



PROJECT NAME: 900 W NORTH LOOP
BOA CASE # C15-2023-0028

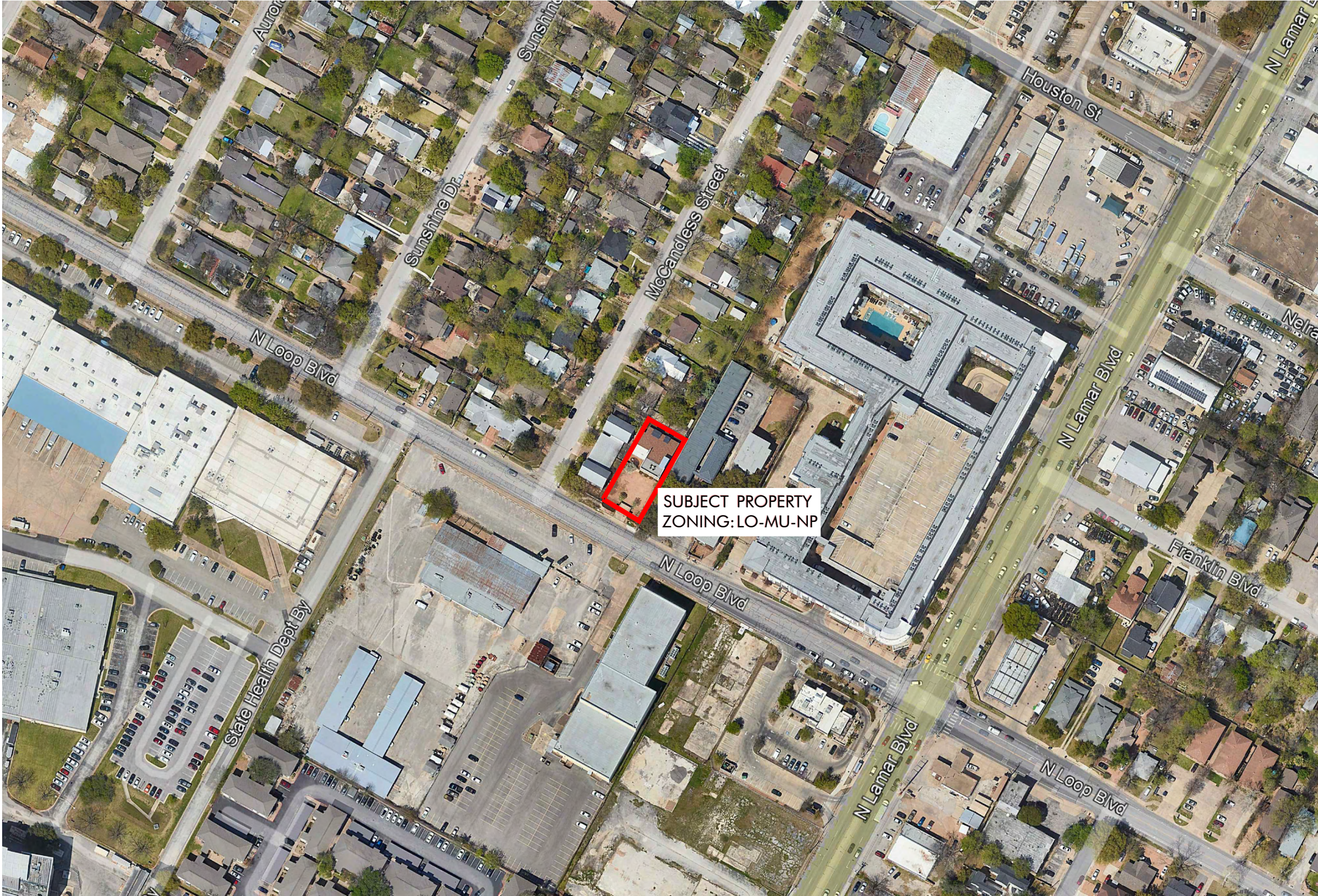
Project Address: 900 West North Loop Boulevard

Property Owner: Terry Eaton and Robert Williams

Applicant/Agent: Land Strategies Inc., Jasper Lauritz Siltala

WE ARE REQUESTING A VARIANCE FROM:

- * LDC, Article 10; §25-2-1067 (H) to reduce the setback from 9 feet to 5 feet for parking on a site that is 64 feet in width/street frontage.
- * LDC, Article 10; §25-2-1062 (C) to reduce the side setback from 17.5 feet to 5 feet on the west property line, and to reduce the rear building setback from 17.5 to 11 on the north property line for the existing and proposed improvements on a site that is 64 feet in width/street frontage.



