

The goal of the project is to restore and rehabilitate the historic garage and the grounds surround it. The project is to serve as the first step into welcoming the community so that the unique history of the property can be shared with those who visit.

The project scope entails fully sealing and insulating the historic garage, repairing the exterior façade, restoring the retaining wall, and reclaiming the driveway surrounding. The historic garage is to be sealed and water-tight with new roof, doors, and HVAC system to allow for rehabilitation. The exterior façade is to be repaired and restored in accordance with historic, character defining features. The historic garage doors will be repaired but will offer limited operability as the proposed new door will serve as the primary point of entry/exit to ensure that the garage remain sealed from exterior elements.

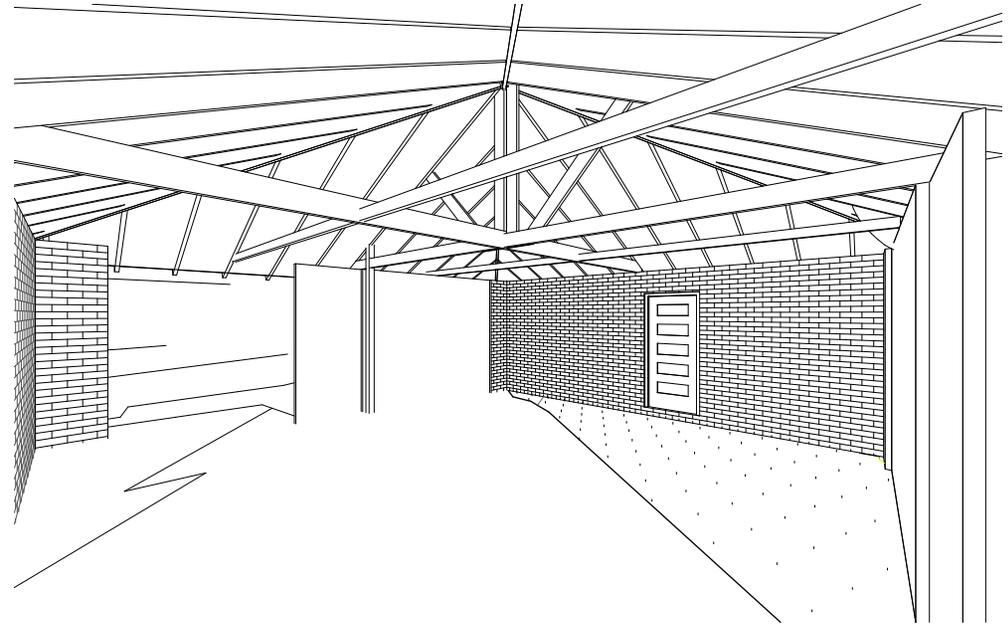
The crescent-shaped retaining wall and the driveway leading up to the garage will be restored as these three elements were once inter-related and functioned holistically.

The table below breaks down work into individual elements

NO.	PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIALS
1	Shoring up foundation	Historic garage	Concrete
2	Roof replacement	Historic garage	Cedar shakes, insulation
3	New HVAC	Historic garage	HVAC system
4	Repair garage doors	Historic garage	Wood – repair existing
5	New door	Historic garage	Glass, metal
6	Repair original brick work	Historic garage	Cleaning agent, brick
7	Repair/reconstruct retaining wall	Historic garage	Masonry
8	Reclaim driveway	Historic garage	Existing ground materials, concrete



PHOTO 1: HISTORIC IMAGE OF GARAGE STRUCTURE, DATE UNKNOWN.



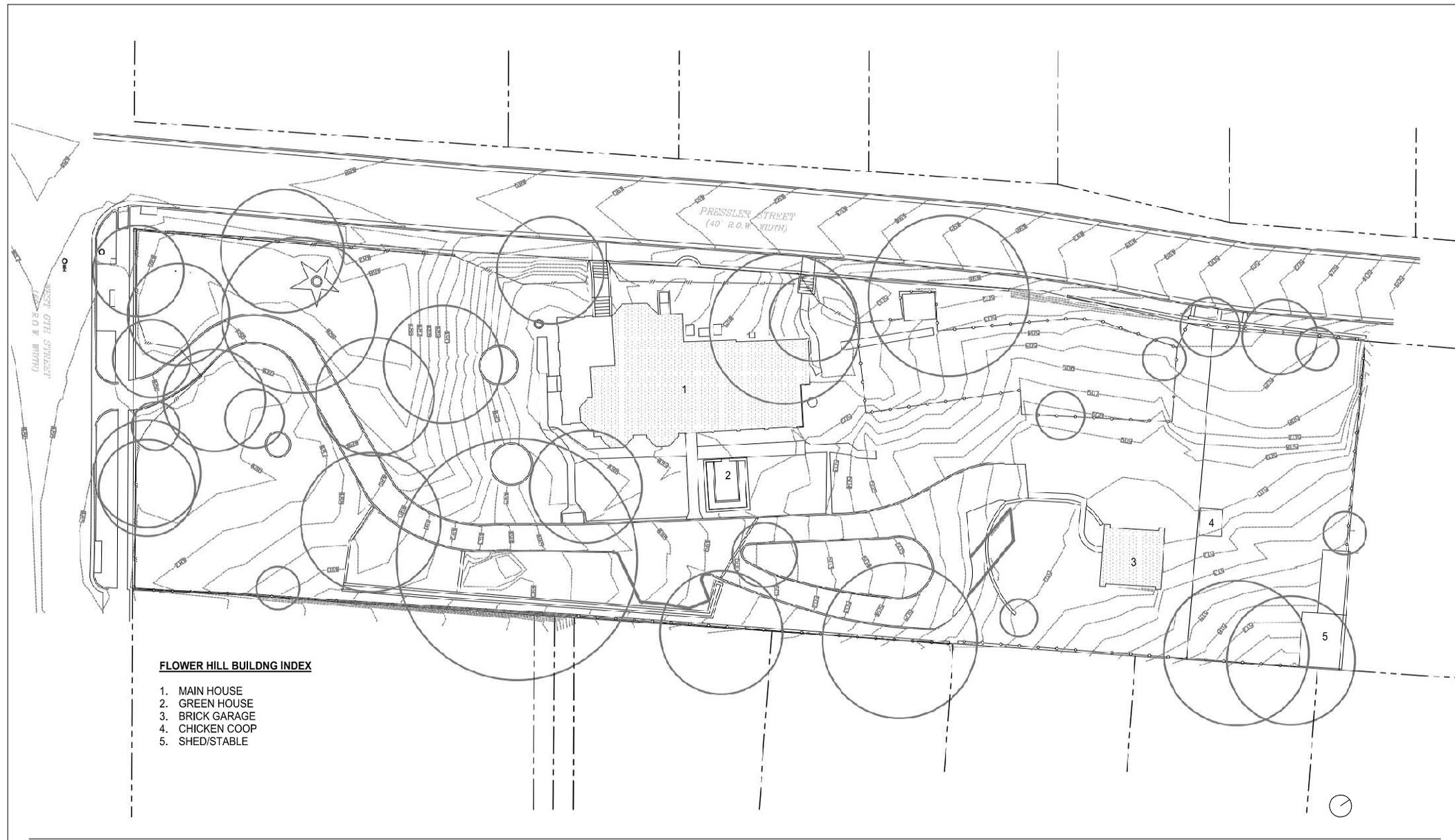
GENERAL	
G001	COVER SHEET
ARCHITECTURAL	
HG01	OVERALL SITE PLAN
HG02	ENLARGED SITE PLAN
HG03	FLOOR PLAN
HG04	REFLECTED CEILING PLAN
HG05	ROOF PLAN
HG06	NORTH AND SOUTH ELEVATIONS
HG07	EAST AND WEST ELEVATIONS
HG08	SECTIONS

