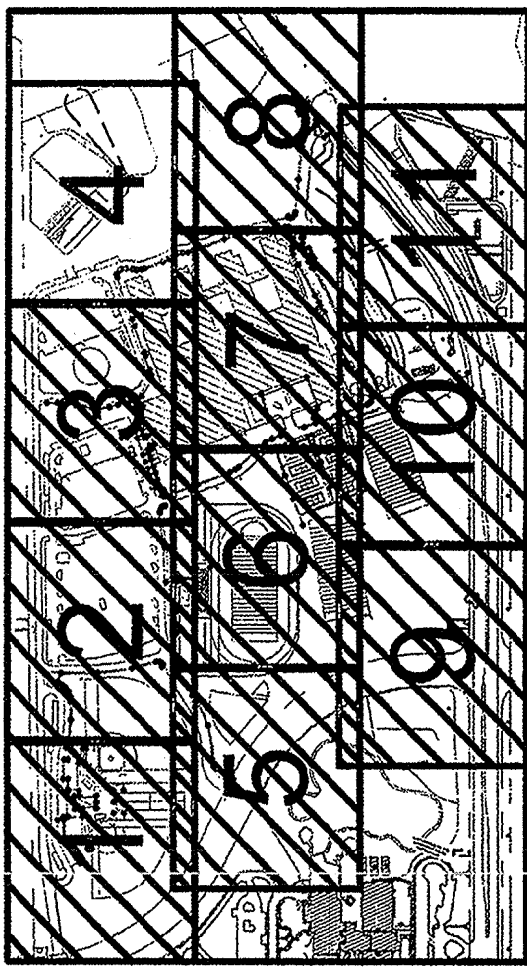
PROJECT No.: 057.5605	<div style="text-align: center;"> <h1>SHEET</h1> <h1>40</h1> </div>
DESIGN:	
C.L.M.	
TECHNICIAN:	
C.S.	
ISSUED:	
ID	
FOR CITY OF AUSTIN USE	
40	OF 114



<p>LEGEND</p> <p>PROPERTY LINE</p> <p>EXISTING EASEMENT</p> <p>EXISTING EASEMENT</p> <p>EXISTING UNDERGROUND ELEC.</p> <p>EXISTING OVERHEAD ELEC.</p> <p>EXISTING GAS</p> <p>EXISTING CONTOURS</p> <p>EXISTING TREE (TO REMAIN)</p> <p>EXISTING TREE (REMOVAL)</p>	<p>PROPOSED ACCESSIBLE ROUTE</p> <p>PROPOSED CURB & GUTTER</p> <p>PROPOSED DRIVEWAY</p> <p>PROPOSED DRIVEWAY NOTED ON SITE OR GEOTECHNICAL PLAN</p> <p>PROPOSED FIRE LANE (PAINTED FIRE LANE TO HAVE NO STRENGTH ON CURB SIDE AND NO STRENGTH ON DRIVEWAY SIDE)</p> <p>PROPOSED SIDEWALK</p> <p>L.O.C. (LIMITS OF CONSTRUCTION)</p>	<p>PROPOSED CONCRETE SIDEWALK (SHOWING EXPANSION & CONTRACTION JOINTS)</p> <p>PROPOSED STRIPING TO BE PAINTED ON AREA</p> <p>PROPOSED CONCRETE AREAS</p>
<p>1" = 10' (PROPERTY LINE)</p> <p>1" = 10' (EXISTING EASEMENT)</p> <p>1" = 10' (EXISTING UNDERGROUND ELEC.)</p> <p>1" = 10' (EXISTING OVERHEAD ELEC.)</p> <p>1" = 10' (EXISTING GAS)</p> <p>1" = 10' (EXISTING CONTOURS)</p> <p>1" = 10' (EXISTING TREE (TO REMAIN))</p> <p>1" = 10' (EXISTING TREE (REMOVAL))</p>	<p>1" = 10' (PROPOSED ACCESSIBLE ROUTE)</p> <p>1" = 10' (PROPOSED CURB & GUTTER)</p> <p>1" = 10' (PROPOSED DRIVEWAY)</p> <p>1" = 10' (PROPOSED DRIVEWAY NOTED ON SITE OR GEOTECHNICAL PLAN)</p> <p>1" = 10' (PROPOSED FIRE LANE)</p> <p>1" = 10' (PROPOSED SIDEWALK)</p> <p>1" = 10' (L.O.C. (LIMITS OF CONSTRUCTION))</p>	<p>1" = 10' (PROPOSED CONCRETE SIDEWALK)</p> <p>1" = 10' (PROPOSED STRIPING TO BE PAINTED ON AREA)</p> <p>1" = 10' (PROPOSED CONCRETE AREAS)</p>

SITE PLAN NOTES:

1. ALL WORK IN PUBLIC RIGHT-OF-WAYS AND CONNECTIONS TO PUBLIC UTILITIES SHALL BE PER CITY OF AUSTIN STANDARD DETAILS AND SPECIFICATIONS AVAILABLE FROM THE CITY OF AUSTIN.
2. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO EXCAVATION AND ENSURE CONTINUITY OF SERVICES AS NECESSARY.
3. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL CURB RETURNS SHALL BE 3' RADIUS UNLESS OTHERWISE NOTED.
5. FOR FIRE LANES, REFER TO NOTE No.3 ON OVERALL SITE PLAN.
6. CHAIN LINK FENCE - 6' HEIGHT, 6" POST SPACING, NO TOP RAIL, PER CITY OF AUSTIN SPECIFICATIONS.



