



DRAWING INDEX - PERMIT				
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ARCHITECTURAL				
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STRUCTURAL				
S 1.0	FRAMING PLAN COVER SHEET	09/15/16		
S 2.0	FRAMING PLAN 1ST FLOOR	09/15/16		
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S 6.0	FOUNDATION	09/15/16		
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austin, tx 78702
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NOTES

REVISIONS

NO.	DESCRIPTION	DATE
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RESPONSIBLE ARCHITECT:
JASON FRYER
23043

LAKEVIEW A+B

2704 CANTERBURY, AUSTIN TX,
78702

COVER SHEET

SHEET	A0.00
SCALE	3/16" = 1'-0"
ISSUE DATE	05-19-2023
JOB #	0000
DRAWN BY	EP

SYMBOLS LEGEND

	WALL TAG		GRID
	DOOR TAG		REVISION
	WINDOW TAG		BUILDING ELEVATION
	ROOM TAG		INTERIOR ELEVATION
	KEYNOTE		ELEVATION TAG
	DEMO KEYNOTE		LEVEL
	SPECIAL EQUIPMENT		CALLOUT
	PLUMBING FIXTURE		SECTION
	LIGHTING FIXTURE		
	FLOOR TAG		
	CARBON MONOXIDE SENSOR		2-WAY SWITCH
	SMOKE DETECTOR		3-WAY SWITCH
	VENT		GFCI SWITCH
	6" RECESSED CAN		
	PENDANT LIGHT MOUNT LIGHT		CEILING FAN
	VANITY LIGHT		

CODE / SITE ANALYSIS

ZONING: SF-3, MF-4, ETC

LAND USE: SINGLE FAMILY, DUPLEX, ETC

NEIGHBORHOOD: EDIT NEIGHBORHOOD

LEGAL DESCRIPTION: LOT DESCRIPTION

TCAD ID: 000000000

VICINITY MAP

PROJECT DESCRIPTION

EDIT PROJECT DESCRIPTION

PROJECT TEAM

Design Architect:
Forsite Studio
1205 E. Cesar Chavez St.
Austin, TX 78702

www.forsitestudio.com
512.436.1901
info@forsitestudio.com

Structural Engineer:
ENTER STRUCTURAL
INFO

Landscape Architect:
ENTER LANDSCAPE INFO

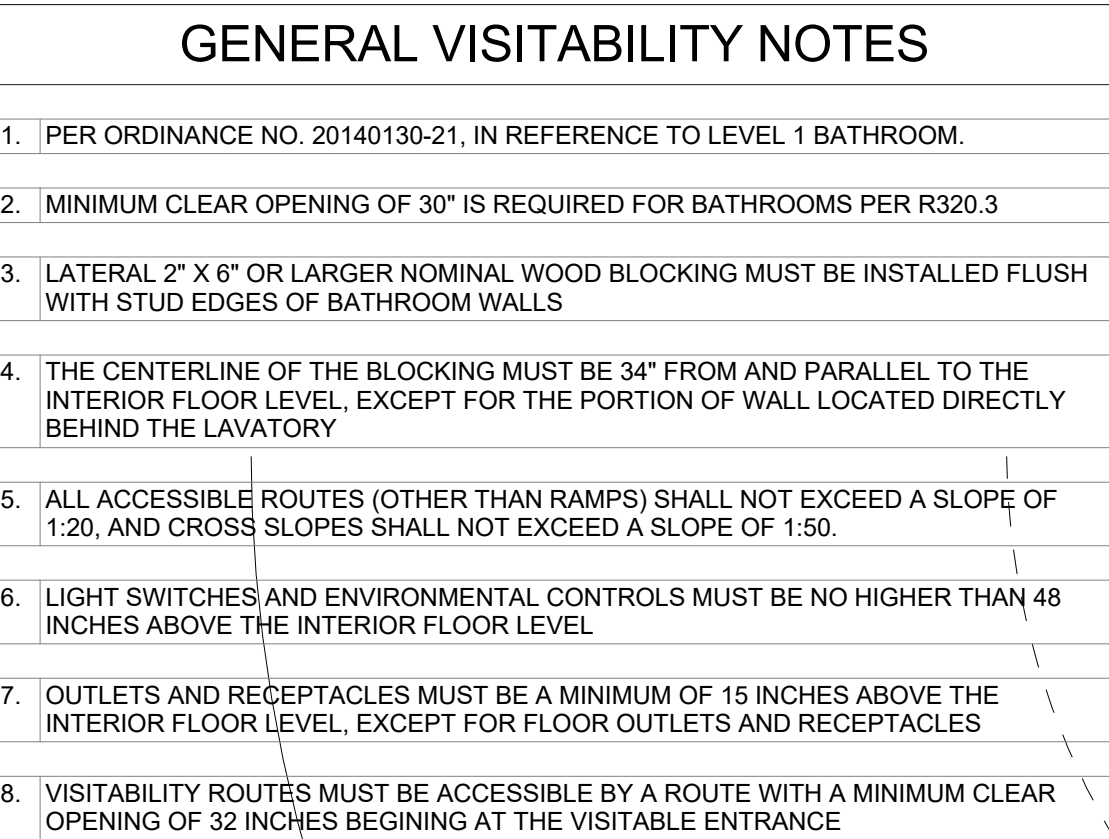
General Contractor:
ENTER CONTRACTOR
INFO

GENERAL NOTES

- PROJECT TO COMPLY WITH 2021 INTERNATIONAL RESIDENTIAL CODE AND CITY OF AUSTIN LOCAL AMENDMENTS
- PROJECT TO COMPLY WITH 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE AND CITY OF AUSTIN LOCAL AMENDMENTS
- PROJECT TO COMPLY WITH 2021 FLOOD HAZARD AREAS AND CITY OF AUSTIN LOCAL AMENDMENTS
- PROJECT TO COMPLY WITH 2020 NATIONAL ELECTRICAL CODE AND CITY OF AUSTIN LOCAL AMENDMENTS
- PROJECT TO COMPLY WITH 2021 UNIFORM MECHANICAL CODE AND CITY OF AUSTIN LOCAL AMENDMENTS
- PROJECT TO COMPLY WITH 2021 UNIFORM PLUMBING CODE AND CITY OF AUSTIN LOCAL AMENDMENTS
- STAIR DESIGN CONFIGURATION AND CONSTRUCTION TO COMPLY WITH ALL 2021 IRC REQUIREMENTS.

GENERAL PROJECT NOTES

- CONSTRUCTION DOCUMENTS MAKE NO WARRENT AS TO EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONSTRUCTION AND FRAMING PRIOR TO DEMOLITION AND CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NEW CONSTRUCTION WITH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND RELATED ITEMS REQUIRED TO COMPLETE THE DEMOLITION WORK AS INDICATED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS.
- ALL ACCESSIBLE ROUTES (OTHER THAN RAMPS) SHALL NOT EXCEED A SLOPE OF 1:20, AND CROSS SLOPES SHALL NOT EXCEED A SLOPE OF 1:50
- THE DRAWINGS INDICATE BUILDING CONDITIONS PER EXISTING DRAWINGS AND ACTUAL PROJECT INVESTIGATION. THE CONTRACTOR SHALL ANTICIPATE POSSIBLE SLIGHT DEVIATION FROM THESE DRAWINGS. REFER TO ARCHITECTURAL & MEP DRAWINGS AND DETAILS FOR EXTENT OF DEMOLITION.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- INSTALL TEMPORARY DUST PARTITIONS WITH DOORS FOR CONSTRUCTION ACCESS AROUND AREAS OF WORK SO THAT OPERATIONS IN EXISTING ADJACENT AREAS REMAIN DUST FREE AND ACCESSIBLE TO BUILDING OCCUPANTS. MAINTAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
- REMOVE ALL BUILDING PARTS AND/OR OTHER ITEMS TO ALLOW FOR THE INSTALLATION AND CONNECTION OF NEW WORK, COORDINATE THE WORK WITH THE HVAC, PLUMBING AND ELECTRICAL DEMOLITION DRAWINGS.
- PROTECT EXISTING VEGETATION, INCLUDING EXISTING TREES DURING CONSTRUCTION. REVEGETATE DAMAGED AREAS ADJACENT TO NEW CONSTRUCTION; CONTRACTOR SHALL MAINTAIN VEGETATED AREAS FOR 3 WEEKS AFTER INITIAL PLANTING
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR OTHER WORK.
- SEAL ALL PENETRATIONS, NEW AND EXISTING, ABOVE CEILINGS AT RATED FIRE WALLS IN AREAS OF WORK.



KEYNOTE LEGEND	
136	STAIRS TO COMPLY WITH IRC 2021 - REFERENCE GENERAL NOTES
138	HANDRAILS TO COMPLY WITH IRC - REFERENCE GENERAL STAIR NOTES
401	30" x 30" CLEAR SPACE IN FRONT OF TOILET
403	2'-8" MIN CLEAR OPENING FOR VISITABLE PATH
404	VISITABLE ENTRANCE WITH MIN 32" CLEAR DOOR OPENING, NO STEP THRESHOLD, SLAB TO BE FLUSH AT ENTRYWAYS, STRUCTURAL DOCUMENTS TO COORDINATE WITH ARCHITECTURAL
407	LANDING - 3'-0" X 3'-0"
408	VISITABLE BATHROOM WITH MIN 30" CLEAR DOOR OPENING PER R320

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LEGEND

NOTES

REVISIONS		
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RESPONSIBLE ARCHITECT:
JASON FRYER
23043

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78702

ACCESSIBILITY PLAN

SHEET	AT.0
SCALE (FOR 24" X 36")	As indicated
SCALE (FOR 11' X 17")	HALF INDICATED
ISSUE DATE	05-19-2023
JOB #	0000
DRAWN BY	EP

