

Tract #	PROPERTY ADDRESS	FROM	TO
15	912 W MARY ST	CS	CS-MU-CO-NP
16	915 W MARY ST	CS	CS-MU-CO-NP
17	913 W MARY ST	GR	LR-MU-CO-NP
18	909 W MARY ST	GR	LR-MU-CO-NP
19	908 W MARY ST	SF-3 & CS	SF-3-NP
20	2200, 2206, 2208, 2300 & 2302 S 5TH ST	MF-3	MF-4-NP
21	2207 S 5 TH ST	MF-3 & LR	MF-4-NP
22	811 W LIVE OAK ST	CS-H, LR-H, SF-3-H & MF-3-H	GR-MU-H-CO-NP
23	2301& 2311 S 5TH ST, 910 W OLTORF ST	LR & MF-3	GR-MU-CO-NP
24	900 & 904 S 2 ND ST(Lots 9 & 10 Abe Williams Subd.)	SF-3	GR-MU-CO-NP
25	900, 902, 904 & 906 S 1ST ST, 901, 903, 905 & 907 S 2ND ST	SF-3	GR-MU-CO-NP
26	908, 910, 912, 1000, 1002, 1004 & 1006 S 1ST ST	SF-3	GR-MU-CO-NP
27	1100, 1102, 1104, 1106, 1108, 1110, 1112, 1114 & 1200 S 1ST ST, 605 & 607 COPELAND ST	SF-3 & LO	GR-MU-CO-NP
28	0 DAWSON ROAD (12.225 ACRES OF LOT 8 BLK B, BOULDIN J E ESTATE), 1104 & 1200 S 6TH ST, 1101, 1105 & 1107 S 7TH ST	MF-2 & SF-3	P-NP
29	1401 S 7 TH ST	SF-3	P-NP
30	1200 S 6 TH ST	SF-3	P-NP
31	0 W GIBSON ST (LOTS 14-17 BLK 2, SOUTH HEIGHTS)	CS & GO-CO	CS-MU-CO-NP
32	607 W GIBSON ST	NO-CO	NO-MU-NP
33	1302, 1308 & 1312 S 1ST ST, 605 W GIBSON ST	CS & SF-3	CS-MU-CO-NP
34	1207, 1209, 1301, 1311, 1413, 1415 & 1417 S 1 ST ST	CS	CS-MU-CO-NP
35	500 W ELIZABETH ST	CS-1	CS-1-MU-CO-NP
36	1400 S 1 ST ST	CS	CS-MU-CO-NP
37	1500, 1502 & 1506 S 1ST ST	CS	CS-MU-CO-NP
38	1501 & 1503 S 1ST ST	CS	CS-MU-CO-NP
39	1602, 1628, 1632, 1636, 1700, 1708 & 1720 S 1 ST ST, 602 W ANNIE ST	CS, CS-MU-CO & NO-CO	CS-MU-CO-NP
40	1601, 1603, 1605, 1609, 1611, 1613, 1615, 1617, 1619, 1701, 1703, 1711, 1713 & 1715 S 1ST ST, 514 & 516 W ANNIE ST, 409 W MONROE ST	CS	CS-MU-CO-NP
41	1800 S 1 ST ST & 603 W ANNIE ST	CS	CS-MU-CO-NP
42	1816 S 1 ST ST	CS	CS-MU-CO-NP
43	1801, 1803, 1805, 1807, 1809 & 1811 S 1ST ST	CS	CS-MU-CO-NP
44	607 W MARY ST	LO	LO-MU-CO-NP
45	1902 S 1 ST ST	CS	CS-MU-CO-NP
46	604 W JOHANNA ST	LR	LR-MU-CO-NP
47	1906 & 1924 S 1ST ST	CS	CS-MU-CO-NP
48	1903, 1905 & 1919 S 1ST ST	CS	CS-MU-CO-NP
49	2002, 2004, 2006 & 2008 S 1ST ST	CS	CS-MU-CO-NP
50	2104 S 1ST ST	CS & SF-3	CS-MU-CO-NP
51	2003, 2007, 2009, 2103 & 2105 S 1ST ST, 508 & 510 W LIVE OAK ST	CS	CS-MU-CO-NP
52	603 W LIVE OAK ST	LR & NO-CO	LR-MU-CO-NP
53	601 W LIVE OAK ST	CS	CS-MU-CO-NP
54	2209, 2213, 2215, 2217, 2301 & 2313 S 1ST ST, 501, 503, 507 & 511 W LIVE OAK ST	CS & SF-3	CS-MU-CO-NP
55	2210 S 1 ST ST	CS	CS-MU-CO-NP

