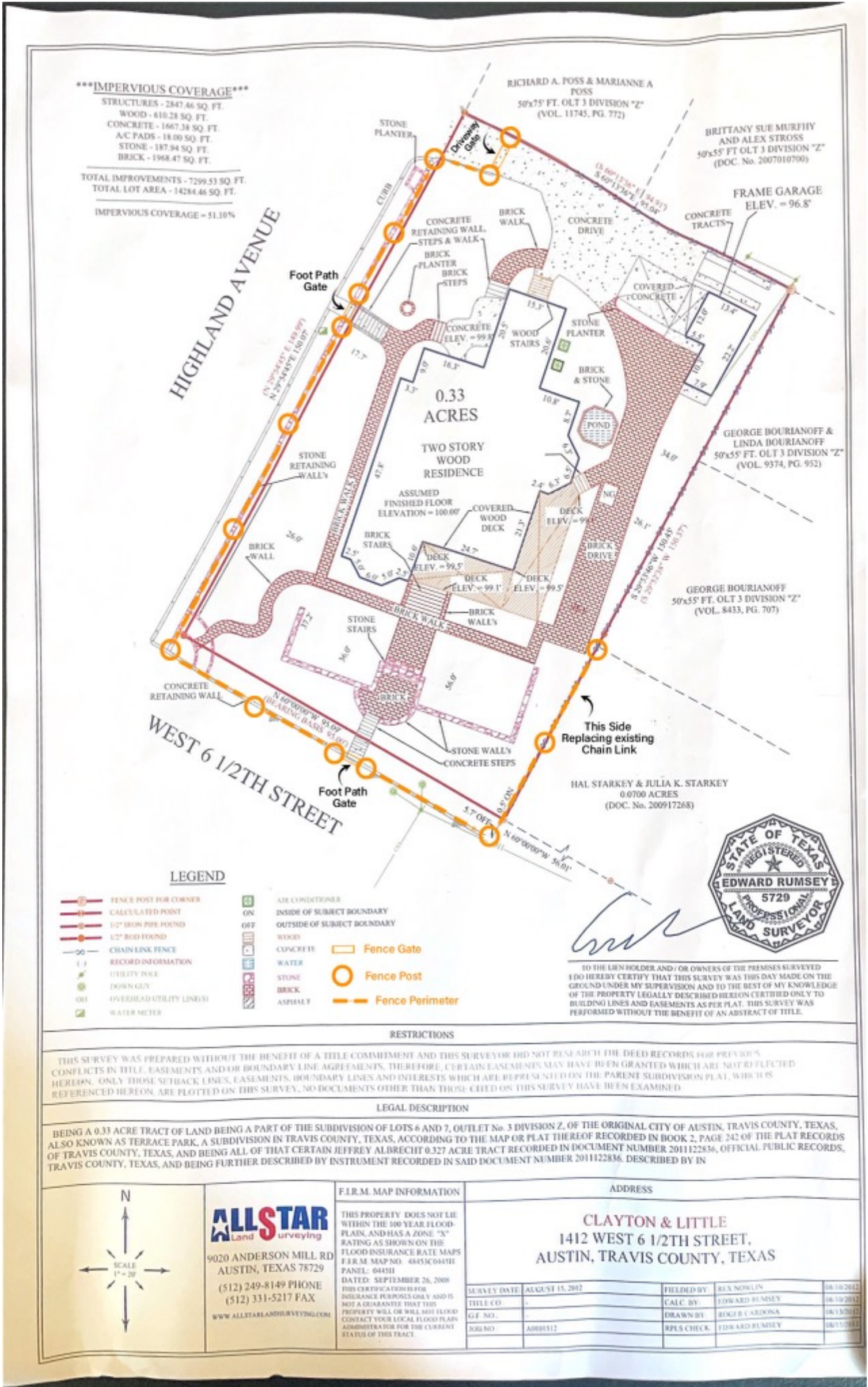
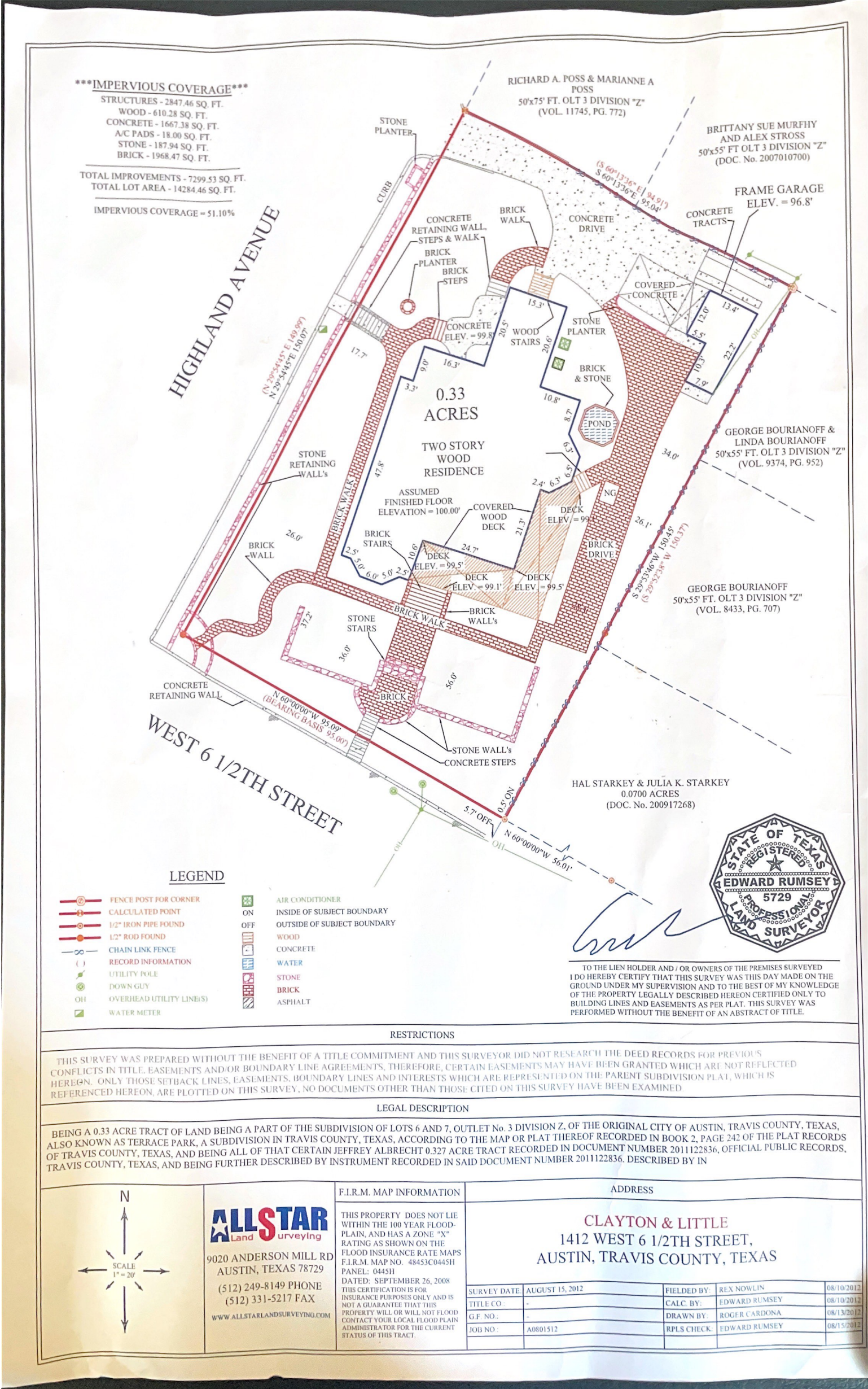


Fence Addition for The James Raymond Johnson House  
1412 W 6th Half St  
Jeff Albrecht - Owner and Applicant  
13 June 2023