1 ACCESSIBILITY PLAN
SCALE: 1/4" = 1'-0"

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TREE SCHEDULE

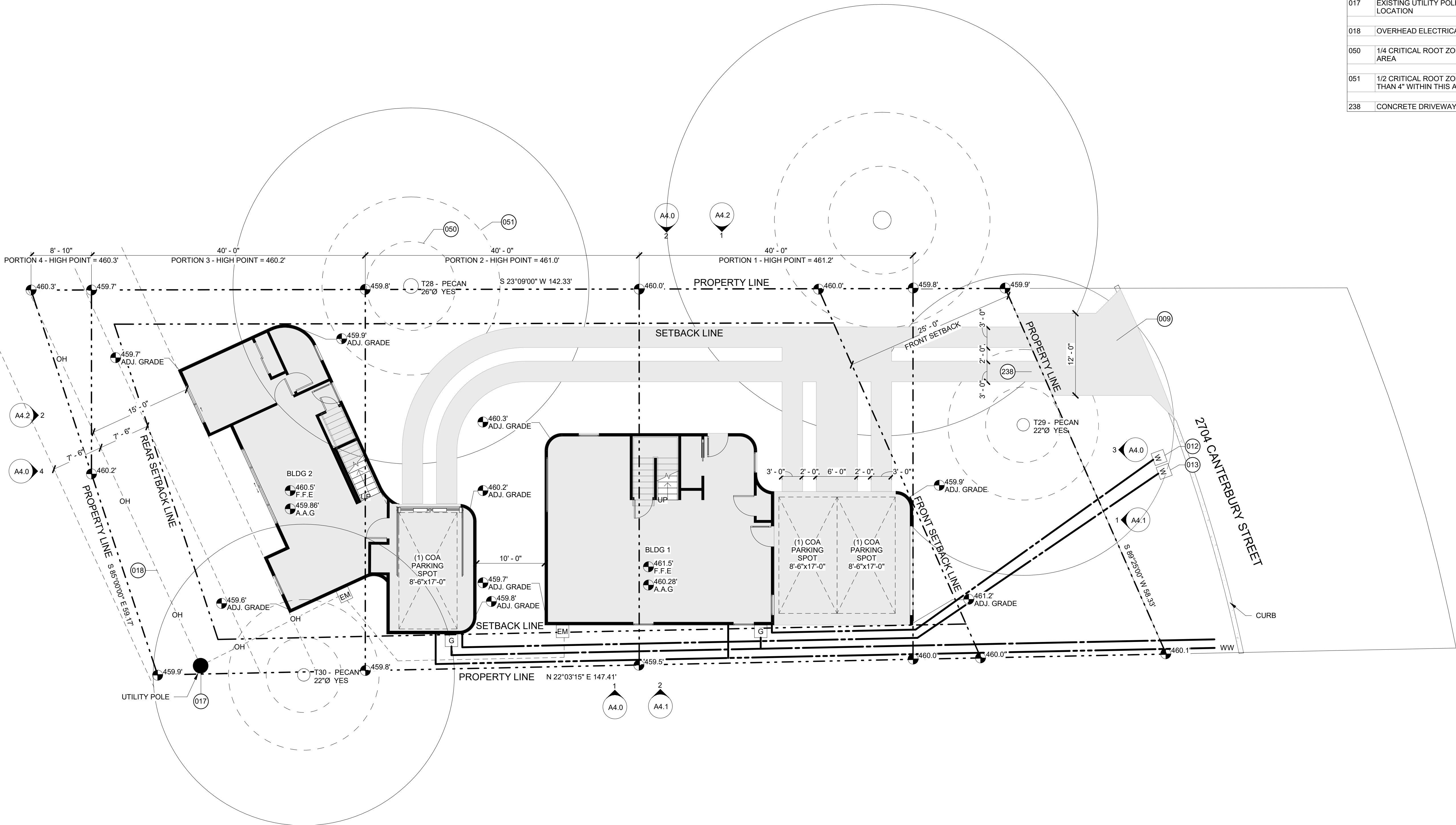
#	TREE TYPE	PROTECTED	TREE DIAMETER
	PECAN	YES	32
T28	PECAN	YES	26
T29	PECAN	YES	22
T30	PECAN	YES	22

LOT SIZE

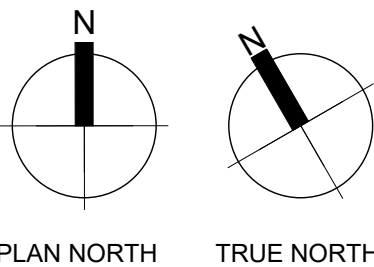
Name	Area
LOT	7,969 SF
	7,969 SF

KEYNOTE LEGEND

009	STANDARD TYPE 1 RESIDENTIAL DRIVEWAY, 12'-0" WIDE AT PROPERTY AND WITH A 5'-0" RADIUS FLARE AT 45 DEGREE ANGLED CONNECTION AT RIGHT OF WAY - DETAILS FOR CONSTRUCTION WILL SATISFY ALL REQUIREMENTS OF CITY OF AUSTIN STANDARD NO. 433S-1
012	EXISTING WATER SERVICE
013	PROPOSED DOMESTIC WATER METER LOCATION
014	UNDERGROUND ELECTRICAL LINE
017	EXISTING UTILITY POLE - AUSTIN ENERGY TO VERIFY LOCATION
018	OVERHEAD ELECTRICAL LINES - EXISTING
050	1/4 CRITICAL ROOT ZONE - NO CUT OR FILL WITHIN THIS AREA
051	1/2 CRITICAL ROOT ZONE - NO CUT OR FILL GREATER THAN 4" WITHIN THIS AREA
238	CONCRETE DRIVEWAY STRIPS



1 SITE PLAN
SCALE: 1/8" = 1'-0"





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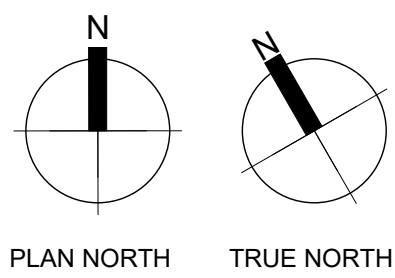
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FAR & IC



SHEET A1.2

SCALE (FOR 24" X 36") As indicated

SCALE (FOR 11' X 17") HALF INDICATED

ISSUE DATE 05-19-2023

JOB # 0000

DRAWN BY Designer

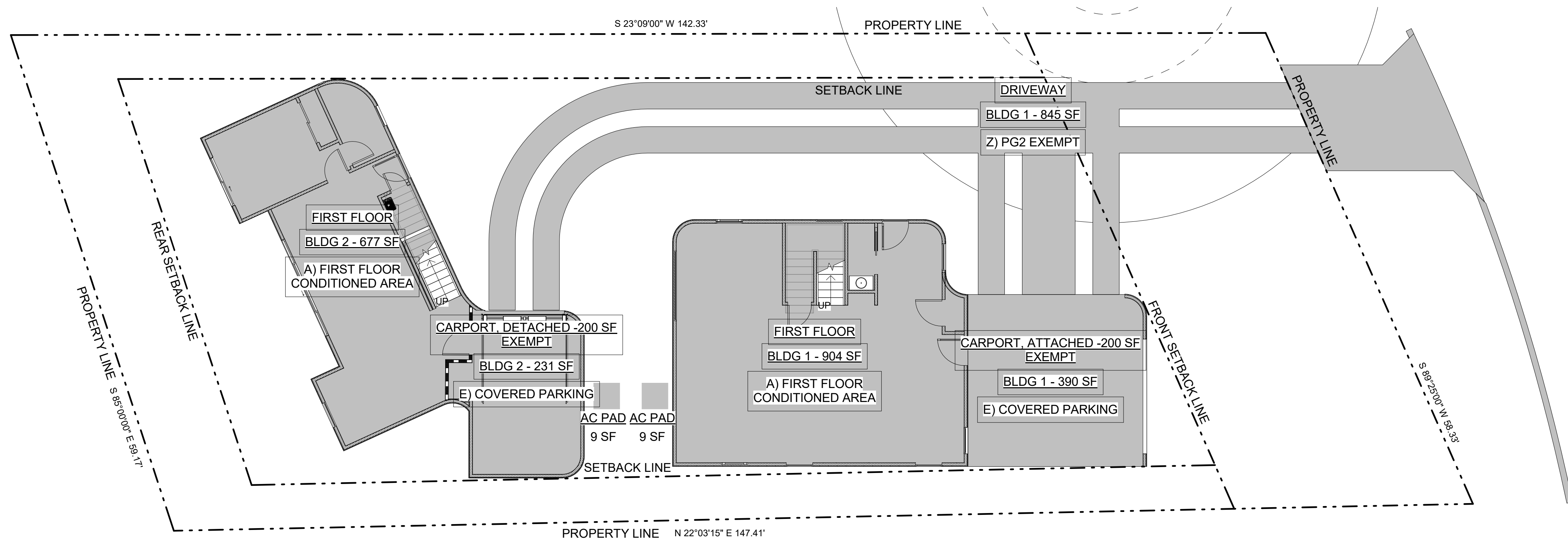
LOT SIZE	
Name	Area
LOT	7,969 SF
	7,969 SF

IMPERVIOUS COVER		
FIRST FLOOR		1581 SF
A) FIRST FLOOR CONDITIONED AREA		1581 SF
CARPORT, ATTACHED -200 SF EXEMPT		390 SF
E) ATTACHED COVERED PARKING		390 SF
CARPORT, DETACHED -200 SF EXEMPT		231 SF
F) DETACHED COVERED PARKING		231 SF
TOTAL BUILDING AREA		2202 SF
DRIVEWAY		845 SF
L) DRIVEWAY		845 SF
SITE IMPERVIOUS COVERAGE		845 SF
IMPERVIOUS COVER		3047 SF