COVER SHEET

Heritage Preservation Grant - Historic Garage Renovation

1316 W 6th St
Austin, TX 78703
10/16/08
LAS #P0177-22

**LORD
AECK
SARGENT**



FLOWER HILL BUILDING INDEX

- 1. MAIN HOUSE
- 2. GREEN HOUSE
- 3. BRICK GARAGE
- 4. CHICKEN COOP
- 5. SHED/STABLE



PHOTO 2: REPAIR AND REBUILD CRESCENT RETAINING WALL. DATE: 2022-JUL-30.

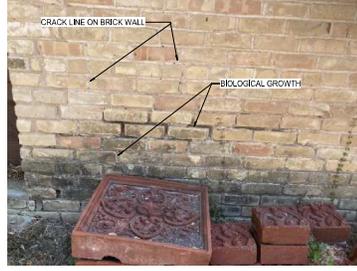


PHOTO 3: BRICK CRACKS AND BIOLOGICAL GROWTH ON SOUTH FACADE. DATE: 2022-JUL-30.

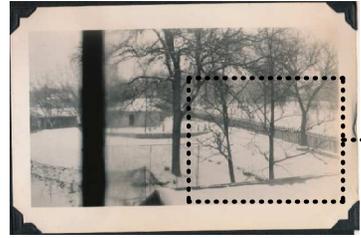


PHOTO 4: HISTORIC IMAGE OF GARAGE STRUCTURE. DATE UNKNOWN.



PHOTO 5: ZOOMED VIEW OF HISTORIC PHOTO 4

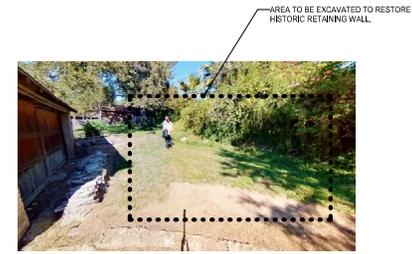
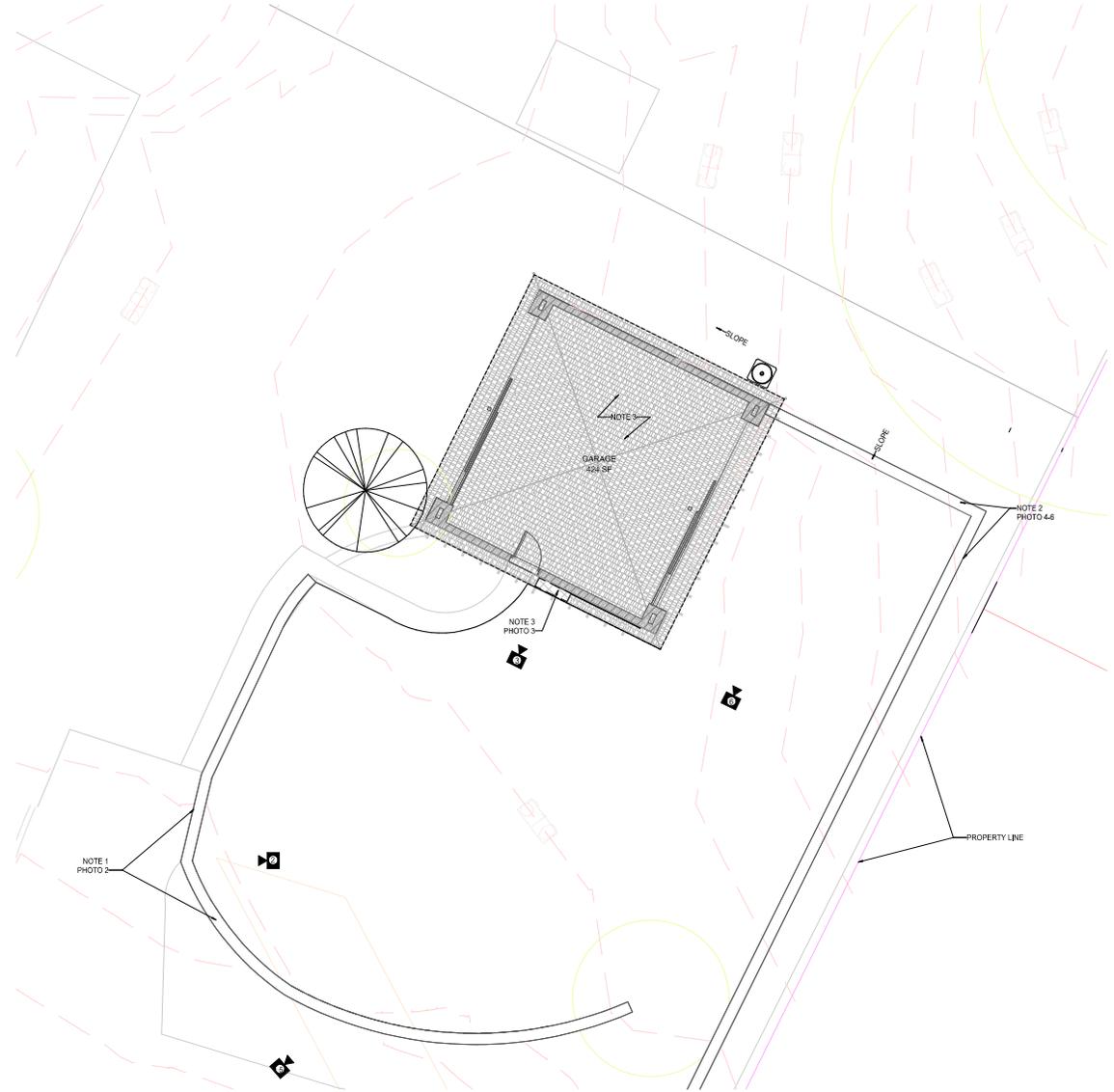