KEY MAP
N.T.S.

!!! CAUTION !!!

EXISTING OVERHEAD UTILITIES IN VICINITY CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES

iii WARNING iii

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND AVOIDING ALL EXISTING UTILITIES BY CALLING THE "ONE CALL" LOCATOR SERVICE AT (800) 444-8377 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

SITE PLAN APPROVAL SHEET OF

FILE NUMBER _____ APPLICATION DATE _____
APPROVED BY COMMISSION ON _____ UNDER SECTION _____
OF CHAPTER _____ OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER _____
PROJECT EXPIRATION DATE (ORD #970905-A) _____

Planning and Development Review Department

RELEASED FOR _____ ZONING

GENERAL COMPLIANCE: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

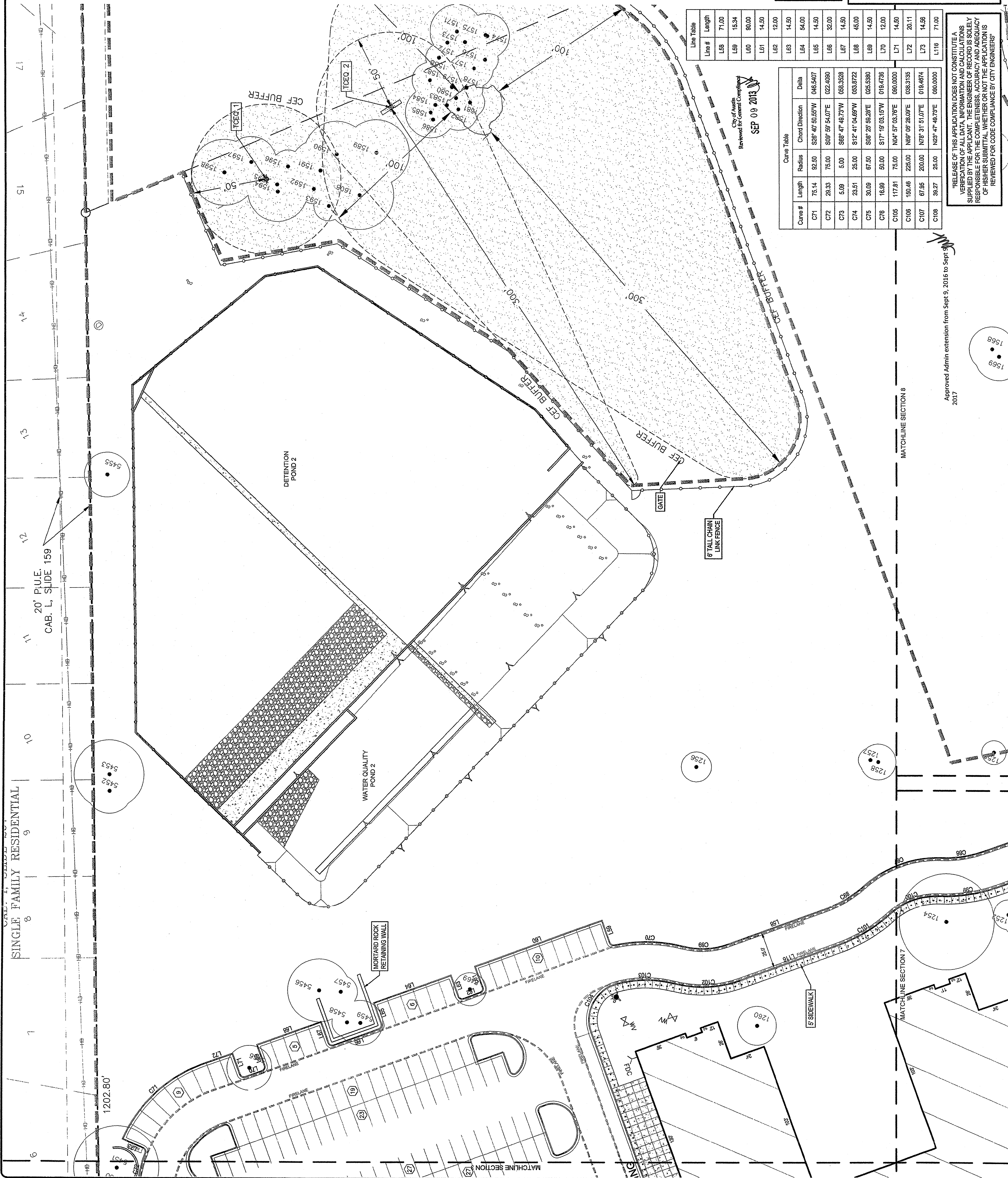
Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