SITE PLANS  
SIDE BY SIDE  
COMPARISON

Site Plan w/  
Proposed Fence





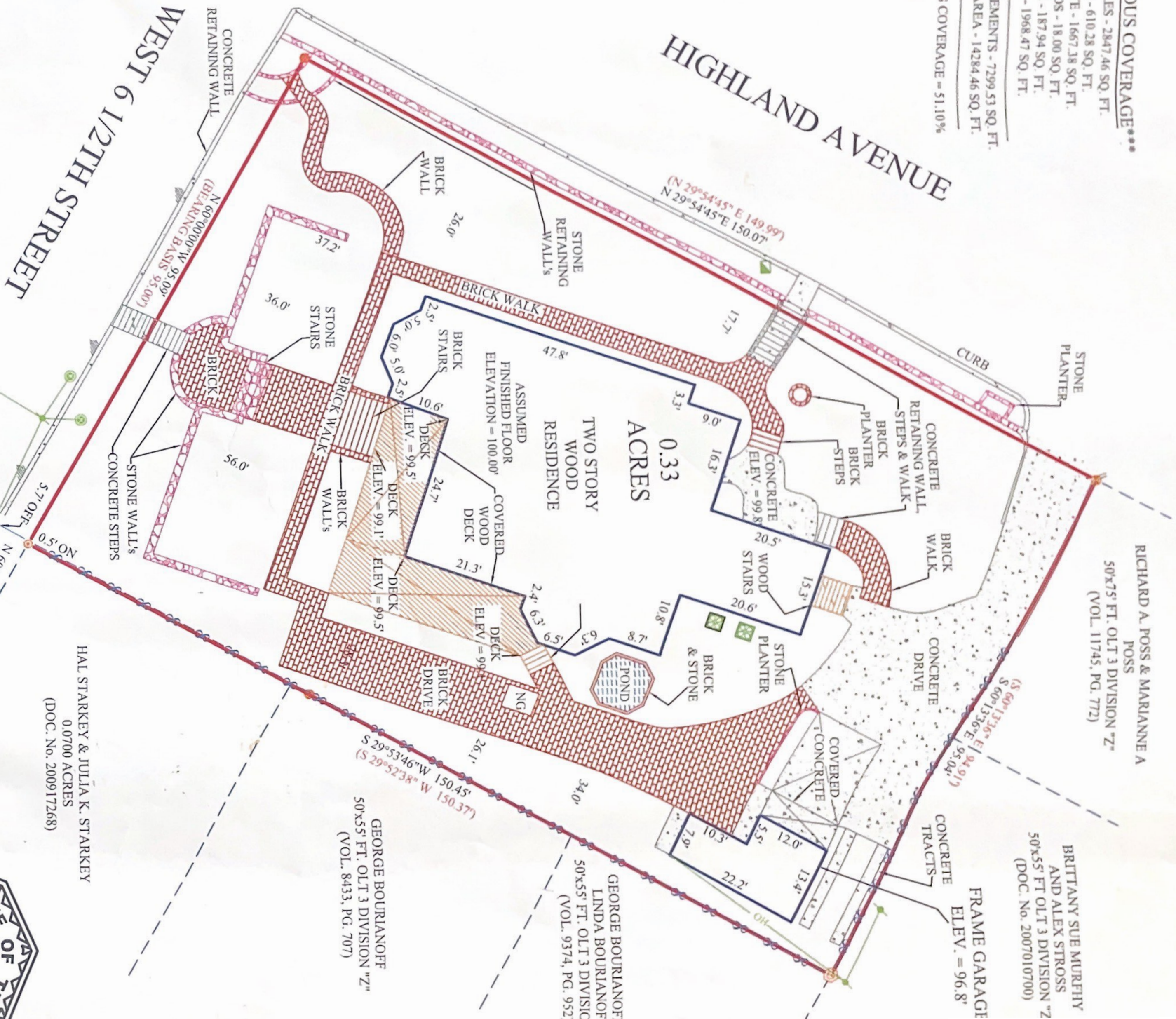
\*\*\*IMPERVIOUS COVERAGE\*\*\*

STRUCTURES - 2847.46 SQ. FT.  
WOOD - 610.28 SQ. FT.  
CONCRETE - 1667.38 SQ. FT.  
A/C PADS - 18.00 SQ. FT.  
STONE - 187.94 SQ. FT.  
BRICK - 1968.47 SQ. FT.

TOTAL IMPROVEMENTS - 7299.53 SQ. FT.  
TOTAL LOT AREA - 14284.46 SQ. FT.

IMPERVIOUS COVERAGE = 51.10%

# SITE PLAN (CURRENT)



## LEGEND

- FENCE POST FOR CORNER
- CALCULATED POINT
- 1/2" IRON PIPE FOUND
- 1/2" ROD FOUND
- CHAIN LINK FENCE
- UTILITY POLE
- DOWN GUY
- OVERHEAD UTILITY LINE(S)
- WATER METER
- AIR CONDITIONER
- ON
- INSIDE OF SUBJECT BOUNDARY
- OFF
- OUTSIDE OF SUBJECT BOUNDARY
- WOOD
- CONCRETE
- WATER
- STONE
- BRICK
- ASPHALT

## RESTRICTIONS

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND THIS SURVEYOR DID NOT RESEARCH THE DEED RECORDS FOR PREVIOUS CONFLICTS IN TITLE, EASEMENTS AND/OR BOUNDARY LINE AGREEMENTS, THEREFORE, CERTAIN EASEMENTS MAY HAVE BEEN GRANTED WHICH ARE NOT REFLECTED HEREIN. ONLY THOSE SETBACK LINES, EASEMENTS, BOUNDARY LINES AND INTERESTS WHICH ARE REPRESENTED ON THE PARENT SUBDIVISION PLAT, WHICH IS REFERENCED HEREON, ARE PLOTTED ON THIS SURVEY. NO DOCUMENTS OTHER THAN THOSE CITED ON THIS SURVEY HAVE BEEN EXAMINED

## LEGAL DESCRIPTION

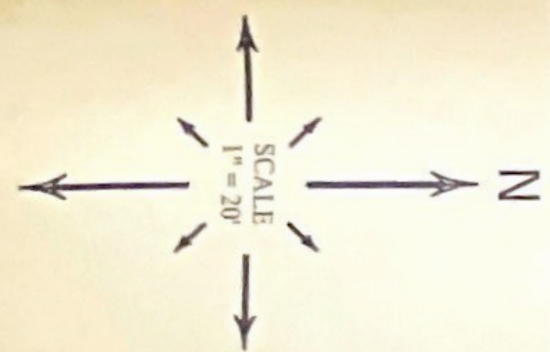
BEING A 0.33 ACRE TRACT OF LAND BEING A PART OF THE SUBDIVISION OF LOTS 6 AND 7, OUTLET No. 3 DIVISION Z, OF THE ORIGINAL CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN BOOK 2, PAGE 242 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING ALL OF THAT CERTAIN JEFFREY ALBRECHT 0.327 ACRE TRACT RECORDED IN DOCUMENT NUMBER 2011122836, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING FURTHER DESCRIBED BY INSTRUMENT RECORDED IN SAID DOCUMENT NUMBER 2011122836, DESCRIBED BY IN

## F.I.R.M. MAP INFORMATION

## ADDRESS

**ALLSTAR**  
Land Surveying

9020 ANDERSON MILL RD  
AUSTIN, TEXAS 78729  
(512) 249-8149 PHONE  
(512) 331-5217 FAX  
WWW.ALLSTARLANDSURVEYING.COM



**CLAYTON & LITTLE**  
1412 WEST 6 1/2TH STREET,  
AUSTIN, TRAVIS COUNTY, TEXAS



TO THE LIEN HOLDER AND / OR OWNERS OF THE PREMISES SURVEYED  
I DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON  
GROUND UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE  
OF THE PROPERTY LEGALLY DESCRIBED HEREON CERTIFIED ONLY BY  
BUILDING LINES AND EASEMENTS AS PER PLAT. THIS SURVEY WAS  
PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.

