

The goal of the project is to restore and rehabilitate the historic garage and the grounds surround it. The project is to serve as the first step into welcoming the community so that the unique history of the property can be shared with those who visit.

The project scope entails fully sealing and insulating the historic garage, repairing the exterior façade, restoring the retaining wall, and reclaiming the driveway surrounding. The historic garage is to be sealed and water-tight with new roof, doors, and HVAC system to allow for rehabilitation. The exterior façade is to be repaired and restored in accordance with historic, character defining features. The historic garage doors will be repaired but will offer limited operability as the proposed new door will serve as the primary point of entry/exit to ensure that the garage remain sealed from exterior elements.

The crescent-shaped retaining wall and the driveway leading up to the garage will be restored as these three elements were once inter-related and functioned holistically.

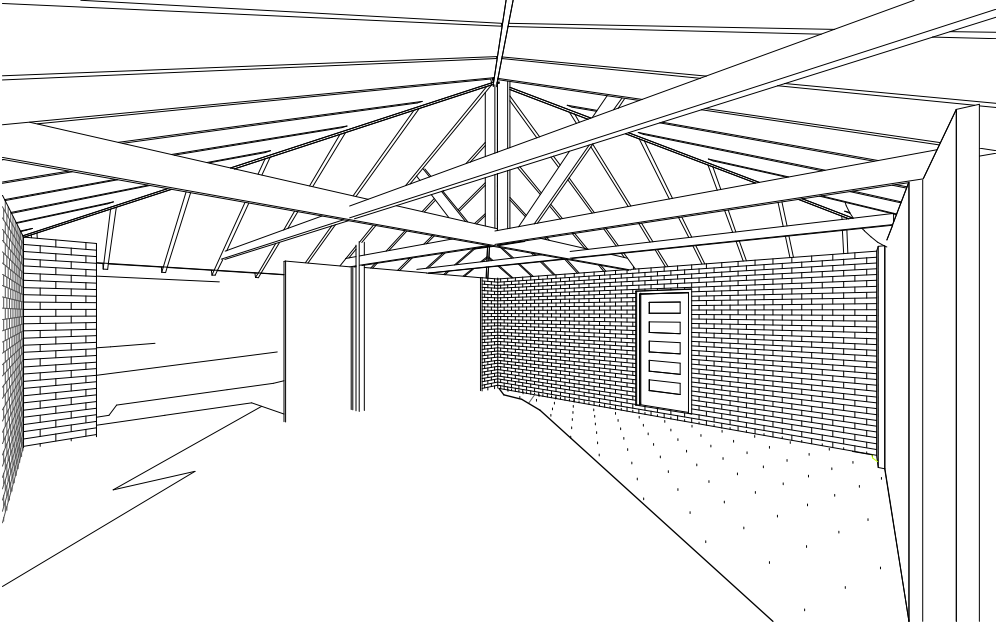
The table below breaks down work into individual elements

NO.	PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIALS
1	Shoring up foundation	Historic garage	Concrete
2	Roof replacement	Historic garage	Cedar shakes, insulation
3	New HVAC	Historic garage	HVAC system
4	Repair garage doors	Historic garage	Wood – repair existing
5	New door	Historic garage	Glass, metal
6	Repair original brick work	Historic garage	Cleaning agent, brick
7	Repair/reconstruct retaining wall	Historic garage	Masonry
8	Reclaim driveway	Historic garage	Existing ground materials, concrete



PHOTO 1: HISTORIC IMAGE OF GARAGE STRUCTURE, DATE UNKNOWN.

GENERAL	
G001	COVER SHEET
ARCHITECTURAL	
H001	OVERALL SITE PLAN
H002	ENLARGED SITE PLAN
H003	FLOOR PLAN
H004	REFLECTED CEILING PLAN
H005	ROOF PLAN
H006	NORTH AND SOUTH ELEVATIONS
H007	EAST AND WEST ELEVATIONS
H008	SECTIONS