PHOTO 6: EAST OF GARAGE. DATE: 2022-SEPT-27.



ENLARGED SITE PLAN

Heritage Preservation Grant - Historic Garage Renovation

1316 W 6th St
Austin, TX 78703
09/27/22
LAS #P0177-22

MATERIAL KEYNOTES

	BRICK STAINS		BRICK PAVERS		PROTECT FOR REUSE
	CRACKS		RECLAIMED PAVERS		ITEMS TO DEMOLISH AND REMOVE
	CEDAR SHAKES				

GENERAL NOTES

- ANALYZE CONDITION OF ALL STRUCTURAL ELEMENTS: BRICK WALLS, BEAMS, TRUSSES, COLUMNS, ETC.
- REPAIR FOUNDATION.
- CLEAN ALL BRICK FACADES.
- REPLACE ROOF WITH NEW CEDAR SHAKE ROOF.
- INSTALL NEW HVAC SYSTEM.
- IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE, AIR SEAL, INSULATE, ETC.

SHEET SPECIFIC NOTES

- REPAIR AND REBUILD CRESCENT RETAINING WALL TO ORIGINAL HEIGHT. TOTAL LINEAR FEET: 84'-6". V.I.F. REFER TO PHOTO 2.
- EXCAVATE, REPAIR, AND REBUILD EXISTING RETAINING WALL. REFER TO HISTORIC PHOTOS 4 AND 5.
- REPLACE ROOF WITH NEW CEDAR SHAKE ROOF.

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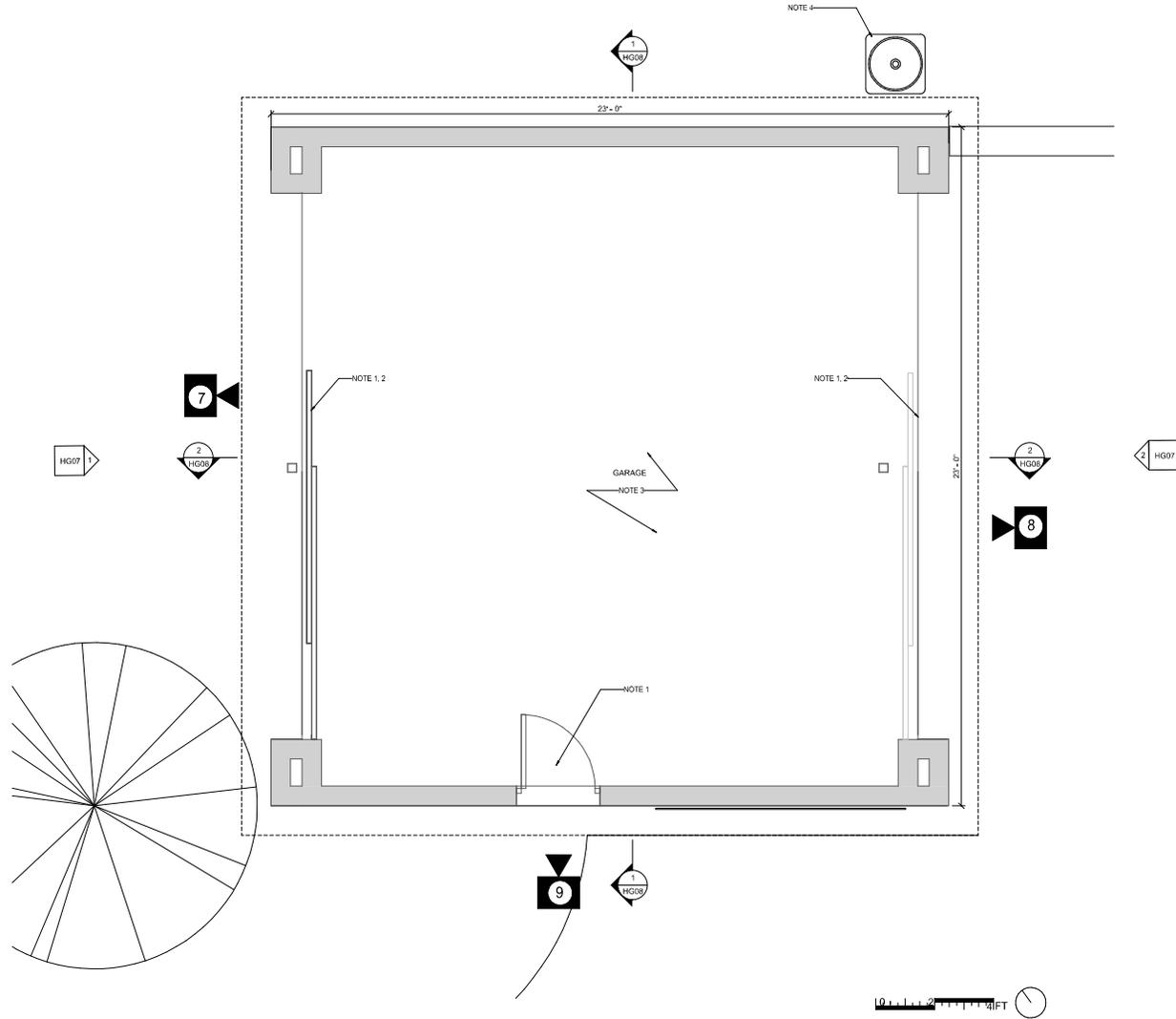
PHOTO 7: GARAGE DOOR ON WEST FACADE, DATE 2022-JUL-30.