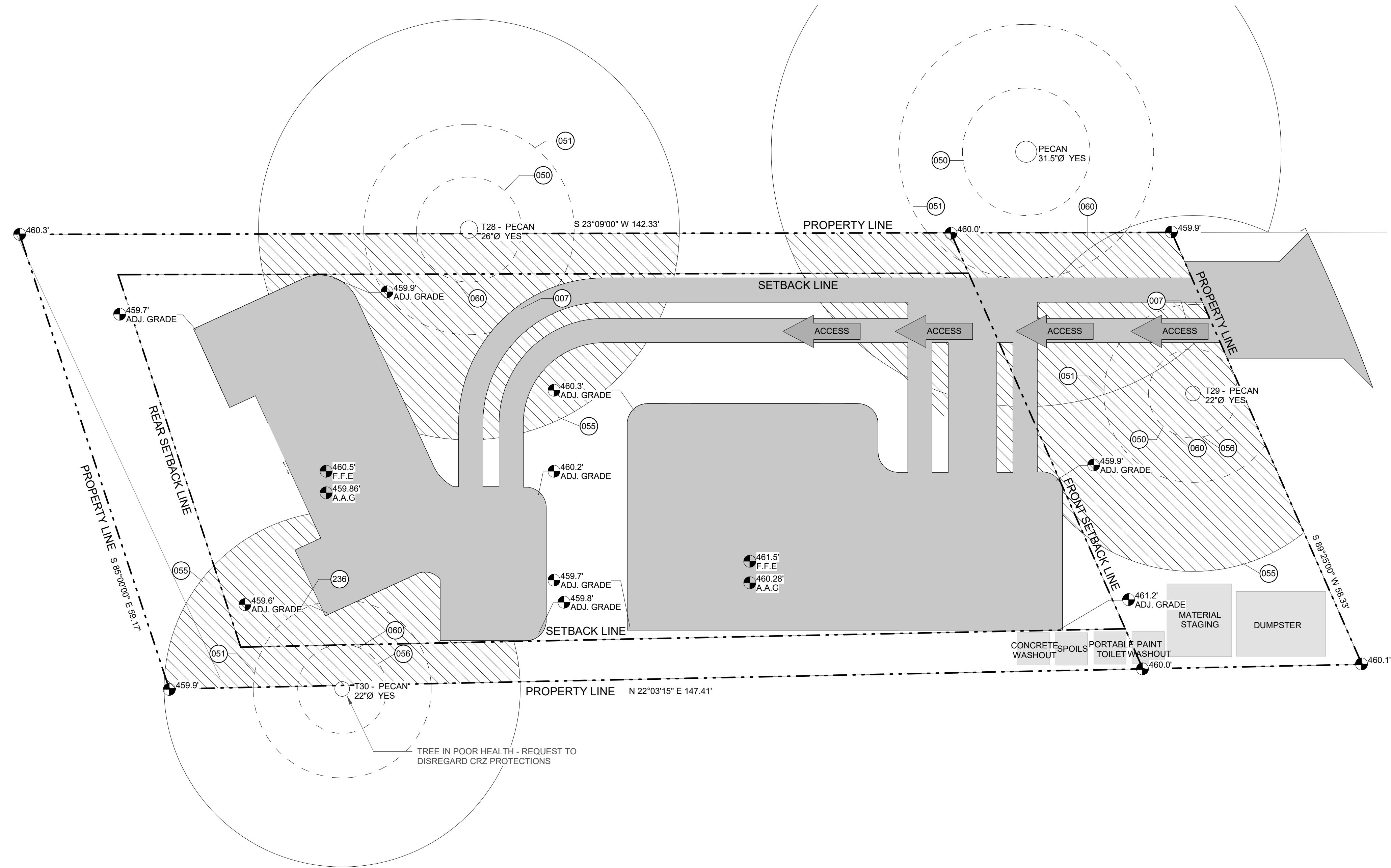
FLOOR-TO-AREA RATIO	
FIRST FLOOR	1581 SF
SECOND FLOOR	1317 SF
ATTIC	719 SF
FAR	3617 SF

FLOOR-TO-AREA EXEMPT	
H) ATTACHED CARPORT	
CARPORT, ATTACHED -200 SF EXEMPT	390 SF
	390 SF
H) DETACHED CARPORT	
CARPORT, DETACHED -200 SF EXEMPT	231 SF
	231 SF

IMPERVIOUS COVER EXEMPT	
SECOND FLOOR	1,317 SF
ATTIC	719 SF
BALCONY - EXEMPT	1,503 SF



1 FIRST FLOOR
SCALE: 1/8" = 1'-0"



1 TREE PROTECTION PLAN
SCALE: 1/8" = 1'-0"

KEYNOTE LEGEND	
007	PARKING STRIPS NOT TO EXCEED 2" OF EXCAVATION IN 1/2" CRZ
050	1/4 CRITICAL ROOT ZONE - NO CUT OR FILL WITHIN THIS AREA
051	1/2 CRITICAL ROOT ZONE - NO CUT OR FILL GREATER THAN 4" WITHIN THIS AREA
055	MULCH TO BE PROVIDED WITHIN FULL CRZ 500
056	FENCE POST TO BE PLACED OUTSIDE OF 1/4 CRZ
060	AN 8" LAYER OF MULCH TO BE PROVIDED OUTSIDE OF FENCING TO THE EXTENT OF THE FULL CRZ
236	CANTILEVER SLAB - VERIFY ALL DIMENSIONS - REFERENCE STRUCTURAL

TREE SCHEDULE			
#	TREE TYPE	PROTECTED	TREE DIAMETER
	PECAN	YES	32
T28	PECAN	YES	26
T29	PECAN	YES	22
T30	PECAN	YES	22

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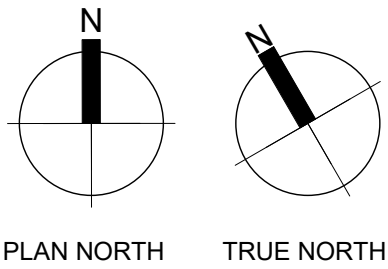
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TREE PROTECTION

SHEET		A1.4
SCALE (FOR 24" X 36")	As indicated	
SCALE (FOR 11" X 17")	HALF INDICATED	
ISSUE DATE	05-19-2023	
JOB #	0000	
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FLOOR PLAN

SHEET

SCALE (FOR 24" X 36")

SCALE (FOR 11' X 17")

ISSUE DATE

JOB #

DRAWN BY

A3.1

As indicated


IF INDICATED

05-19-2021

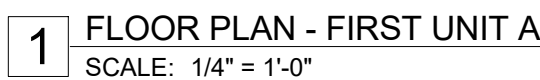
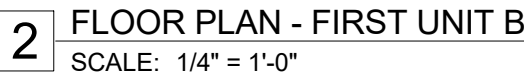
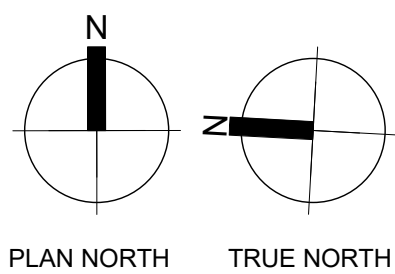
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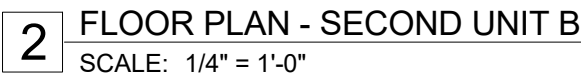
E

Ⓒ CARBON MONOXIDE SENSOR	§ ₂	2-WAY SWITCH
Ⓓ SMOKE DETECTOR	§ ₃	3-WAY SWITCH
E VENT	§ ₆	GFCI SWITCH

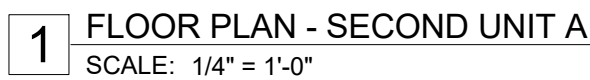


CEILING FAN















2 FLOOR PLAN - SECOND UNIT B
SCALE: 1/4" = 1'-0"

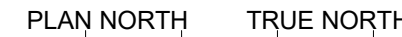


1 FLOOR PLAN - SECOND UNIT A
SCALE: 1/4" = 1'-0"

PARTITION NOTES

1. ALL INTERIOR WALLS TO BE TYPE "A". 4 1/2" ASSEMBLY WITH 1/2" GYP. BOARD, 3 1/2" WOOD STUD, 1/2" GYP. BOARD, UNO.
2. ALL INTERIOR WALLS TAGGED "B" TO BE 6 1/2" ASSEMBLY WITH 1/2" GYP. BOARD, 5 TAGGED B TO BE 1/2" GYP. BOARD
3. ALL INTERIOR WALLS TAGGED "M" TO BE 4" ASSEMBLY WITH 1/2" GYP. BOARD, 3 1/2" WOOD STUD
4. ALL WALLS TAGGED "T" TO BE FIRE RATED TO 1 HOUR: 1/2" TYPE X GYP. 3 1/2" WOOD STUD AND 1/2" TYPE X GYP, UNO
5. ALL WALLS TAGGED "F1" TO BE FIRE RATED TO 1 HOUR: 5/8" TYPE X GYP. 3 1/2" WOOD STUD AND 5/8" TYPE X GYP, UNO

	CARBON MONOXIDE SENSOR		2-WAY SWITCH
	SMOKE DETECTOR		3-WAY SWITCH
	VENT		GFCI SWITCH
	6" RECESSED CAN		
	PENDANT LIGHT MOUNT LIGHT		
	VANITY LIGHT		CEILING FAN