NOT TO SCALE

— SUBJECT PROPERTY





NOT TO SCALE

— SUBJECT PROPERTY

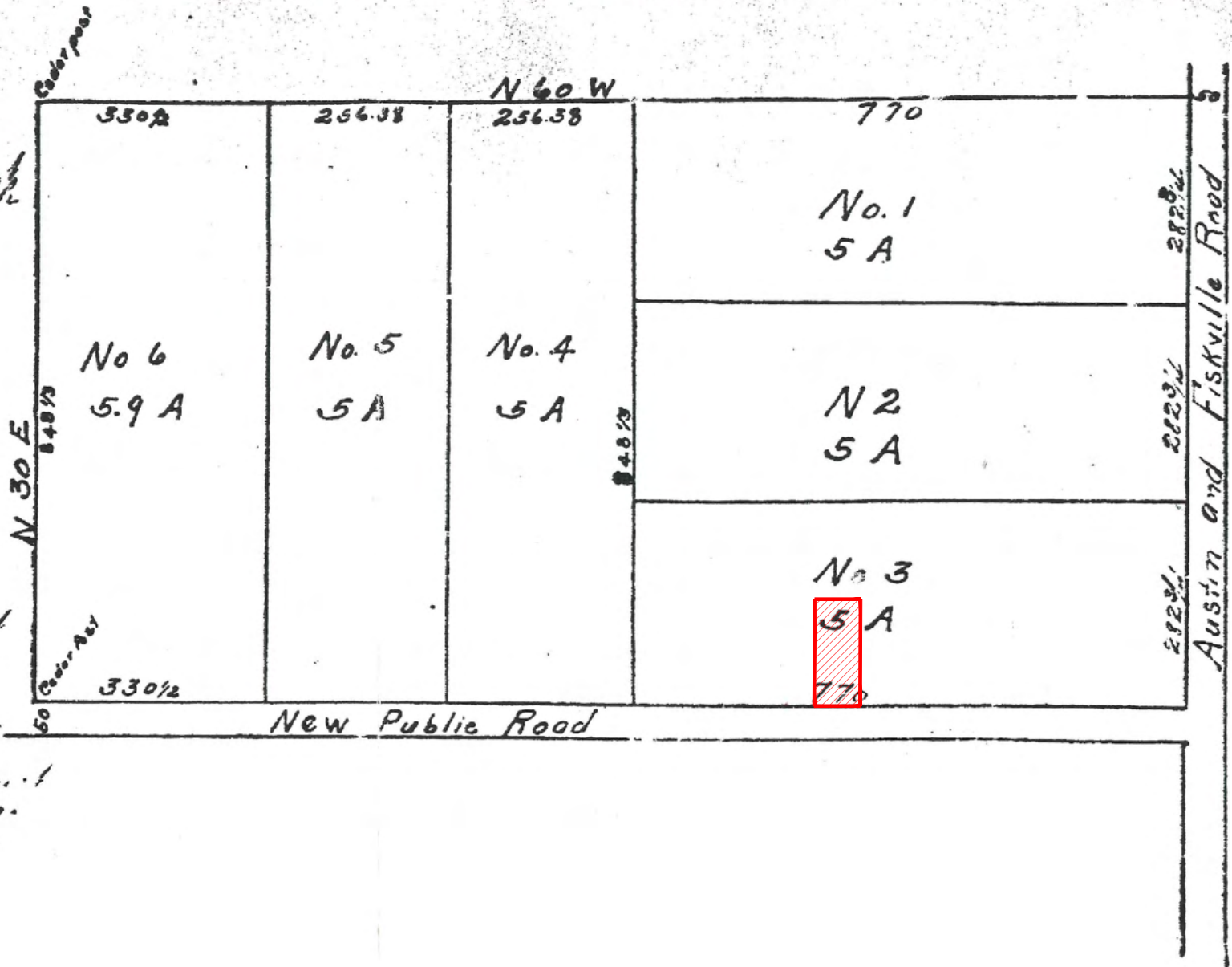


3/52

SKYLAND
A Subdivision of a 162 1/2 acre tract out of the
G.W. Spear League, sold to F.T. Ramsey by J.H. Bell
as shown by deed, recorded in Vol. 212 pages 23 and 24
deed records of Travis Co.

I, J.H. Bell do hereby certify that
the survey was made by me, and that
the limits boundaries and extent of the
same are true and correct, and
are truly depicted on the above and
inclosing map, and field notes kept
by me and filed in the public
office of the County Clerk of Travis Co.
Texas, Dec. 26, 1916.

The State of Texas } Before me, the
County of Travis } undersigned authority within and
for Travis County, Texas, and his
has personally appeared J.H. Bell
and to me he has presented a
document and acknowledged to me that
he executed the same for the purposes
expressed therein, and he has
been duly sworn and subscribed
to the 27 day of December, 1916.
Witness my hand and seal of office
at Austin, Texas, this 27th day of
December, 1916, at 2:30 P.M.
Recorded Dec. 27, 1916 at 2:30 P.M.



City of Austin
Watershed Protections & Development Review
LAND STATUS DETERMINATION
1987 RULE PLATTING EXCEPTION

12/01/2006

File Number: C8I-05-0534
Address: 900 W NORTH LOOP BLVD
Tax Parcel ID: 0226070510 Map Date: 09/17/2003

The Watershed Protections & Development Review has determined that this
parcel, as described in the attached description and map, **IS EXCEPTED**
FROM THE REQUIREMENT TO PLAT in accordance with the Land Development
Code, Section 25-4-2(C), and is eligible to receive utility service.

The parcel of land consists of five acres or less, and is
described as being 64 feet by 148 feet of Lot 3, Skyland
subdivision in the current deed, recorded on 10/17/2006, in
Document #2006202905, Travis County Deed Records. This
parcel existed in its current configuration on August 31,
1987, as evidenced by a deed recorded on 10/31/1986, in
volume 9954, Page 840, Travis County Deed Records. The
parcel was lawfully receiving utility service, as defined
in section 212.012 of the Texas Local Government Code, on
August 31, 1987, as evidenced by water service on
12/16/1957. The parcel meets the requirements of the Land
Development code for roadway frontage and is located on an
existing street.

Additional Notes/Conditions:
NONE

This determination of the status of the property is based on the
application of Chapter 212, Municipal Regulation of Subdivisions and
Property Development, Texas Local Government Code; and the City of
Austin Land Development Code, Chapter 25-4, Subdivision. Recognition
hereby does not imply approval of any other portion of the City Code or
any other regulation.