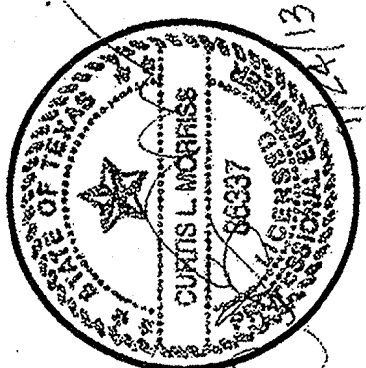
City of Austin
Reviewed for General Compliance
SEP 09 2013

Curve #	Length	Radius	Chord Direction	Delta
C71	75.14	92.50	S29° 40' 50.55"W	146° 54' 07"
C72	29.33	75.00	S09° 59' 54.07"E	022° 40' 80"
C73	5.09	5.00	S69° 47' 49.73"W	038° 35' 28"
C74	23.51	25.00	S12° 41' 04.69"W	053° 37' 22"
C75	30.09	87.50	S09° 29' 59.28"E	025° 53' 80"
C76	16.99	50.00	S17° 19' 03.15"W	019° 47' 36"
C105	117.81	75.00	N04° 57' 03.78"E	098° 00' 00"
C106	150.48	225.00	N69° 06' 28.03"E	038° 31' 95"
C107	67.95	200.00	N78° 31' 51.07"E	019° 46' 74"
C108	39.27	25.00	N25° 47' 49.73"E	090° 00' 00"

"RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS"

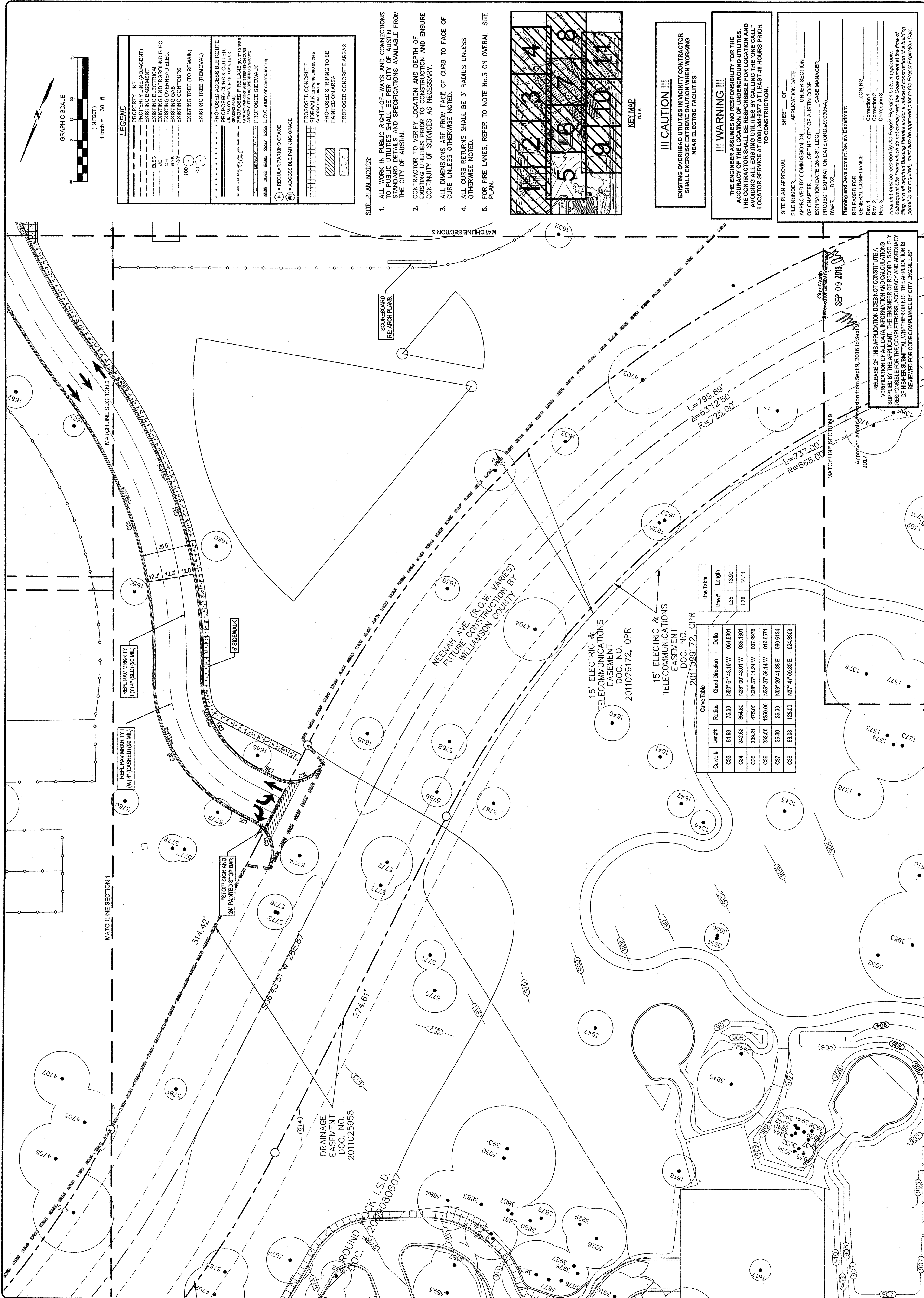
Approved Admin extension from Sept 9, 2016 to Sept 9, 2017