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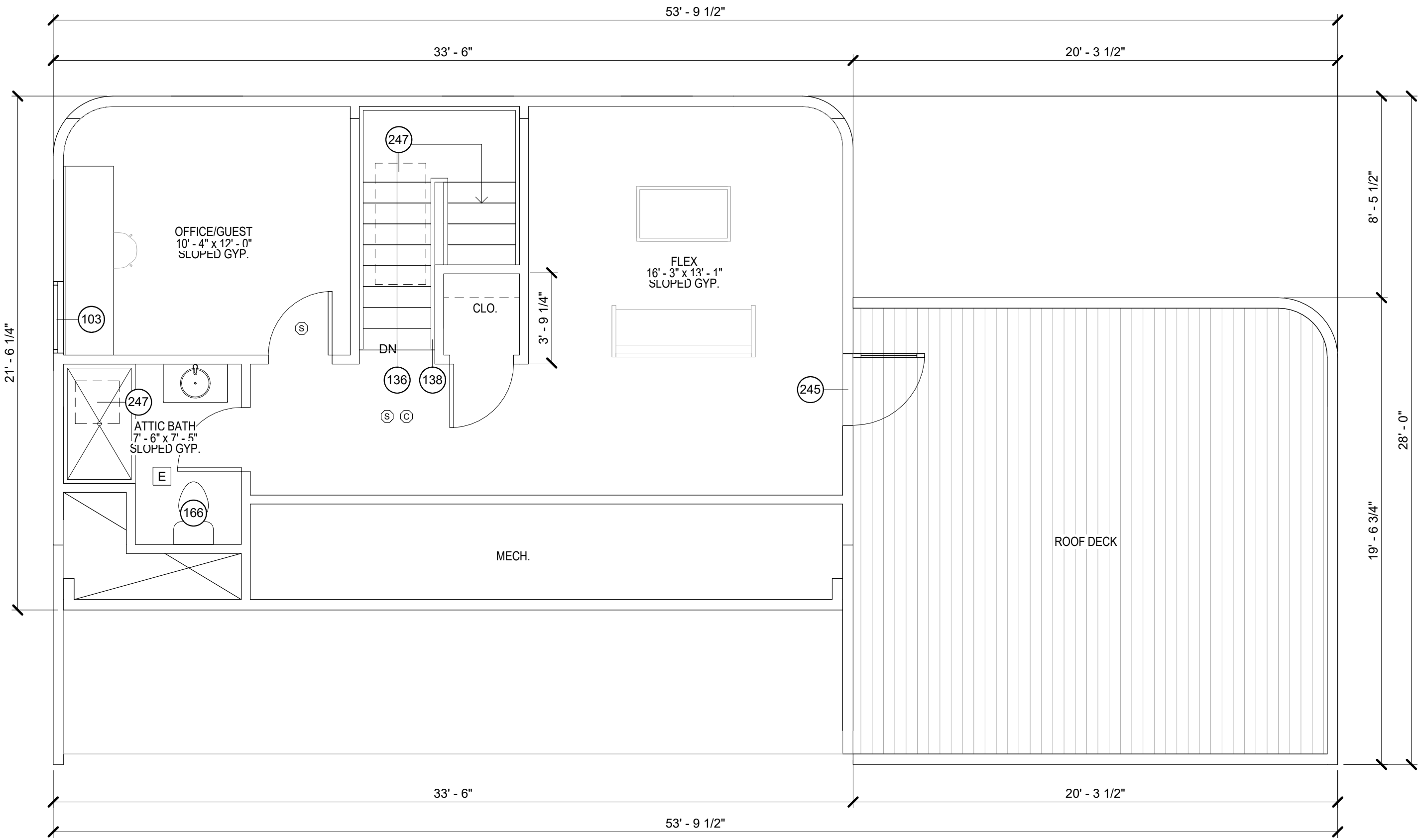
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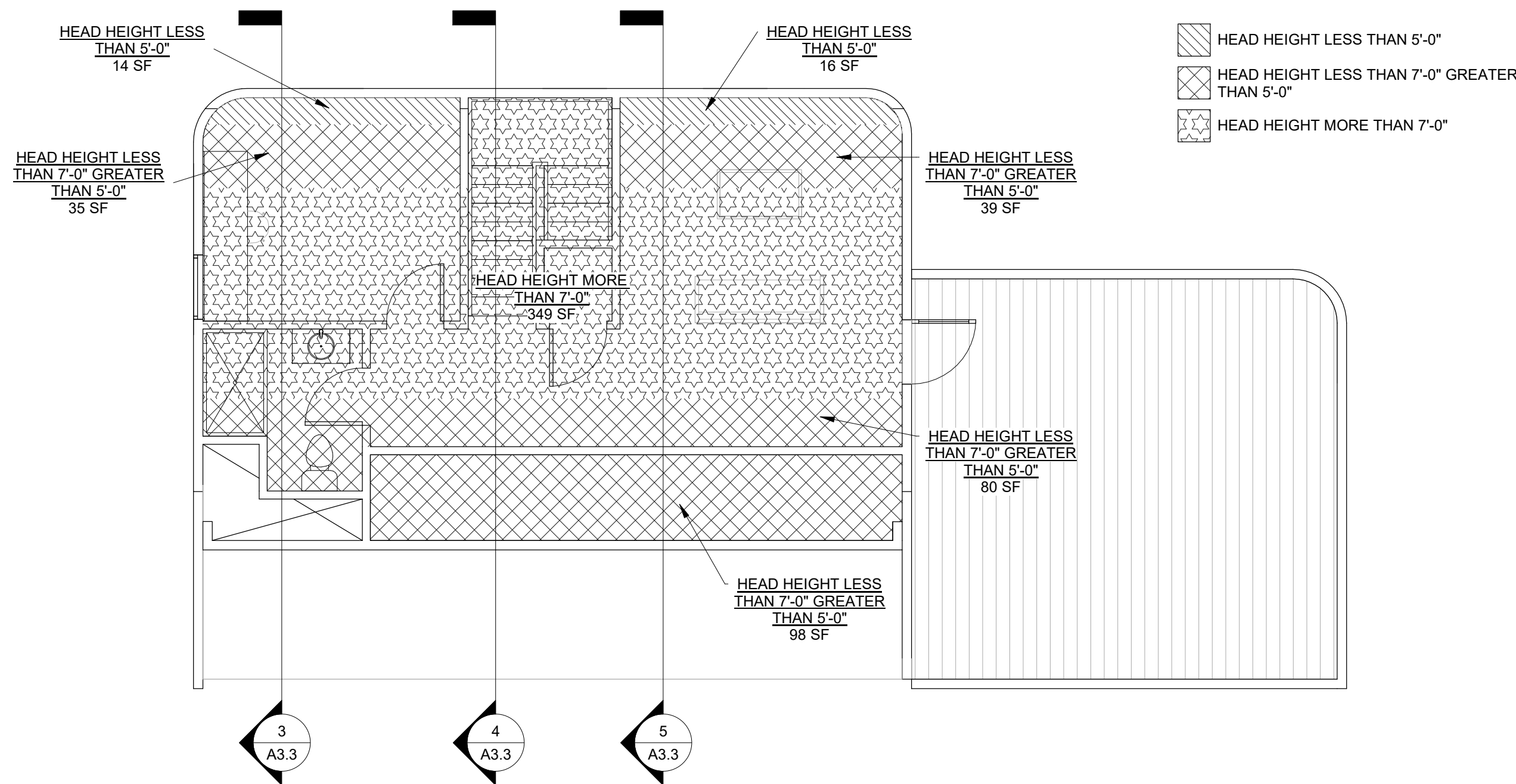
SECOND FLOOR PLAN

SHEET	A3.2
SCALE (FOR 24" X 36")	As indicated
SCALE (FOR 11' X 17")	HALF INDICATED
ISSUE DATE	05-19-2023
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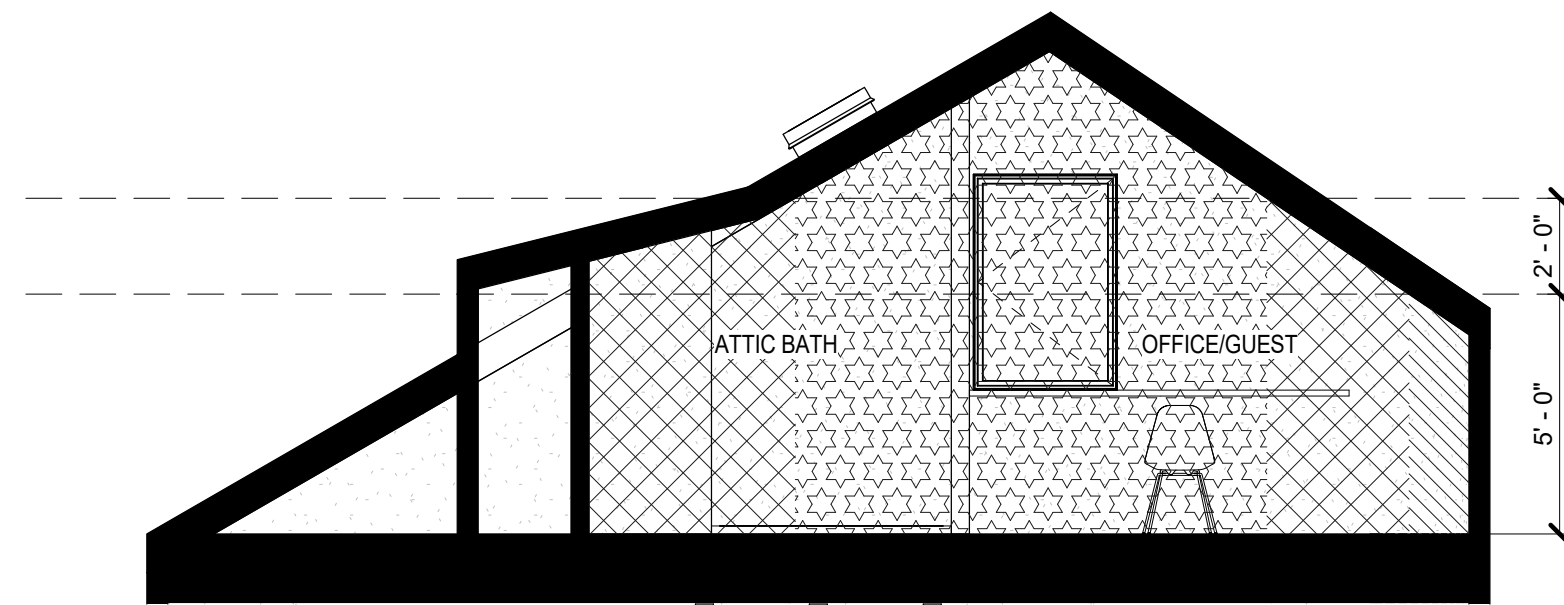
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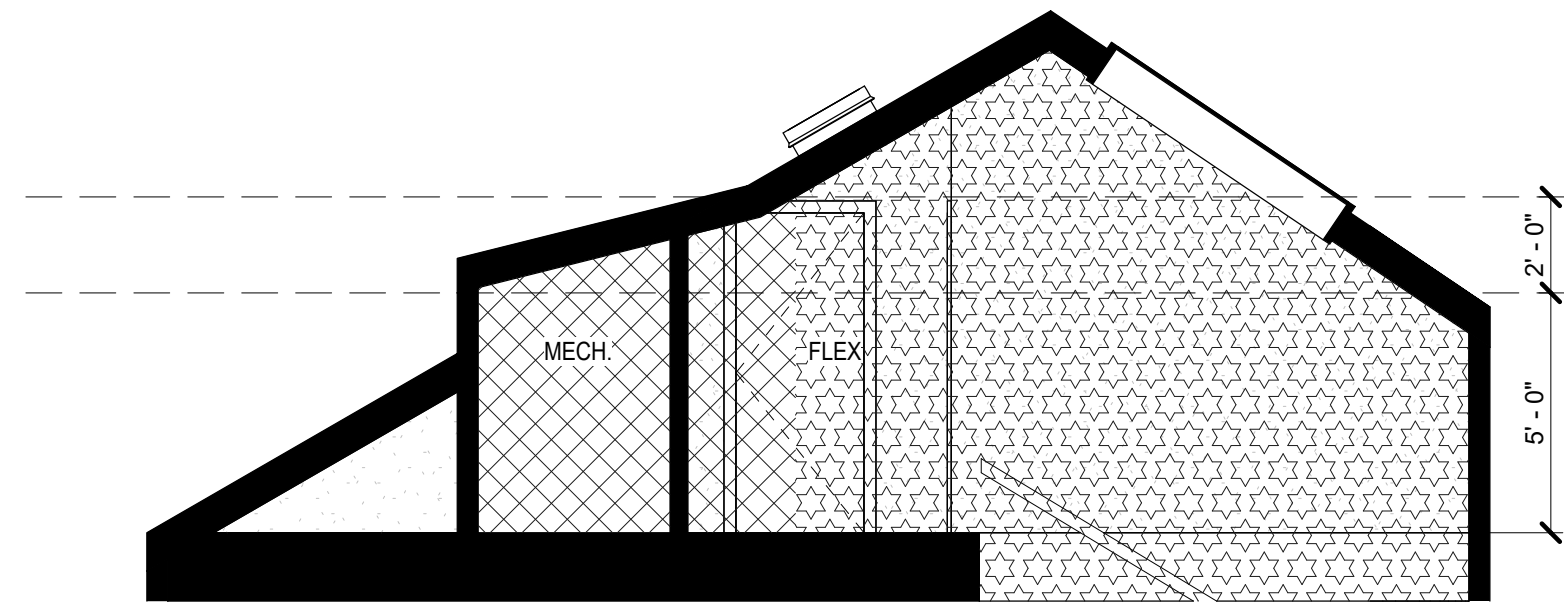
1 FLOOR PLAN - ATTIC
SCALE: 1/4" = 1'-0"