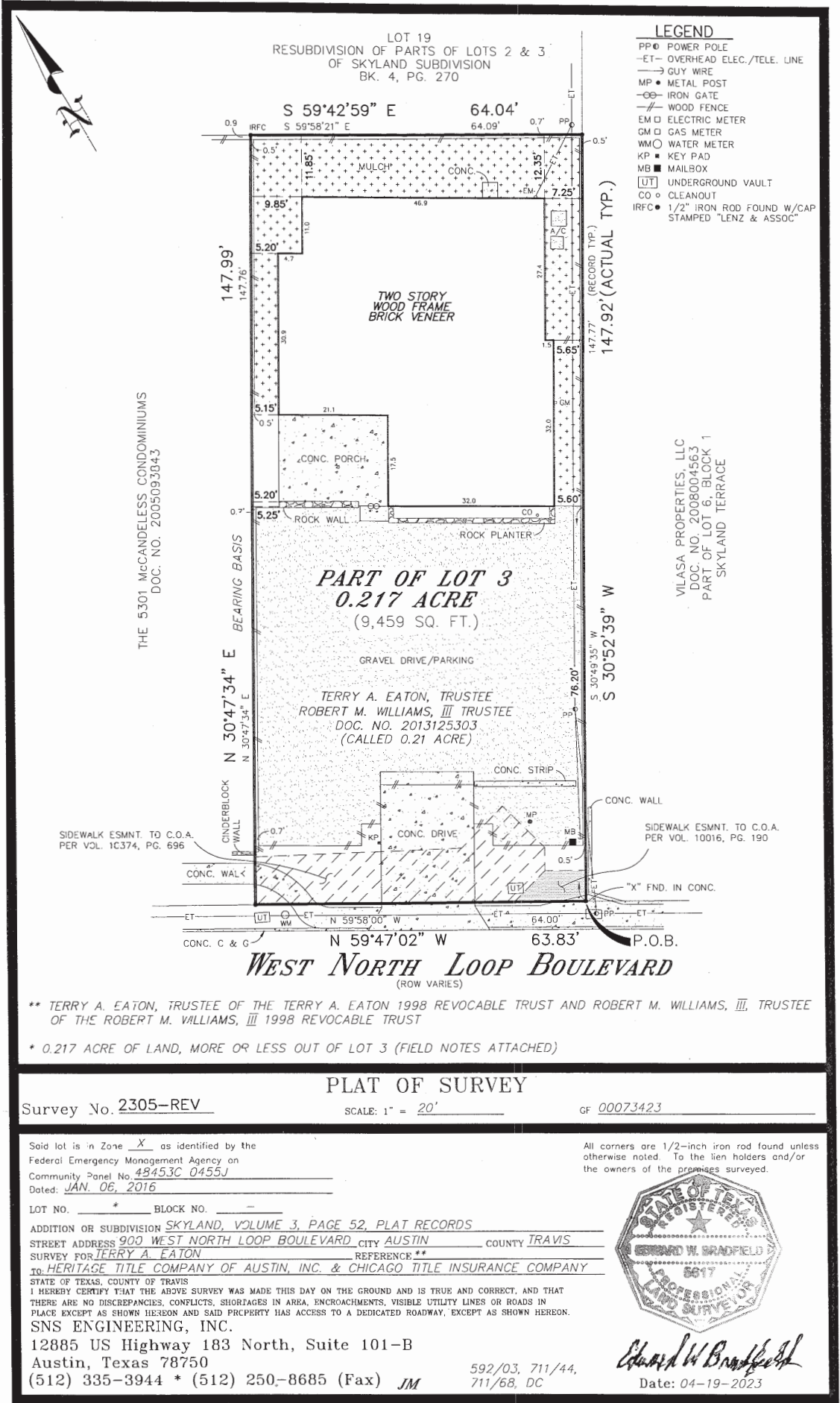
By: *Sara Groves*
SARA GROVES
Director (or representative)
Watershed Protections & Development Review



SCALE: 1" = 200'

----- SUBJECT PROPERTY





SITE PLAN REVIEW STATUS:

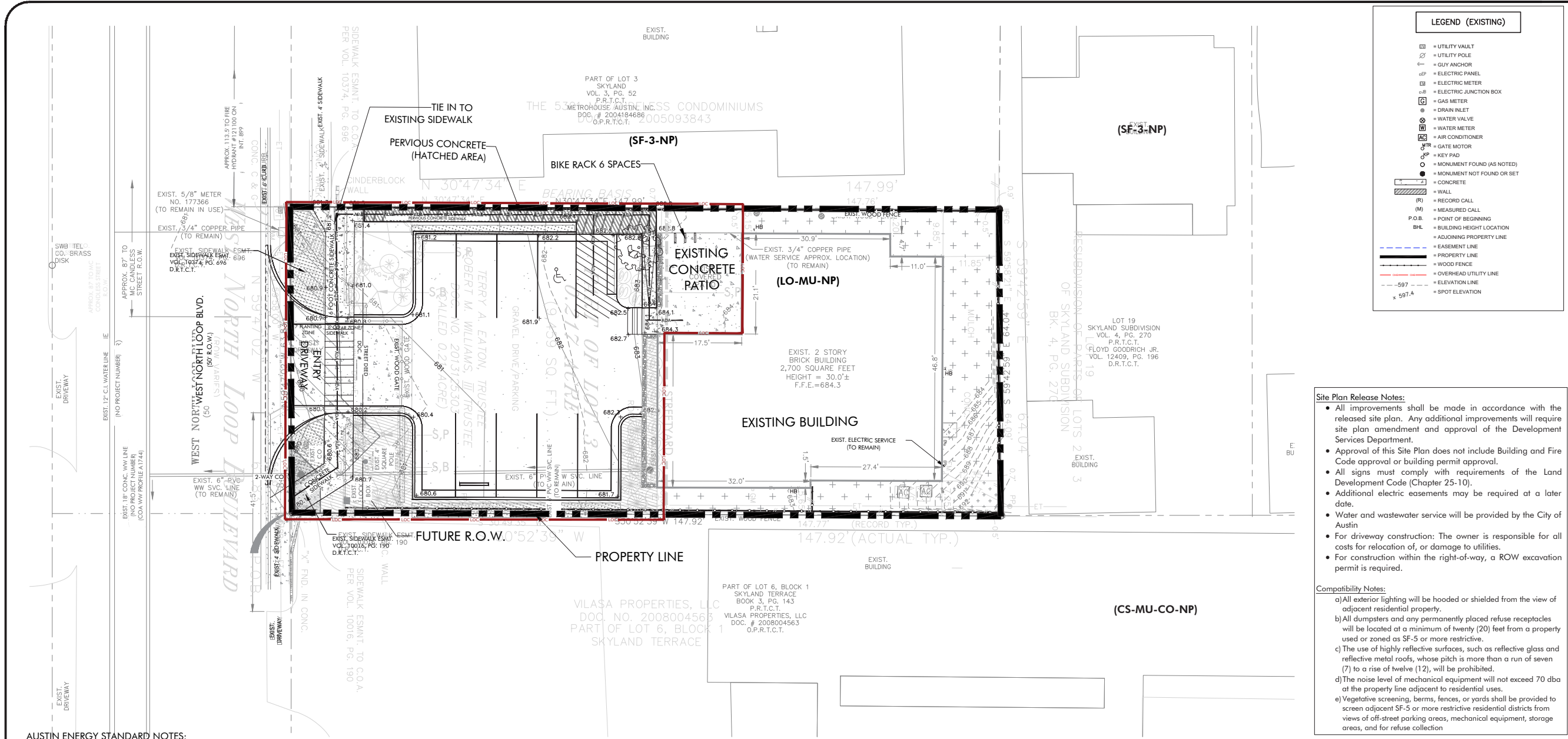
- * A site plan is currently in review for the subject property to pave existing parking area, add the required sidewalk and landscape improvements in accordance with commercial site standards.
- * No changes are proposed to the existing structure through the site plan currently in review.