HAL STARKEY & JULIA K. STARKEY  
0.0700 ACRES  
(DOC. No. 200917268)

GEORGE BOURLANOFF  
LINDA BOURLANOFF  
50x55' FT. OLT 3 DIVISION "Z"  
(VOL. 8433, PG. 707)

GEORGE BOURLANOFF  
LINDA BOURLANOFF  
50x55' FT. OLT 3 DIVISION  
(VOL. 9374, PG. 952)

RICHARD A. POSS & MARIANNE A. POSS  
50x75' FT. OLT 3 DIVISION "Z"  
(VOL. 11745, PG. 772)

BRITTANY SUE MURPHY  
AND ALEX STROSS  
50x55' FT OLT 3 DIVISION "Z"  
(DOC. No. 2007010700)

FRAME GARAGE  
ELEV. = 96.8'

SURVEY DATE: AUGUST 15, 2012

TITLE CO.	FIELD BY:	CALC BY:	DRAWN BY:	RPS CHECK:
-	REX NOWLIN	EDWARD RUMSEY	ROGER CARDONA	EDWARD RUMSEY
G.F. NO.:				
JOB NO.:				

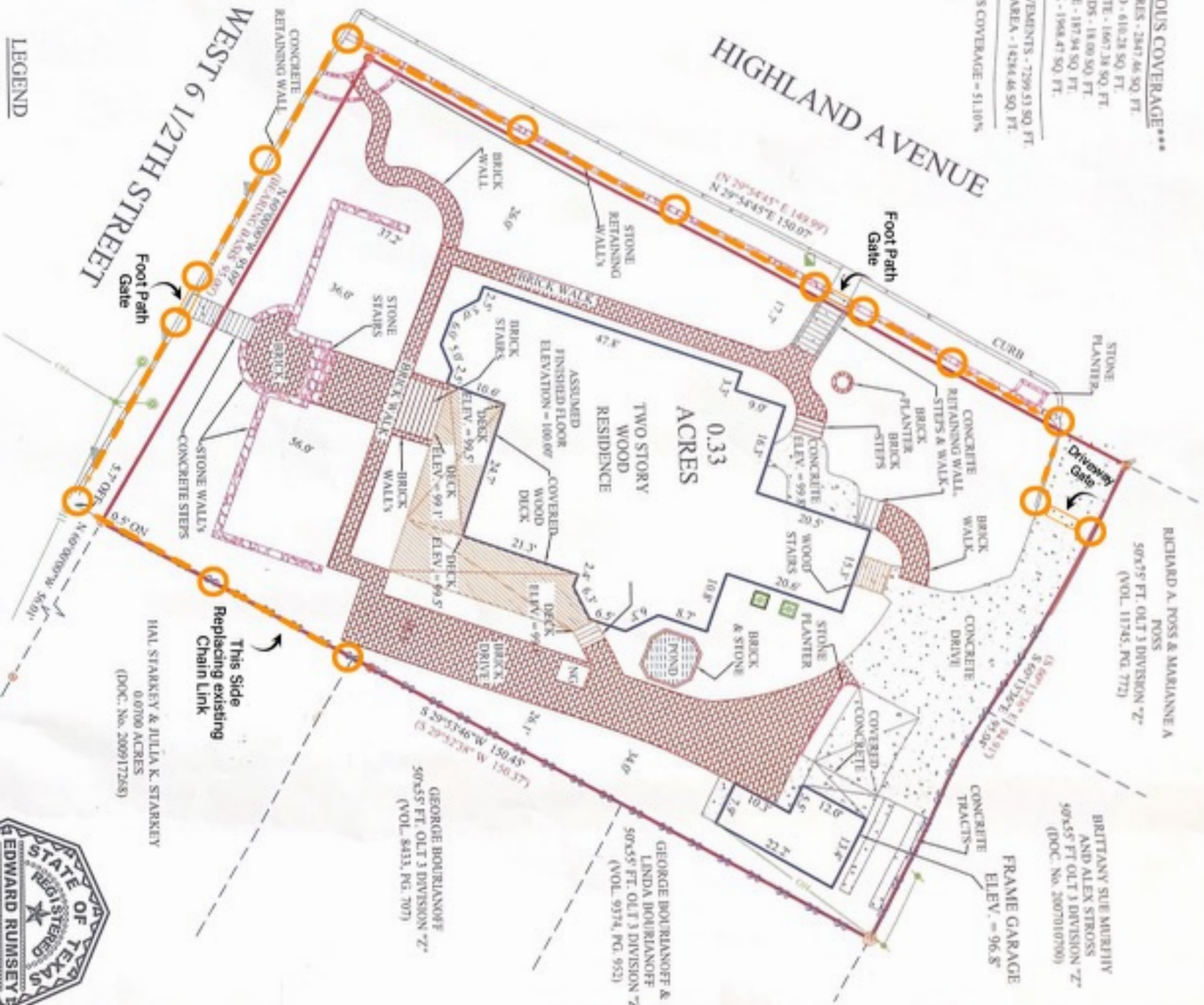


# SITE PLAN (PROPOSED FENCE)

## \*\*\*IMPERVIOUS COVERAGE\*\*\*

STRUCTURES - 2847.46 SQ. FT.  
WOOD - 610.28 SQ. FT.  
CONCRETE - 1607.38 SQ. FT.  
A.C. PADS - 18.00 SQ. FT.  
STONE - 187.94 SQ. FT.  
BRICK - 1968.47 SQ. FT.

TOTAL IMPROVEMENTS - 7299.51 SQ. FT.  
TOTAL LOT AREA - 14264.46 SQ. FT.  
IMPERVIOUS COVERAGE = 51.10%



- LEGEND**
- THICK POST FOR CORNER
  - CALCULATED POST
  - 12" BRONZE PIPE FENCING
  - 12" BRONZE FENCING
  - CHAIN LINK FENCE
  - RECORD INFORMATION
  - UTILITY TIE
  - POWERS
  - OVERHEAD UTILITY LINES
  - WATER METER

- RESTRICTIONS**
- ALL CONVEYANCES
  - INSIDE OF SUBJECT BOUNDARY
  - OUTSIDE OF SUBJECT BOUNDARY
  - WATER
  - STONE
  - BRICK
  - ASPHALT
  - Fence Gate
  - Fence Post
  - Fence Perimeter

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND THIS SURVEYOR DID NOT RESEARCH THE DEED RECORDS FOR PREVIOUS CONFLICTS IN TITLE, EASEMENTS AND/OR BOUNDARY LINE AGREEMENTS. THEREFORE, CERTAIN EASEMENTS MAY HAVE BEEN GRANTED WHICH ARE NOT REFLECTED HEREON. ONLY THOSE SETBACK LINES, EASEMENTS, BOUNDARY LINES AND INTERESTS WHICH ARE HEREIN SHOWN ON THE PARENT SUBDIVISION PLAT, WITH THEIR REFERENCES HEREON, ARE PLOTTED ON THIS SURVEY. NO DOCUMENTS OTHER THAN THOSE CITED ON THIS SURVEY HAVE BEEN EXAMINED.

## LEGAL DESCRIPTION

BEING A 0.33 ACRE TRACT OF LAND BEING A PART OF THE SUBDIVISION OF LOTS 6 AND 7, OUTLET No. 3 DIVISION 2, OF THE ORIGINAL CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, ALSO KNOWN AS TERRACE PARK, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN BOOK 2, PAGE 242 OF THE PLAT RECORD OF TRAVIS COUNTY, TEXAS, AND BEING ALL OF THAT CERTAIN JEFFREY ALBRECHT 0.327 ACRE TRACT RECORDED IN DOCUMENT NUMBER 2011122836, OFFICIAL PUBLIC RECORD TRAVIS COUNTY, TEXAS, AND BEING FURTHER DESCRIBED BY INSTRUMENT RECORDED IN SAID DOCUMENT NUMBER 2011122836, DESCRIBED BY IN

## ADDRESS

CLAYTON & LITTLE  
1412 WEST 6 1/2TH STREET,  
AUSTIN, TRAVIS COUNTY, TEXAS

## F.I.R.M. MAP INFORMATION

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN, AND HAS A ZONE "X" RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS. FIRM MAP NO. 4455040411 DATED: SEPTEMBER 26, 2008. THIS CERTIFICATION FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THIS PROPERTY WILL OR WILL NOT FLOOD. CONTACT YOUR LOCAL FLOOD PLAIN ADMINISTRATION FOR THE CURRENT STATUS OF THIS TRACT.