PHOTO 8: GARAGE DOOR ON EAST FACADE, DATE 2022-JUL-30.



PHOTO 9: DOOR ON SOUTH FACADE, DATE 2022-JUL-30.



FLOOR PLAN

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09/26/22
LAS #P0177-22

MATERIAL KEYNOTES

BRICK STAINS	BRICK PAVERS	PROTECT FOR REUSE
CRACKS	RECLAIMED PAVERS	
CEDAR SHAKES	ITEMS TO DEMOLISH AND REMOVE	

GENERAL NOTES

- A. ANALYZE STRUCTURAL CONDITION OF THE BRICK WALLS.
- B. REPAIR FOUNDATION.
- C. REPAIR/REPLACE CRACKED & DAMAGED BRICK.
- D. REPOINT 100% EXTERIOR BRICK WITH COMPATIBLE MORTAR.
- E. CLEAN ALL BRICK FACADES.
- F. IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE, AIR SEAL, INSULATE, ETC.

SHEET SPECIFIC NOTES

1. REPAIR, RESTORE AND PAINT DOOR, TRIM, FRAME. REFER TO PHOTOS 7-9.
2. REPLACE STRUCTURAL WOOD BEAM ABOVE BARN DOOR WITH STEEL BEAM, ATTACH DOOR TRACK TO STEEL BEAM.
3. REMOVE AND REPLACE FLOOR SLAB.
4. INSTALL NEW AIR CONDITIONING UNIT.

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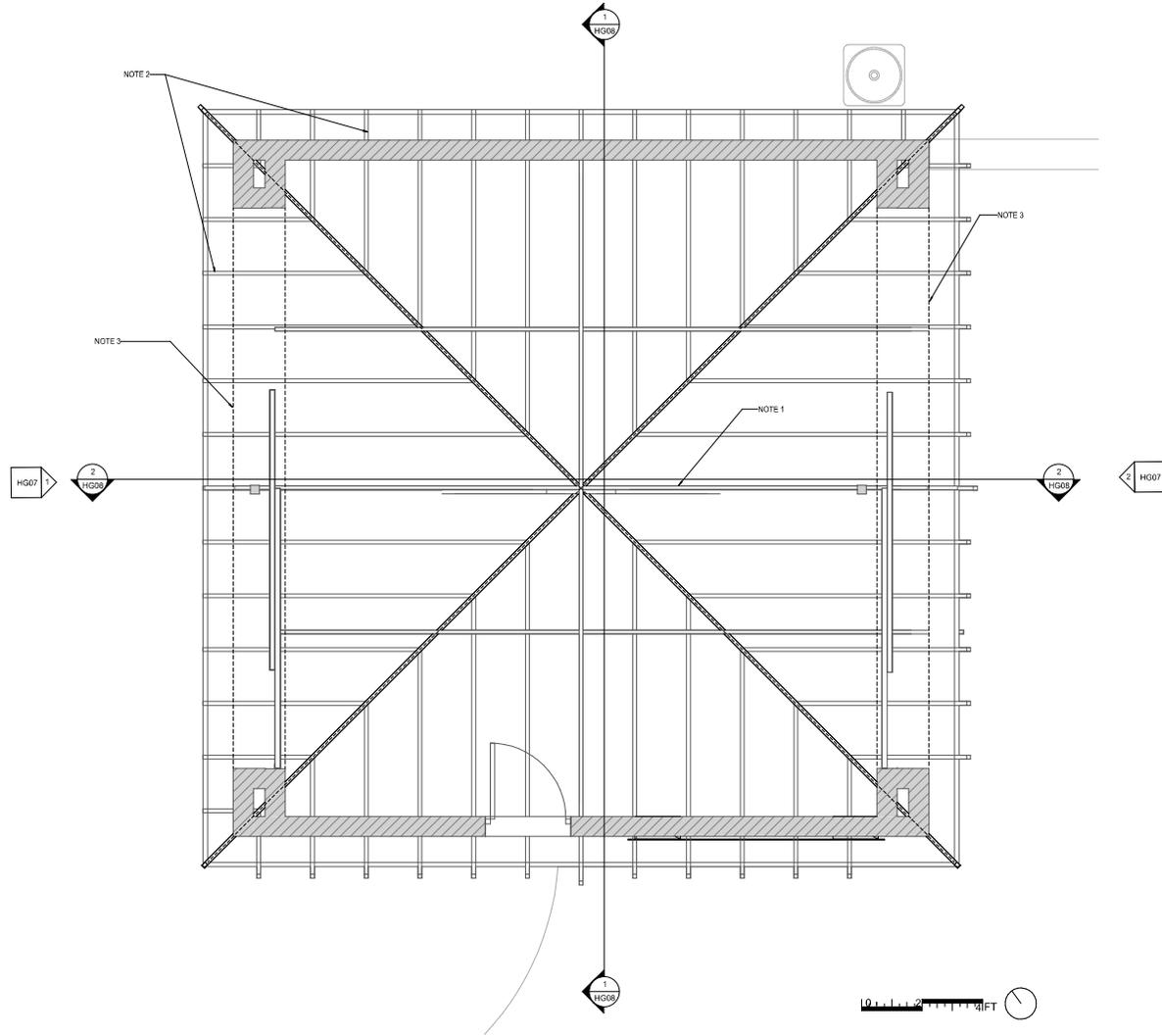
PHOTO 10: ROOF TRUSS, DATE 2022-SEP-27.