RIGHT-OF-WAY DEDICATION:

- * As part of the site plan approval, 40 feet of lot frontage will be dedicated to the City through a street deed in accordance with the Austin Strategic Mobility Plan.

WHY WE NEED A VARIANCE:

- * The single-family residential compatibility setback prohibits the placement of required parking, ADA parking, and ADA sidewalk.
- * Existing lot size and Austin Energy Infrastructure to the east restricts to propose these improvements elsewhere on site.
- * The variances are necessary to obtain approval of the site plan required to provide paved parking, ADA sidewalks, and site improvements required by the City.



AUSTIN ENERGY STANDARD NOTES:

- 1. Austin Energy has the right to prune and/or remove trees, shrubbery and other obstructions to the extent necessary to keep the easements clear. Austin Energy will perform all tree work in
- 2. compliance with Chapter 25-8, Subchapter B of the City of Austin Land Development Code.
- 3. The owner/developer of this subdivision/lot shall provide Austin Energy with any easement and/or access required, in addition to those indicated, for the installation and ongoing maintenance of overhead and underground electric facilities. These easements and/or access are required to provide electric service to the building and will not be located so as to cause the site to be out of compliance with Chapter 25-8 of the City of Austin Land Development Code.
- 4. The owner shall be responsible for installation of temporary erosion control, revegetation and tree protection. In addition, the owner shall be responsible for any initial tree pruning and tree removal that is within ten feet of the center line of the proposed overhead electrical facilities designed to provide electric service to this project. The owner shall include Austin Energy's work within the limits of construction for this project.
- 5. The owner of the property is responsible for maintaining clearances required by the National
- 6. Electric Safety Code, Occupational Safety and Health Administration (OSHA) regulations, City of Austin rules and regulations and Texas state laws pertaining to clearances when working in close proximity to overhead power lines and equipment. Austin Energy will not render electric service unless required clearances are maintained. All costs incurred because of failure to comply with the required clearances will be charged to the owner.

- NOTES:
- 1. EXISTING BUILDING TO REMAIN.
 - 2. THERE ARE NO SLOPES GREATER THAN 15% WITHIN THE LIMIT OF CONSTRUCTION.

BUILDING INFORMATION (EXISTING)	
Total Floor Area	3,540.0 s.f.
Building Use	Administrative and Business Offices
Building height	30 ft (2 story)
Foundation Type	Slab on grade
F.F.E.	684.3

PARKING TABLE					
USE	REQUIRED	PROVIDED			
		STANDARD	COMPACT	HANDICAP	TOTAL
3,540 S.F. ADMIN & BUSINESS OFFICE @ 1 SP/275 S.F.*	13	8	0	1 (1 VAN)	9
BICYCLE	5	6	0	0	6

*25-6-478(A)(2) allows a 20% reduction in the Urban Core
**25-6-478(D)(1) allows a 10% reduction for men/women shower and changing facilities

SITE DATA TABLE							
Total Site Area		0.217 ac.	9,452.5 s.f.				
Limit of Construction Area		5,663.0 s.f.					
Zoning	Minimum Site Area	Site Area	Impervious Cover	Building Coverage	Maximum Building Coverage	Floor-to-Area Ratio	Maximum Floor-to-Area Ratio
LO-MU-NP	5,750.0 s.f.	9,452.5 s.f.	69.9% (70% allowed)	N/A (building exists)	N/A (building exists)	N/A	N/A
			6,607.3 s.f.				

Site Plan Release Notes:

- All improvements shall be made in accordance with the released site plan. Any additional improvements will require site plan amendment and approval of the Development Services Department.
- Approval of this Site Plan does not include Building and Fire Code approval or building permit approval.
- All signs must comply with requirements of the Land Development Code (Chapter 25-10).
- Additional electric easements may be required at a later date.
- Water and wastewater service will be provided by the City of Austin
- For driveway construction: The owner is responsible for all costs for relocation of, or damage to utilities.
- For construction within the right-of-way, a ROW excavation permit is required.

Compatibility Notes:

- a) All exterior lighting will be hooded or shielded from the view of adjacent residential property.
- b) All dumpsters and any permanently placed refuse receptacles will be located at a minimum of twenty (20) feet from a property used or zoned as SF-5 or more restrictive.
- c) The use of highly reflective surfaces, such as reflective glass and reflective metal roofs, whose pitch is more than a run of seven (7) to a rise of twelve (12), will be prohibited.
- d) The noise level of mechanical equipment will not exceed 70 dba at the property line adjacent to residential uses.
- e) Vegetative screening, berms, fences, or yards shall be provided to screen adjacent SF-5 or more restrictive residential districts from views of off-street parking areas, mechanical equipment, storage areas, and for refuse collection



Jamison Civil Engineering LLC
TBPE #F-17756
13812 Research Blvd. #B-2
Austin, Texas 78750
Office: (737) 484-0880

LIGHTING:
All exterior lighting will be full cut-off and fully shielded in compliance with Subchapter E 2.5 and will be reviewed during building plan review. Any change or substitution of lamp/light fixtures shall be submitted to the Director for approval in accordance with Section 2.5.2.E.