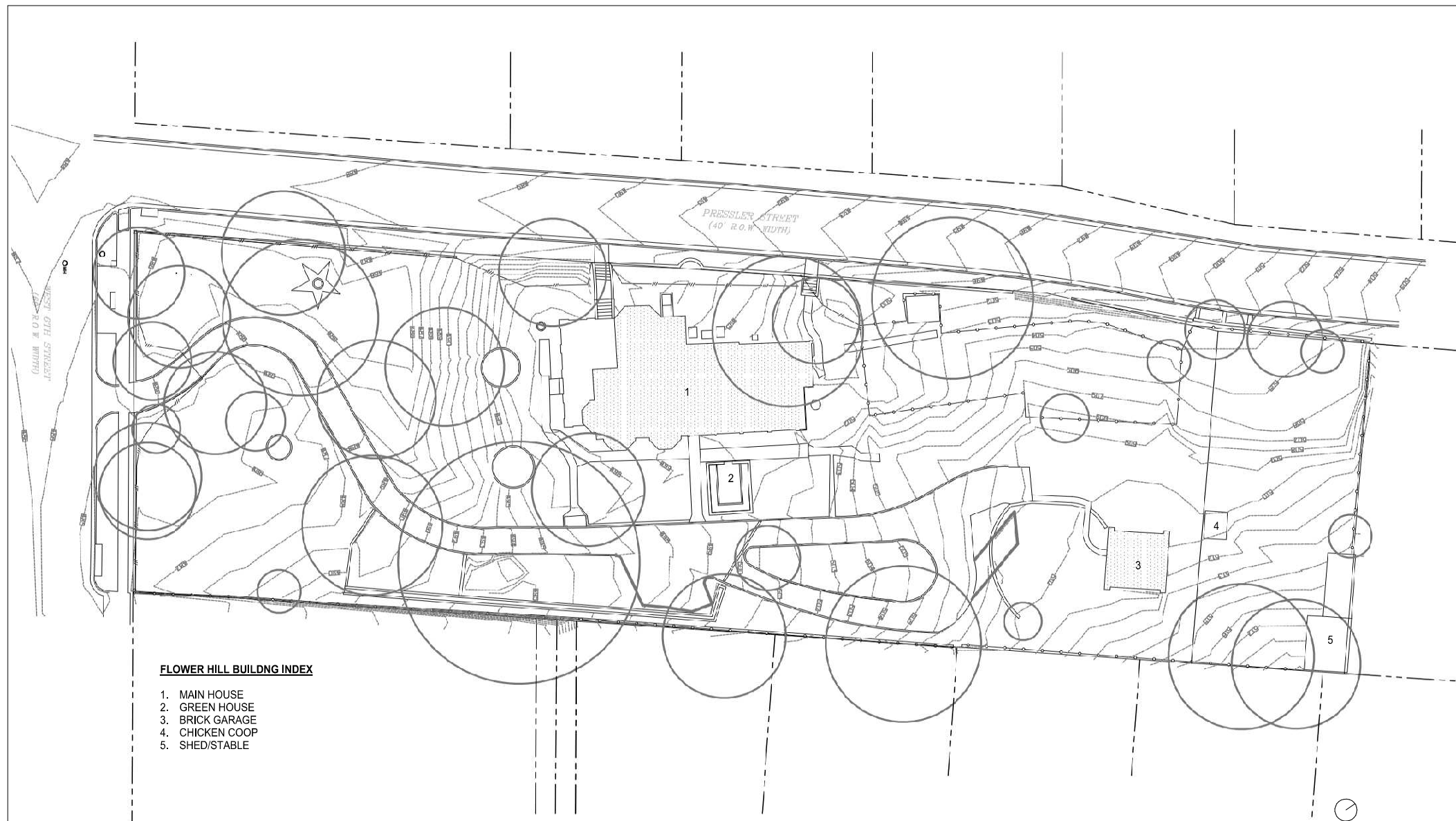


COVER SHEET

Heritage Preservation Grant - Historic Garage Renovation

1316 W 6th St
Austin, TX 78703
10/16/08
LAS #P0177-22

LORD
AECK
SARGENT



OVERALL SITE PLAN

Heritage Preservation Grant - Historic Garage Renovation

1316 W 6th St
Austin, TX 78703
09/27/22
LAS #P0177-22

LORD
AECK
SARGENT



PHOTO 2: REPAIR AND REBUILD CRESCENT RETAINING WALL. DATE 2022-JUL-30.



PHOTO 3: BRICK CRACKS AND BIOLOGICAL GROWTH ON SOUTH FACADE. DATE 2022-JUL-30.

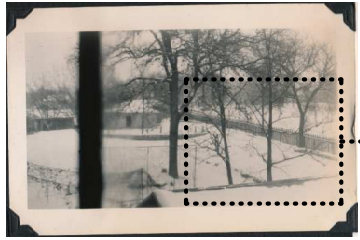


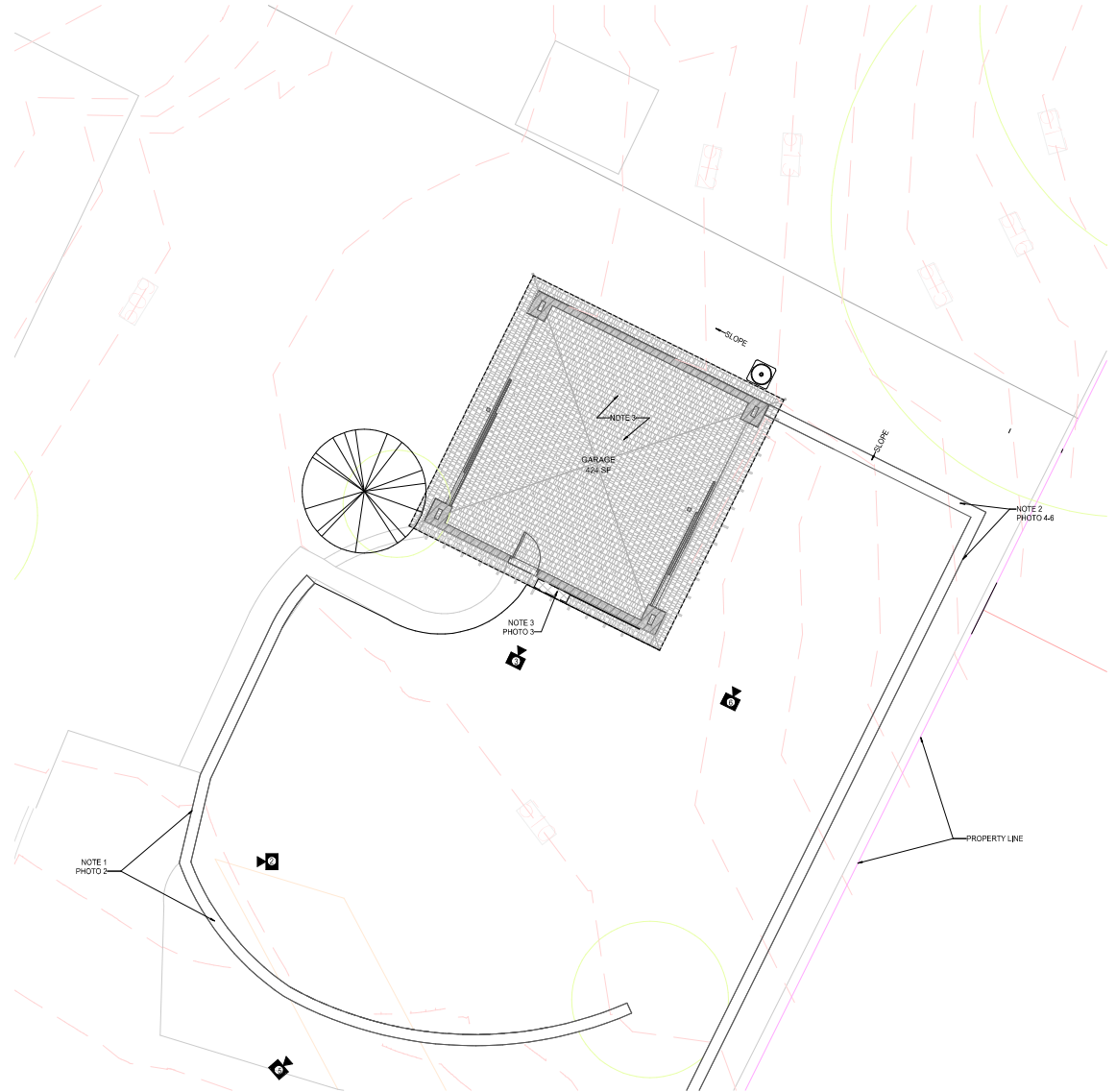
PHOTO 4: HISTORIC IMAGE OF GARAGE STRUCTURE. DATE UNKNOWN.