PHOTO 11: ROOF RAFTERS, DATE 2022-SEP-27.



PHOTO 12: BARN DOOR, BEAM AND TRACK, DATE 2022-SEP-27.



REFLECTED CEILING PLAN

Heritage Preservation Grant - Historic Garage Renovation

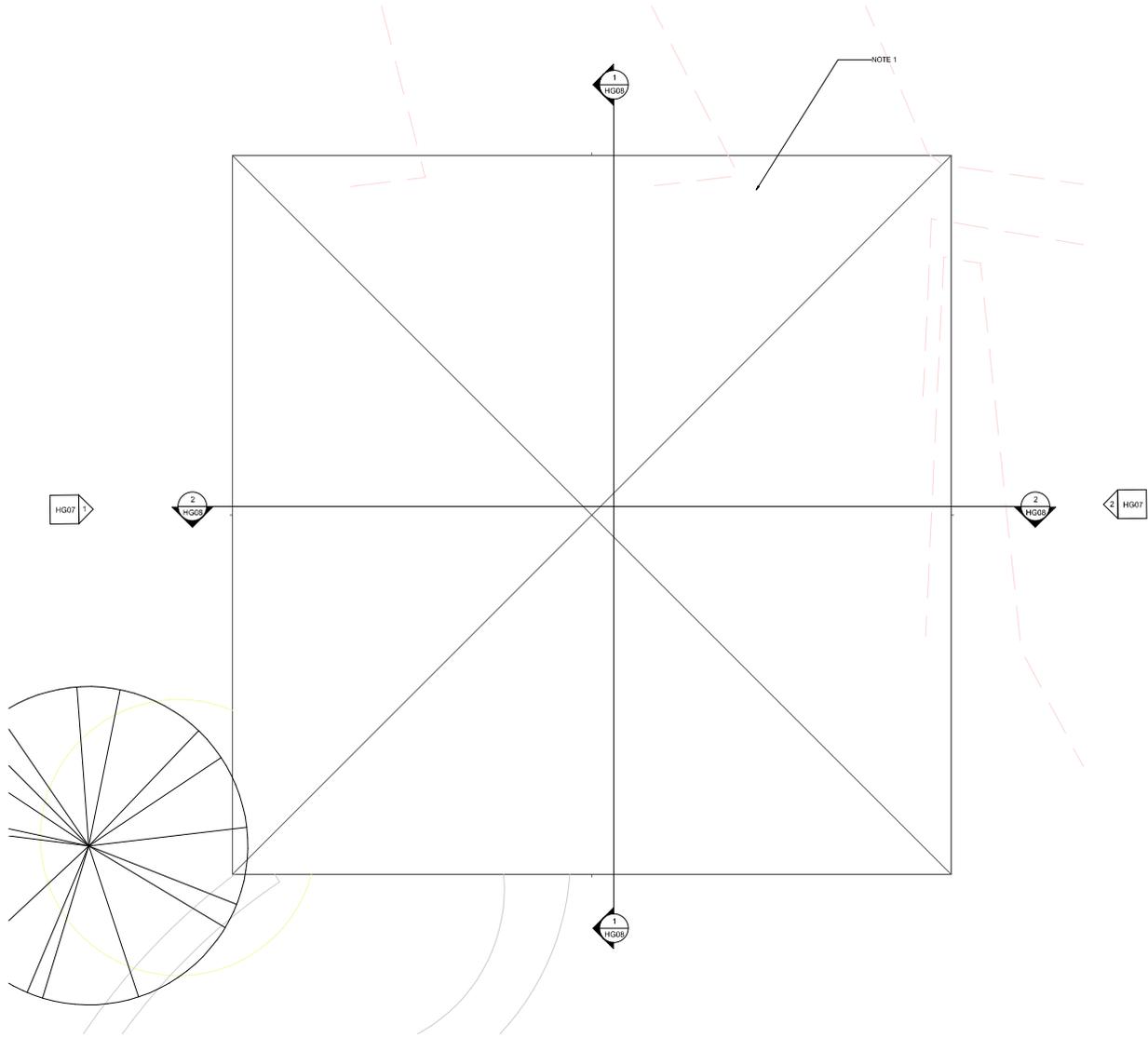
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09/27/22
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MATERIAL KEYNOTES		
	BRICK STAINS	
	BRICK PAVERS	
	CRACKS	
	CEGAR SHAKES	
	RECLAIMED PAVERS	
	ITEMS TO DEMOLISH AND REMOVE	

- GENERAL NOTES**
- INSTALL NEW HVAC SYSTEM.
 - IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.
 - PROTECT AND STORE EXISTING CEILING LADDERS FOR REUSE.
 - INSTALL NEW EXPOSED A/C DUCT.

- SHEET SPECIFIC NOTES**
- PROTECT, REPAIR, AND REINFORCE EXISTING ROOF TRUSS. ADJUST TRUSS TO BEAR ON NEW STEEL BEAMS. REFER TO PHOTO 10.
 - PROTECT, REPAIR, AND REINFORCE EXISTING ROOF RAFTERS. REFER TO PHOTO 11.
 - REPLACE STRUCTURAL WOOD BEAM ABOVE BARN DOOR WITH STEEL BEAM. ATTACH NEW DOOR TRACK TO STEEL BEAM. REFER TO PHOTO 12.

