

**CITY OF AUSTIN – TRAVIS COUNTY – SINGLE SUBDIVISION OFFICE
SUBDIVISION APPLICATION – MASTER COMMENT REPORT**



CASE NUMBER: C8J-2023-0081
UPDATE: U0
CASE MANAGER: Sue Welch

Phone: 512-854-7637

PROJECT NAME: Manor Downs Industrial Preliminary Plan
LOCATION: 8916 HILL LN



SUBMITTAL DATE: May 15, 2023
FINAL REPORT DATE: June 8, 2023

STAFF REPORT:

This report includes all staff comments received to date concerning your most recent subdivision application submittal. The comments may include requirements, recommendations, or information. The requirements in this report must be addressed by an updated submittal. The subdivision application will be approved when all requirements from each review discipline have been addressed. If you have any questions, concerns or if you require additional information about this report, please contact your case manager at the phone number listed above or by using the contact information listed for each reviewer in this report.

Any change to the plan/plat shall not cause noncompliance with any applicable code or criteria. In addition, any change to the plat may trigger new comments.

UPDATE DEADLINE (LDC 30-2-56; 30-2-82):

All comments must be addressed by filing an updated submittal prior to the update deadline of **August 14, 2023 (90 calendar days after submittal)**. Otherwise, the application will expire. If this date falls on a weekend or City of Austin holiday, the next City of Austin workday will be the deadline.

Extension of Review Period, Extension of Update Deadline and Tolling of Application Period do not apply to applications for preliminary plan, plat or subdivision construction plans (LDC).

UPDATE SUBMITTAL INSTRUCTIONS (LDC 25-1-83):

1. Applicants must submit an update through the intake submittal webform:
<https://www.austintexas.gov/page/subdivision-application-process>
2. Your update must include the following items:
 1. The revised plat/plan in pdf format
 2. A letter that addresses each comment in the master comment report
3. Updates must be submitted on an approved submittal date. Refer to the submittal calendar for a list of approved submittal dates.

REVIEWERS:

Planner 1 : Kennedy Higgins
911 Addressing : Janny Phung
Water Quality/Drainage Engineering : Judy Anderson
Environmental : Enrique Maiz-Torres
Flood Plain : Zach Kretsch
Wetlands Biologist : Hank Marley
Travis Co. Subdivision : Sue Welch
Travis Co. Transportation : Teresa Calkins
Travis Co. Drainage Construction : Teresa Calkins

Water Quality Review - Judy Anderson - Judy.Anderson@austintexas.gov

Release of this application does not constitute a verification of all data, information, and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not the application is reviewed for code compliance by city engineers.

- WQ 1. Add the plat note: "Water quality controls are required for all development pursuant to the Land Development Code." This note is required for all cases, regardless of the manner in which the water quality requirements are satisfied. [LDC 25-8-211]
- WQ 2. Projects submitted after November 7, 2022, will be required to provide green stormwater control measures to meet water quality control requirements in accordance with the recently passed Ordinance No. 20221027-045, Part 18 [25-8-213 (C) and (D)]. Green stormwater infrastructure options (GSI) are outlined in ECM 1.6.7. The ordinance document can be found here (see pg. 24-26 for green infrastructure requirements): <https://services.austintexas.gov/edims/document.cfm?id=399108>. The application does not specify the type of proposed water quality controls. Please note, wet pond design criteria is not categorized as GSI under ECM 1.6.7.
- WQ 3. Preliminary Plan Note 15 states, "stormwater, detention and water quality ponds are to be privately maintained." Please also specify private maintenance in the engineering report and summary letter. The engineer's summary letter states, "6,000 LF of public roadway, including one bridge, and associated public storm drains and public water quality treatment ponds." The engineer's report states, "there is a plan to have 2 water quality treatment ponds for the public roadway."
- WQ 4. For information, a legal document may be required at time of future applications if shared use of drainage infrastructure is proposed.
- WQ 5. For information, for subdivision preliminary plans, final plats, and subdivision construction plans in the 2-mile ETJ, drainage review is assigned to the County and not assigned to the City. Please note, site plans are reviewed for drainage by both City and County. Subsequent site plans associated with this commercial subdivision will be reviewed by the City drainage reviewer. Please plan accordingly, for example, considering DCM guidance for drainage easement, erosion hazard zone analysis, etc.

Electric Review - Andrea Katz - 512-322-6957

No Review Required. Out of Austin Energy service area, served by Bluebonnet Electric Cooperative, Inc.

911 Addressing Review - Janny Phung - janny.phung@austintexas.gov

AD1: This plan review is rejected for the following reasons:

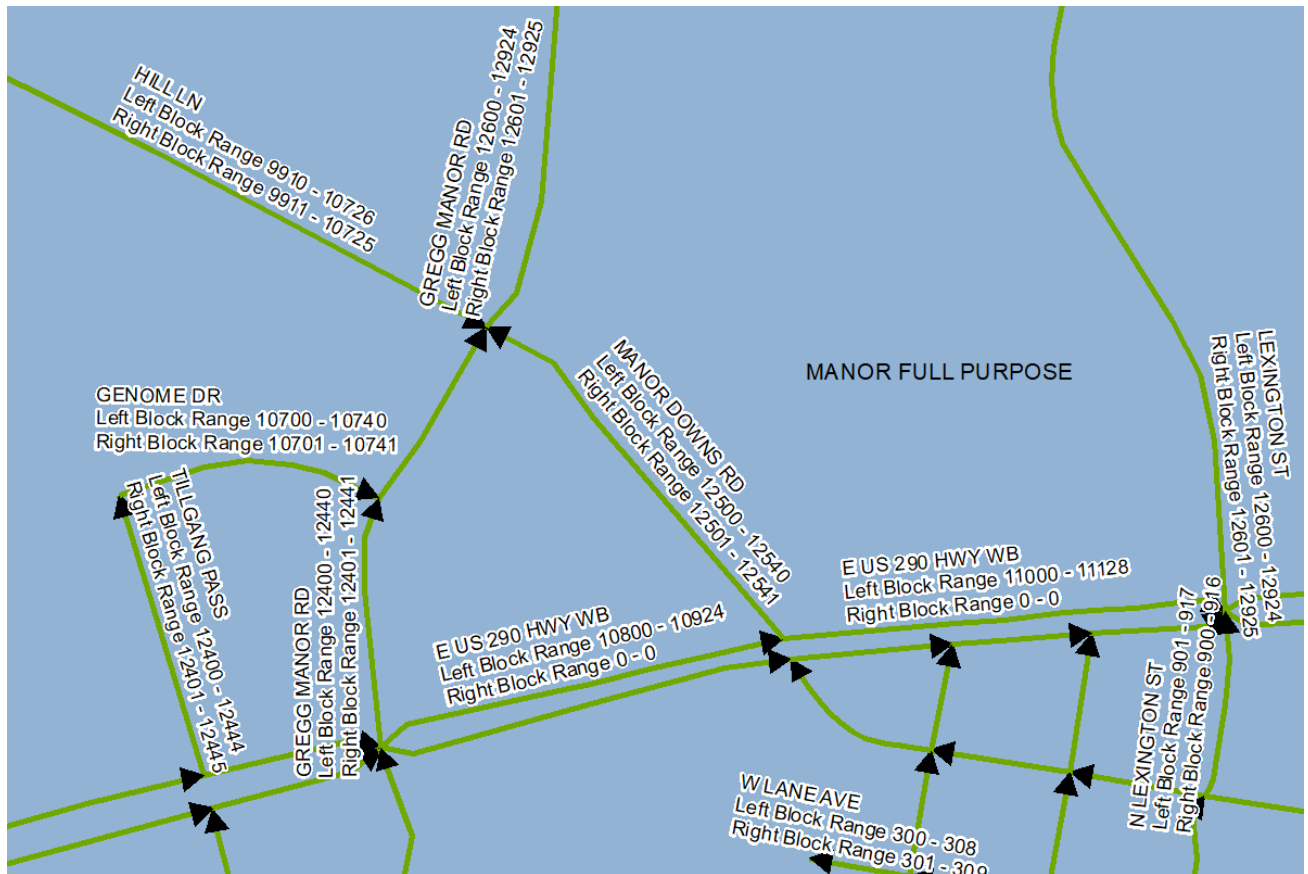
AD2: **MANOR DOWNS RD** is an active named roadway in Travis County. Please indicate whether it will connect to the existing portion.

Note: Email addressing@austintexas.gov to have your street name candidates reviewed and reserved with the subject line: Street Name Case Number Project Name

Example: **Street Name C8-2021-0152.2A Pinnacle at Wildhorse Ranch Section 2**

Note: A list of all street names reserved and currently in use in Travis County is available online at:

<https://data.austintexas.gov/dataset/911-Addressing-Street-Name-Master-List/kumu-nbtd/data>



NOTE: Any street on this plat that is a continuation of a street on an existing plat or future plat must continue with the same street name until it intersects at least a semi-major roadway.

The standards applied to all new street names in Travis County can be found at this link:

http://www.austintexas.gov/sites/default/files/files/Information_Technology/911Addressing/Street_Name_Standards.pdf

§30-2-155

End of Comments

Drainage Engineering Review - Judy Anderson - Judy.Anderson@austintexas.gov

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For information, the City of Austin is not the drainage engineering reviewer for subdivisions in the 2-mile ETJ.

Environmental Review - Enrique Maiz-Torres – Enrique.maiz-torres@austintexas.gov

Update 0 6/6/2023

IMPERVIOUS COVER COMMENTS [LDC 25, Subchapter A, Articles 9 through 13; ECM Appendices Q1 and Q2]

- EV 1 Provide the applicable ECM Appendix Q-2 table for the proposed impervious cover for the roadway pavement. The total proposed impervious cover must comply with the applicable watershed impervious cover limit in relation to the area of the right-of-way. For a commercial subdivision with an internal roadway, the platted lots will need to account for the roadway if the roadway exceeds the impervious cover limits within the right-of-way.
**Note:* Impervious cover for a Suburban watershed is based on Gross Site Area. Impervious cover for a Water Supply Suburban/Water Supply Rural/Barton Springs Zone watershed is based on Net Site Area and an ECM Appendix Q-1 table will also be required to be submitted with the ECM Appendix Q-2 table.
- EV 2 The street crossings must be delineated to demonstrate compliance with rules and regulations for development in the CWQZ. [LDC 25-8, Subchapter A, Article 7; ECM 1.5.3]
- EV 3 Provide a table identifying the proposed roadway typologies (i.e., arterial, collector, or residential street). [LDC 25-8, Subchapter A, Article 7]
- EV 4 Construction on slopes over 15% is limited by code FYI.
- EV 5 The utility line and all associated maintenance access routes must be delineated to demonstrate compliance with regulations and rules for utilities within the CWQZ. [LDC 25-8, Subchapter A, Article 7; ECM 1.5.0]

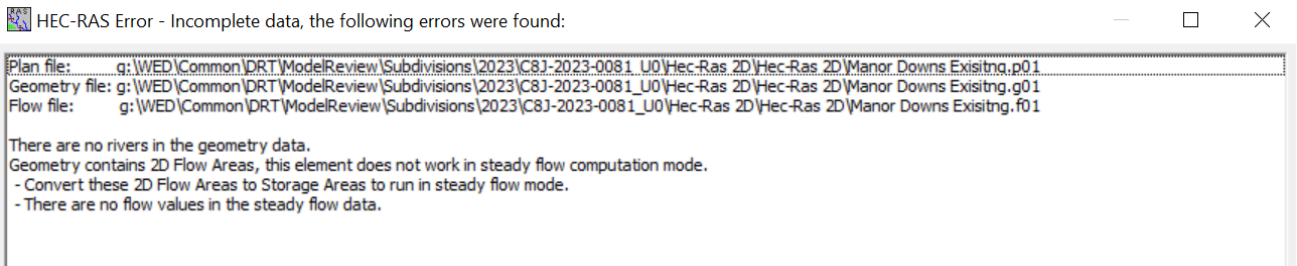
Flood Plain Review - Zach Kretsch - (512) 552-5174

DATE REVIEWED: 5/31/2023
UPDATE # U0

General notes: Site plan has expired and is being split up into multiple SP's since the lot is being subdivided. Please discuss the timing of submittals for site plan, subdivision construction, and final plat submittals with the reviewer. Existing floodplain model and delineation will be reviewed with the preliminary plan if that will be submitted prior to site plans. Previous comments for the floodplains found with SP-2021-0290D. It appears that the engineer is using a different model than what was being reviewed with the original site plan above, and the engineer only wants existing conditions reviewed at this time. See the comments below. To address the comment(s) properly, see the FYI comments below.