PHOTO 5: ZOOMED VIEW OF HISTORIC PHOTO 4



PHOTO 6: EAST OF GARAGE. DATE 2022-SEPT-27.



ENLARGED SITE PLAN

Heritage Preservation Grant - Historic Garage Renovation

1316 W 6th St
Austin, TX 78703
09/27/22
LAS #P0177-22

MATERIAL KEYNOTES

	BRICK STANGS		BRICK PAVERS		PROTECT FOR REUSE
	CRACKS		RECLAIMED PAVERS		ITEMS TO DEMOLISH AND REMOVE
	CEDAR SHAKES				

GENERAL NOTES

- ANALYZE CONDITION OF ALL STRUCTURAL ELEMENTS: BRICK WALLS, BEAMS, TRUSSES, COLUMNS, ETC.
- REPAIR FOUNDATION.
- CLEAN ALL BRICK FACADES.
- REPLACE ROOF WITH NEW CEDAR SHAKE ROOF.
- INSTALL NEW HVAC SYSTEM.
- IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE, AIR SEAL, INSULATE, ETC.

SHEET SPECIFIC NOTES

- REPAIR AND REBUILD CRESCENT RETAINING WALL TO ORIGINAL HEIGHT; TOTAL LINEAR FEET: 84'-6"; V.I.F. REFER TO PHOTO 2.
- EXCAVATE, REPAIR, AND REBUILD EXISTING RETAINING WALL. REFER TO HISTORIC PHOTOS 4 AND 5.
- REPLACE ROOF WITH NEW CEDAR SHAKE ROOF.

**LORD
AECK
SARGENT**



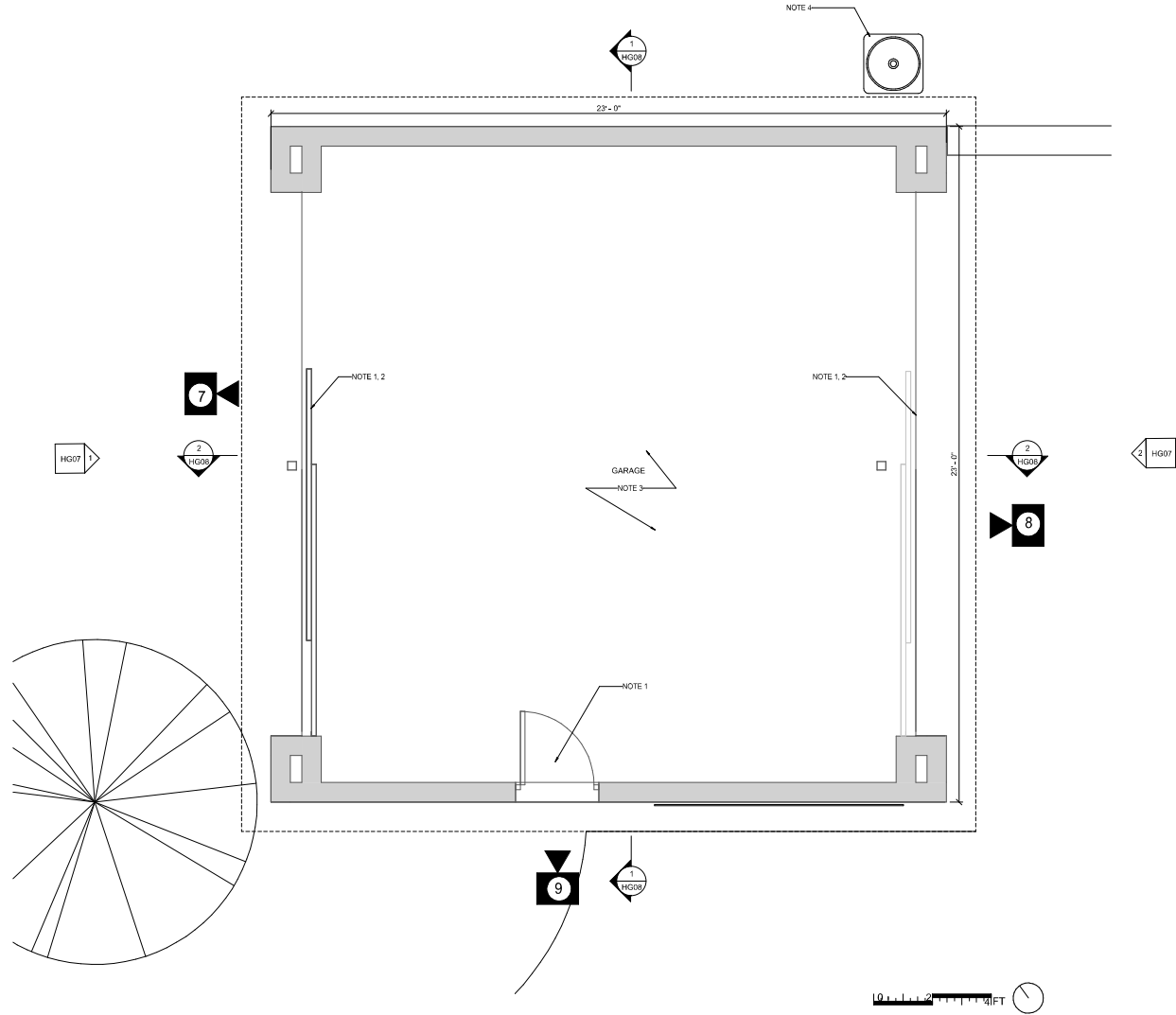
PHOTO 7: GARAGE DOOR ON WEST FACADE, DATE 2022-JUL-30.