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ROOF PLAN

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MATERIAL KEYNOTES

- | | | |
|--|--|---|
|  BRICK STAINS |  BRICK PAVERS |  PROTECT FOR REUSE |
|  CRACKS |  RECLAIMED PAVERS | |
|  CEDAR SHAKES |  ITEMS TO DEMOLISH AND REMOVE | |

GENERAL NOTES

SHEET SPECIFIC NOTES

1. REPLACE WITH NEW CEDAR SHAKE ROOF. IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.



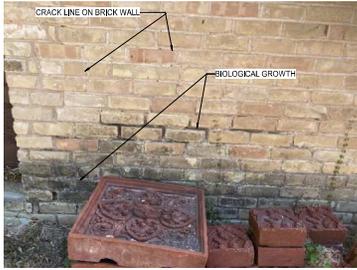


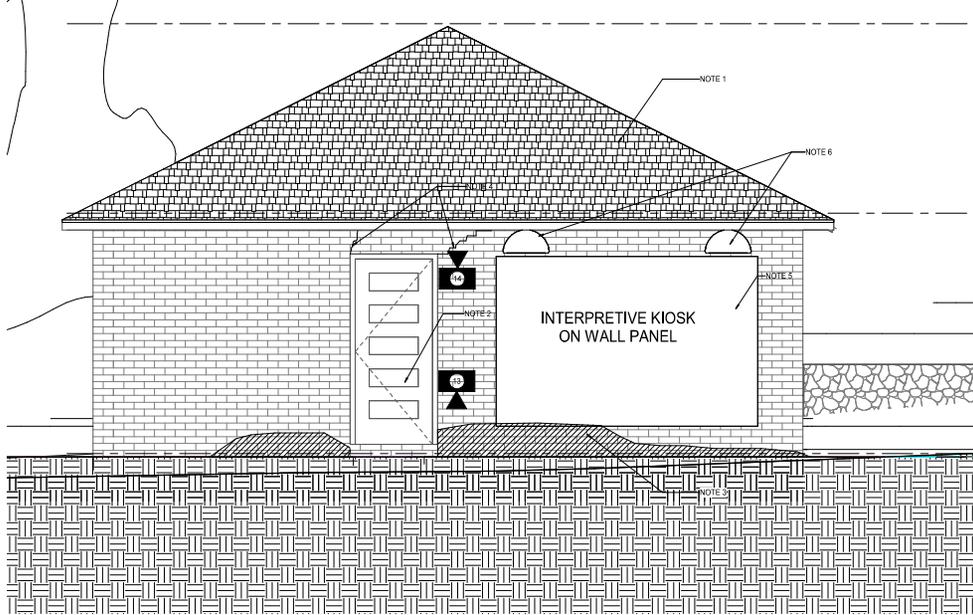
PHOTO 13: BIOLOGICAL GROWTH ON SOUTH FACADE



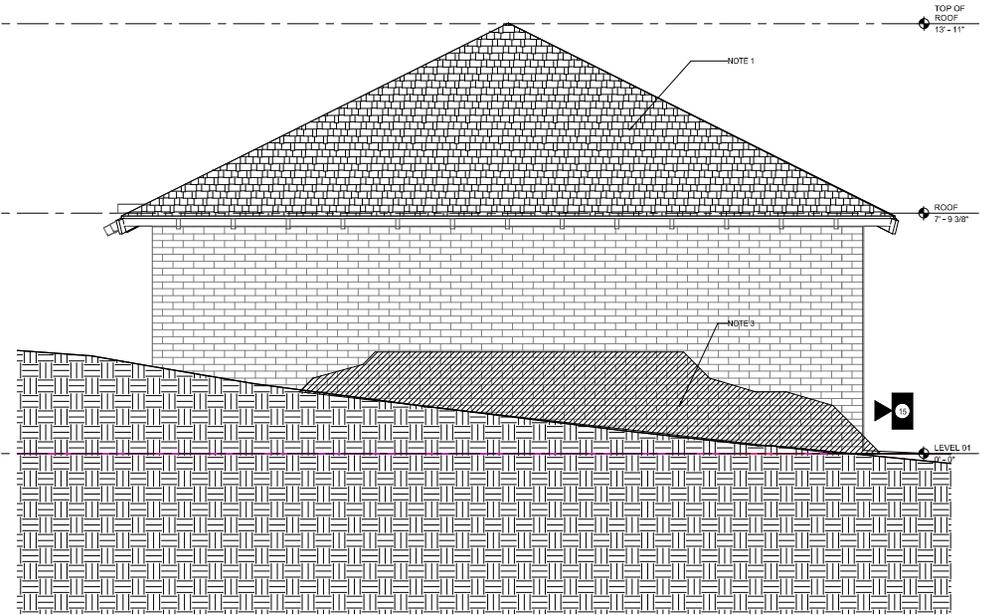
PHOTO 14: CRACKLINES ON SOUTH FACADE



PHOTO 15: BIOLOGICAL GROWTH ON NORTH FACADE



1 SOUTH ELEVATION
10'-0" 1:10'



2 NORTH ELEVATION
10'-0" 1:10'

NORTH AND SOUTH ELEVATIONS

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MATERIAL KEYNOTES		

- GENERAL NOTES**
- ANALYZE STRUCTURAL CONDITION OF THE BRICK WALLS.
 - REPAIR FOUNDATION.
 - REPAIR/REPLACE CRACKED & DAMAGED BRICK.
 - REPOINT 100% EXTERIOR BRICK WITH COMPATIBLE MORTAR.
 - CLEAN ALL BRICK FACADES.
 - IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE, AIR SEAL, INSULATE, ETC.