- FP1: The site, as shown on the plan provided, is not in compliance with the following sections of the Land Development Code. Please correct your application to be in compliance with Code.
30-4-5 – Computation of Storm Runoff
30-4-31 – Single Office Authorized to Require Drainage Studies
30-4-33 – Floodplain Maps, Delineation, and Depiction

FYI: The HECRAS model that was provided is unable to run. See the screenshot below. It was attempted to run in RAS 6.3 as mentioned by the engineer. A 1D steady flow model is required for review to meet DCM code requirements.



FYI: There is not a floodplain report submitted with the U0 update. A floodplain report or floodplain section in the engineering report should be submitted outlining methods used to calculate the existing 100-year floodplain as a part of LDC 30-4-31. The floodplain report should include:

- offsite drainage area map that correlates with your floodplain HMS model. This drainage area map should show time of concentration calculations, impervious cover values for each basin, any junction locations that are shown in your HMS model, and CN values.
- an HMS-RAS correlation table that shows where the flows are taken from HMS and input into RAS.
- a water surface elevation table that shows the water surface elevations at each cross section within your RAS model.
- If applicable, discuss any modifications proposed within the COA or FEMA 100-year floodplains.
- Discussion on existing and proposed culvert details within the vicinity if applicable.
- A hydraulic work map for both pre- and post-project conditions if applicable. These work maps should include contours, contour values, cross sections, cross section labels, 100-year WSEL's, floodplain delineation, and existing and proposed drainage easements.

FYI: The 100-year floodplain callouts on the preliminary plan are not clear. Is the entirety of the area in blue the existing 100-year floodplain? A proposed drainage easement should be shown to contain the floodplain as well under LDC 30-4-33 (D)(1).

FYI: It may be easier to continue review of the existing floodplain that was originally provided and was in review with SP-2021-0290D. It is unclear why the engineer is using an entirely different model. Please reach out to the reviewer to discuss this.

FYI: Additional FYI comments may be made upon future submittals to provide clarification to the engineer and applicant.

AW Utility Development Services - Bradley Barron - 512-972-0078

- AW1. The landowner intends to serve each lot with a connection to Manville Water Supply Company water utilities and an On-Site Sewage Facility. Manville Water must verify compliance with applicable rules and standards. No Austin Water review is required. 30-1-113
- AW2. The landowner must obtain plat approval from Travis County for on-site sewage facilities. No Austin Water review is required. 30-1-113
- AW3. Travis County must approve the plan for fire protection. Austin Water will not verify fire protection availability. (this is a prerequisite).

Wetlands Biologist Review - Hank Marley - hank.marley@austintexas.gov

Please be advised that additional comments may be generated as update information is reviewed. If an update has been rejected, reviewers are not able to clear comments based on phone calls, emails, or meetings but must receive formal updates in order to confirm positive plan set changes. CEFs and their buffers must be shown on all site plan sheets.

- WB1 Pursuant to LDC 25-8-281(C)(2)(a), please add a note stating that: "The presence of a Critical Environmental Feature on or near a property may affect development. All activities within the CEF buffer must comply with the City of Austin Code and Criteria. The natural vegetative cover must be retained to the maximum extent practicable; construction is prohibited; and wastewater disposal or irrigation is prohibited."
- WB2 This comment will remain pending until it is determined that the proposed crossing of the Critical Water Quality Zone is allowed by code. Additional floodplain modification comments may be pending.
- WB3 Provide a grading plan that shows any vertical (cut and fill balancing) or horizontal (change in WSE) changes to the existing 100 floodplain. Floodplain modification rules may be triggered in accordance with LDC 25-8-363. Additional comments may be pending.
- WB4 Please include a preliminary note indicating "A CEF mitigation plan is required. The details for the mitigation plan will be reviewed, approved, and executed during the Site Plan application review process. No certificate of occupancy will be issued until the mitigation plan has been completed and released."

Travis Co. Subdivision Review - Sue Welch - 512-854-7637

1. Add the case number to the lower right hand corner of each page, C8J-2023-0081. 30-1-113
2. Travis County fees need to be paid for this application.
3. On the preliminary plan sheet remove the contours, existing structures, dirt roads and other existing conditions layers from the plan. The preliminary plan should demonstrate lot information, surrounding owner/lot information, existing and proposed roads, environmental features, ponds, and easement information. All other layers should be provided as exhibits (remove the bridge and add as an exhibit if required). Add a block letter. Use the boldest solid line to represent the boundary of the project; thinner solid lines for internal lot lines; use dashed lines to represent the boundaries of all easements. 30-1-113
4. For preliminary plans, owner's name, address and deed reference are required for all adjacent, unplatted property. 25-1-83 or 30-1-113
5. Provide an updated approval from Manville for the water. 30-1-113
6. Clarify if there is a balance of tract on this property. Is there an outparcel or is this the quit claim area? 30-2-34(B) 30-1-113
7. Upload a copy of the TIA and the proposed mitigation agreement with Travis County Commissioners Court. Add a note to the coversheet that it is subject to a TIA and mitigation agreement with Travis County per Document # _____. Clarify the status of this agreement – has this been scheduled for Court?
8. Indicate the land use in the table, per TIA (Industrial), and add a note that the use is restricted to non-residential uses only. 25-1-83 or 30-1-113

9. Show the survey line across Hill Lane to verify ROW (please add in several location to verify ROW dedication). Additional ROW dedication is required from the central (60 ft. ROW for Hill Lane). 30-1-113
10. Manor Downs Road ROW need to go to the edge of the property – not end before the property line in a cul-de-sac. There can be a temporary turnaround easement for the proposed cul-de-sac until the road is extended to the north. 30-1-113
11. Why is Manor Downs Court a street; isn't this really just a driveway for Lot 1? This doesn't match the TIA or the engineer's report. 30-1-113
12. Make sure these are standard preliminary plan notes (and note site plan - #3?) 30-1-113
Add a not that Travis County Development Permit is required prior to any construction.
Add the following plat notes for drainage easements:
 - a. No objects, including but not limited to, buildings, fences, or landscaping shall be allowed in a drainage easement except as approved by Travis County (and other appropriate jurisdiction).
 - b. Property owner and/or his/her assigns shall provide for access to the drainage easements as may be necessary and shall not prohibit access by Travis County (and other appropriate jurisdiction) for inspection or maintenance of said easements.
 - c. All drainage easements on private property shall be maintained by the owner and/or his/her assigns.

Add standard drainage note to plat as follows: "Drainage plans shall be submitted to Travis County and the City of Austin for review prior to site development. Rainfall run-off shall be held to the amount existing at undeveloped status by ponding or other approved methods."