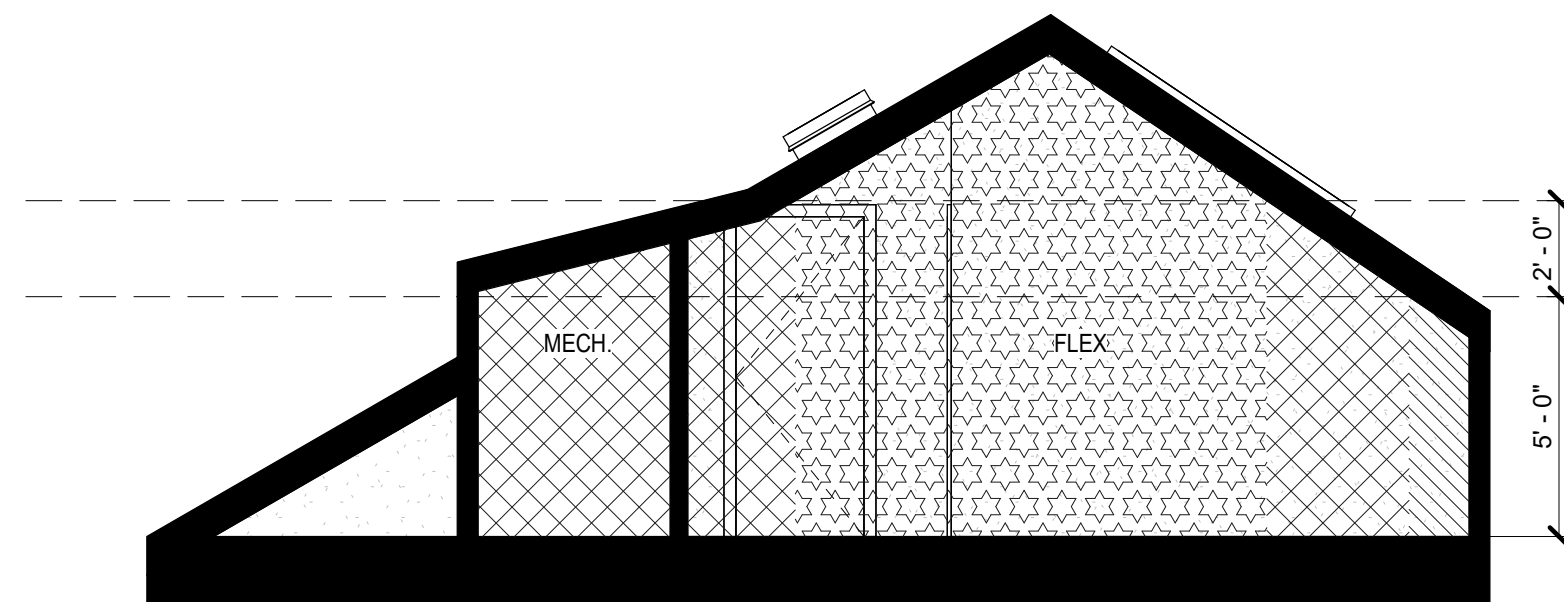
2 FLOOR PLAN - ATTIC - HEAD HEIGHT
SCALE: 3/16" = 1'-0"



3 ATTIC - HEAD HEIGHT 01
SCALE: 1/4" = 1'-0"



4 ATTIC - HEAD HEIGHT 02
SCALE: 1/4" = 1'-0"



5 ATTIC - HEAD HEIGHT 03
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND

103	EGRESS WINDOW - MINIMUM SIZE 5.7SF, 24"H X 20"W
135	PER R312 - MINIMUM GUARDRAIL HEIGHT 36" - REQUIRED GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW A 4" SPHERE TO PASS THROUGH
136	STAIRS TO COMPLY WITH IRC 2021 - REFERENCE GENERAL NOTES
138	HANDRAILS TO COMPLY WITH IRC - REFERENCE GENERAL STAIR NOTES
166	MIN 15" CLEAR FROM CENTERLINE OF TOILET TO WALL AND CABINET - IN COMPLIANCE WITH IRC R307.1 AND 2021 UPC - BATHROOM TO EXHAUST TO EXTERIOR - 2x8 NOMINAL WOOD BLOCKING PROVIDED AT 34" CENTERLINE ABOVE FINISHED FLOOR ALONG BATHROOM WALLS, EXCEPT BEHIND TOILET
245	EGRESS DOOR
247	SKYLIGHT

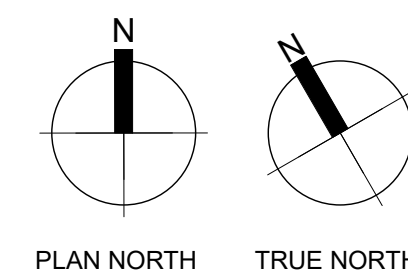
PARTITION NOTES

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- ALL INTERIOR WALLS TAGGED "B" TO BE 6 1/2" ASSEMBLY WITH 1/2" GYP. BOARD, 5 1/2" WOOD STUD, 1/2" GYP. BOARD
- ALL INTERIOR WALLS TAGGED "M" TO BE 4" ASSEMBLY WITH 1/2" GYP. BOARD, 3 1/2" WOOD STUD
- ALL WALLS TAGGED "F" TO BE FIRE RATED TO 1 HOUR: 1/2" TYPE X GYP, 3 1/2" WOOD STUD AND 1/2" TYPE X GYP, UNO
- ALL WALLS TAGGED "F1" TO BE FIRE RATED TO 1 HOUR: 5/8" TYPE X GYP, 3 1/2" WOOD STUD AND 5/8" TYPE X GYP, UNO

GENERAL PLAN NOTES

- ALL CEILINGS TO BE MINIMUM 8'-0" AFF, UNO
- ALL CEILINGS TO BE 5/8" GYPSUM, UNO
- NEW SMOKE DETECTORS (S) TO BE INSTALLED AS INDICATED & NO CLOSER THAN 3' TO AN AIR SOURCE, PER IRC R314
- NEW CARBON MONOXIDE DETECTORS (C) TO BE INSTALLED AS INDICATED & NO CLOSER THAN 3' TO AN AIR SOURCE, PER IRC R315
- LOCAL EXHAUST SYSTEMS (E) INDICATED ON PLAN IN BATHROOMS, TO BE VENTED DIRECTLY TO THE OUTDOORS PER IRC R303.3
- LIGHT FIXTURES IN CLOSETS TO COMPLY WITH 4003.12
- LIGHT SWITCHES & ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL
- ALL DOORS TO BE INSTALLED 4" FROM ADJACENT PERPENDICULAR DOOR, UNO
- ALL SWING DOORS TO BE LOCATED 4" OFF OF ADJACENT WALL, UNO
- ALL POCKET DOORS TO BE LOCATED 1" FROM ADJACENT WALL, UNO
- ALL CLOSET DOORS TO BE CENTERED ON CLOSET, UNO

- © CARBON MONOXIDE SENSOR S₂ 2-WAY SWITCH
Ⓢ SMOKE DETECTOR S₃ 3-WAY SWITCH
[E] VENT S_G GFCI SWITCH
⊙ 6" RECESSED CAN
○ PENDANT LIGHT MOUNT LIGHT
| VANITY LIGHT ⚙ CEILING FAN