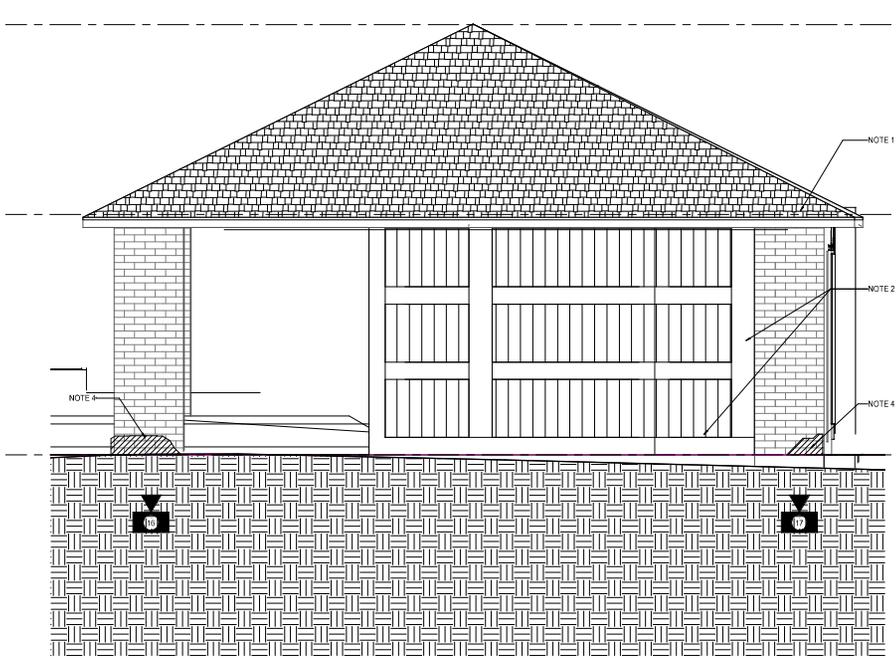
- SHEET SPECIFIC NOTES**
- REPLACE WITH NEW CEDAR SHAKE ROOF.
 - REPAIR DOOR, REPLACE WITH NEW TRIM FRAME, NEW PAINT FOR DOOR, TRIM, FRAME PAINT TO MATCH HISTORIC PAINT COLOR, REFER TO PHOTOS 9 AND 14.
 - REMOVE BIOLOGICAL GROWTH, REFER TO PHOTOS 13 AND 15.
 - REPAIR CRACKS ON BRICK, REFER TO PHOTOS 13 AND 14.
 - INSTALL KIOSK TO DISPLAY PROPERTY HISTORY AND PROJECT INFORMATION.
 - INSTALL NEW DOWNLIGHT TO LIGHT KIOSK.



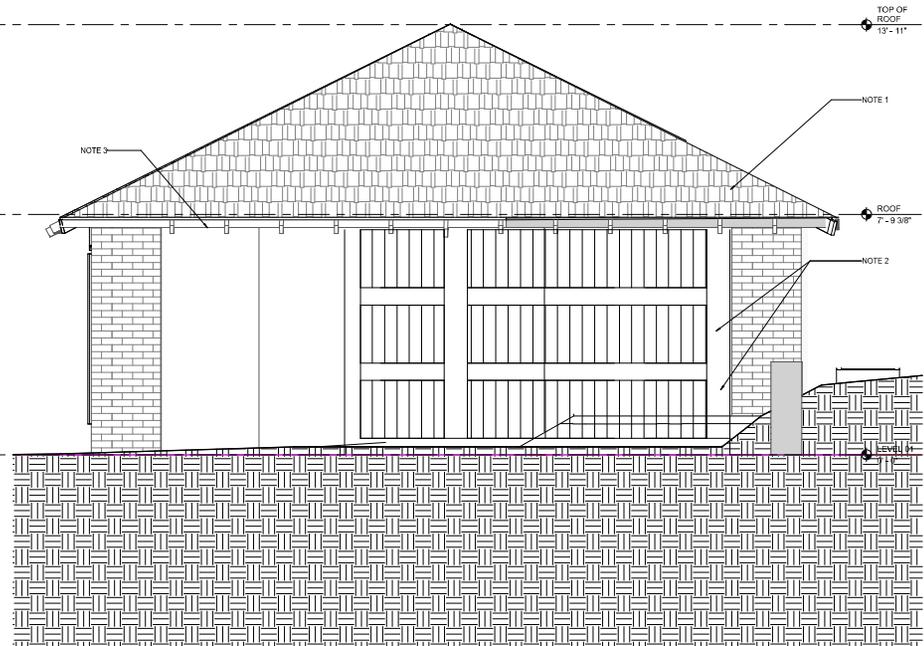
PHOTO 16: BIOLOGICAL GROWTH ON SOUTHWEST FACADE