13. Remove the **site plan** sticker and add the preliminary plan stickers for the City and the County. Please leave a 6" x 4" blank square for the Travis County approval sticker on each page of the preliminary plan (this is in addition to the City of Austin's requirement for the same 6" x 4" blank space). Contact this reviewer if you do not have the sticker format. 30-1-113
14. All subdivision applications in Travis County must be forwarded to the Travis County Fire Marshal's office rather than to the local ESD for review. The Fire Marshal's office will determine if the local ESD has review authority of subdivisions and site plans and, if so, will forward the plans to the local ESD for review and comments. Please contact (512) 854-4621 or (fire.marshal@traviscountytexas.gov) as soon as possible to prevent delay of approval. Written documentation that the Travis County Fire Marshal's office or local ESD has reviewed and approved of the subdivision is required prior to the application being approved. 30-1-113
15. This plat will require the review and approval of the Travis County On-Site Wastewater Program. This program is not a part of the Austin-Travis County Single Office for subdivision review. A separate application must be made at 700 Lavaca Street, 5th floor, Austin, Texas 78701. For specific application requirements, please call 512-854-6434 or e-mail Brandon.Couch@traviscountytexas.gov In compliance with Title 30 Texas Administrative Code Chapter 285.4 (c) (3), complete applications will be reviewed within 45 days. 30-2-198
16. Add the following note to the preliminary plan 25-1-83 or 30-1-113
Prior to the recording of any final plat of all or a portion of this preliminary plan, fiscal security shall be provided in accordance with LDC §25-1-112/LDC §30-1-132 of the Land Development Code for the following subdivision improvements:
 - (A) Street construction and related infrastructure, including paving, drainage, sidewalks, water supply and wastewater collection, for the following streets:...
 Fiscal security is not required for streets not listed in subsection (A).
 - (B) Environmental and safety controls, and other related items (e.g., erosion and sedimentation controls, restoration, channel work, pipe in easements, detention, water quality

ponds, etc.) as determined prior to final plat approval. The restoration cost estimate will be based on disturbed areas including the following streets: ...”

Travis Co. Transportation Review - Teresa Calkins - 512-854-7569

- TR 1. Provide approval of the Travis County Fire Marshal for this preliminary plan. 30-1-113
- TR 2. Show the boundary of the temporary roadway easement that contains the cul-de-sac at the north end of proposed Manor Downs Road. 30-1-113
- TR 3. Identify the street name for the public street along the southern boundary of this final plat. Identify the roadway classification for this street, the right of way width for this classification, and the distance from the street centerline (1/2 total ROW width) to which the right of way dedication will extend. 30-1-113
- TR 4. As the right of way that requires traffic control will be Travis County right of way, include a note indicating that a traffic control plan will be required to be provided within the subdivision construction plans. 30-1-113
- TR 5. The internal roadways are identified as industrial collectors, but the 60’ right of way would be appropriate for a local street designation. I believe the industrial collector right of way is significantly larger than 60’ and may be wider than 64.” Provide right of way widths that correspond to an industrial collector; recommend that we discuss this item. 30-1-113

Travis Co. Drainage Construction Review - Teresa Calkins - 512-854-7569

- DR 1. Identify and label on the Preliminary Plan the FEMA 1%, FEMA 0.2%, and ATLAS 14 Fully – Developed Conditions Floodplain. Provide the documentation or drainage analyses for each floodplain boundary.
- DR 2. Show on the Preliminary Plan the drainage easement that contains the greatest extents of the FEMA 0.2% and the ATLAS 14 Fully –Developed Conditions Floodplain.
- DR 3. Include Travis County drainage notes on the preliminary plan; I will be happy to forward a word copy for your use.

30-4-5 – Computation of Storm Runoff
30-4-31 – Single Office Authorized to Require Drainage Studies
30-4-33 – Floodplain Maps, Delineation, and Depiction

Site Plan Plumbing - Juan Beltran - 512-972-2095

NO SITE PLAN PLUMBING REVIEW REQUIRED

The proposed preliminary plan (C8J-2023-0081) is outside of the zoning jurisdiction of the City of Austin and will not receive water or wastewater service from Austin Water Utility, therefore the Austin Plumbing Code is not applicable per Chapter 25-1

End of Report

V:\070422 - Dallas Industrial\070422-01-001 (ENG) - Manor Downs\Engineering\Design Documents\Preliminary Plan\Exhibits\070422-01-001_CVR.dwg COVER SHEET - May 04, 2023, 9:45 AM, acartorzo

OWNER
DG MANOR DOWNS PROPERTY OWNER LP
17304 PRESTON ROAD, SUITE 550
DALLAS, TX 75262
855-608-5885
CONTACT: TYLER MCLEORY

ENGINEER:
BOWMAN CONSULTING GROUP, LTD.
1120 S. CAPITAL OF TEXAS HWY
BUILDING 3, SUITE 220
AUSTIN, TEXAS 78746
512-327-1180
CONTACT: NICHOLAS G. KEHL

SURVEYOR:
4WARD LAND SURVEYING
2201 WOODWARD STREET
AUSTIN, TEXAS 78744
512-537-2384

PROJECT ADDRESS:
8916 HILL LANE
MANOR, TX 78653

LEGAL DESCRIPTION:

TRACT 1: BEING ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND CONTAINING 10.656 ACRES, MORE OR LESS, SITUATED IN THE ROBERT G. SANDERS SURVEY NO. 51, ABSTRACT 732, TRAVIS COUNTY, TEXAS.

TRACT 2: BEING ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND CONTAINING 47.39 ACRES, MORE OR LESS, SITUATED IN THE ROBERT G. SANDERS SURVEY NO. 51, ABSTRACT 732, TRAVIS COUNTY, TEXAS, BEING COMPRISED OF A 44.33 ACRE TRACT CONVEYED TO MANOR DOWNS, L.P. RECORDED IN VOLUME 10838, PAGE 840 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS, AND A 3.06 ACRE TRACT CONVEYED TO MANOR DOWNS, RECORDED IN VOLUME 10884, PAGE 835 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.

TRACT 3: BEING ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND CONTAINING 6.96 ACRES, MORE OR LESS, SITUATED IN THE ROBERT G. SANDERS SURVEY NO. 51, ABSTRACT 732, AND THE JAMES GILLELAND SURVEY 41, ABSTRACT NO. 304, TRAVIS COUNTY, TEXAS.