Tract #	PROPERTY ADDRESS	FROM	TO
56	2214 S 1 ST ST & 600 FLETCHER ST	CS	CS-MU-CO-NP
57	2300, 2304, 2306, 2308, 2310 & 2312 S 1ST ST	CS	CS-MU-CO-NP
58	703, 704, 705, 706 & 708 JAMES ST, 0 (E 31FT OF LOT 11 BLK 2, SOUTH HEIGHTS) & 608 W GIBSON ST, 1202 S 1ST ST	SF-3 & LO	P-NP
59	604, 606 & 608 W OLTORF ST	NO & SF-3	LO-CO-NP
60	2316 S 1ST ST & 602 W OLTORF ST	CS	CS-CO-NP
61	516 W OLTORF ST	CS, GR	CS-CO-NP
62	510 W OLTORF ST	GR	GR-CO-NP
63	500, 502 & 504 W OLTORF ST	LO & LR-CO	LR-CO-NP
64	306, 310 & 312 W OLTORF ST	NO	LO-CO-NP
65	2314, 2322 & 2354 WILSON ST	MF-3	SF-3-NP
66	115A, 115B, 115C & 115D NELLIE ST	SF-3	SF-4A-NP
67	1200 & 1220 S CONGRESS AVE	CS	CS-CO-NP
68	108 W GIBSON ST (LOTS 28-32 BLK 13 ECK NORA RESUB PLUS VAC ALLEY)	CS, SF-3	MF-4-NP
69	1316 S CONGRESS AVE	CS-1-CO	CS-1-CO-NP
70	1300 & 1306 S CONGRESS AVE, 105 JAMES ST	CS-1	CS-1-CO-NP
71	1316 S CONGRESS AVE & 108 W GIBSON ST (LOT 19 & 3.82 FT OF LOT 18 NEWNING RESUB OF BLK 13 & 2A)	CS	CS-CO-NP
72	1403 & 1407 EVA ST, 110 W ELIZABETH ST	CS	CS-MU-CO-NP
73	1400 & 1410 S CONGRESS AVE	CS	CS-CO-NP
74	1412 S CONGRESS AVE	CS-H	CS-H-CO-NP
75	1500, 1504, 1510, 1512, 1516 & 1522 S CONGRESS AVE	CS	CS-CO-NP
76	1600, 1602, 1604 & 1608 S CONGRESS AVE	CS	CS-CO-NP
77	1606 S CONGRESS AVE	CS & CS-1	CS-1-CO-NP
78	1612 S CONGRESS AVE	CS	CS-CO-NP
79	0 (LOT 4 AND 5 FT OF LOT 3 BLK 27, SWISHER ADDN), 1700, 1704, 1710, 1712 & 1722 S CONGRESS AVE	CS	CS-CO-NP
80	1800, 1802, 1806 & 1822 S CONGRESS AVE	CS	CS-CO-NP
81	1900, 1902, 1904, 1906 & 1920 S CONGRESS AVE	CS	CS-CO-NP
82	2002 & 2004 S CONGRESS AVE	CS	CS-CO-NP
83	2008 S CONGRESS AVE	CS-1	CS-1-CO-NP
84	2020 S CONGRESS AVE	CS	CS-MU-CO-NP
85	0 (LOT 2 BLK A, RICHARDSON P L), 2110, 2114, 2116, 2118 & 2130 S CONGRESS AV	CS	CS-CO-NP
86	2206 & 2210 S CONGRESS AVE	CS & LR	CS-MU-CO-NP
87	2300, 2304 & 2326 S CONGRESS AVE	CS	CS-MU-CO-NP
88	2336 S CONGRESS AVE	CS-H	CS-MU-H-CO-NP
89a	2216 & 2218 COLLEGE AVE, 2212 S CONGRESS AVE	LR	GR-MU-CO-NP
89b	2222 COLLEGE AVE	GR	GR-MU-CO-NP
90	312 W MARY ST	MF-2	SF-3-NP
91	2004 WILSON ST	MF-4	SF-3-NP
92	1908 & 1910 EVA ST	MF-3	SF-3-NP
93	1911 EVA ST	MF-3	SF-3-NP
94	0 BRODIE ST (GUERRERO PARK)	SF-3	P-NP
95	700, 702, 704 & 706 W OLTORF ST	SF-3	SF-6-NP
96	800 & 804 W OLTORF ST	SF-3	SF-6-NP

Tract #	PROPERTY ADDRESS	FROM	TO
97	806, 808, 810 & 812 W OLTORF ST	SF-3	SF-6-NP
98	2309 & 2311 S 4TH ST	SF-3	SF-6-NP
99	2308, 2310 & 2312 S 4TH ST, 900 & 902 W OLTORF ST	SF-3	SF-6-NP
100	1000, 1002, 1004, 1006, 1100, 1102 & 1104 W OLTORF ST	SF-3	SF-6-NP
101	1108 W OLTORF ST	SF-3	SF-6-NP
102	1112, 1114, 1200, 1202, 1204, 1206, 1208, 1210, 1212 & 1214 W OLTORF ST	SF-3	SF-6-NP

PART 3. Tracts 1 through 5, 11 through 18, 22 and 23, 25 through 27, 31, 33 through 57, 59 through 64, 67, and 69 through 89 may be developed as a neighborhood mixed use building special use as set forth in Sections 25-2-1502 through 25-2-1504 of the Code.

PART 4. The Property within the boundaries of the conditional overlay combining district established by this ordinance is subject to the following conditions:

1. The maximum height of a building or structure or portion of a building or structure is 45 feet measured from ground level on Tracts 22, 23, and 25.
2. The maximum height of a building or structure or portion of a building or structure is 35 feet measured from ground level on Tracts 24, 26 and 27.
3. The maximum impervious coverage is 75 percent on Tracts 22 and 23.
4. The maximum impervious coverage on Tract 24 is 45 percent.
5. The maximum building coverage on Tract 24 is 40 percent.
6. The maximum gross floor area is 15,200 square feet for a hotel-motel use on Tract 24.
7. A 50-foot wide building setback from the center line of East Bouldin Creek is required on Tract 5.
8. A portion of a building or structure that exceeds 35 feet in height must fit within an envelope delineated by a 60-degree angle measured from the top of the structure to a property line that adjoins a public street on Tracts 31 and 33 through 57.
9. Parking is prohibited in a required front yard on Tracts 25 through 27, 67, and 69 through 89.

10. The following use is a conditional use on Tracts 5, 25 through 27, 31, 33 through 43, 45 through 57, 67, and 69 through 89:

A general retail sales (general) use that exceeds 20,000 square feet in gross floor area

11. The following use is a conditional use on Tracts 12, 14 through 18 and 59 through 64:

Drive-in services as an accessory use to commercial uses.