PHOTO 8: GARAGE DOOR ON EAST FACADE, DATE 2022-JUL-30.



PHOTO 9: DOOR ON SOUTH FACADE, DATE 2022-JUL-30.



FLOOR PLAN

Heritage Preservation Grant - Historic Garage Renovation

1316 W 6th St
Austin, TX 78703
09/26/22
LAS #P0177-22

MATERIAL KEYNOTES

BRICK STAINS	BRICK PAVERS	PROTECT FOR REUSE
CRACKS	RECLAIMED PAVERS	
CEDAR SHAKES	ITEMS TO DEMOLISH AND REMOVE	

GENERAL NOTES

- ANALYZE STRUCTURAL CONDITION OF THE BRICK WALLS.
- REPAIR FOUNDATION.
- REPAIR/REPLACE CRACKED & DAMAGED BRICK.
- REPOINT 100% EXTERIOR BRICK WITH COMPATIBLE MORTAR.
- CLEAN ALL BRICK FACADES.
- IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.

SHEET SPECIFIC NOTES

- REPAIR, RESTORE AND PAINT DOOR TRIM FRAME. REFER TO PHOTOS 7-9.
- REPLACE STRUCTURAL WOOD BEAM ABOVE BARN DOOR WITH STEEL BEAM. ATTACH DOOR TRACK TO STEEL BEAM.
- REMOVE AND REPLACE FLOOR SLAB.
- INSTALL NEW AIR CONDITIONING UNIT.

**LORD
AECK
SARGENT**



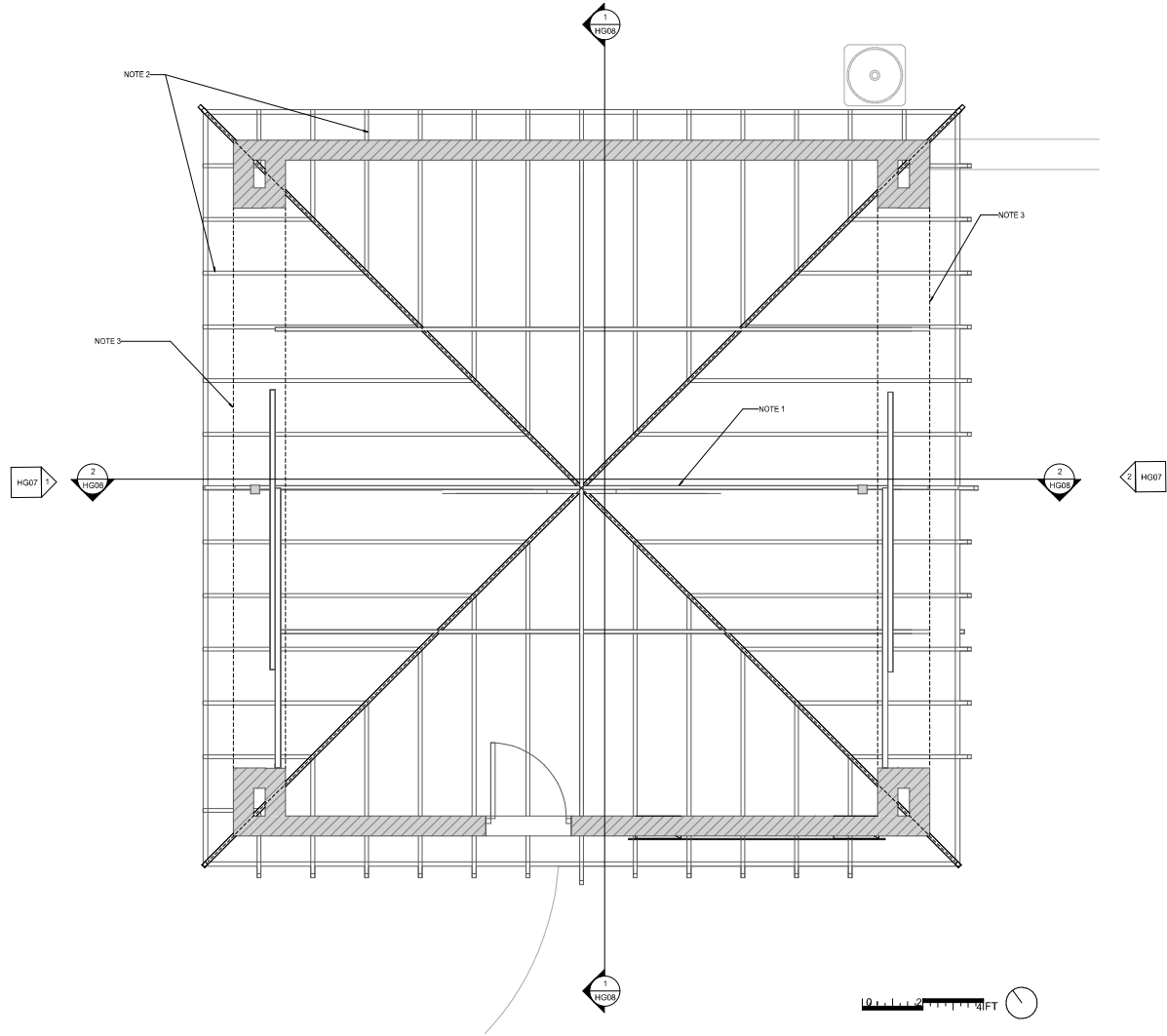
PHOTO 10: ROOF TRUSS, DATE 2022-SEP-27.