**ALLSTAR**  
Land surveying

9020 ANDERSON MILL RD  
AUSTIN, TEXAS 78729  
(512) 249-8149 PHONE  
(512) 331-5217 FAX  
WWW.ALLSTARLANDSURVEYING.COM

DATE	FILED BY	FILED DATE	FILED BY	FILED DATE
06/01/11	REX NORRIS	06/01/11	REX NORRIS	06/01/11
06/01/11	REX NORRIS	06/01/11	REX NORRIS	06/01/11
06/01/11	REX NORRIS	06/01/11	REX NORRIS	06/01/11
06/01/11	REX NORRIS	06/01/11	REX NORRIS	06/01/11





Fence Addition for The James Raymond Johnson House  
1412 W 6th Half St  
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## **SAFETY CONSIDERATIONS**

**International Building Code 1015.2 requires a fence or railing on any retaining wall over 30” high.**

**These walls are high risk safety hazards. Above the walls are slippery, tangly asian jasmine that hides sprinkler heads and rocks. Below, is a five foot fall to asphalt.**

**Children, gardeners animals are at obvious risk for severe injury.**



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Photo Renderings of Landscape (Proposed and Current)

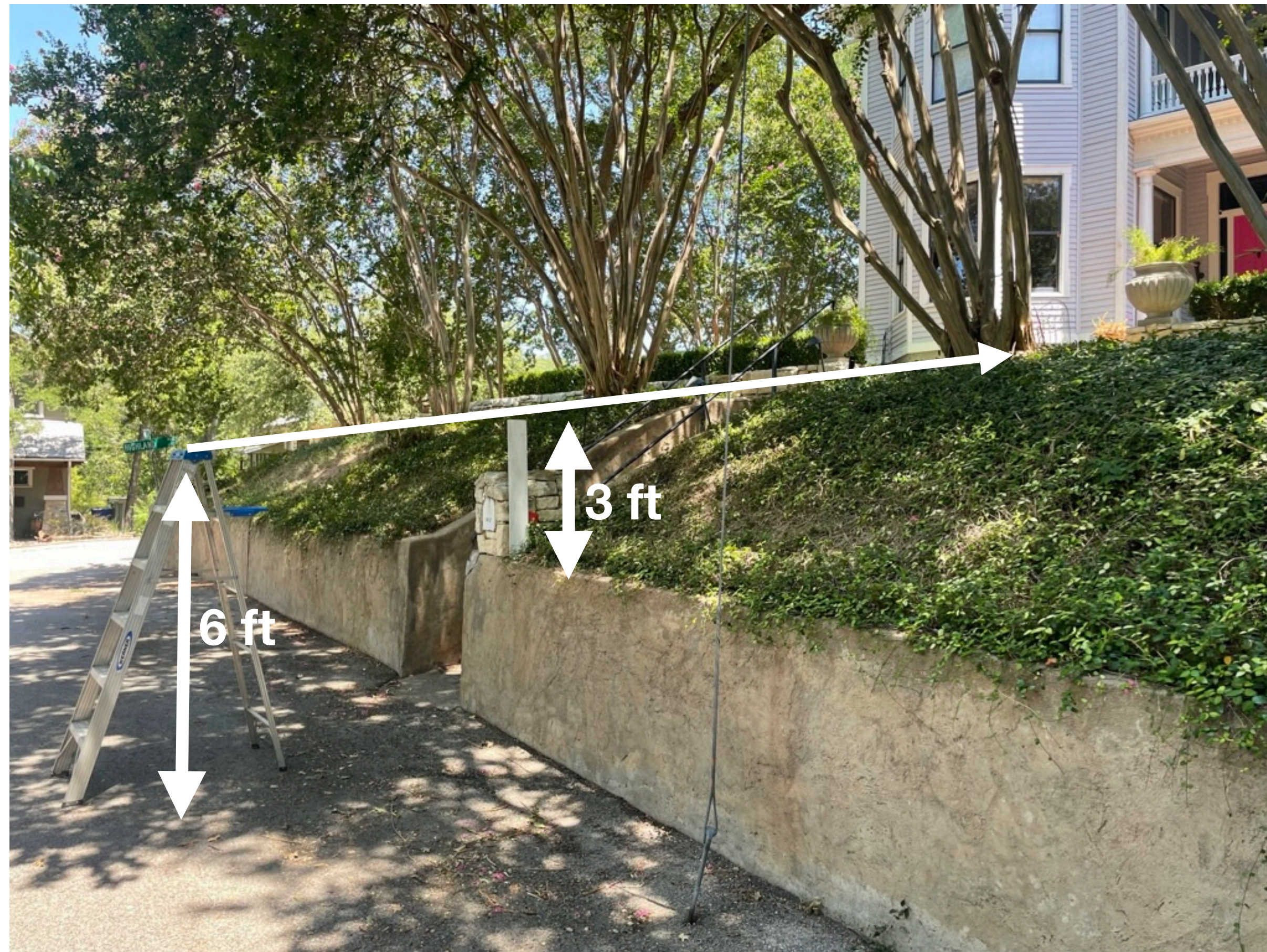




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**Proposed Site Line at Front of House**

**REQUIREMENT:** Fence should not impede view of historical house from street.





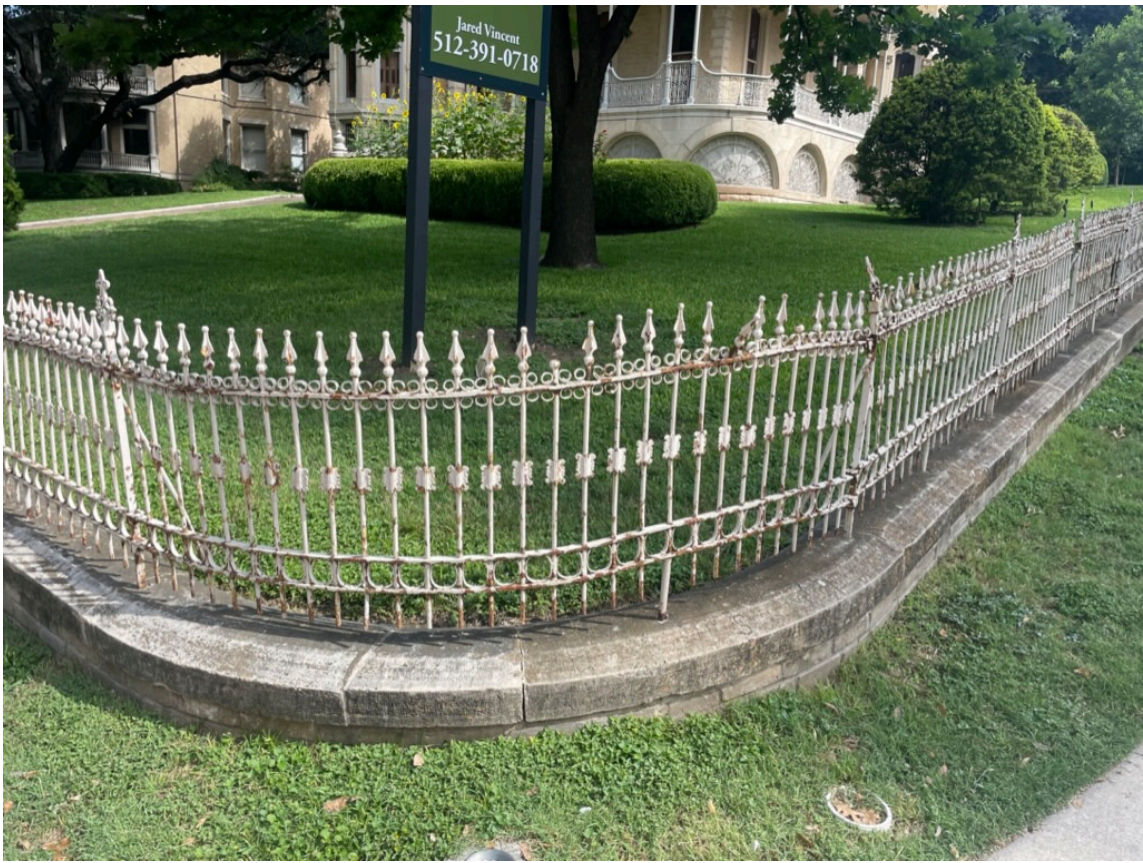
Fence Addition for The James Raymond Johnson House  
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**PHOTO EXAMPLES OF PROPOSED FENCE DESIGN**  
**(Examples from Baylor St, San Antonio St., W 7th St)**