12. The following use is a conditional use on Tracts 11, 14 through 18, and 60 through 63:

Service station

13. The following uses are conditional uses on Tracts 15, 16, 60 and 61:

Adult oriented businesses

Building maintenance services

Equipment repair services

Limited warehousing and distribution

Maintenance and service facilities

14. The following use is a conditional use on Tracts 22 and 23:

Medical offices (exceeding 5,000 square feet of gross floor area)

15. The following use is a prohibited use on Tracts 5, 13, 22 through 27 and 89a:

Drive-in services as an accessory use to commercial uses.

16. The following use is a prohibited use on Tracts 5, 13, 15, 16, 22, 23, 25, 26, 27, 60, 61, 62, and 89a:

Pawn shop services

17. The following uses are prohibited uses on Tracts 5, 13, 15, 16, 22, 23, 25, 26, 27 and 89a:

Automotive rentals

Automotive sales

18. The following uses are prohibited uses on Tracts 5, 13, 22, 23, 25, 26, 27 and 89a:

Automotive repair services	Automotive washing (of any type)
Commercial off-street parking	Communications services
Drop-off recycling collection facility	Exterminating services
Funeral services	Service stations

19. The following use is a prohibited use on Tracts 5, 15, and 16:

Vehicle storage

20. The following uses are prohibited uses on Tracts 22 and 23:

Hospital services (general)	General retail sales (general)
-----------------------------	--------------------------------

21. The following uses are prohibited uses on Tract 5:

Agricultural sales and services	Building maintenance services
Campground	Construction sales and services
Convenience storage	Electronic prototype assemble
Equipment repair services	Equipment sales
Kennels	Laundry services
Limited warehousing and distribution	Maintenance and service facilities
Monument retail sales	

22. The following uses are prohibited on Tract 24:

Administrative and business office	Art and craft studio (limited)
Automotive rentals	Automotive repair services
Automotive sales	Automotive washing (of any type)
Business or trade school	Business support services
Consumer convenience services	Drop-off recycling facility
Exterminating services	Financial services
Food sales	Funeral services
General retail sales (general)	General retail sales (convenience)
Indoor entertainment	Indoor sports and recreation
Medical offices (any size)	Off-site accessory parking
Personal services	Pet services

Plant nursery
 Research services
 Restaurant (general)
 Service station
 Theater
 Congregate living
 Guidance services
 Hospital services (limited)
 Bed and breakfast (Group II)
 Group residential
 Townhouse residential
 Communication services
 Outdoor entertainment
 Pawn shop services
 Urban farm

Professional office
 Restaurant (drive-in, fast food)
 Restaurant (limited)
 Software development
 Custom manufacturing
 Counseling services
 Hospital services (general)
 Residential treatment
 Condominium residential
 Multifamily residential
 Commercial off-street parking
 Consumer repair services
 Outdoor sports and recreation
 Personal improvement services

23. The following uses are conditional uses on Tract 24:

College and university facilities	Community recreation (private)
Community recreation (public)	Cultural services
Day care services (commercial)	Day care services (general)
Local utility services	Private primary educational facilities
Private secondary educational facilities	Safety services

24. For a hotel-motel use on Tract 24:

- a. Except as shown in subsection b the setback for structures, parking areas, and driveways on Lot 9, Abe Williams Subdivision is 200 feet from the west property line. (900 West 2nd Street).
- b. On Lot 9 the setback is 150 feet from the west property line for a detention pond or a drainage facility.
- c. The setback for structures, parking areas, driveways, detention ponds, or drainage facilities on Lot 10, Abe Williams Subdivision is 200 feet from the west property line. (904 West 2nd Street)

PART 5. Except as specifically restricted under this ordinance, the Property may be developed and used in accordance with the regulations established for the respective base district and other applicable requirements of the City Code.

PART 6. The Council waives the requirements of Section 2-2-3, 2-2-5, and 2-2-7 of the City Code for this ordinance.

PART 7. This ordinance takes effect on June 3, 2002.

PASSED AND APPROVED

_____, May 23, 2002

§
§
§

Gustavo L. Garcia

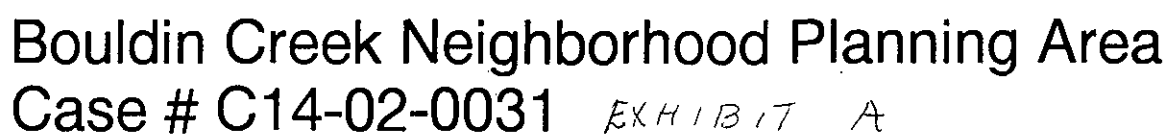
Gustavo L. Garcia
Mayor

APPROVED:

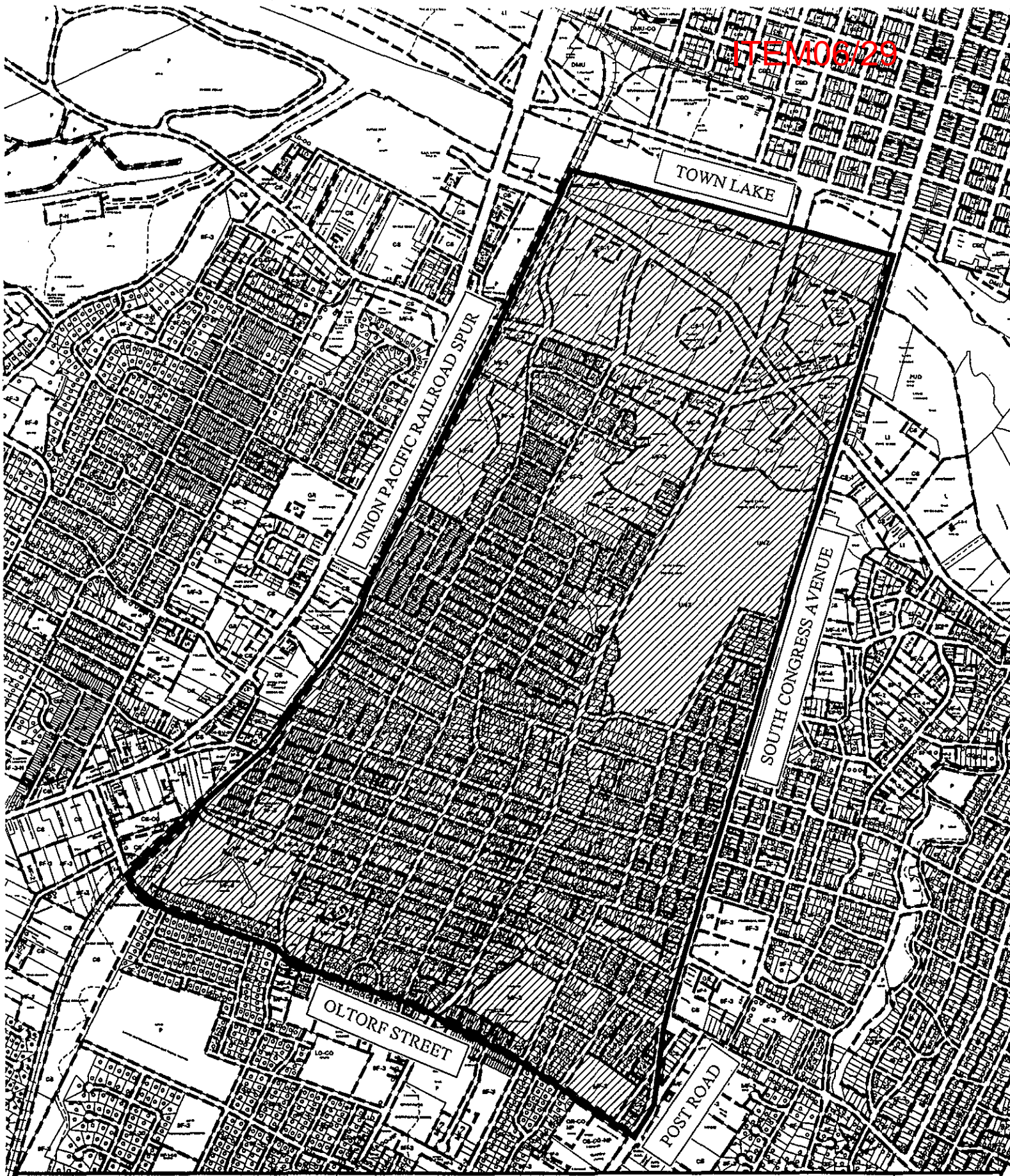
Sedora Jefferson
Sedora Jefferson
City Attorney

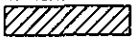
ATTEST:

Shirley A. Brown
Shirley A. Brown
City Clerk

[illegible]

ITEM 06/29



SUBJECT TRACT 
PENDING CASE 
ZONING BOUNDARY 
CASE MGR: W. WALSH

CASE #: C14-02-0031
ADDRESS: BOULDIN CREEK
NEIGHBORHOOD PLANNING AREA
SUBJECT AREA (acres): N/A

ZONING EXHIBIT B

DATE: 02-03
INTLS: SM

CITY GRID
REFERENCE
NUMBER
J20-22,H20-2
2



Exhibit 3 - Plat

*South Heights
an addition to the
City of Austin*

State of Texas. } I know all men by these presents: That the HOME
County of Travis, BUILDERS ASSOCIATION, a corporation existing un-
der and by virtue of the laws of the state of Texas, hereby dedicates to the
free use and benefit of the public, the streets and alleys exhibited on the a-
bove plat; it being a division into lots and blocks of forty four acres of land
of the Isaac Heck-Long tract, in Travis County, Texas, being the forty-
four acres of land out of block "C" of the partition of the Jas. E. Bouldin es-
tate, sold to Jas. E. Bouldin, by Wm. Bouldin and wife Belle Bouldin, and F. W. -
Bouldin, and wife Lucy Bouldin, by quit claimed deed, of date October 7th 1890,
recorded in Volume 350, page 19, of the Public Records of Travis County, which
deed is hereby referred to for a more accurate description.

*The HOME BUILDERS' ASSOCIATION -
By, N.A. Dawson - Pres.*

Filed Nov 7, 1894, and recorded same day,
Frank Brown. Clerk C.C.J.C.
By Frank Brown J. Clerk

State of Texas } Before me, a Notary Public in and for Travis
County of Travis } County Texas, on this day personally appear-
ed M. A. Dawson as President, and P. B. George as Secretary
of the HOME BUILDERS ASSOCIATION, a corporation exist-
ing under and by virtue of the laws of the State of Texas, both
known to me, the persons whose names are subscribed to the fore-
going instrument, and acknowledged to me that they execut-
ed the foregoing instrument for the purposes and consid-
erations therein expressed as such President and Secretary,
as the act and deed of said corporation.

Given under my hand and seal of office at Austin Texas, this
the second day of November, A.D. 1894.

