

Autodesk Docs://12067-00 Flower Hill Garage/Central_12067-00_v23.rvt
6/26/2023 6:15:17 PM

Flower Hill Foundation

Heritage Preservation Grant - Historic Garage Renovation

Project Status

06/26/2022

LAS Project No. 12067-00

Lord Aeck Sargent
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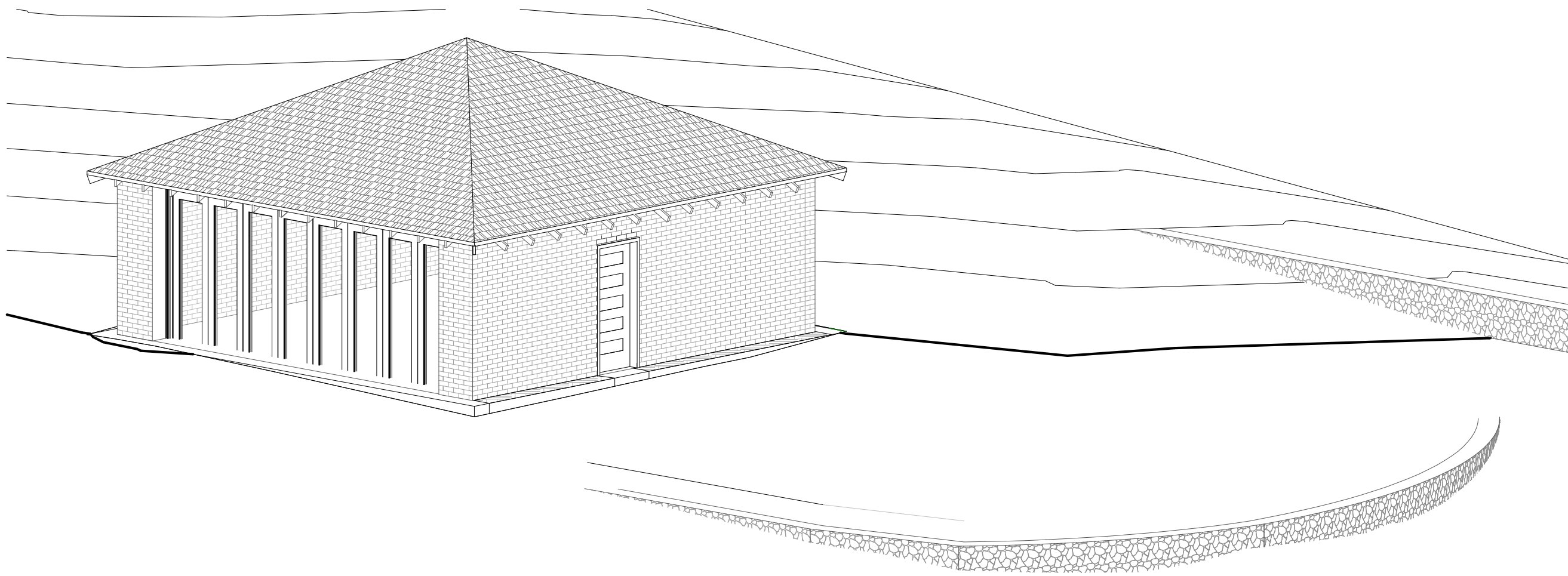


PHOTO 1A: HISTORIC IMAGE OF GARAGE STRUCTURE, DATE UNKNOWN.



PHOTO 1B: WEST FACADE, EXISTING

SHEETS

GENERAL
G001 COVER SHEET

SITE
A001 OVERALL SITE PLAN
A002 ENLARGED SITE PLAN

DEMOLITION
AD101 GARAGE DEMOLITION FLOOR PLAN
AD102 GARAGE DEMOLITION ROOF PLAN

ARCHITECTURAL
A101 GARAGE FLOOR PLAN
A102 GARAGE ROOF PLAN
A201 NORTH AND SOUTH ELEVATIONS
A202 EAST AND WEST ELEVATIONS
A211 BUILDING SECTIONS
A401 REFLECTED CEILING PLAN
A511 ROOF DETAILS



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REVISION:

SHEET TITLE
COVER SHEET

SCALE (N.D.)