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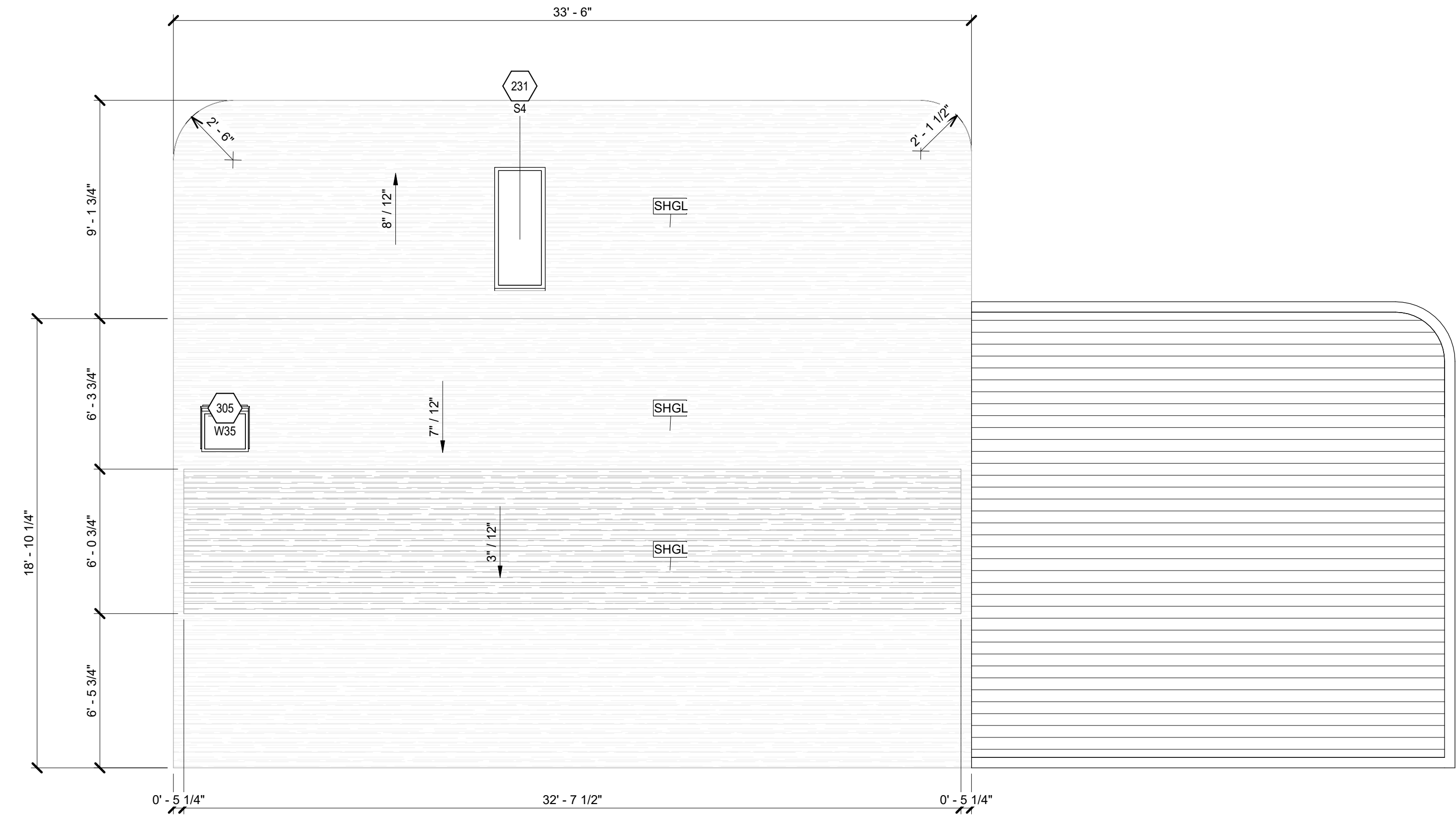
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ATTIC FLOOR PLAN

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DRAWN BY	Designer

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1 ROOF - A UNIT
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND

MATERIALS ROOF

DK/TPO	WOOD ROOF DECK OVER TPO ROOFING - SLOPE ROOF FOR PROPER DRAINAGE
MTL	METAL ROOF
SHGL	ASPHALT SHINGLES
TPO	TPO ROOF MEMBRANE



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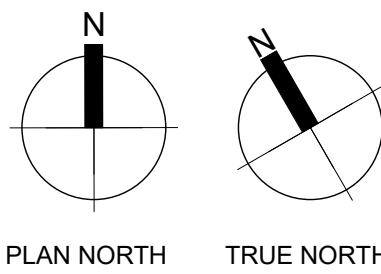
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ROOF PLAN



SHEET	A3.6
SCALE (FOR 24" X 36")	As indicated
SCALE (FOR 11' X 17")	HALF INDICATED
ISSUE DATE	05-19-2023
JOB #	0000
DRAWN BY	EP



LEGEND

NOTES

REVISIONS

NO.	DESCRIPTION	DATE
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FOR INTERIM REVIEW
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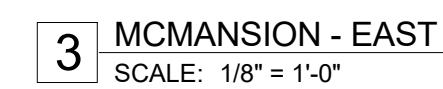
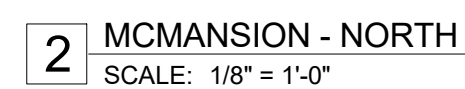
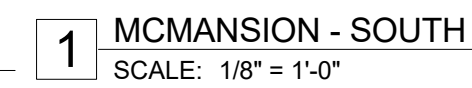
RESPONSIBLE ARCHITECT:
JASON FRYER
23043