PHOTO 11: ROOF RAFTERS, DATE 2022-SEP-27.



PHOTO 12: BARN DOOR, BEAM AND TRACK, DATE 2022-SEP-27.



REFLECTED CEILING PLAN

Heritage Preservation Grant - Historic Garage Renovation

1316 W 6th St
Austin, TX 78703
09/27/22
LAS #P0177-22

MATERIAL KEYNOTES

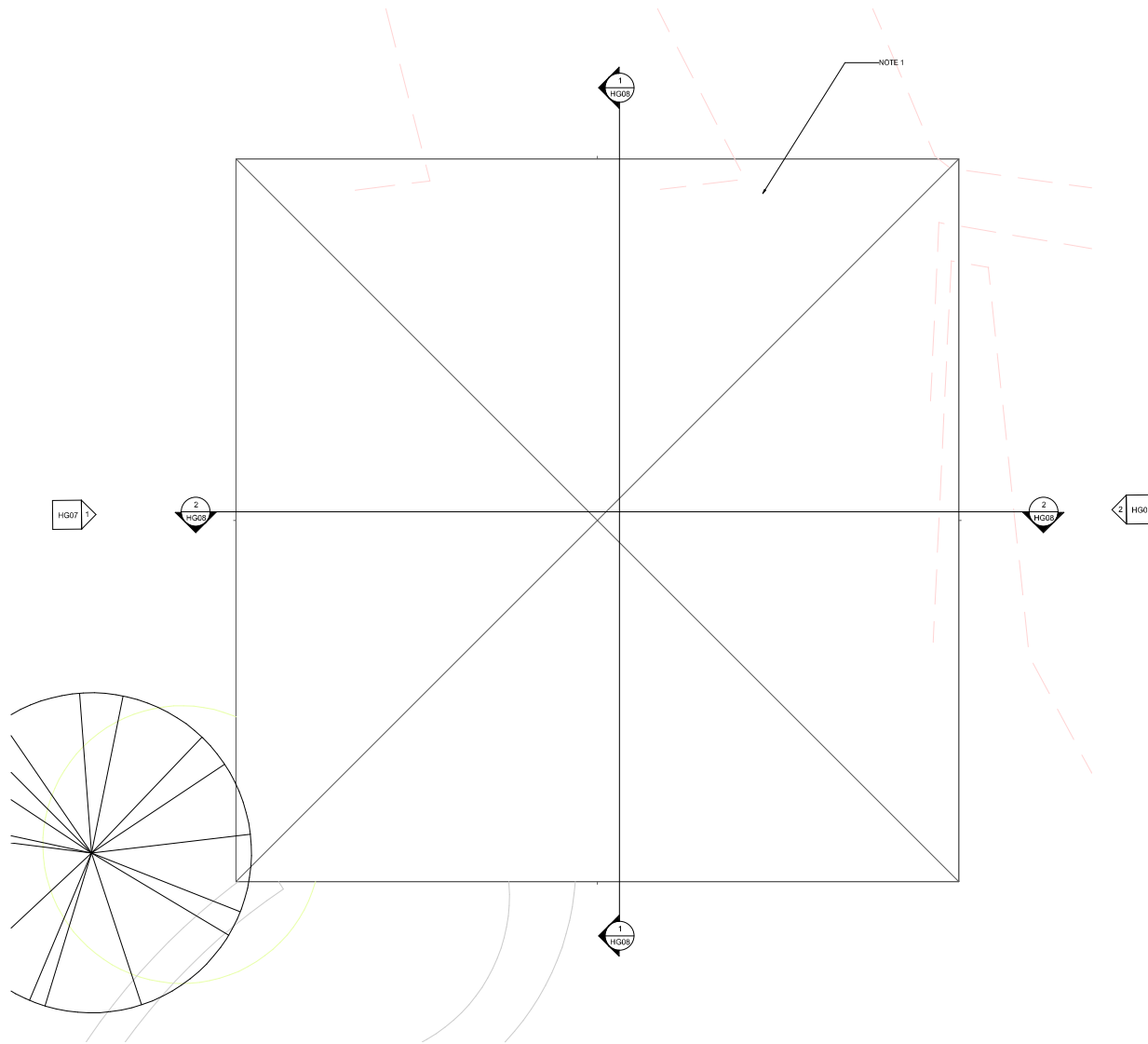
GENERAL NOTES

- INSTALL NEW HVAC SYSTEM.
- IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.
- PROTECT AND STORE EXISTING CEILING LADDERS FOR REUSE.
- INSTALL NEW EXPOSED A/C DUCT.

SHEET SPECIFIC NOTES


- PROTECT, REPAIR, AND REINFORCE EXISTING ROOF TRUSS. ADJUST TRUSS TO BEAR ON NEW STEEL BEAMS. REFER TO PHOTO 10.
- PROTECT, REPAIR, AND REINFORCE EXISTING ROOF RAFTERS. REFER TO PHOTO 11.
- REPLACE STRUCTURAL WOOD BEAM ABOVE BARN DOOR WITH STEEL BEAM. ATTACH NEW DOOR TRACK TO STEEL BEAM. REFER TO PHOTO 12.