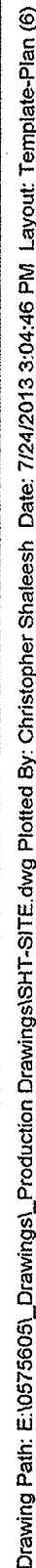


R.R.I.S.D. PEARSON RANCH HIGH SCHOOL
8501 PEARSON RANCH ROAD
AUSTIN, TEXAS
SITE PLAN SECTION 5

PROJECT No.:	057.5605
DESIGN:	
C.I.M.	
TECHNICIAN:	
C.S.	
ISSUED:	
ID	
<div style="text-align: center;"> SHEET 41 </div>	
FOR CITY OF AUSTIN USE	
41	OF 114



PROJECT No.:	057.5605
DESIGN:	
C.L.M.	
TECHNICIAN:	
C.S.	
ISSUED:	
ID	
<div style="text-align: center;"> <h1>SHEET</h1> <h1>42</h1> </div>	
FOR CITY OF AUSTIN USE	
42	OF 114



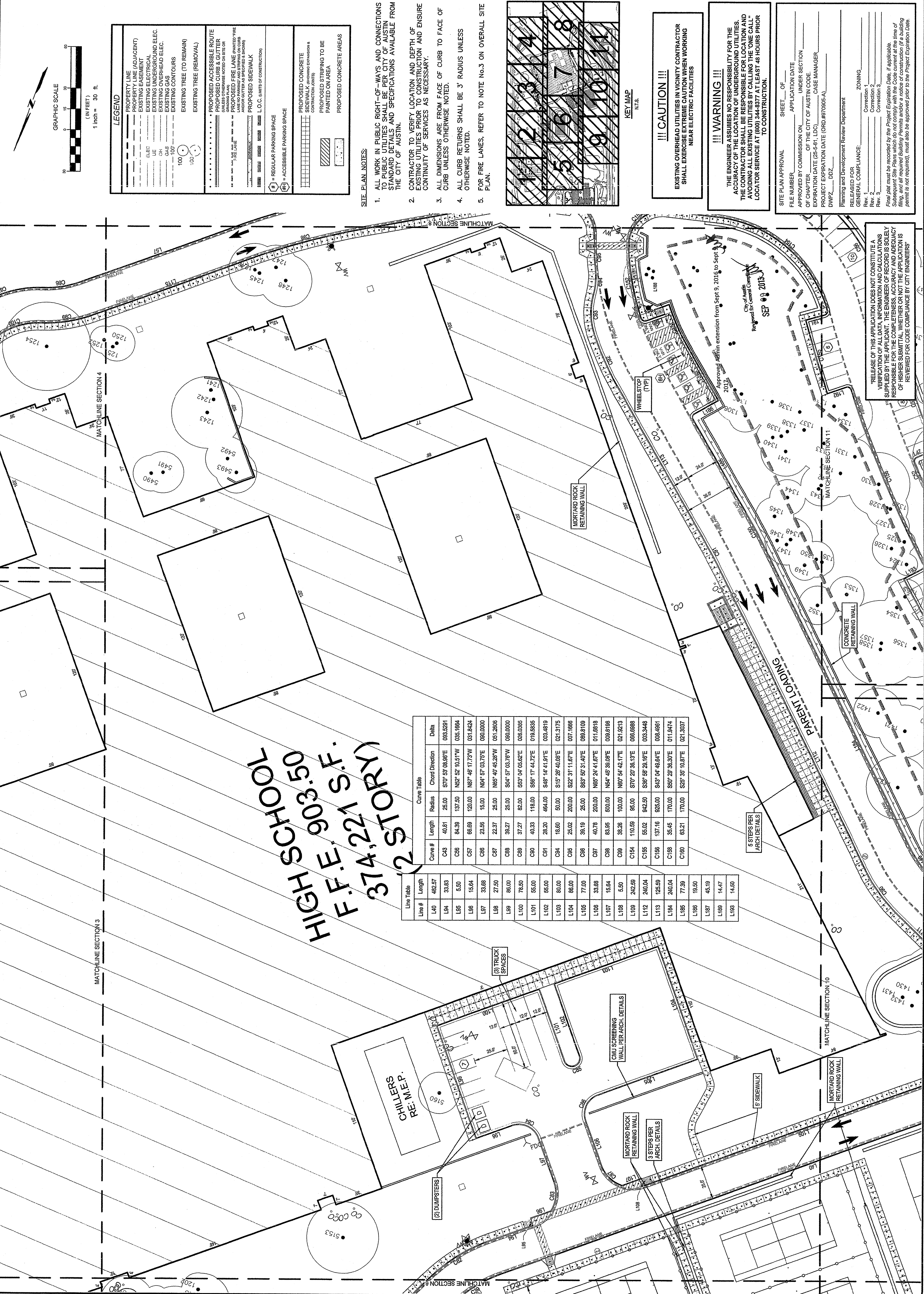
Cunningham | Allen, Inc.
Engineers • Surveyors • Planners
Tel: (512) 327-2946
www.cunningham-allen.com
TPE REG. NO. F-284
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CA