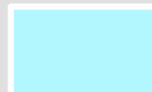
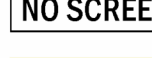
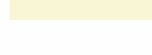
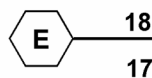
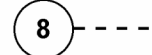
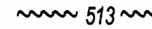


*Frederick C. Von Rosenberg,
Notary Public, Travis County
State of Texas.*



Exhibit 4 – FEMA Firm Panel

NOTES TO USERS

		Without Base Flood Elevation (BFE) Zone A.V, A99
SPECIAL FLOOD HAZARD AREAS		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee See Notes. Zone X
OTHER AREAS OF FLOOD HAZARD		Area with Flood Risk due to Levee Zone D
		Area of Minimal Flood Hazard Zone X
OTHER AREAS		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Base Flood Elevation Line (BFE)
		Limit of Study
OTHER FEATURES		Jurisdiction Boundary

For information and questions about this Flood Insurance Rate Map (FIRM), available products associated with this FIRM, including historic versions, the current map date for each FIRM panel, how to order products, or the National Flood Insurance Program (NFIP) in general, please call the FEMA Map Information eXchange at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA Flood Map Service Center website at <https://msc.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website.

Communities annexing land on adjacent FIRM panels must obtain a current copy of the adjacent panel as well as the current FIRM Index. These may be ordered directly from the Flood Map Service Center at the number listed above.

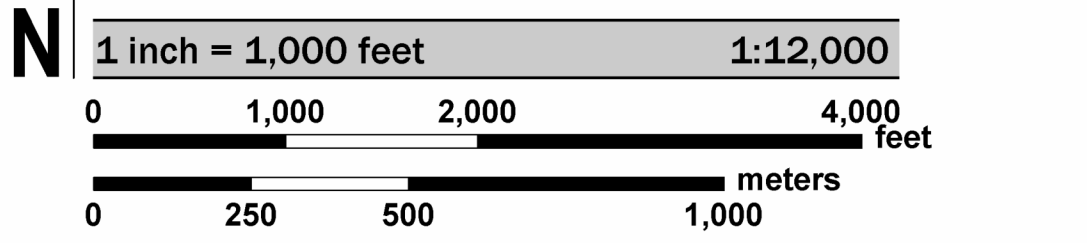
For community and countywide map dates refer to the Flood Insurance Study Report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

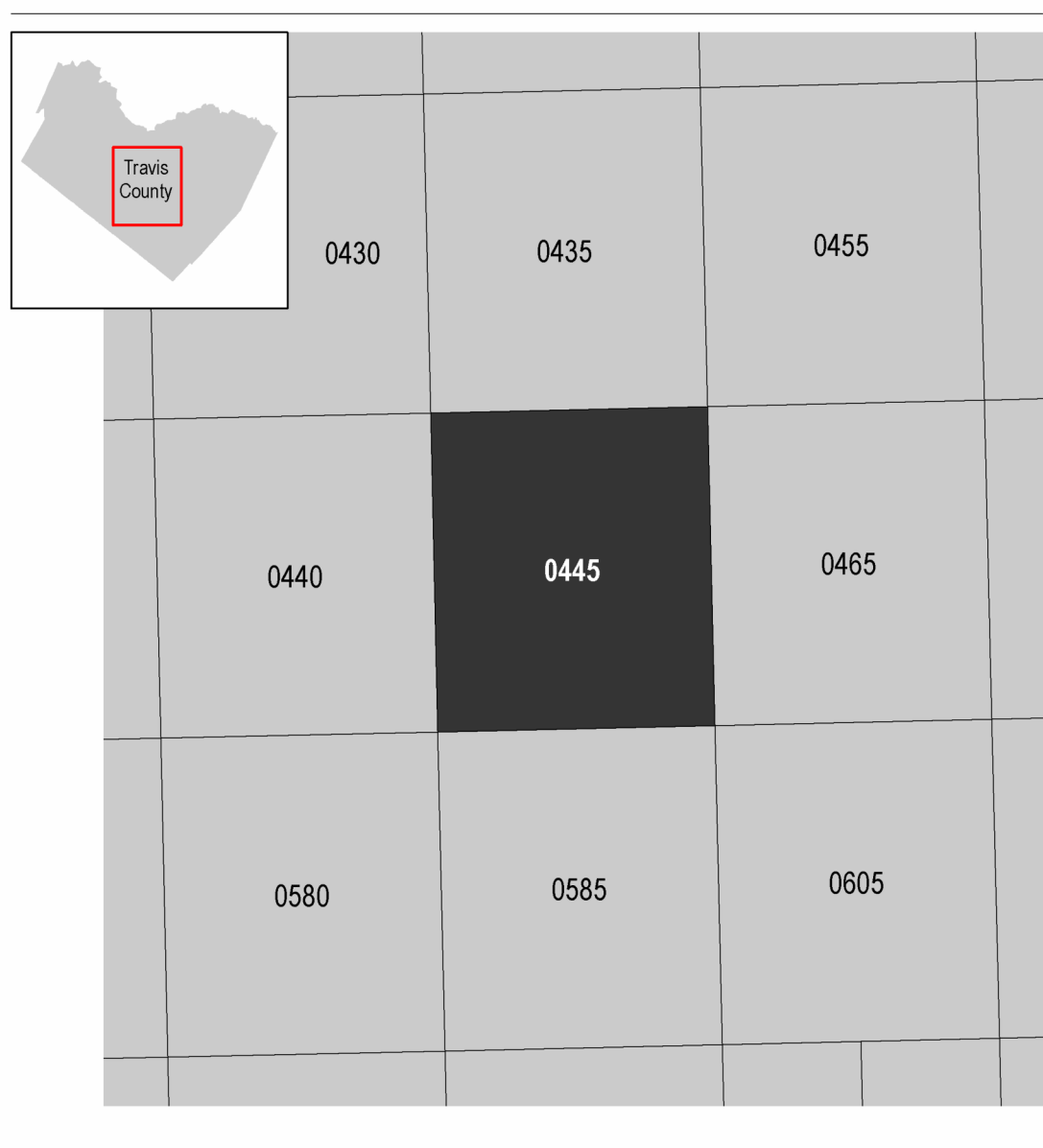
Base map information shown on this FIRM was derived from digital data obtained from City of Austin dated 2016, NFHL dated 2014, and CAPCOG dated 2014 and 2016.