TRACT 4: BEING ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND CONTAINING 22.378 ACRES, MORE OR LESS, SITUATED IN THE ROBERT G. SANDERS SURVEY NO. 51, ABSTRACT 732, AND THE JAMES GILLELAND SURVEY 41, ABSTRACT NO. 304, TRAVIS COUNTY, TEXAS.

TRACT 5: BEING ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND CONTAINING 44.952 ACRES, MORE OR LESS, SITUATED IN THE ROBERT G. SANDERS SURVEY NO. 51, ABSTRACT 732, TRAVIS COUNTY, TEXAS.

TRACT 6: BEING ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND CONTAINING 13.79 ACRES, MORE OR LESS, SITUATED IN THE ROBERT G. SANDERS SURVEY NO. 51, ABSTRACT 732, TRAVIS COUNTY, TEXAS.

TRACT 7: EASEMENT ESTATE CREATED BY THAT CERTAIN DEED DATED, DECEMBER 8, 1991, RECORDED IN VOLUME 11586, PAGE 852 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS, FOR THE BENEFIT OF THE ABOVE DESCRIBED TRACT 10, OVER AND ACROSS THAT 30 FOOT WIDE INGRESS AND EGRESS SITUATED IN THE ROBERT G. SANDERS SURVEY NO. 51, ABSTRACT 732, TRAVIS COUNTY, TEXAS.

FLOODPLAIN NOTE:

THIS PROPERTY IS LOCATED WITHIN ZONE 'X', AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON F.I.R.M. PANEL NO. 48453C 0480J, TRAVIS COUNTY, TEXAS DATED AUGUST 18, 2014.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

WATERSHED:

THE SITE IS WITHIN THE LIMITS OF THE GILLELAND CREEK WATERSHED, AND THE REGULATION DESIGNATION IS SUBURBAN WATERSHED IN THE ETJ.

ZONING:

NO ESTABLISHED ZONING FOR THIS SITE. PROJECT IS WITHIN THE 2-MILE ETJ.

LAND USE SUMMARY:

GROSS ACREAGE: 146.94 ACRES
LIMITS OF CONSTRUCTION: 10.29 ACRES
MAXIMUM ALLOWABLE IMPERVIOUS COVER: 65% FOR COMMERCIAL USE
NEW PROPOSED IMPERVIOUS COVER: 3.04 ACRES

BENCHMARK LIST:

TBM #1: COTTON SPINDLE WITH WASHER IN ASPHALT ON THE SOUTH SIDE OF HILL LANE, ±59' SOUTHEAST OF POWER POLE. ELEVATION = 539.32'.

TBM #2: COTTON SPINDLE WITH WASHER ON CONCRETE DRAINAGE STRUCTURE ON THE SOUTH SIDE OF AN HILL LANE, ±114' SOUTHEAST OF POWER POLE. ELEVATION = 527.46'.

NOTES:

- RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.
- THE PLAN IS COMPLETE, ACCURATE AND IN COMPLIANCE WITH CHAPTER 30-5 SUBCHAPTER A OF THE LAND DEVELOPMENT CODE.
- BY THE ACT OF SUBMITTING A BID FOR THE PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS AND SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS AND MATERIAL SUPPLIERS KNOWLEDGE, ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.
- EXISTING CONDITIONS SURVEY WAS PREPARED BY 4WARD LAND SURVEYING ON APRIL 23, 2021.
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION ONLY AND MAY NOT MATCH LOCATIONS AS CONSTRUCTED (THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, ONLY THE VISIBLE ABOVE GROUND UTILITY STRUCTURES). THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY, FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF UTILITY CROSSING PRIOR TO BEGINNING OF CONSTRUCTION.
- THE SIZE AND LOCATION OF UTILITY STRUCTURES, (IF SHOWN), MAY BE EXAGGERATED FOR GRAPHICAL CLARITY.
- ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. (OSHA STANDARDS MAY BE PURCHASED FROM THE GOVERNMENT PRINTING OFFICE; INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, 611 EAST 6TH STREET, AUSTIN, TEXAS).
- PURSUANT TO 15-12-131 OF CITY CODE, THE CONTRACTOR MAY NOT BLOCK, DIRECT, IMPEDE, OR REROUTE PEDESTRIAN AND VEHICULAR TRAFFIC, NOR PLACE A BARRICADE OR OTHER TRAFFIC DEVICE IN A RIGHT-OF-WAY, WITHOUT FIRST OBTAINING A TEMPORARY USE OF RIGHT-OF-WAY PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION.
- CONTRACTOR SHALL RESTORE ALL SIGNS AND PAVEMENT MARKINGS TO EXISTING CONDITIONS FOLLOWING THE COMPLETION OF EACH PHASE OF CONSTRUCTION. CONTRACTORS SHALL REFER TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) FOR SIGN AND MARKING DIMENSIONS AND COLORS.
- APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN/TCESD12 INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY. TCESD12 IS THE AUTHORITY HAVING JURISDICTION (AHJ) FOR FIRE AND SAFETY ISSUES AND WILL BE DOING INSPECTIONS.
- ALL CONSTRUCTION HEREIN SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF AUSTIN, TRAVIS COUNTY, AND/OR TCESD12 STANDARD SPECIFICATIONS. UNLESS OTHERWISE NOTED, TCESD12 IS THE AUTHORITY HAVING JURISDICTION (AHJ) FOR FIRE AND SAFETY ISSUES AND WILL BE DOING INSPECTIONS. NO SEPARATE SPECIFICATIONS WILL BE PROVIDED BY BOWMAN CONSULTING GROUP.
- THE DISTURBED AREAS WITHIN THIS PROJECT SHALL BE RE-VEGETATED AND ALL PERMANENT EROSION/SEDIMENTATION CONTROLS COMPLETED PRIOR TO THE RELEASE OF FISCAL SURETY FOR THAT PHASE. 30-5-182(B) TEMPORARY EROSION/SEDIMENTATION CONTROLS SHALL BE ADJUSTED AS NEEDED PRIOR TO THIS RELEASE TO ENSURE THE SUBSEQUENT PHASE DISTURBED AREAS ARE ADEQUATELY COVERED. ANY AREA WITHIN THE LIMIT OF DISTURBANCE OF THE PROJECT WHICH IS NOT ADEQUATELY RE-VEGETATED SHALL BE BROUGHT INTO COMPLIANCE PRIOR TO THE RELEASE OF THE FINAL PHASE. [LDC 30-5-184(B)(2)]
- PRIVATE FIRE HYDRANTS ARE PROPOSED WITH THIS SITE PLAN PER CITY OF MANOR/TCESD12.
- IF AT ANY TIME DURING CONSTRUCTION OF THIS PROJECT AN UNDERGROUND STORAGE TANK (UST) IS FOUND, CONSTRUCTION IN THAT AREA MUST STOP UNTIL A CITY OF AUSTIN UST CONSTRUCTION PERMIT IS APPLIED FOR AND APPROVED. ANY UST REMOVAL WORK MUST BE CONDUCTED BY A UST CONTRACTOR THAT IS REGISTERED WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ). CONTACT ELIZABETH SIMMONS AT ELIZABETH.SIMMONS@AUSTINTEXAS.GOV IF YOU HAVE ANY QUESTIONS. [COA TITLE 6]
- STORM WATER, DETENTION AND WATER QUALITY PONDS ARE TO BE PRIVATELY MAINTAINED.
- AN ADMINISTRATIVE ENVIRONMENTAL VARIANCE WILL BE REQUESTED IN ACCORDANCE WITH LDC 30-8-42.(B)(6), TO ALLOW CUT & FILL IN EXCESS OF FOUR FEET IN DEPTH, BUT NOT TO EXCEED EIGHT FEET IN DEPTH.
- THE BEST AVAILABLE DATA WAS USED TO DELINEATE THE COA FLOODPLAIN.
- ALL ACTIVITIES WITHIN THE CEF AND CEF SETBACK MUST COMPLY WITH THE CITY OF AUSTIN CODE AND CRITERIA. THE NATURAL VEGETATIVE COVER MUST BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE. CONSTRUCTION IS PROHIBITED, AND WASTEWATER DISPOSAL OR IRRIGATION IS PROHIBITED.
- THE ENGINEER WHO PREPARED THESE PLANS IS RESPONSIBLE FOR THEIR ADEQUACY. IN APPROVING THESE PLANS, TRAVIS COUNTY MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- A SEPARATE BUILDING PERMIT WILL BE REQUIRED FOR ALL RETAINING WALLS 4 FT HIGH FROM TOP OF THE WALL TO BOTTOM FOOTING.
- NO LOT SHALL BE OCCUPIED UNTIL CONNECTED TO THE MANVILLE WSC WATER UTILITY SYSTEM AND AN ON-SITE SEWAGE FACILITY APPROVED BY TRAVIS COUNTY.