**LORD
AECK
SARGENT**





ROOF PLAN
 Heritage Preservation Grant - Historic Garage Renovation
 1316 W 6th St
 Austin, TX 78703
 09/26/22
 LAS #P0177-22


MATERIAL KEYNOTES


 BRICK STAINS


 BRICK PAVERS

 PROTECT FOR REUSE

 CRACKS

 RECLAIMED PAVERS

 CEDAR SHAKES

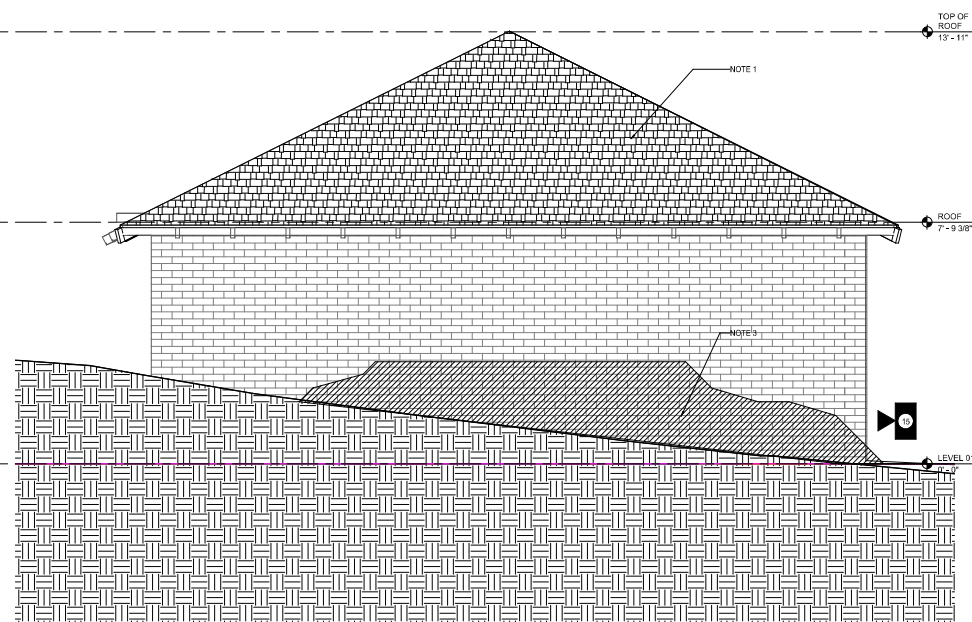
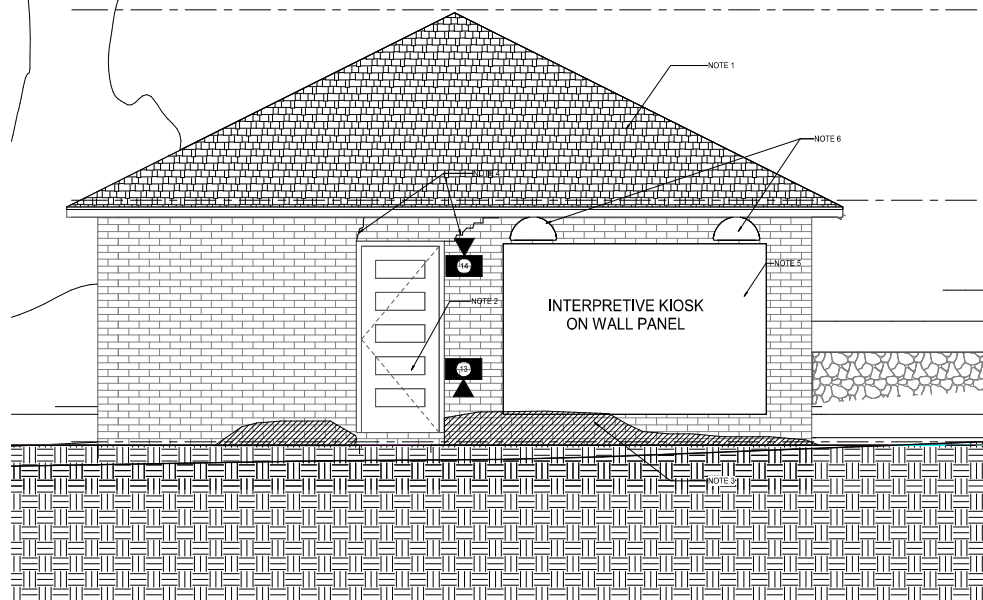
 ITEMS TO DEMOLISH AND REMOVE

GENERAL NOTES

SHEET SPECIFIC NOTES

1. REPLACE WITH NEW CEDAR SHAKE ROOF. IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.

**LORD
AECK
SARGENT**



NORTH AND SOUTH ELEVATIONS

Heritage Preservation Grant - Historic Garage Renovation

1316 W 6th St
Austin, TX 78703
09/26/22
LAS #P0177-22

1316 W 6th St
Austin, TX 78703
09/26/22
LAS #P0177-22

09/26/22
LAS #P0177-22

09/26/22

LAS #P0177-22

MATERIAL KEYNOTES



GENERAL NOTES

- A. ANALYZE STRUCTURAL CONDITION OF THE BRICK WALLS.
- B. REPAIR FOUNDATION.
- C. REPAIR/REPLACE CRACKED & DAMAGED BRICK.
- D. REPOINT 100% EXTERIOR BRICK WITH COMPATIBLE MORTAR.
- E. CLEAN ALL BRICK FACADES.
- F. IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE, AIR SEAL, INSULATE, ETC.

SHEET SPECIFIC NOTES

1. REPLACE WITH NEW CEDAR SHAKE ROOF.
2. REPAIR DOOR, REPLACE WITH NEW TRIM, FRAME, NEW PAINT FOR DOOR, TRIM, FRAME PAINT TO MATCH HISTORIC PAINT COLOR. REFER TO PHOTOS 9 AND 14.
3. REMOVE BIOLOGICAL GROWTH. REFER TO PHOTOS 13 AND 15.
4. REPAIR CRACKS ON BRICK. REFER TO PHOTOS 13 AND 14.
5. INSTALL KIOSK TO DISPLAY PROPERTY HISTORY AND PROJECT INFORMATION.
6. INSTALL NEW DOWNLIGHT TO LIGHT KIOSK.