Fence Panels and Posts



Curved Fence Panel



Fence Panels, Posts and Pedestrian Gate





Fence Addition for The James Raymond Johnson House  
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13 June 2023

**MATERIAL LIST**

**FENCE PANELS AND POSTS**  
All materials painted slate gray

3/8" round solid metal rod welded to rails, topped with finials, 3.5" gap between

3/4" round solid metal rod with welded finial top. Sunk into retaining wall and anchored with adhesive

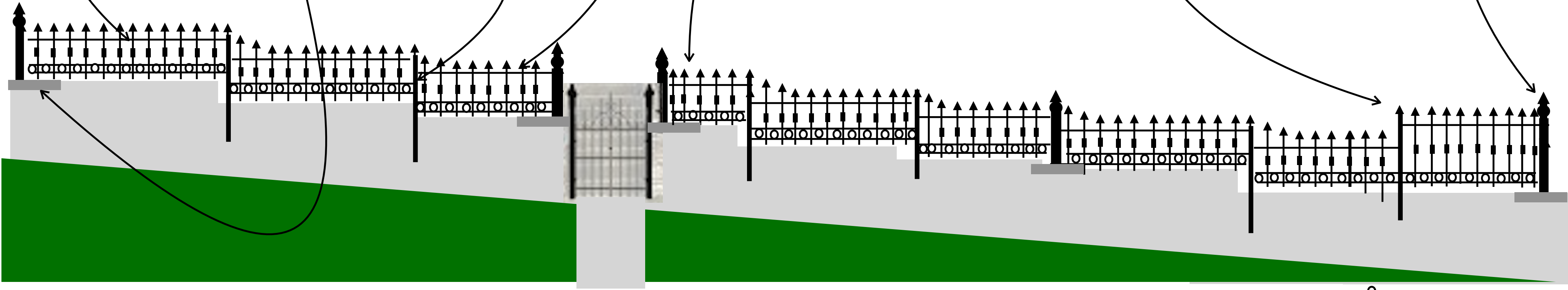
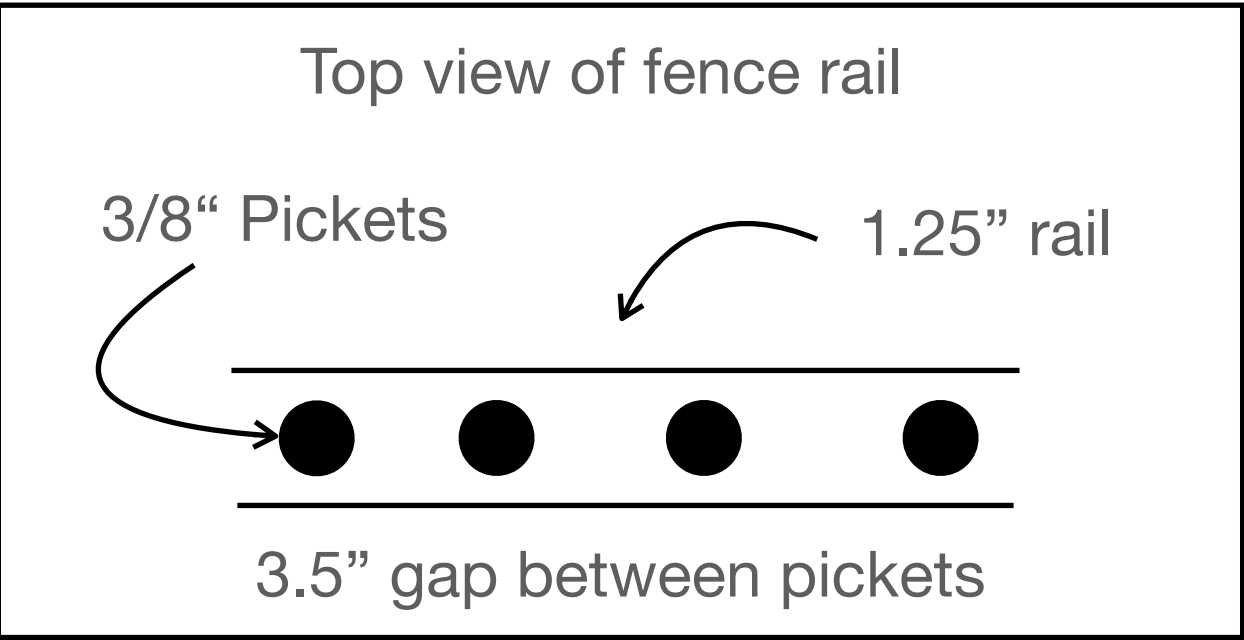
~1.25" x 1/4' solid metal rails

5"x5"x1" stone post base

Fence height (top of finial) is 36"

Corner section of fence raises to 4' tall because of elevated planter box and to meet code requirement for 36" rail height above grade.

3' round End Posts anchored with bolts and adhesive. Decorated with finial.



HIGHLAND AVENUE



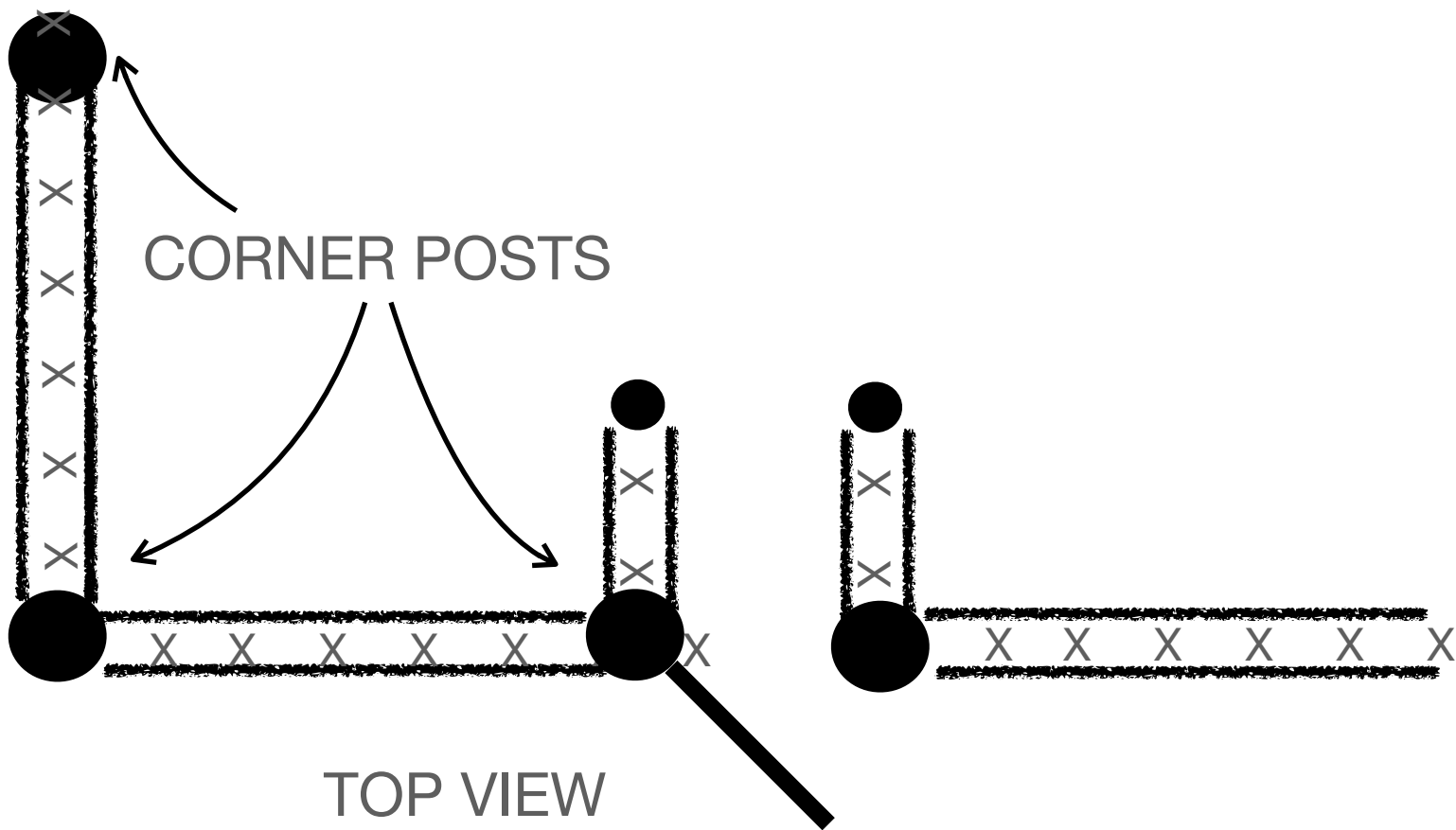
Fence Addition for The James Raymond Johnson House  
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# MATERIAL LIST