TRAFFIC CONTROL PLAN NOTE

THIS NOTE IS BEING PLACED ON THE PLAN SET IN PLACE OF A TEMPORARY TRAFFIC CONTROL STRATEGY WITH THE FULL UNDERSTANDING THAT, AT A MINIMUM OF 6 WEEKS PRIOR TO THE START OF CONSTRUCTION, A TEMPORARY TRAFFIC CONTROL PLAN MUST BE REVIEWED AND APPROVED BY THE RIGHT OF WAY MANAGEMENT DIVISION. THE OWNER/ REPRESENTATIVE FURTHER RECOGNIZES THAT A REVIEW FEE, AS PRESCRIBED BY THE MOST CURRENT VERSION OF THE CITY'S FEE ORDINANCE, SHALL BE PAID EACH TIME A PLAN OR PLAN REVISION IS SUBMITTED TO RIGHT OF WAY MANAGEMENT DIVISION FOR REVIEW. THE FOLLOWING MUST BE TAKEN INTO CONSIDERATION WHEN DEVELOPING FUTURE TRAFFIC CONTROL STRATEGIES:

- PEDESTRIAN AND BICYCLE TRAFFIC ACCESS MUST BE MAINTAINED AT ALL TIMES, UNLESS OTHERWISE AUTHORIZED BY RIGHT OF WAY MANAGEMENT.
- NO LONG-TERM LANE CLOSURES WILL BE AUTHORIZED, UNLESS RIGHT OF WAY MANAGEMENT DETERMINES THAT ADEQUATE ACCOMMODATIONS HAVE BEEN MADE TO MINIMIZE TRAFFIC IMPACT.
- PROJECT SHOULD BE PHASED SO THAT UTILITY INSTALLATION MINIMALLY IMPACTS EXISTING OR TEMPORARY PEDESTRIAN FACILITIES.

PRE-CONSTRUCTION NOTES

PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING ENSURE THAT ALL REQUIRED NOTICES AND PERMITS ARE POSTED AND THE CERTIFIED INSPECTOR FOR YOUR SITE HAS UPLOADED A SWP3 INSPECTION REPORT TO YOUR ACCOUNT THAT CONFIRMS THAT THE FIRST PHASE OF TEMPORARY ESC HAVE BEEN INSTALLED PER PLANS AND SPECIFICATIONS.

ALONG WITH THE CITY OF AUSTIN, SCHEDULE YOUR PROJECTS PRE-CONSTRUCTION MEETING THROUGH THE MYPERMITNOW.ORG ACCOUNT AFTER THE INITIAL 3RD PARTY SWP3 INSPECTION REPORT HAS BEEN UPLOADED AND ALL PERMITS AND NOTICES HAVE BEEN POSTED, THEN FOLLOW UP WITH AN EMAIL TO THE TRAVIS COUNTY DEVELOPMENT SERVICES ENGINEERING INSPECTOR, LUCIOUS HENDERSON, AT LUCIOUS.HENDERSON@TRAVISCOUNTYTX.GOV

AQUIFER NOTE

THE SUBJECT TRACT IS NOT LOCATED ON ANY AREA OF THE EDWARDS AQUIFER INCLUDING THE RECHARGE ZONE.