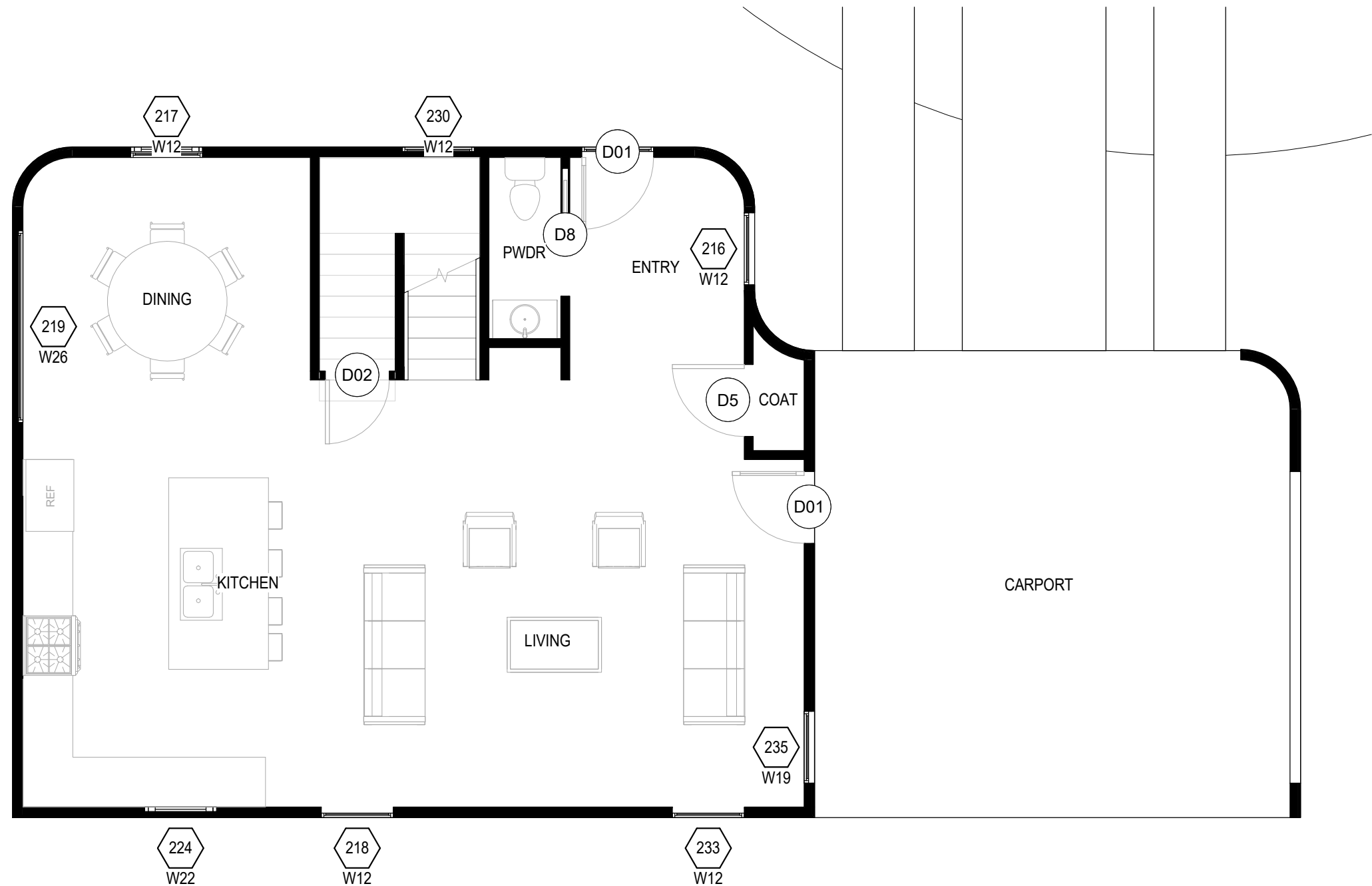
LAKEVIEW A+B

2704 CANTERBURY, AUSTIN TX,
78702

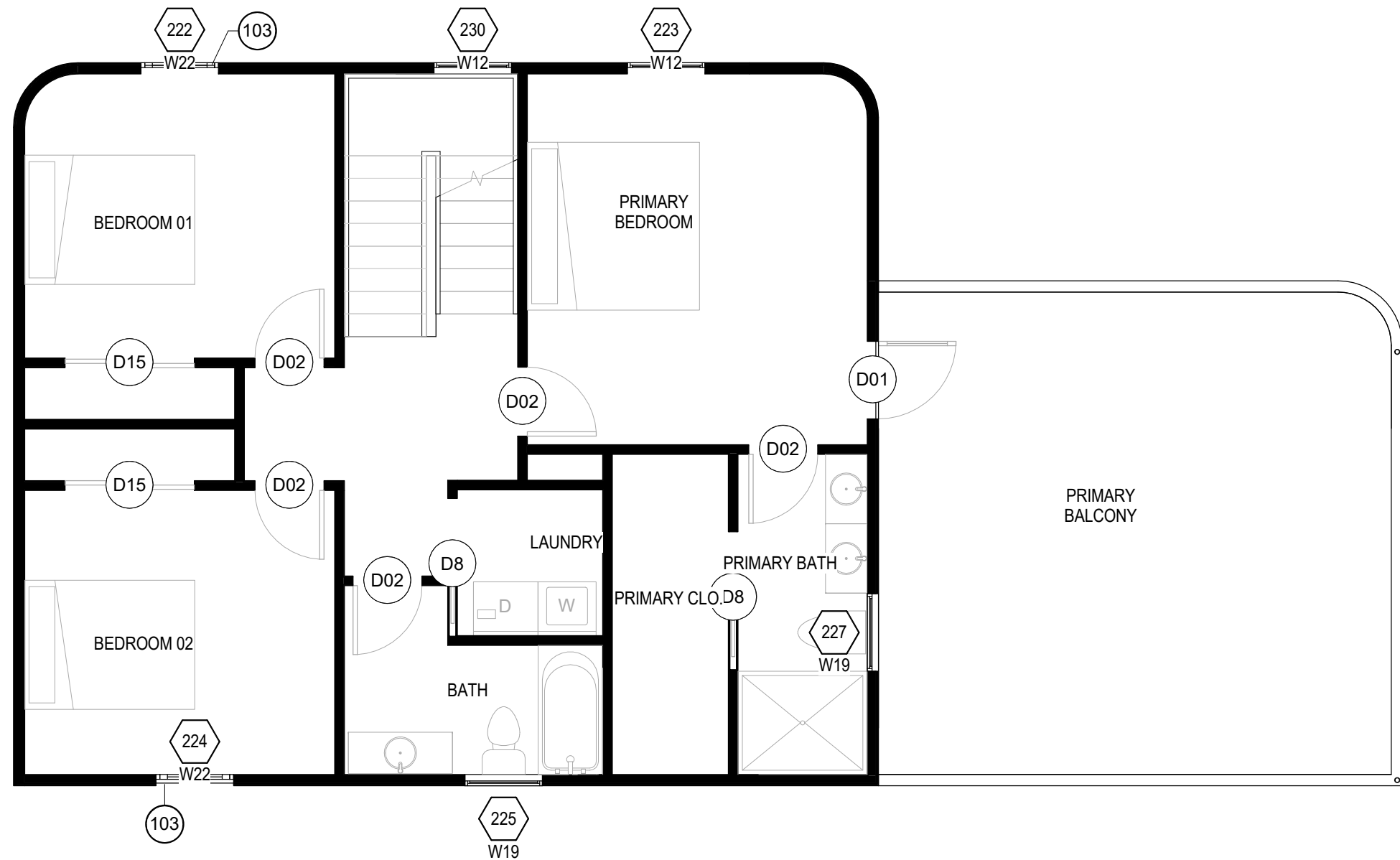
MCMANSION
ELEVATIONS

SHEET	A4.0
SCALE (FOR 24" X 36")	1/8" = 1'-0"
SCALE (FOR 11" X 17")	HALF INDICATED
ISSUE DATE	05-19-2023
JOB #	0000
DRAWN BY	EP





1 WINDOWS - FIRST FLOOR - A UNIT
SCALE: 3/16" = 1'-0"



2 WINDOWS - SECOND FLOOR - A UNIT
SCALE: 3/16" = 1'-0"

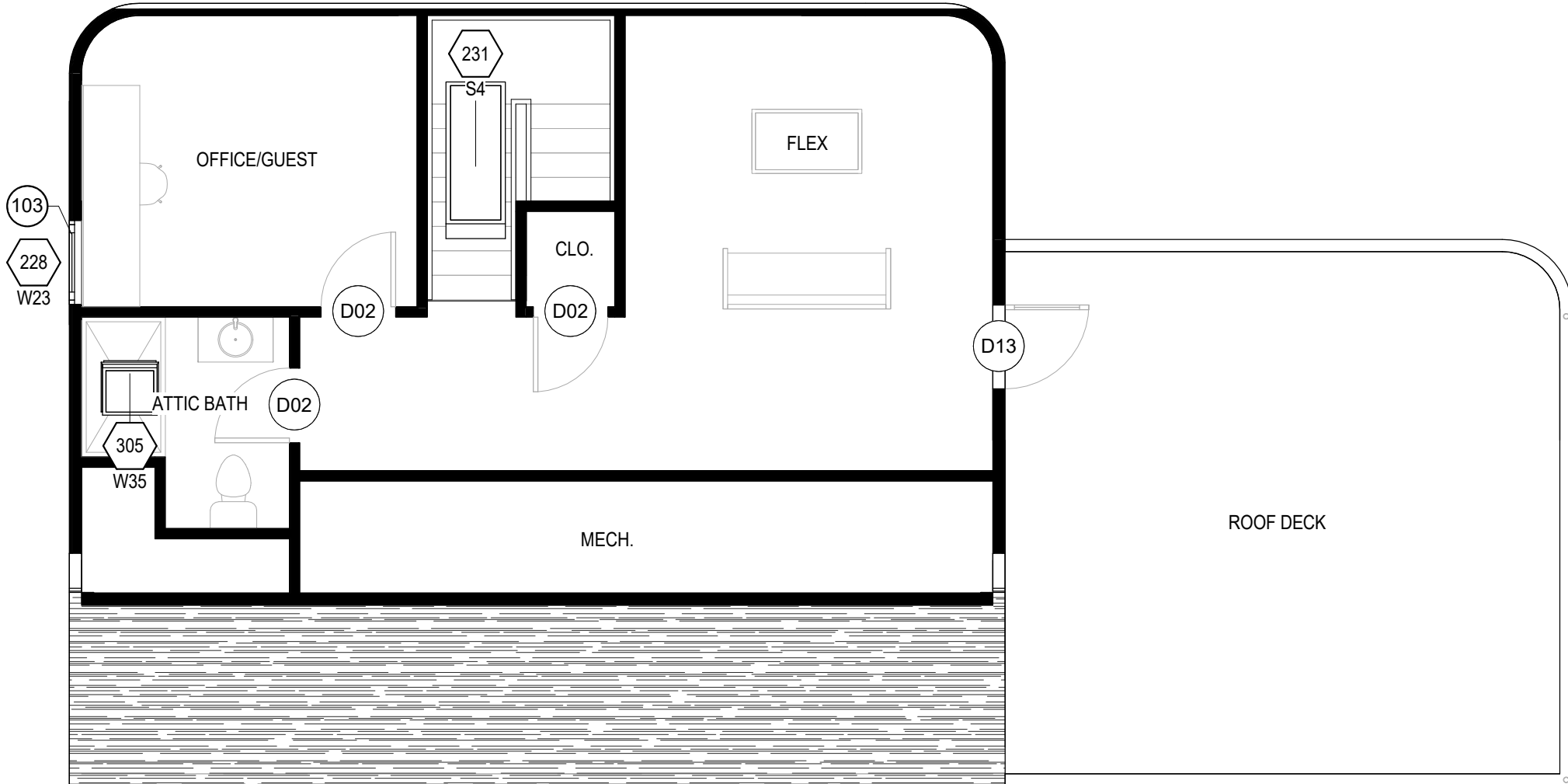
EXTERIOR DOOR LEGEND				
TYPE MARK	SIZE		DOOR	
	WIDTH	HEIGHT	DESCRIPTION	
D01	3' - 0"	8' - 0"	SWING DOOR	
D2	6' - 0"	8' - 0"	ALUMINUM SLIDING DOOR	
D7	9' - 0"	8' - 0"	SECTIONAL GARAGE DOOR	
D13	3' - 0"	6' - 8"	SWING DOOR	
D20	12' - 0"	8' - 0"	4-PANEL ALUMINUM SLIDING DOOR	
Grand total: 9				

INTERIOR DOOR LEGEND				
TYPE MARK	SIZE		DOOR	
	WIDTH	HEIGHT	DESCRIPTION	
D02	2' - 8"	6' - 8"	SWING DOOR	
D04	2' - 0"	6' - 8"	POCKET DOOR	
D5	3' - 0"	6' - 8"	SWING DOOR	
D8	2' - 8"	6' - 8"	POCKET DOOR	
D11	2' - 0"	6' - 8"	SWING DOOR	
D14	4' - 0"	6' - 8"	CLOSET SLIDING DOOR	
D15	5' - 0"	6' - 8"	CLOSET SLIDING DOOR	
Grand total: 24				

WINDOW SCHEDULE					
MARK	#	WIDTH	HEIGHT	SILL HEIGHT	DESCRIPTION
213	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
214	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
216	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
217	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
218	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
219	W26	8' - 0"	2' - 0"	6' - 0"	PICTURE WINDOW
222	W22	3' - 0"	8' - 0"	0' - 0"	CASEMENT WINDOW
223	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
224	W22	3' - 0"	8' - 0"	0' - 0"	CASEMENT WINDOW
225	W19	3' - 0"	4' - 6"	3' - 6"	PICTURE WINDOW
227	W19	3' - 0"	4' - 6"	3' - 6"	PICTURE WINDOW
228	W23	3' - 0"	4' - 6"	3' - 0"	CASEMENT WINDOW
230	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
231	S4	2' - 1 1/2"			SKYLIGHT
233	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
235	W19	3' - 0"	4' - 6"	3' - 0"	PICTURE WINDOW
236	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
237	S4	2' - 1 1/2"			SKYLIGHT
239	S1	2' - 5 1/2"	4' - 6"	3' - 6"	PICTURE WINDOW
241	S4	2' - 1 1/2"			SKYLIGHT
242	W27	1' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
305	W35	1' - 10 1/2"	1' - 10 1/2"		SKYLIGHT

WINDOW LEGEND			
#	WIDTH	HEIGHT	DESCRIPTION
51	2' - 5 1/2"	4' - 6"	PICTURE WINDOW
S4	2' - 1 1/2"		SKYLIGHT
W12	3' - 0"	8' - 0"	PICTURE WINDOW
W19	3' - 0"	4' - 6"	PICTURE WINDOW
W22	3' - 0"	8' - 0"	CASEMENT WINDOW
W23	3' - 0"	4' - 6"	CASEMENT WINDOW
W26	8' - 0"	2' - 0"	PICTURE WINDOW
W27	1' - 0"	8' - 0"	PICTURE WINDOW
W35	1' - 10 1/2"	1' - 10 1/2"	SKYLIGHT

KEYNOTE LEGEND	
103	EGRESS WINDOW - MINIMUM SIZE 5.75F, 24"H X 20"W



3 WINDOWS ATTIC
SCALE: 3/16" = 1'-0"



1704 east 5th street, suite 105
austin, tx 78702
p 512.659.6905
www.forsitestudio.com

CONSULTANTS

LEGEND

NOTES

REVISIONS

NO.	DESCRIPTION	DATE
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FOR INTERIM REVIEW

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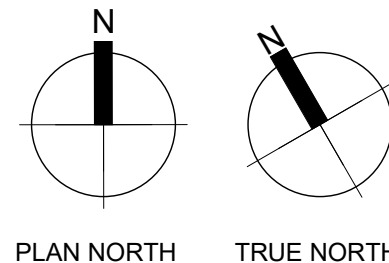
RESPONSIBLE ARCHITECT:
JASON FRYER
23043