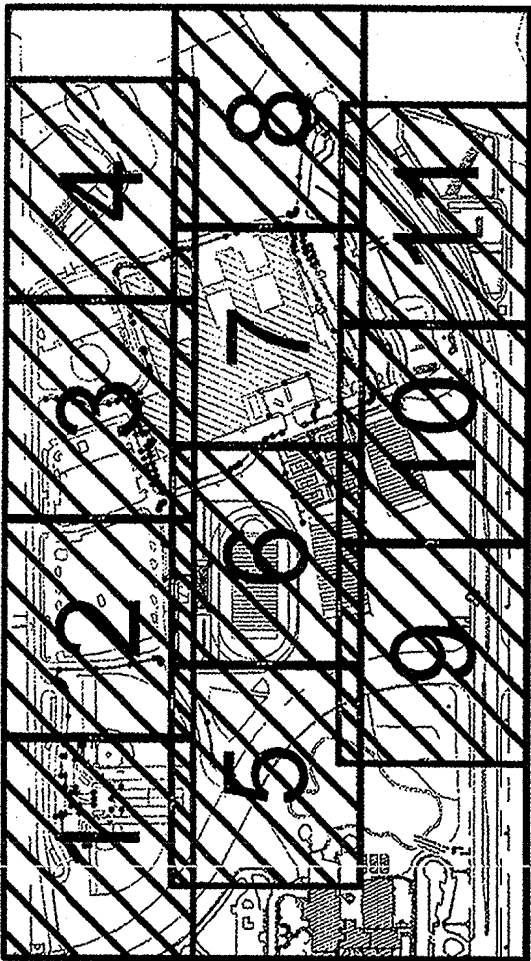


R.R.I.S.D. PEARSON RANCH HIGH SCHOOL
8501 PEARSON RANCH ROAD
AUSTIN, TEXAS
SITE PLAN SECTION 7

PROJECT No.: 0575605
DESIGN: C.L.M.
TECHNICIAN: C.S.
ISSUED: ID
SHEET 43
OF 114
FOR CITY OF AUSTIN USE



- SITE PLAN NOTES:**
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 - CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE CONTINUITY OF SERVICES AS NECESSARY.
 - ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB RETURNS SHALL BE 3' RADIUS UNLESS OTHERWISE NOTED.
 - FOR FIRE LANES, REFER TO NOTE NO.3 ON OVERALL SITE PLAN.



!!! CAUTION !!!
EXISTING OVERHEAD UTILITIES IN VICINITY CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING NEAR ELECTRIC FACILITIES

!!! WARNING !!!
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND AVOIDING ALL EXISTING UTILITIES BY CALLING THE "ONE CALL" LOCATOR SERVICE AT (800) 344-8377 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

SITE PLAN APPROVAL
FILE NUMBER _____ SHEET _____ OF _____
APPROVED BY COMMISSION ON _____ APPLICATION DATE _____
OF CHARTER _____ OF THE CITY OF AUSTIN CODE _____
EXPIRATION DATE (25-54) L.D.O. CASE MANAGER _____
PROJECT EXPIRATION DATE (ORD #979035-A) _____
DWPZ _____ DDZ _____

Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: _____
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of recording shall be void. The Engineer's signature and seal on this plan and any permit is not required, must also be approved prior to the Project Expiration Date.