SCALE

Map Projection:
State Plane Lambert Conformal Conic, Texas Central Zone FIPS 4203; North American Datum 1983; Western Hemisphere; Vertical Datum: NAVD 88



PANEL LOCATOR



FEMA
 NATIONAL FLOOD INSURANCE PROGRAM

NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP

TRAVIS COUNTY, TEXAS
and Incorporated Areas

PANEL 445 OF 730



COMMUNITY	NUMBER	PANEL	SUFFI
AUSTIN, CITY OF	480624	0445	K
ROLLINGWOOD, CITY OF	481029	0445	K
TRAVIS COUNTY	481026	0445	K
WEST LAKE HILLS, CITY OF	481030	0445	K

VERSION NUMBER
2.3.3.

MAP NUMBER
48453C0445

MAP REVISED
JANUARY 22, 2020



Exhibit 5 – Existing and Proposed Drainage
Area Maps

Plot Date: 09/05/2023 @ 9:21 AM



D:\Projects\A130 - 1305 S 6th St Plat\Civil\Construction Drawings\Sheets\EXISTING DRAINAGE AREA MAP.dwg

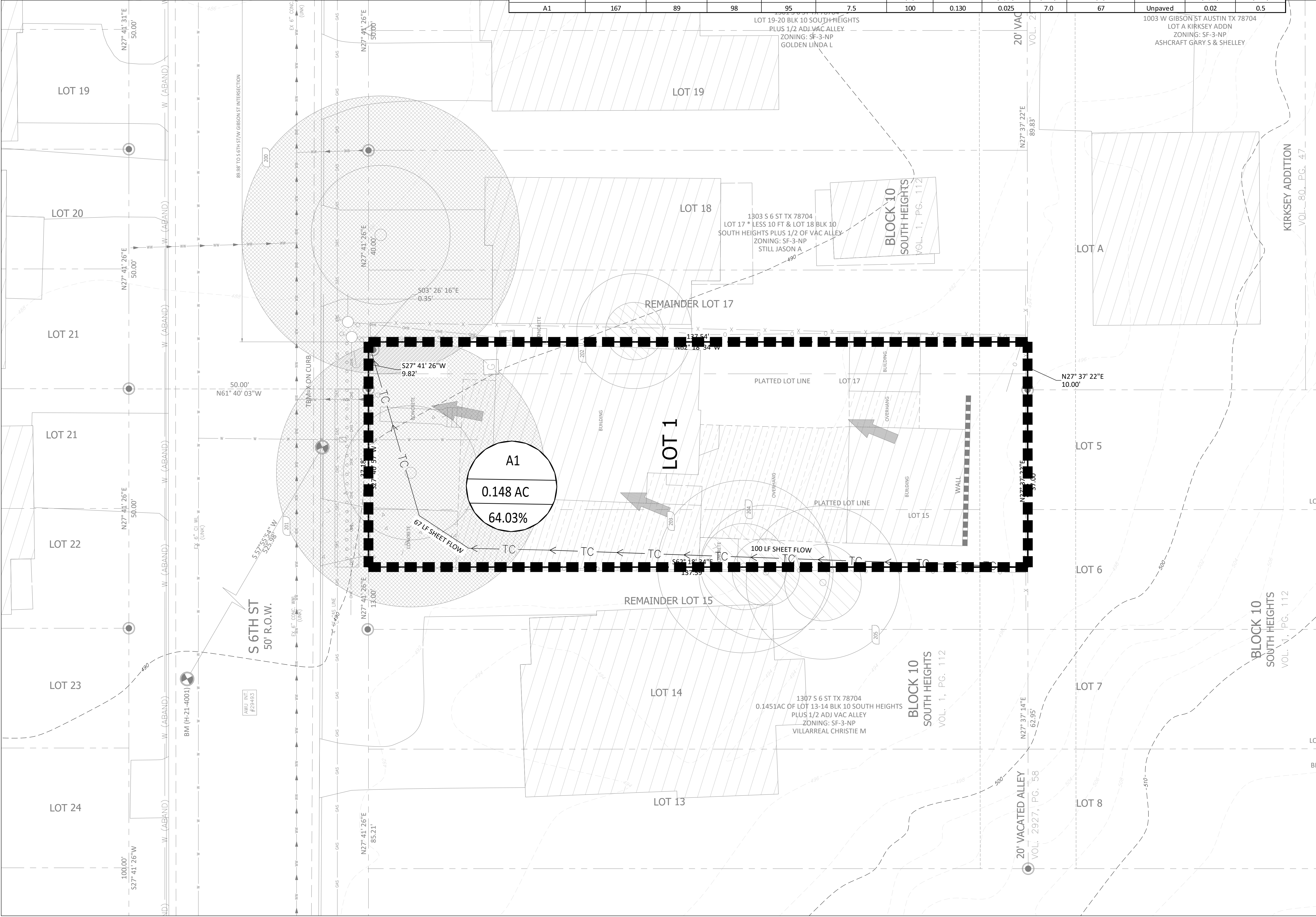
FLOODPLAIN NOTE:
ACCORDING TO CITY AND FEMA FLOODPLAIN MAPS, 100- OR 24- YEAR FLOODPLAIN IS NOT PRESENT WITHIN THE PROJECT BOUNDARY.