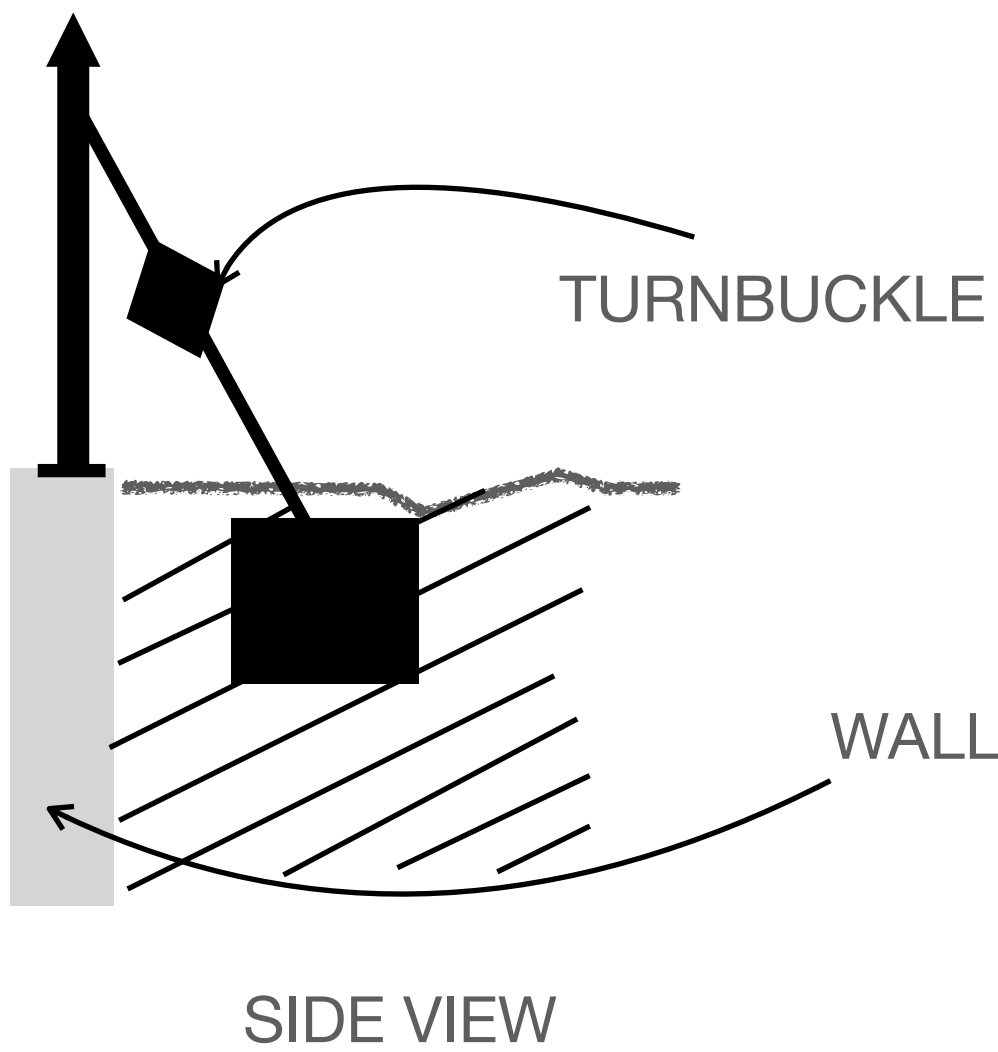
## Anchoring and Wall Stability

**OWNER REQUIREMENT:** Fence must prove stable for itself and retaining wall in the event it is climbed by a 220 lb person from below or should a 220 lb person fall into it from above.

1. Each section of fence between gates and corners will turn back at right angles creating a rigid, stable, immovable structure.