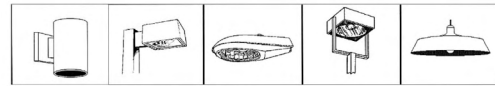


Figure 34:
Examples of fully-shielded light fixtures.



10 5 0 10 20 30
SCALE: 1" = 10'

LAND STRATEGIES INC.

1983 - 2023
40
YEARS OF EXCELLENCE

1411 W. 5TH ST.
SUITE 100
AUSTIN, TX 78703
PH: (512) 328-6050
FAX: (512) 328-6172
EMAIL: LS@LSAustin.COM

NOTES:

1.

900 N W LOOP

REVISIONS

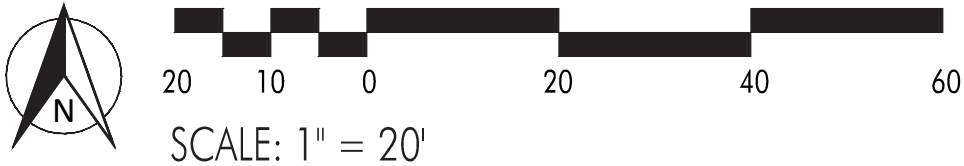
NO.	DESCRIPTION	DATE
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SET ISSUED
05.13.2022

DRAWN BY
OD, DR

SHEET NAME
SITE PLAN

SHEET
6
OF
17



HARDSHIP IS UNIQUE TO THE SUBJECT PROPERTY:

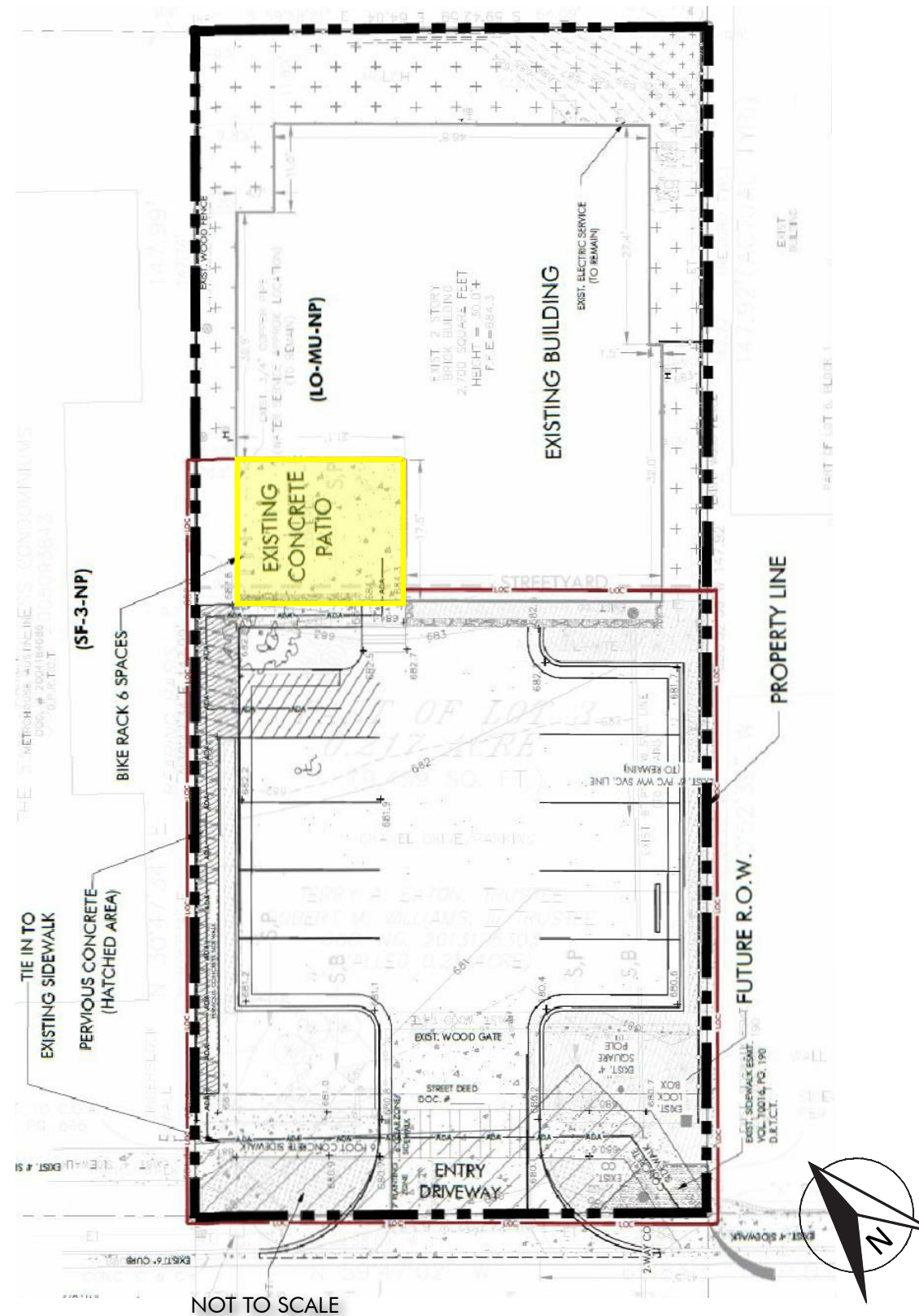
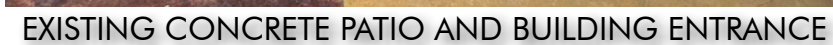
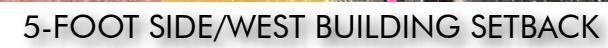
- * Due to the lot size/width, configuration of existing structures and associated infrastructure required parking, sidewalk, and landscape improvements cannot be placed elsewhere on the site in strict compliance with the single-family residential compatibility setbacks.
- * Other lots within the Skyland subdivision are larger and allow strict compliance with compatibility setbacks.