ATTENTION:
THE EXISTING UTILITIES INDICATED ON THESE PLANS ARE SHOWN IN AN APPROXIMATE WAY ONLY. UTILITIES WERE LOCATED, IN PART, BASED ON RECORD DRAWINGS, WHICH MAY BE INACCURATE OR INCOMPLETE.
THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. SHOULD THERE BE ANY DISCREPANCY BETWEEN UTILITY LOCATIONS IN THE FIELD, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY. AT LEAST 48 HOURS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY TO REQUEST EXACT FIELD LOCATIONS AS REQUIRED. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM AT 800-344-8377 AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY EXCAVATION OR UTILITY WORK.

DRAINAGE NOTES:
1. UPON COMPLETION OF THE PROPOSED SITE IMPROVEMENTS, AND PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY BY THE DEVELOPMENT SERVICES DEPARTMENT, THE DESIGN ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DETENTION AND FILTRATION FACILITIES WERE CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS.
2. CONTRACTOR SHALL CALL TEXAS 811 (811 OR 1-800-344-8377) FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET R.O.W.

Existing Conditions HEC-HMS Summary Table							
Sub Basin	Downstream	Area (ac)	Impervious Cover (%)	HEC-HMS Outputs			
				Q2 (cfs)	Q10 (cfs)	Q25 (cfs)	Q100 (cfs)
A1	Point of Analysis 1	0.148	64.03%	7.3	15.9	21.0	29.3
Point of Analysis 1				7.3	15.9	21.0	29.3

EXISTING TIME OF CONCENTRATION CALCULATIONS													
Sub Basin	Total Reach (ft)	Pervious Curve Number	Impervious Curve Number	Compound Curve Number	Total Tc (min)	Sheet Flow Tc = 0.42*(nL)^0.8/(P2^0.5)*(s^0.4)				Shallow Concentrated Flow Paved T = L/(60*20.3282*(s^0.5))			
						Reach (L) (ft)	Manning's (n)	Slope (s) (ft/ft)	Tc (min)	Reach (L) (ft)	Surface	Slope (s) (ft/ft)	Tc (min)
A1	167	89	98	95	7.5	100	0.130	0.025	7.0	67	Unpaved	0.02	0.5



LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- EXISTING CONTOUR LINE
- CURB / EDGE OF PAVEMENT
- EXISTING BUILDING
- SD STORM DRAIN LINE
- W WATER LINE
- WW WASTEWATER LINE
- OHE OVERHEAD ELECTRIC
- GAS GAS LINE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- WASTEWATER MANHOLE
- WASTEWATER CLEANOUT
- BACKFLOW PREVENTER
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- STORM DRAIN AREA INLET
- TRANSFORMER
- AIR CONDITIONER UNIT
- GAS METER
- ELECTRIC MANHOLE
- ELECTRIC BOX
- UTILITY POLE
- GUY WIRE
- SIGN
- SURVEY ROD/NAIL
- BENCHMARK
- TREE W/ TAG
- TREE - REMOVE
- DRAINAGE AREA
- DRAINAGE AREA NAME AREA/IC %
- FLOW DIRECTION

Scale: 1"=10'

North Arrow: [Symbol]