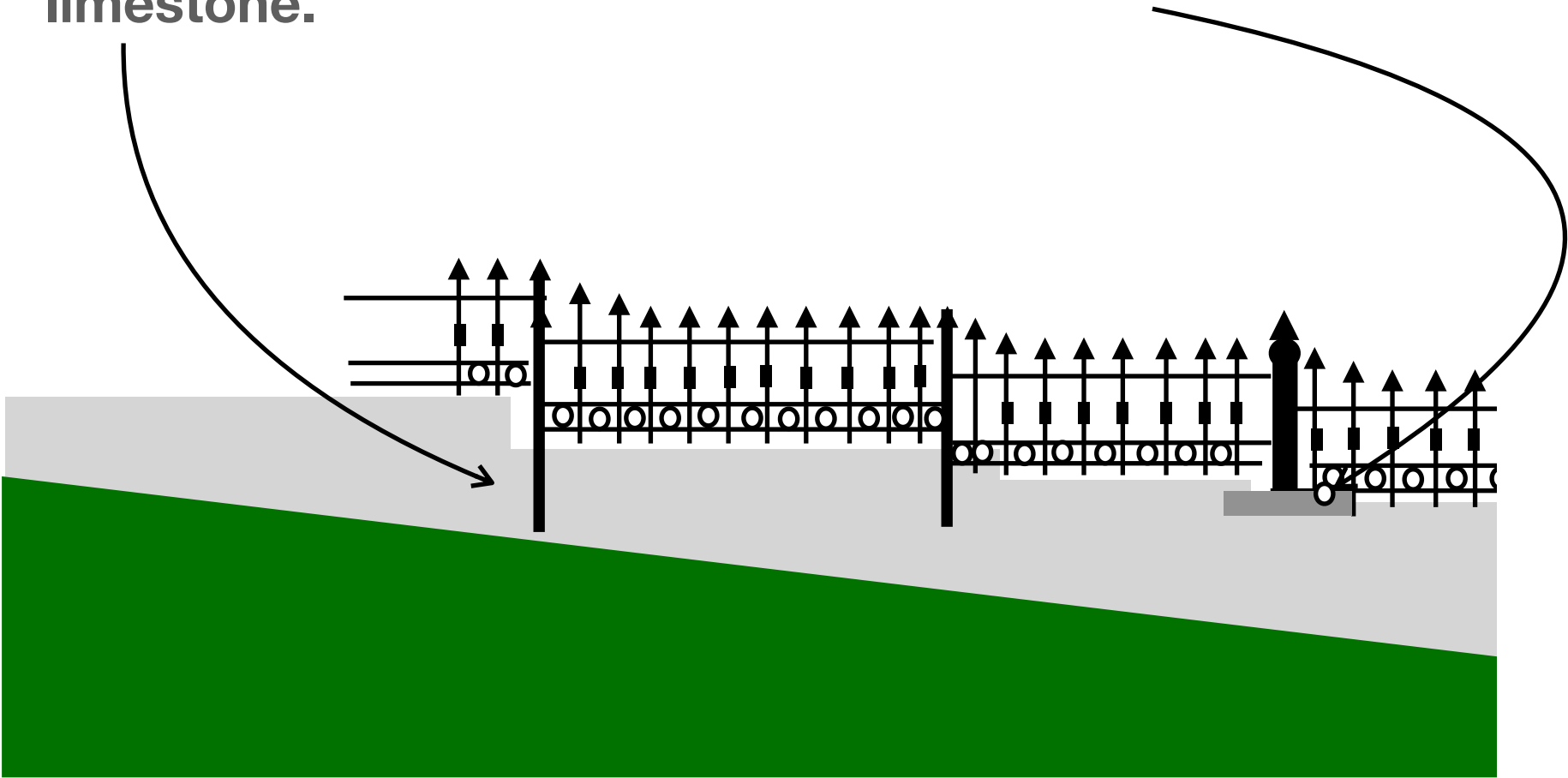


2. Cantilevered supports every 12 feet are anchored with 50lb stone.



3. 3/4” round solid metal rod every 6 feet drilled into retaining wall and anchored with rock climbing anchor adhesive rated for 50 years in limestone.

4. 3” round corner post mounted on 6”x6” plate with bolts anchored into wall with rock climbing anchor adhesive rated for 50 years in limestone.

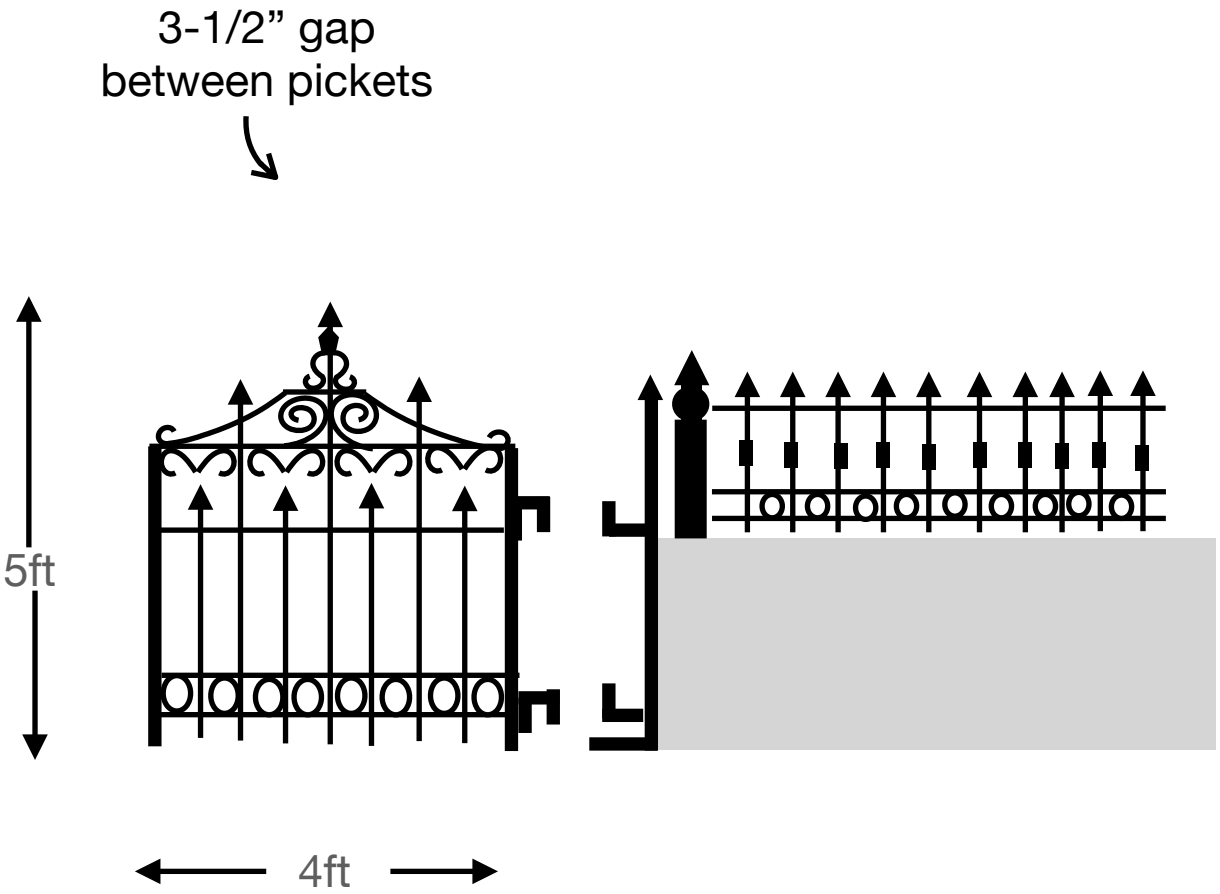




Fence Addition for The James Raymond Johnson House  
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**MATERIAL LISTS**

- PEDESTRIAN GATES (2)**  
Metal round pickets (~.25")  
Angle metal rails (~1.25")  
Bent metal scroll (~.5")  
Metal finials  
Hinges welded to metal rod anchored into retaining wall





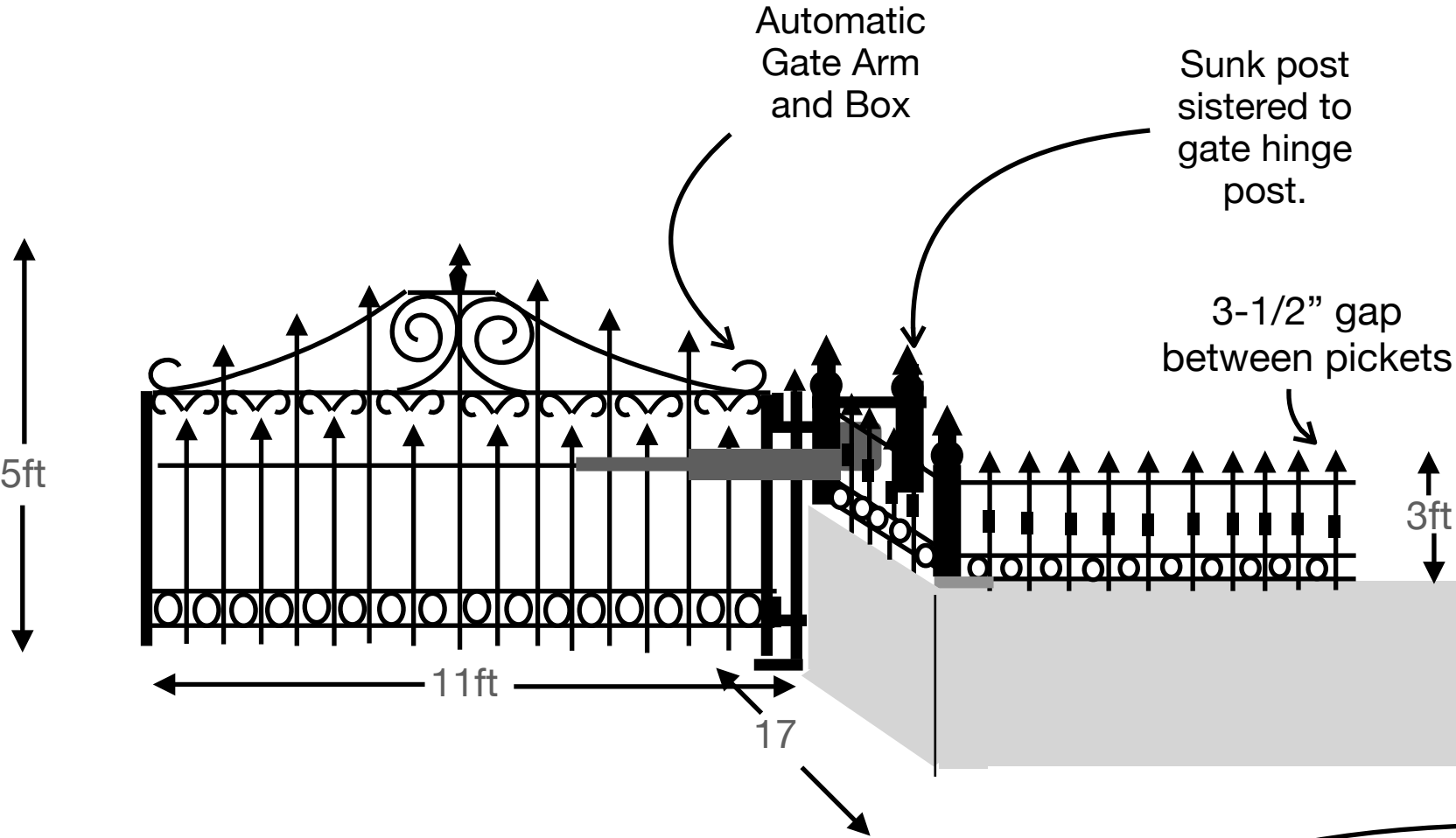
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MATERIAL LIST