PHOTO 17: BIOLOGICAL GROWTH ON NORTHWEST FACADE



1 WEST ELEVATION
10' 0" = 10' 0" MET



2 EAST ELEVATION
10' 0" = 10' 0" MET

EAST AND WEST ELEVATIONS

Heritage Preservation Grant - Historic Garage Renovation

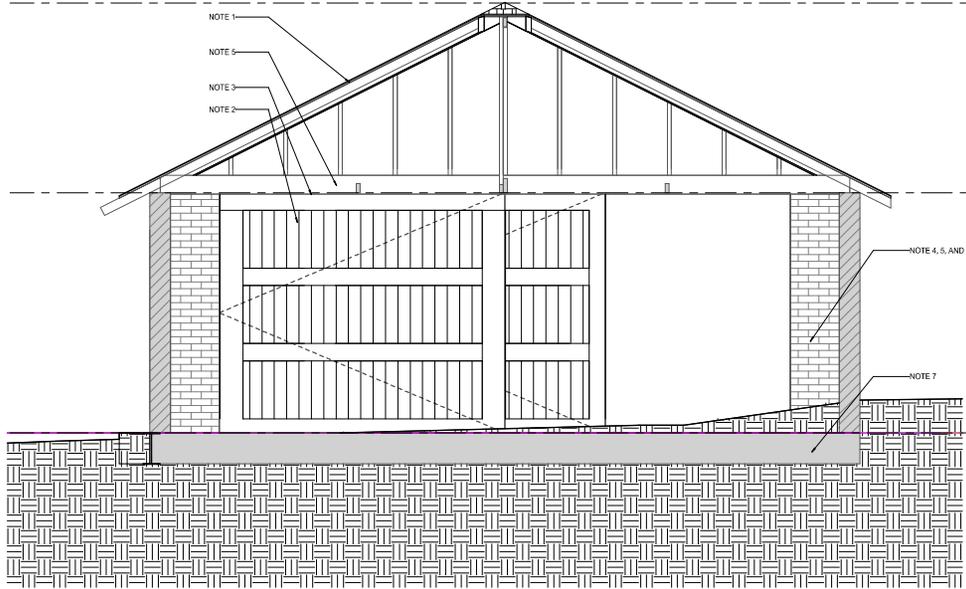
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MATERIAL KEYNOTES

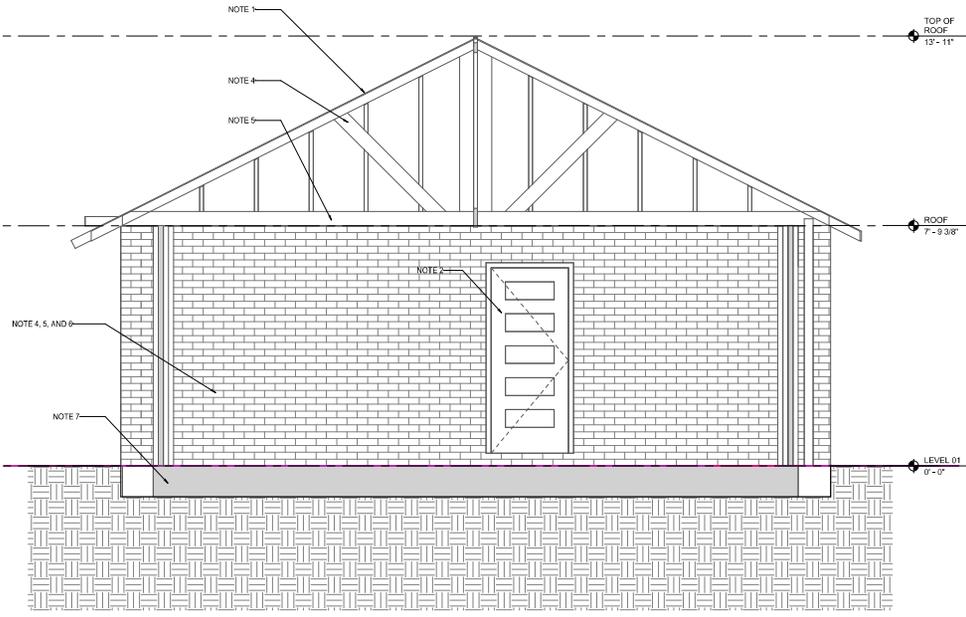
BRICK STAINS	BRICK PAVERS	PROTECT FOR REUSE
CRACKS	RECLAIMED PAVERS	
CEDAR SHAKES	ITEMS TO DEMOLISH AND REMOVE	

- GENERAL NOTES**
- ANALYZE STRUCTURAL CONDITION OF THE BRICK WALLS.
 - REPAIR FOUNDATION.
 - REPAIR/REPLACE CRACKED & DAMAGED BRICK.
 - REPORT 100% EXTERIOR BRICK WITH COMPATIBLE MORTAR.
 - CLEAN ALL BRICK FACADES.
 - IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.

- SHEET SPECIFIC NOTES**
- REPLACE WITH NEW CEDAR SHAKE ROOF.
 - REPAIR DOOR. REPLACE WITH NEW TRIM, FRAME. NEW PAINT FOR DOOR, TRIM, FRAME PAINT TO MATCH HISTORIC PAINT COLOR. REFER TO PHOTOS 7 AND 8.
 - REPLACE STRUCTURAL WOOD BEAM ABOVE BARN DOOR WITH STEEL BEAM. ATTACH DOOR TRACK TO STEEL BEAM. REFER TO PHOTO 12.
 - REMOVE BIOLOGICAL GROWTH. REFER TO PHOTOS 15-17.



1 N/S GARAGE SECTION
10'-11" x 12'-0" (1/4" = 1'-0")



2 E/W GARAGE SECTION
10'-11" x 12'-0" (1/4" = 1'-0")

SECTIONS

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CEDAR SHAKES	ITEMS TO DEMOLISH AND REMOVE	

- GENERAL NOTES**
- IMPROVE THERMAL ENVELOPE OF TO BE CONDITIONED GARAGE. AIR SEAL, INSULATE, ETC.
 - INSTALL NEW HVAC SYSTEM
 - INSTALL EXPOSED DUCT SYSTEM, TRUSSES AND RAFTER TO REMAIN EXPOSED.
 - REINFORCE ALL STRUCTURAL ELEMENTS AS NEEDED: BEAMS, TRUSSES, BRICK WALLS.

- SHEET SPECIFIC NOTES**
- REPLACE WITH NEW CEDAR SHAKE ROOF.
 - REPAIR, RESTORE AND PAINT DOOR, TRIM, FRAME.
 - REPLACE STRUCTURAL WOOD BEAM ABOVE BARN DOOR WITH STEEL BEAM. ATTACH NEW DOOR TRACK TO STEEL BEAM.
 - CLEAN ALL BRICK FACADES.
 - REPAIR/REPLACE CRACKED & DAMAGED BRICK.
 - REPOINT 100% EXTERIOR BRICK WITH COMPATIBLE MORTAR.
 - REPAIR FOUNDATION.