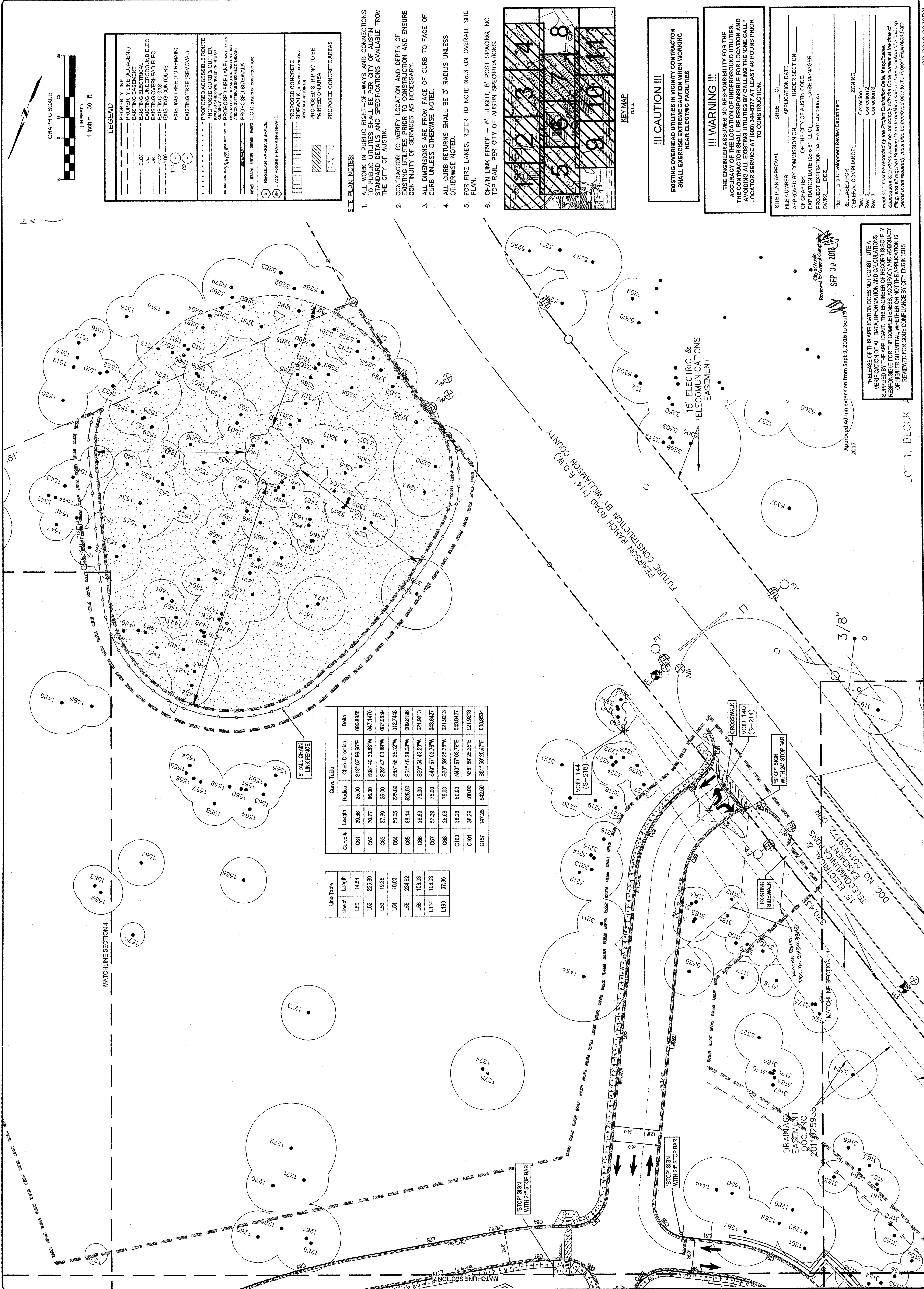
"RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE ACCURACY OF THE DATA AND CALCULATIONS OF HIS/her SUBMITTAL. THE ENGINEER OF RECORD OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS"

Line Table				Curve Table			
Line #	Length	Curve #	Length	Radius	Chord Direction	Delta	
L40	482.57	C43	40.81	25.00	S70° 53' 08.68"E	033.5201	
L94	33.83	C56	84.39	137.50	N62° 52' 10.51"W	035.1664	
L95	5.50	C57	68.89	120.00	N87° 46' 17.73"W	031.8424	
L96	15.64	C86	23.56	15.00	N04° 57' 03.75"E	090.0000	
L97	33.68	C87	22.37	25.00	N65° 40' 45.28"W	051.2606	
L98	27.50	C88	38.27	25.00	S04° 57' 03.76"W	090.0000	
L99	88.00	C89	37.27	82.00	S53° 04' 05.62"E	026.0385	
L100	78.50	C90	40.33	118.00	S86° 17' 44.72"E	016.9535	
L101	55.00	C91	28.20	464.00	S46° 14' 19.19"E	033.4819	
L102	55.00	C94	18.60	50.00	S15° 28' 40.08"E	021.3175	
L103	80.00	C95	25.02	200.00	S22° 31' 11.87"E	037.1686	
L104	86.00	C96	38.19	25.00	S63° 50' 31.40"E	098.8109	
L105	77.00	C97	40.78	200.00	N65° 24' 41.67"E	011.8918	
L106	33.68	C98	83.95	500.00	N64° 45' 36.08"E	039.8198	
L107	15.84	C99	83.26	100.00	N60° 54' 42.17"E	021.9213	
L108	5.50	C154	110.59	95.00	S70° 20' 36.13"E	088.6888	
L109	242.59	C155	55.02	942.50	S36° 58' 25.16"E	033.3448	
L112	240.04	C156	137.16	925.00	S43° 04' 48.64"E	008.4981	
L113	125.59	C158	35.45	170.00	S30° 29' 36.30"E	011.8474	
L184	240.04	C160	63.21	170.00	S25° 35' 10.87"E	021.9307	
L186	19.50						
L187	45.19						
L188	14.47						
L189	14.47						
L190	14.50						