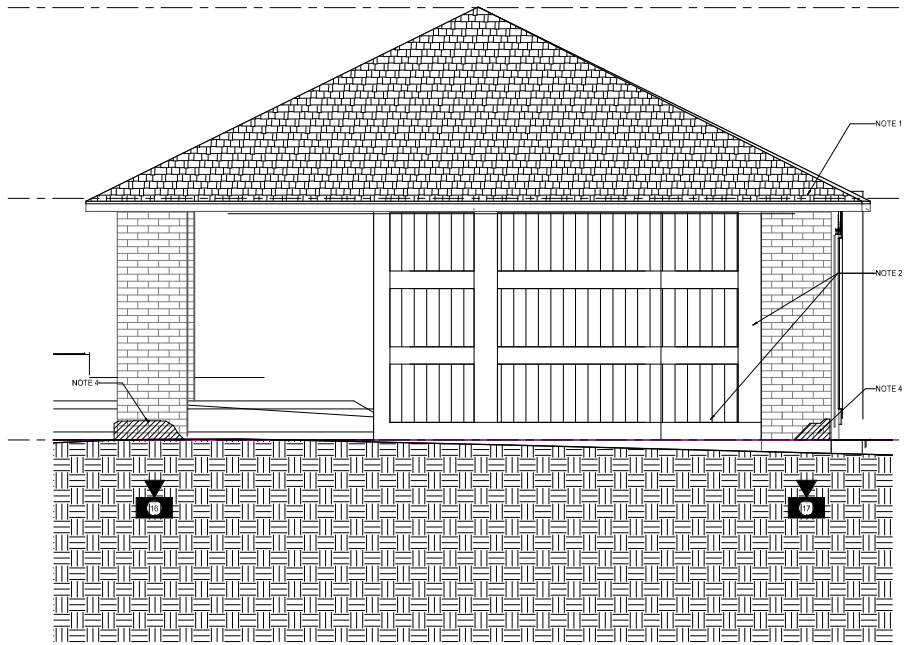
**LORD
AECK
SARGENT**



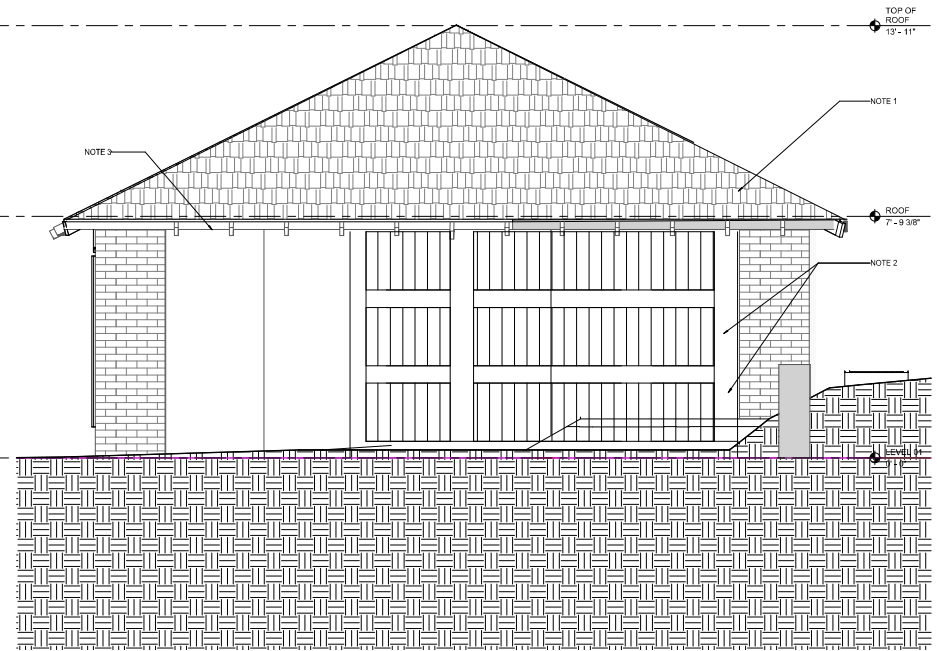
PHOTO 16: BIOLOGICAL GROWTH ON SOUTHWEST FACADE