LAKEVIEW A+B

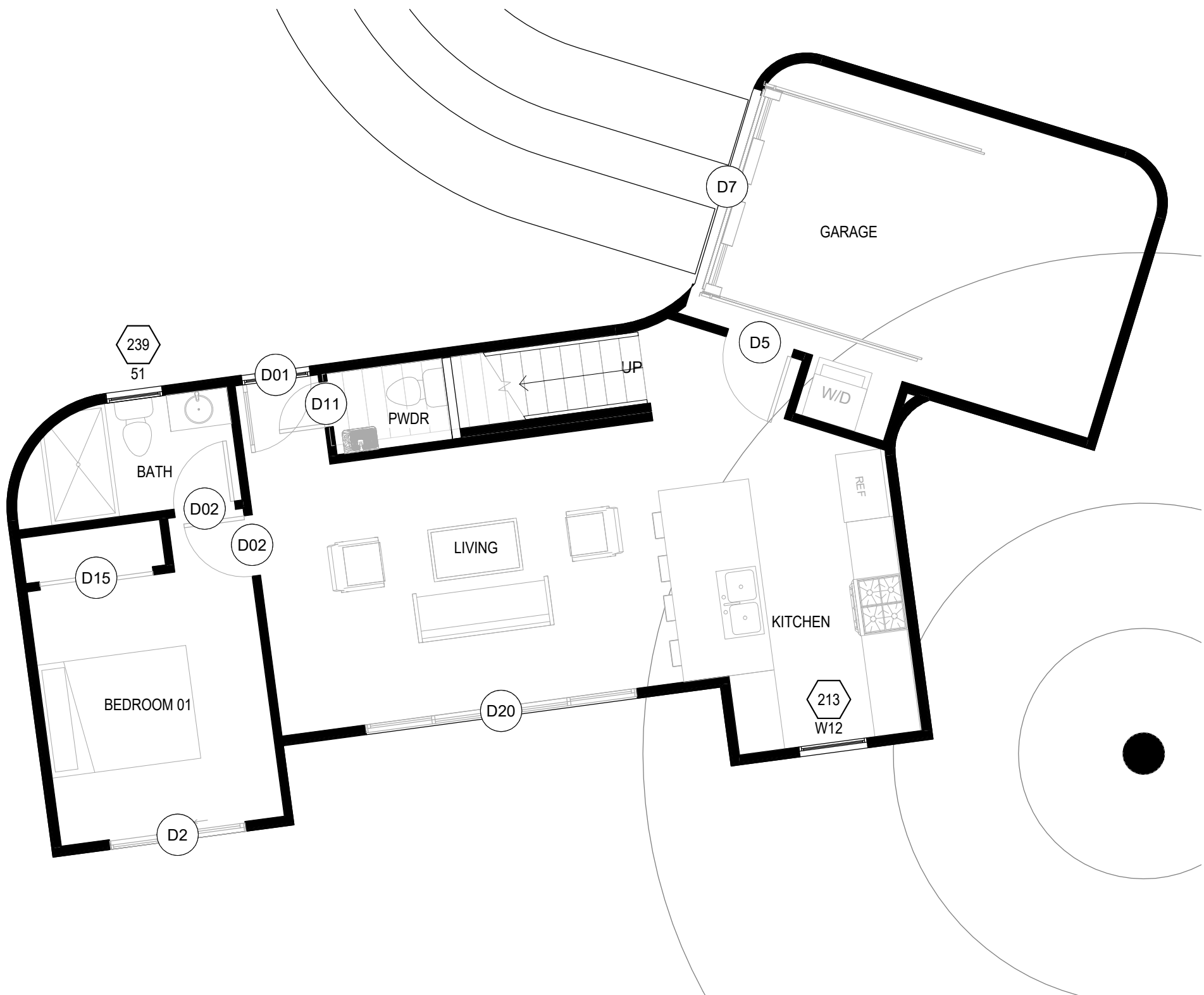
2704 CANTERBURY, AUSTIN TX,
78702

WINDOWS & DOORS - A
UNIT

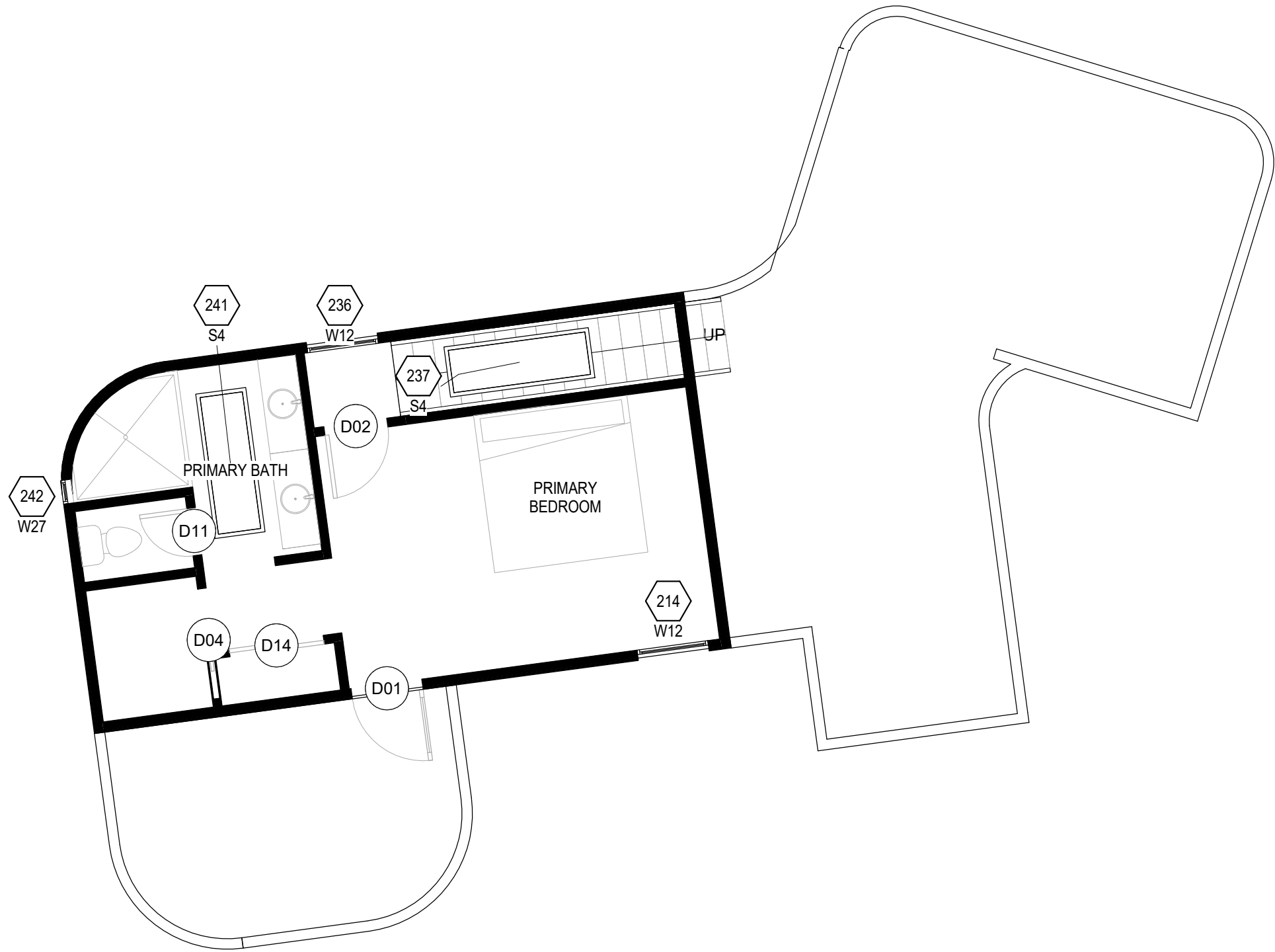
SHEET	A6.0
SCALE (FOR 24" X 36")	As indicated
SCALE (FOR 11" X 17")	HALF INDICATED
ISSUE DATE	05-19-2023
JOB #	0000
DRAWN BY	EP



PLAN NORTH TRUE NORTH



1 WINDOWS - FIRST FLOOR - B UNIT
SCALE: 3/16" = 1'-0"



2 WINDOWS - SECOND FLOOR - B UNIT
SCALE: 3/16" = 1'-0"

EXTERIOR DOOR LEGEND			
TYPE MARK	SIZE		DOOR
	WIDTH	HEIGHT	DESCRIPTION
D01	3' - 0"	8' - 0"	SWING DOOR
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Grand total: 9			

INTERIOR DOOR LEGEND			
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D5	3' - 0"	6' - 8"	SWING DOOR
D8	2' - 8"	6' - 8"	POCKET DOOR
D11	2' - 0"	6' - 8"	SWING DOOR
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Grand total: 24			

WINDOW SCHEDULE					
MARK	#	WIDTH	HEIGHT	SILL HEIGHT	DESCRIPTION
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217	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
218	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
219	W26	8' - 0"	2' - 0"	6' - 0"	PICTURE WINDOW
222	W22	3' - 0"	8' - 0"	0' - 0"	CASEMENT WINDOW
223	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
224	W22	3' - 0"	8' - 0"	0' - 0"	CASEMENT WINDOW
225	W19	3' - 0"	4' - 6"	3' - 6"	PICTURE WINDOW
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236	W12	3' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
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241	S4	2' - 1 1/2"			SKYLIGHT
242	W27	1' - 0"	8' - 0"	0' - 0"	PICTURE WINDOW
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W22	3' - 0"	8' - 0"	CASEMENT WINDOW
W23	3' - 0"	4' - 6"	CASEMENT WINDOW
W26	8' - 0"	2' - 0"	PICTURE WINDOW
W27	1' - 0"	8' - 0"	PICTURE WINDOW
W35	1' - 10 1/2"	1' - 10 1/2"	SKYLIGHT



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RESPONSIBLE ARCHITECT:
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LAKEVIEW A+B

2704 CANTERBURY, AUSTIN TX,
78702

WINDOWS & DOORS - B
UNIT

SHEET
SCALE (FOR 24" X 36")
SCALE (FOR 11' X 17")
ISSUE DATE
JOB #
DRAWN BY

A6.1

3/16" = 1'-0"

HALF INDICATED

05-19-2023

0000

Designer