VARIANCE IS THE BARE MINIMUM NEEDED TO CORRECT THE PROBLEM:

- * The owner seeks to use the existing building and associated infrastructure as an office building to serve neighborhood or community needs in accordance with the commercial (LO-MU) zoning and future land use designation of the property, Limited Office.
- * The variances are necessary to obtain approval of the site plan required to provide paved parking, ADA sidewalks, and site improvements required by the City.

CONTEXTUAL COMPATIBILITY:

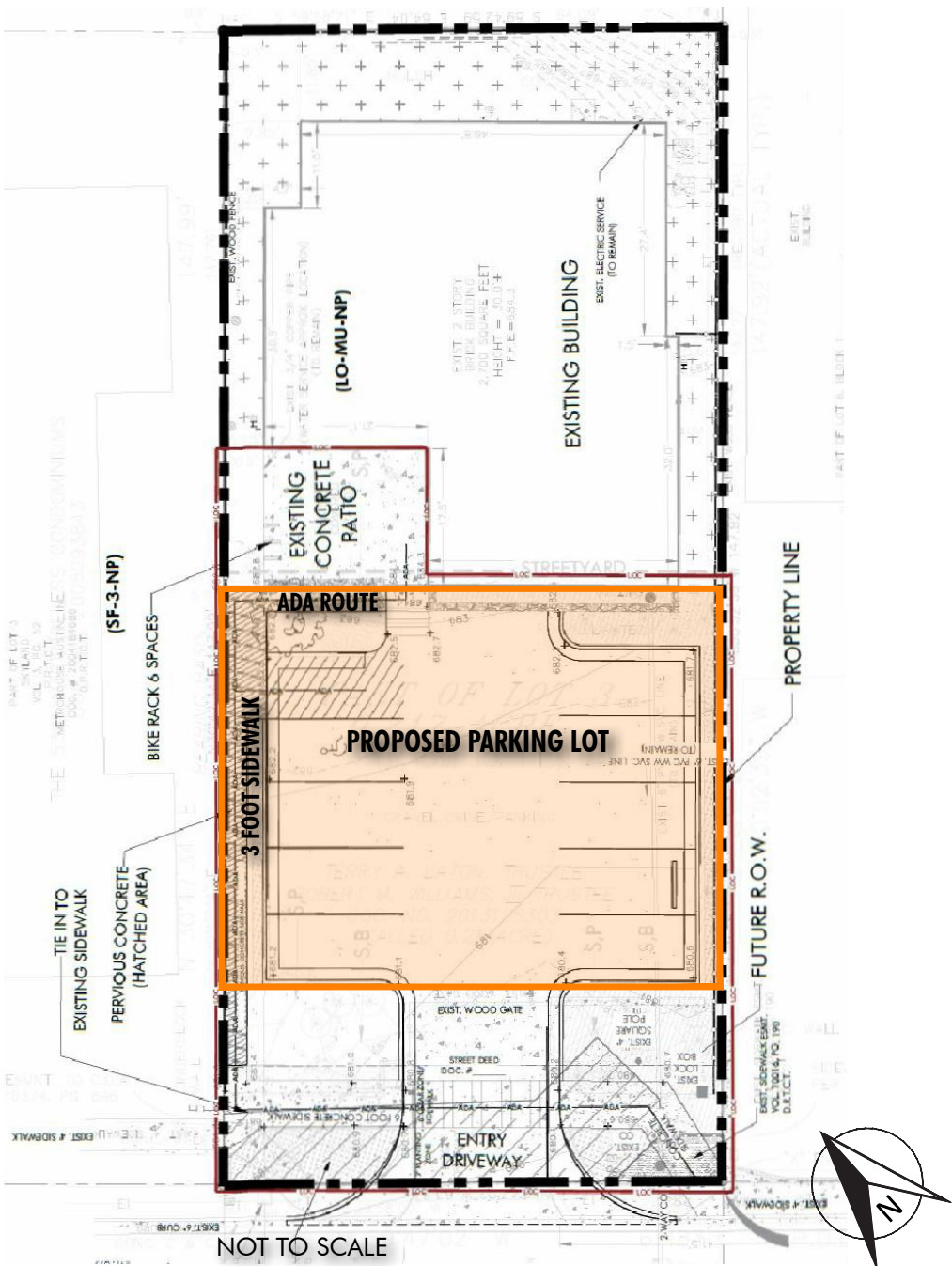
- * This variance request is in keeping with the area's development pattern and neighborhood character.
- * Site is adjacent to and nearly surrounded by commercial zoning districts.



ITEM08/12-PRESENTATION SITE PHOTOS- PROPOSED PARKING LOT



PROPOSED PARKING LOT OF THE SUBJECT PROPERTY



LOCATION OF THE 3-FOOT PROPOSED ADA SIDEWALK



LOCATION OF THE PROPOSED ADA SIDEWALK



ENTRY DRIVEWAY FACING SOUTH



PARKING LOT FACING WEST



5-FOOT SIDE/WEST BUILDING SETBACK



5-FOOT SIDE/WEST BUILDING SETBACK



5-FOOT SIDE/WEST BUILDING SETBACK



5-FOOT SIDE/WEST BUILDING SETBACK



11-FOOT EXISTING REAR/NORTH BUILDING SETBACK



11-FOOT EXISTING REAR/NORTH BUILDING SETBACK

ITEM08/15-PRESENTATION SITE PHOTOS- ADJACENT (EAST AND WEST)