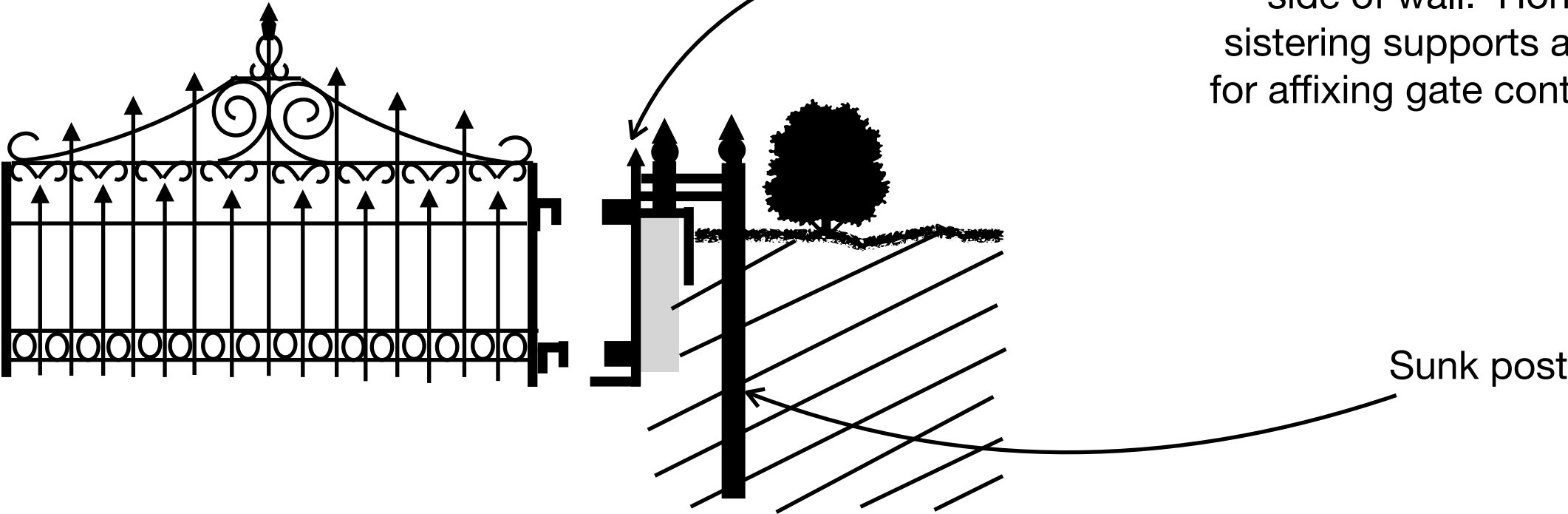
DRIVEWAY GATE

- Metal round pickets (1/4" or 3/8")
- Angle metal rails (~1.25")
- Bent metal scroll (~.5")
- Metal finials
- Hinges welded to metal anchoring sleeve
- 3" metal post with finial

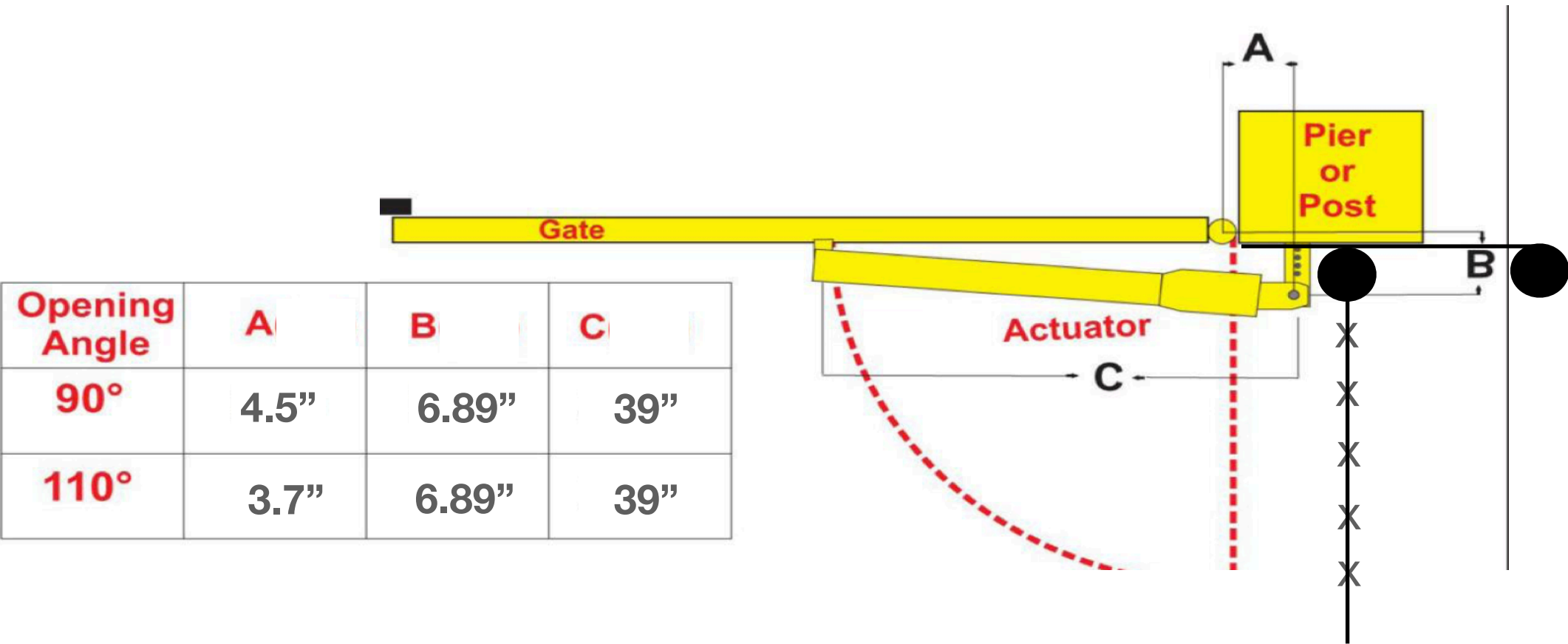
Street View  
(Gate, Gate Post,  
Fence)



Gate Post  
(Street View)



Gate Hinge  
(Top View)





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DRIVEWAY GATE

POSITIONING

GATE OPENING

11" (wall to wall)  
10' 9-3/4" (wall to gate)\*

\*assuming gate width = 1.25" + 1" hinge mount