WWW.RADIUSCIVIL.COM

FIRM NO: F-23684

RADIUS

CIVIL ENGINEERING

1000 F 50TH ST, SUITE D, AUSTIN, TEXAS 78751

(512) 431-8510

INFO@RADIUSCIVIL.COM

STATE OF TEXAS

JOHN P. SULLIVAN

14453

PROFESSIONAL ENGINEER

09/10/2020

NEILAS RESUBDIVISION
1305 S 6TH STREET
AUSTIN, TRAVIS COUNTY, TEXAS, 78704

EXISTING DRAINAGE AREA MAP

Plot Date: 09/05/2023 @ 9:21 AM

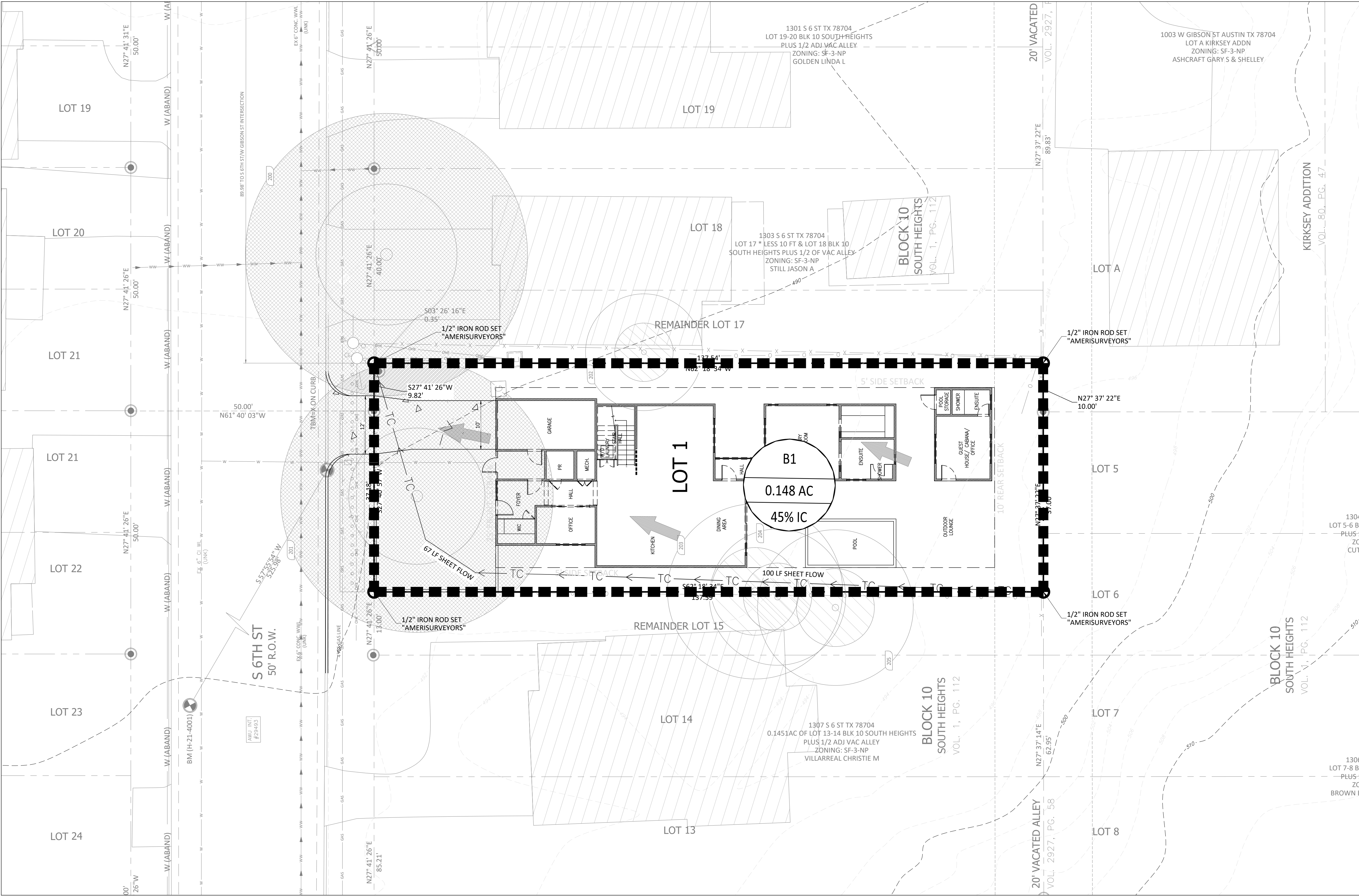


NOTE:
PROPOSED IMPERVIOUS COVER IS LESS THAN 8,000 SF SO WATER QUALITY CONTROLS ARE NOT REQUIRED.

ATTENTION:
THE EXISTING UTILITIES INDICATED ON THESE PLANS ARE SHOWN IN AN APPROXIMATE WAY ONLY. UTILITIES WERE LOCATED, IN PART, BASED ON RECORD DRAWINGS, WHICH MAY BE INACCURATE OR INCOMPLETE.
THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. SHOULD THERE BE ANY DISCREPANCY BETWEEN UTILITY LOCATIONS IN THE FIELD, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY.
AT LEAST 48 HOURS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY TO REQUEST EXACT FIELD LOCATIONS AS REQUIRED. CONTRACTOR SHALL CONTACT THE TEXAS EXCAVATION SAFETY SYSTEM AT 800-344-8377 AT LEAST TWO FULL WORKING DAYS BEFORE COMMENCING ANY EXCAVATION OR UTILITY WORK.

Proposed Conditions HEC-HMS Summary Table							
Sub Basin	Downstream	Area (ac)	Impervious Cover (%)	HEC-HMS Outputs			
				Q2 (cfs)	Q10 (cfs)	Q25 (cfs)	Q100 (cfs)
B1	Point of Analysis 1	0.148	45.00%	0.7	1.1	1.4	1.8
Point of Analysis 1				0.7	1.1	1.4	1.8
Increase in Runoff Point of Analysis 1 (Negative values mean controlled flows)				0.0	-0.1	0.0	-0.1

PROPOSED TIME OF CONCENTRATION CALCULATIONS													
Sub Basin	Total Reach (ft)	Pervious Curve Number	Impervious Curve Number	Compound Curve Number	Total Tc (min)	Sheet Flow				Shallow Concentrated Flow			
						Reach (L) (ft)	Manning's (n)	Slope (s) (ft/ft)	Tc (min)	Reach (L) (ft)	Surface	Slope (s) (ft/ft)	Tc (min)
B1	167	84	98	90	7.5	100	0.130	0.025	7.0	67	Unpaved	0.02	0.5



LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- EXISTING CONTOUR LINE
- CURB / EDGE OF PAVEMENT
- EXISTING BUILDING
- SD STORM DRAIN LINE
- W WATER LINE
- WW WASTEWATER LINE
- OHE OVERHEAD ELECTRIC
- GAS GAS LINE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- WASTEWATER MANHOLE
- WASTEWATER CLEANOUT
- BACKFLOW PREVENTER
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- STORM DRAIN AREA INLET
- TRANSFORMER
- AIR CONDITIONER UNIT
- GAS METER
- ELECTRIC MANHOLE
- ELECTRIC BOX
- UTILITY POLE
- GUY WIRE
- SIGN
- SURVEY ROD/NAIL
- BENCHMARK
- TREE W/ TAG
- DRAINAGE AREA
- TREE - REMOVE
- DRAINAGE AREA
- DRAINAGE AREA NAME AREA/IC %
- FLOW DIRECTION

0' 5' 10' 20'

SCALE: 1"=10'

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PROPOSED DRAINAGE AREA MAP

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FIRM NO: F-23684

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STATE OF TEXAS

JOHN D. SULLIVAN

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PROFESSIONAL ENGINEER

09/04/2020



Exhibit 6 – Water and Wastewater Maps