PHOTO 17: BIOLOGICAL GROWTH ON NORTHWEST FACADE





1 WEST ELEVATION
0 10 FEET





2 EAST ELEVATION
0 10 FEET


MATERIAL KEYNOTES


BRICK STAINS


BRICK PAVERS

PROTECT FOR REUSE

CRACKS

RECLAIMED PAVERS

CEDAR SHAKES

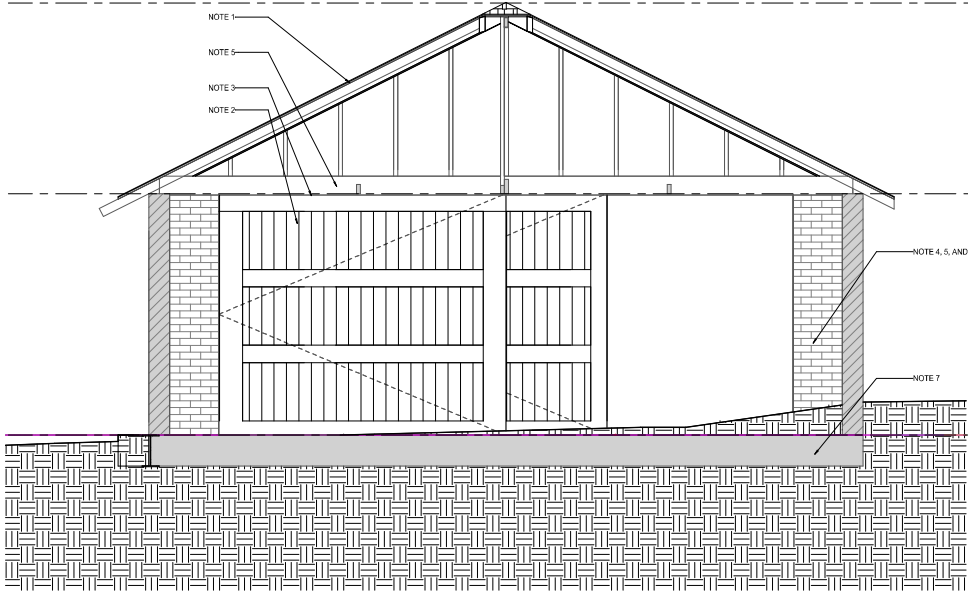
ITEMS TO DEMOLISH AND REMOVE

- GENERAL NOTES
- ANALYZE STRUCTURAL CONDITION OF THE BRICK WALLS.
 - REPAIR FOUNDATION.
 - REPAIR/REPLACE CRACKED & DAMAGED BRICK.
 - REPORT 100% EXTERIOR BRICK WITH COMPATIBLE MORTAR.
 - CLEAN ALL BRICK FACADES.
 - IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.

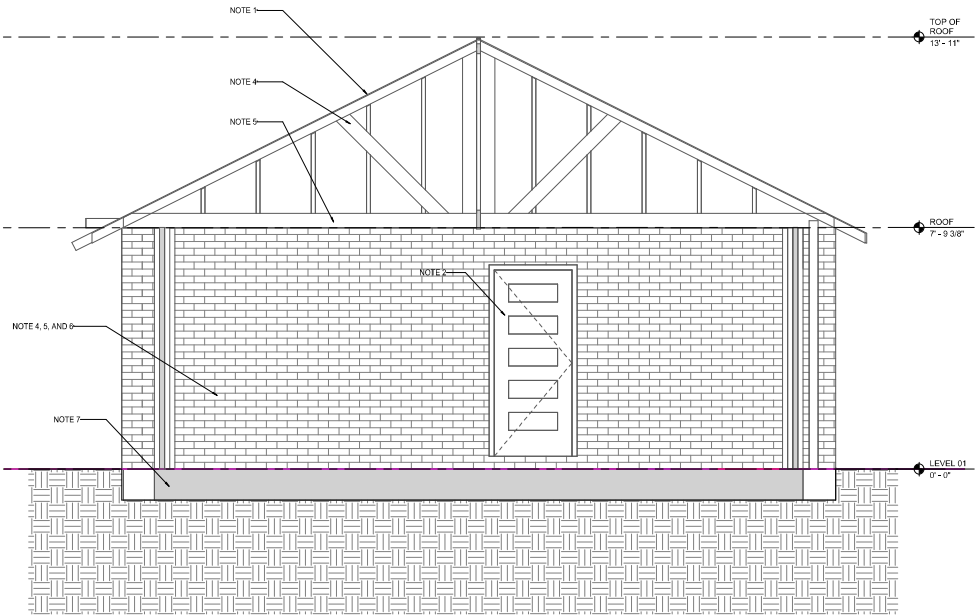
- SHEET SPECIFIC NOTES
- REPLACE WITH NEW CEDAR SHAKE ROOF.
 - REPAIR DOOR. REPLACE WITH NEW TRIM, FRAME. NEW PAINT FOR DOOR, TRIM, FRAME. PAINT TO MATCH HISTORIC PAINT COLOR. REFER TO PHOTOS 7 AND 8.
 - REPLACE STRUCTURAL WOOD BEAM ABOVE BARN DOOR WITH STEEL BEAM. ATTACH DOOR TRACK TO STEEL BEAM. REFER TO PHOTO 12.
 - REMOVE BIOLOGICAL GROWTH. REFER TO PHOTOS 15-17.

**LORD
AECK
SARGENT**

EAST AND WEST ELEVATIONS
Heritage Preservation Grant - Historic Garage Renovation
1316 W 6th St
Austin, TX 78703
09/26/22
LAS #P0177-22










1 N/S GARAGE SECTION
10'-11" x 10'-11" (10'-11" x 10'-11")



2 E/W GARAGE SECTION
10'-11" x 10'-11" (10'-11" x 10'-11")

SECTIONS
Heritage Preservation Grant - Historic Garage Renovation
1316 W 6th St
Austin, TX 78703
09/26/22
LAS #P0177-22

MATERIAL KEYNOTES

	BRICK STAINS		BRICK PAVERS		PROTECT FOR REUSE
	CRACKS		RECLAIMED PAVERS		
	CEDAR SHAKES		ITEMS TO DEMOLISH AND REMOVE		

GENERAL NOTES

- IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.
- INSTALL NEW HVAC SYSTEM.
- INSTALL EXPOSED DUCT SYSTEM. TRUSSES AND RAFTER TO REMAIN EXPOSED.
- REINFORCE ALL STRUCTURAL ELEMENTS AS NEEDED. BEAMS, TRUSSES, BRICK WALLS.

SHEET SPECIFIC NOTES

- REPLACE WITH NEW CEDAR SHAKE ROOF.
- REPAIR, RESTORE AND PAINT DOOR TRIM, FRAME.
- REPLACE STRUCTURAL WOOD BEAM ABOVE BARN DOOR WITH STEEL BEAM. ATTACH NEW DOOR TRACK TO STEEL BEAM.
- CLEAN ALL BRICK FACADES.
- REPAIR/REPLACE CRACKED & DAMAGED BRICK.
- REPOINT 100% EXTERIOR BRICK WITH COMPATIBLE MORTAR.
- REPAIR FOUNDATION.

**LORD
AECK
SARGENT**