R.R.I.S.D. PEARSON RANCH HIGH SCHOOL
8501 PEARSON RANCH ROAD
AUSTIN, TEXAS
SITE PLAN SECTION 8

PROJECT No.:	057 5605
DESIGN:	
C.L.M.	
TECHNICIAN:	
C.S.	
ISSUED:	
ID	

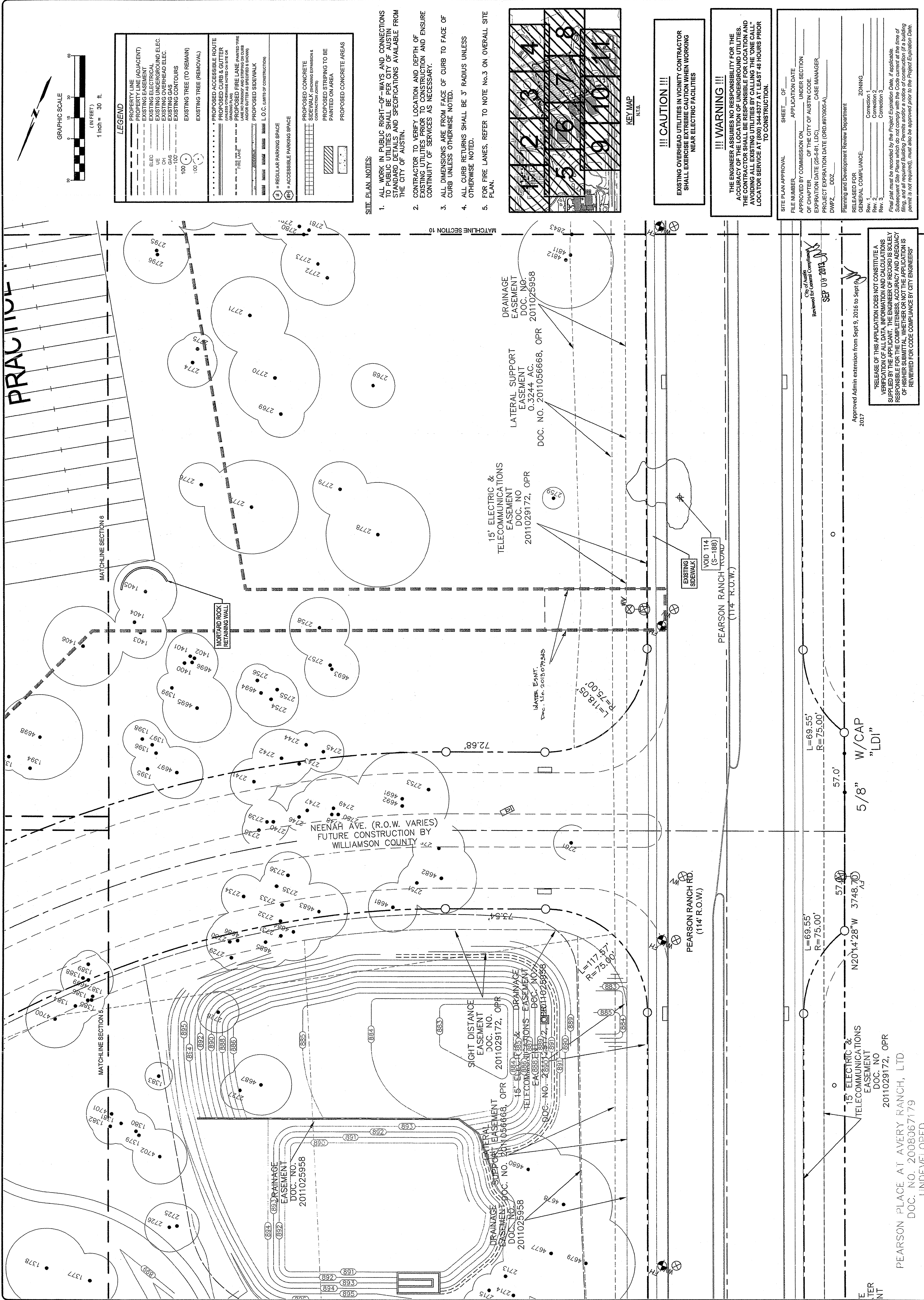




R.R.I.S.D. PEARSON RANCH HIGH SCHOOL
8501 PEARSON RANCH ROAD
AUSTIN, TEXAS

SITE PLAN SECTION 9

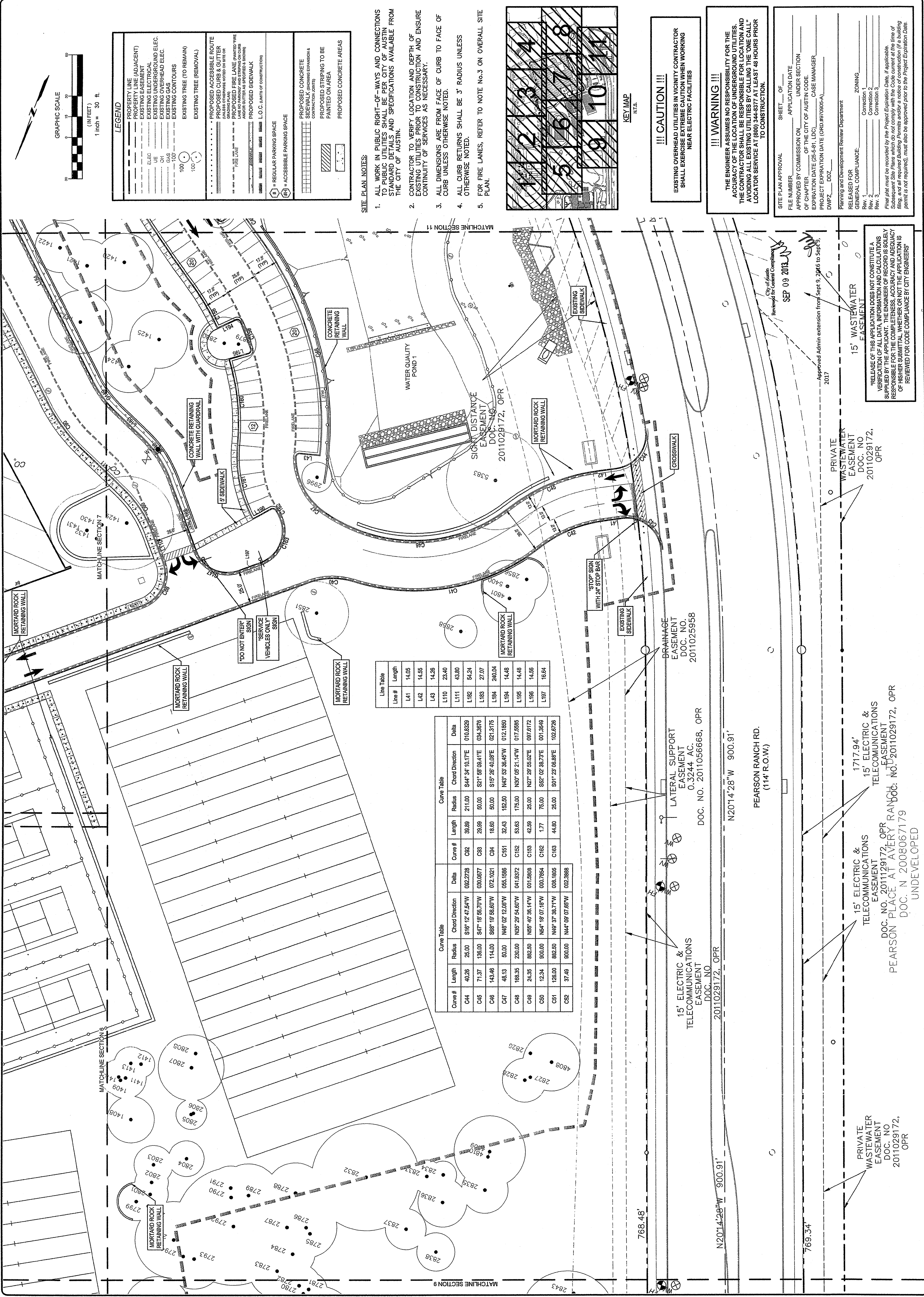
PROJECT No.:
057.5905
DESIGN:
C.L.M.
TECHNICIAN:
C.S.
ISSUED:
ID





R.R.I.S.D. PEARSON RANCH HIGH SCHOOL
8501 PEARSON RANCH ROAD
AUSTIN, TEXAS
SITE PLAN SECTION 10

PROJECT No.:	057 5605
DESIGN:	
C.I.M.	
TECHNICIAN:	
C.S.	
ISSUED:	
ID	
<div style="text-align: center;"> <h1>SHEET</h1> <h1>46</h1> </div>	
FOR CITY OF AUSTIN USE	
46	OF 114





R.R.I.S.D. PEARSON RANCH HIGH SCHOOL
8501 PEARSON RANCH ROAD
AUSTIN, TEXAS
SITE PLAN SECTION 11

PROJECT No.: 057.5605	<div style="text-align: center;"> <h1>SHEET</h1> <h2>47</h2> </div>
DESIGN: C.L.M.	
TECHNICIAN: C.S.	
ISSUED:	
ID	
<div style="text-align: right;"> FOR CITY OF AUSTIN USE 47 OF 114 </div>	