ADDITIONAL NOTES

IF AT ANY TIME DURING CONSTRUCTION OF THIS PROJECT AN UNDERGROUND STORAGE TANK (UST) IS FOUND, CONSTRUCTION IN THAT AREA MUST STOP UNTIL A CITY OF AUSTIN UST CONSTRUCTION PERMIT IS APPLIED FOR AND APPROVED. ANY UST REMOVAL WORK MUST BE CONDUCTED BY A UST CONTRACTOR THAT IS REGISTERED WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ). CONTACT ELIZABETH SIMMONS AT ELIZABETH.SIMMONS@AUSTINTEXAS.GOV IF YOU HAVE ANY QUESTIONS. [COA TITLE 6]

RECORDED EASEMENTS IMPACTING SITE:

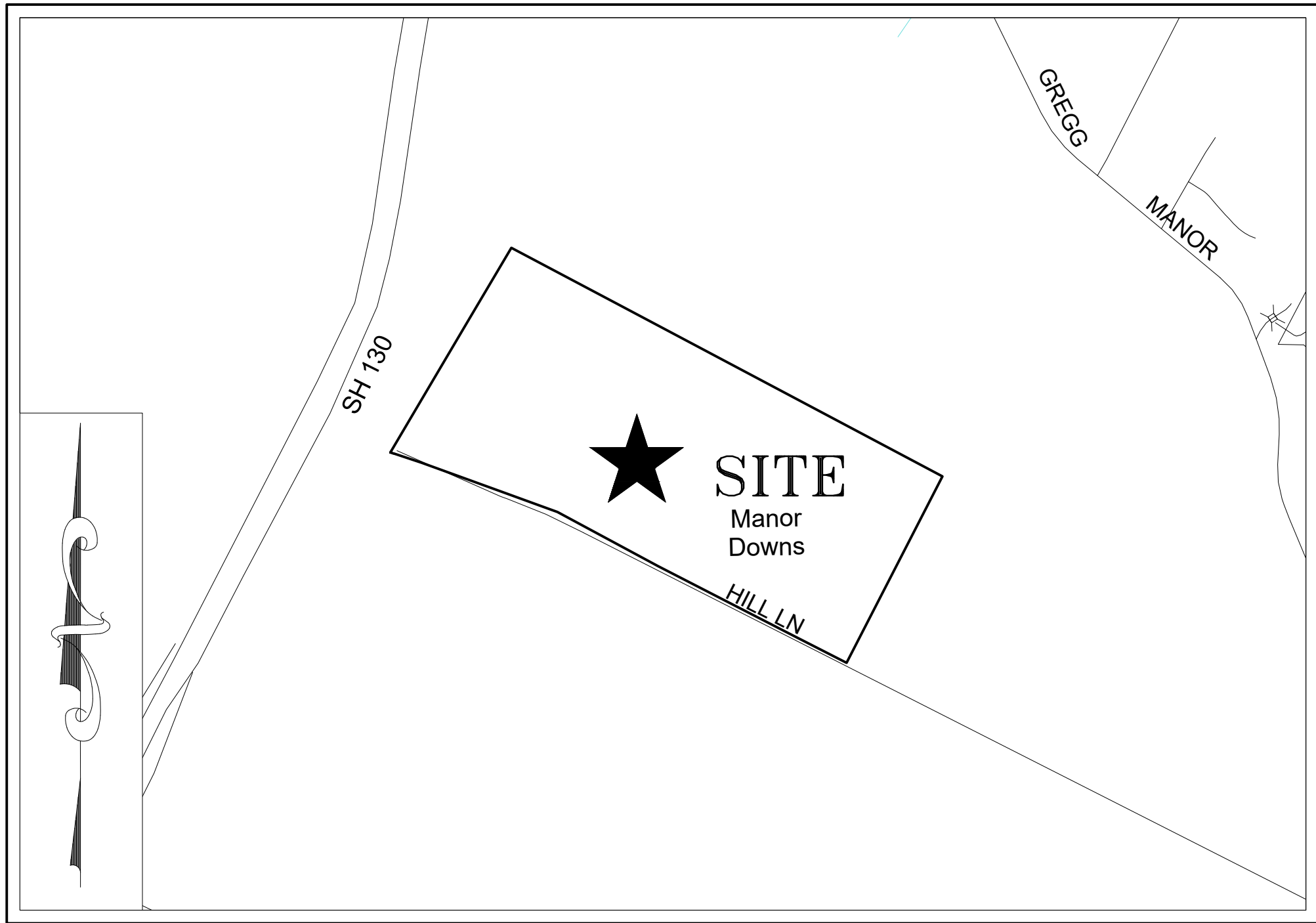
- 30' METER R.O.W. EASEMENT DOC. #2014105996 VOL.11586, PG. 852
- PIPELINE AND APPURTENANCES EASEMENT VOL. 3617, PG. 1903
- 15' RIGHT OF WAY EASEMENT VOL. 4823, PG. 1881
- 20' PIPELINE EASEMENT VOL. 3617, PG. 1932
- PIPELINE AND APPURTENANCES EASEMENT DOC#2011042154
- PIPELINE AND APPURTENANCES EASEMENT DOC#2011147986
- APPROXIMATE LOCATION OF PIPELINE AND APPURTENANCES EASEMENT VOL. 2932, PG. 593 & VOL. 3627, PG. 953
- 10 (W) DRAINAGE EASEMENT DOC. #2004163233
- 10 (U) DRAINAGE EASEMENT DOC. #2000100887
- 10 (R) APPROXIMATE LOCATION OF ELECTRIC EASEMENT VOL. 11345, PG. 87

RELATED CASES

- SP-2021-0293D

TNR PERMIT NUMBER:

21-35916



VICINITY MAP

SCALE: 1" = 2000'

MAPSCO PAGE: 528D, 528H, 529A, 529B, 529E, 529F

LOCATION MAP
NTS

LOCATED IN GRID: P30, S30



SUBMITTED BY:

Kelvin B. O'Bryant
KELVIN O'BRYANT, P.E.

05/05/2023

DATE

R E V I S I O N S / C O R R E C T I O N S

NUMBER	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	TOTAL # SHEETS IN PLAN SET	NET CHANGE IMPERVIOUS COVER (SQ. FT.)	TOTAL IMPERVIOUS COVER (SQ. FT.)-%	CITY OF AUSTIN APPROVAL DATE	TRAVIS COUNTY APPROVAL DATE	DATE IMAGED

Bowman

TBPE Firm Registration No. F-14309

Sheet Index

Sheet Number	Sheet Title
1	Cover Sheet
2	Preliminary Subdivision Plan

TOTAL AREA SUMMARY		
TYPE	QTY	ACRES
BUILDABLE LOTS	3	140.15
RIGHT OF WAY		4.64
		144.7900

LOT SUMMARY TABLE				
LOT NO.	ACRES	SQUARE FEET	IMPERVIOUS COVER PERCENTAGE	IMPERVIOUS COVER AREA SQ.FT.
LOT 1	52.79	2299532.4	65%	1494696.06
LOT 2	49.57	2159269.2	65%	1403524.98
LOT 3	37.79	1646132.4	65%	1069986.06
ROW	4.64	202118.4		



THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

PRELIMINARY PLAN APPROVAL	SHEET 1 OF 2
FILE NUMBER: C8-2023-XXXXXX	APPLICATION DATE: 11/31/2023
APPROVED ON _____	UNDER SECTION _____ OF
CHAPTER _____ OF THE CITY OF AUSTIN CODE	
EXPIRATION DATE (LDC 26-5-81)	CASE MANAGER: C.BARTON-HOLMES
PROJECT EXPIRATION DATE (ORD.#970905-A)	DWP2: _____ DD2: _____

DIRECTION, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE _____ ZONING ETJ _____

REVISION 1 _____ CORRECTION 1 _____

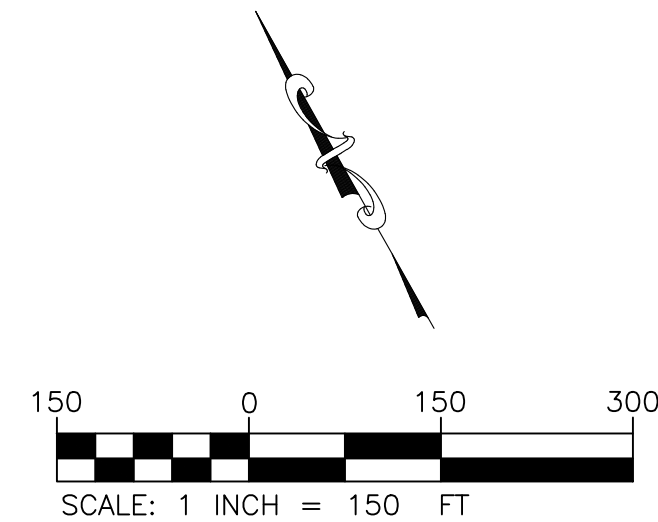
REVISION 2 _____ CORRECTION 2 _____

REVISION 3 _____ CORRECTION 3 _____

FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE. IF APPLICABLE, SUBSEQUENT SITE PLANS DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED) MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

C8-2023-XXXXXX

1 OF 2



Typical ADT Range, 1750-18250
Design speed, 45 mph
Typical Spacing Between Intersections, 1000'
Minimum Centerline Radius, See Page 1-8
Minimum Tangent Length Between Horizontal Curves, 150'
Minimum Curb Basis, 13.5'

TYPICAL CROSS-SECTION

The diagram illustrates a typical cross-section of a road with a design speed of 45 mph. The road is divided into two main travel directions by a centerline. On the left side, there is a 15.5' minimum offset from the centerline to the curb, followed by a 15' travel lane, and another 15.5' minimum offset to the curb. On the right side, there is a 15' travel lane and a 15.5' minimum offset to the curb. The total width of the travel lanes is 30' (15' + 15'). The total width of the road, including the offsets, is 60' (30' + 30'). The diagram also shows a 30' LCB-LQ (Left Curb Basis to Left of Quarter) and a 32' FOC-FOC (Focus of Curvature to Focus of Curvature) dimension. The road is flanked by trees and a sidewalk on both sides. A car is shown driving on the left side of the road, and a truck is shown driving on the right side. The design speed is indicated as 45 mph.

Source: City of Austin Department of Public Works and Transportation

below.

you dig,

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

PROPERTY LINE
 CRITICAL WATER QUALITY ZONE
 EROSION HAZARD ZONE
 CREEK CENTER LINE
 PROPOSED R.O.W.
 PROPOSED EASMENT
 PROPOSED CURB & GUTTER
 EXISTING GAS LINE
 EXISTING 100YR FP
 EXISTING EASMENT
 WETLAND
 BUFFER FREEZE

DESIGN KO	DRAWN AC	CHKD CW
JOB No. 0700422-01-00		
SHEET		
02	OF	02

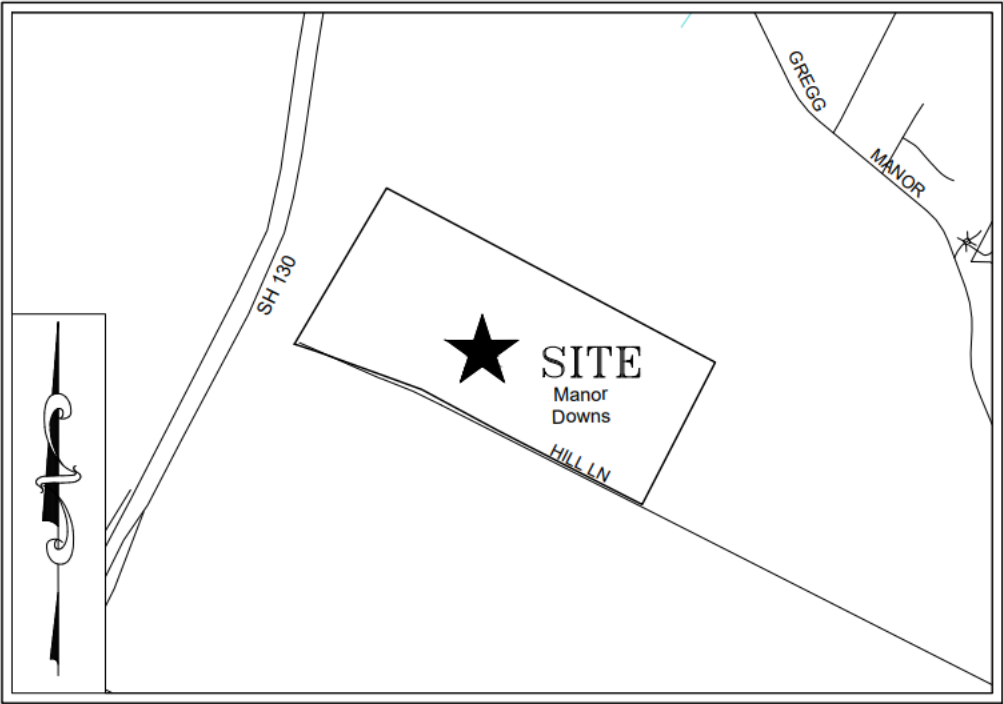
1120 S. Capital of Texas Hwy
Bldg 3, Suite 220
Austin, Texas 78746
Phone: (512) 327-1180
Fax: (512) 327-4062
www.bowman.com

MANOR DOWNS INDUSTRIAL PARK

PRELIMINARY PLAN LOCATION MAP

SUBMITTAL DATE: APRIL 10, 2023

ER:



VICINITY MAP