BUILDING SETBACK OF PROPERTY TO THE EAST



LOT LINE AND PARKING LOT OF PROPERTY TO THE EAST



BUILDING SETBACK OF PROPERTY TO THE EAST



SINGLE-FAMILY RESIDENCE TO THE WEST

ITEM08/16-PRESENTATION

SITE PHOTOS- CONTEXT



900 WEST NORTH LOOP FACING WEST



AT&T BUILDING TO THE SOUTH



45.5 FEET VMU BUILDING TO EAST



COMMERCIAL PARKING LOT TO THE EAST

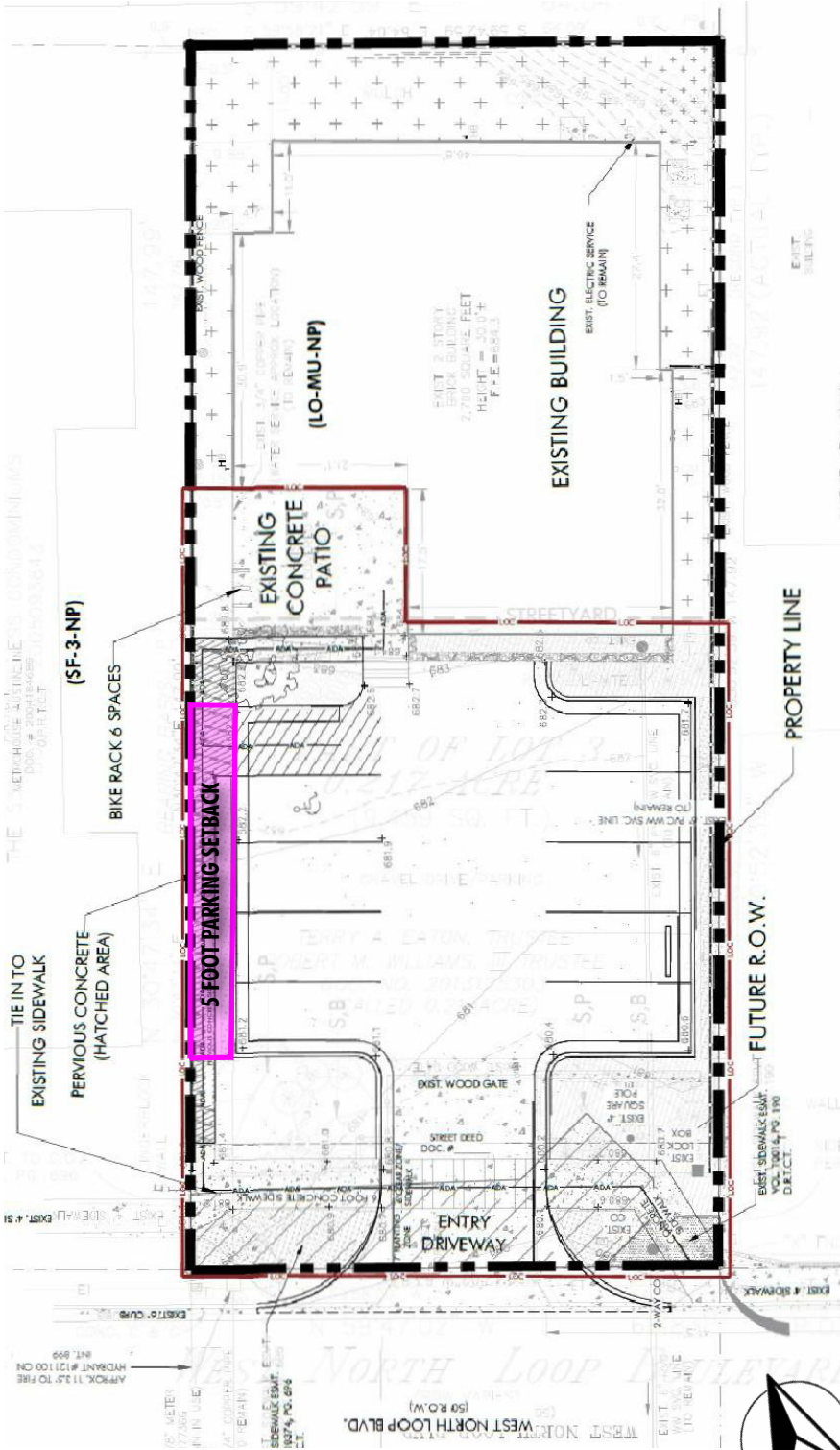
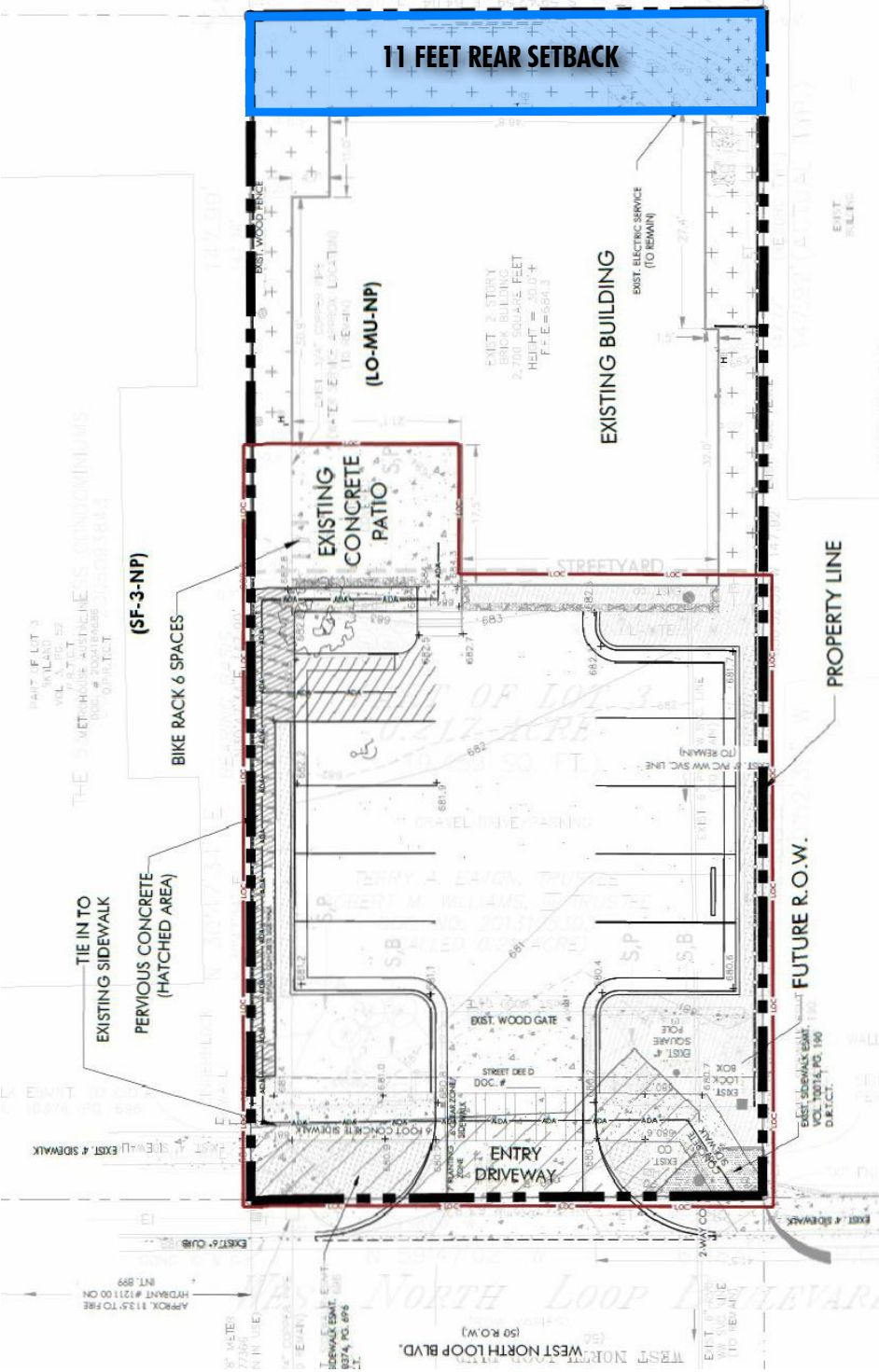
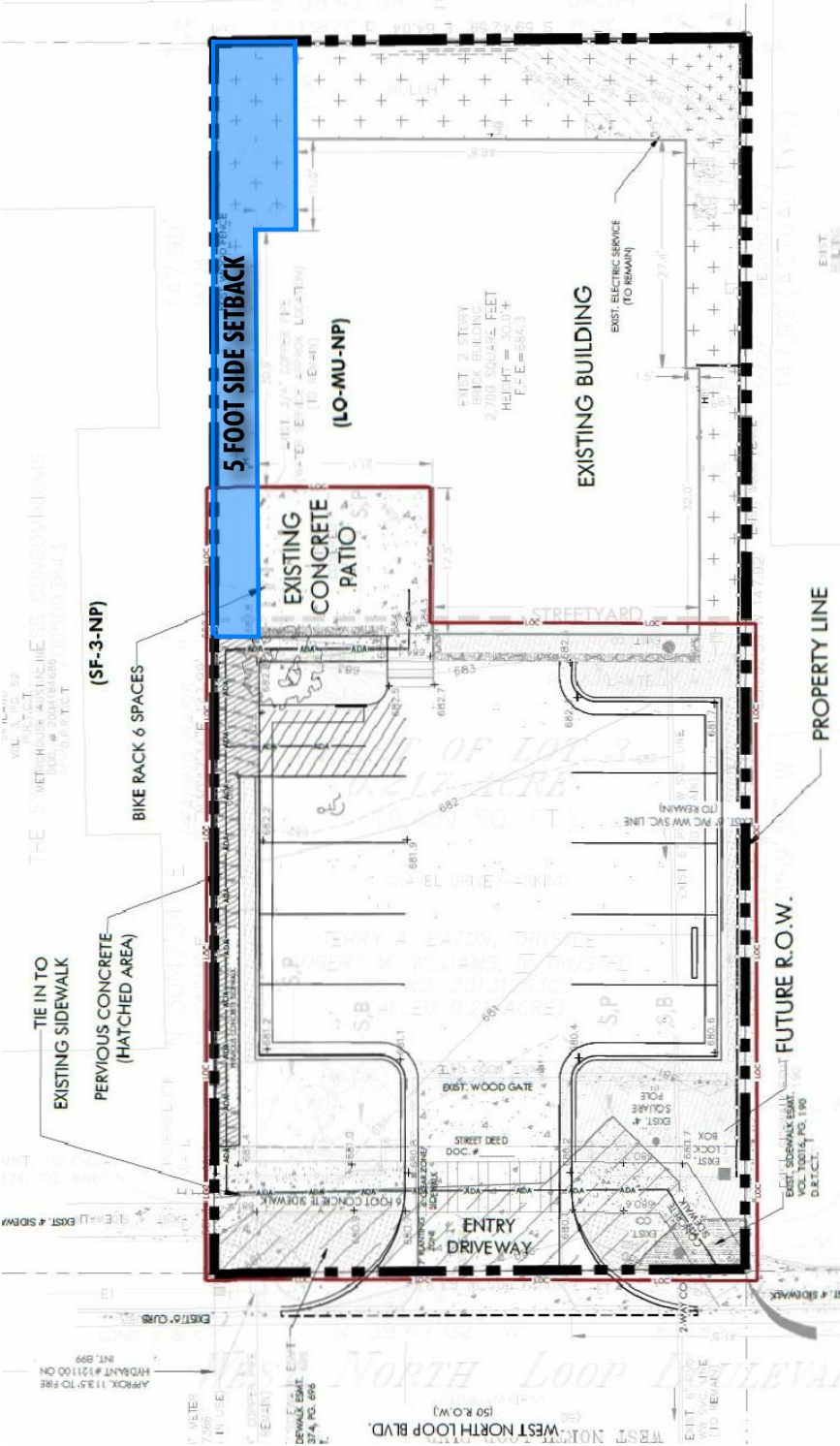


SUBJECT PROPERTY ENTRY DRIVEWAY FACING WEST



VMU BUILDING FIRE LANE FACING WEST





NOT TO SCALE