JOB NAME
Flower Hill Foundation
Heritage Preservation Grant - Historic Garage
Renovation
LOCATION
1316 W 6th St
Austin, TX 78703

ISSUE DATE
06/26/2022

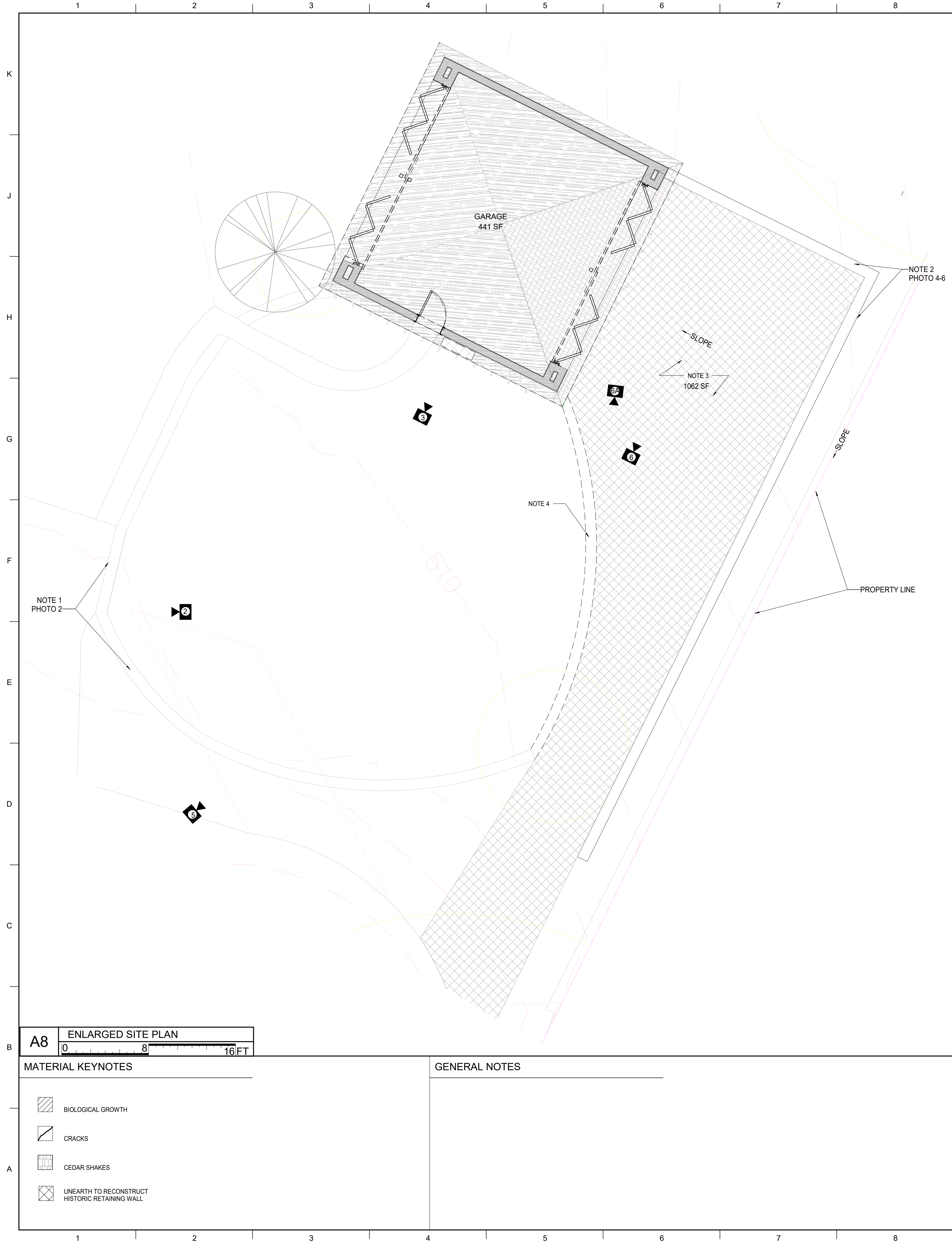
JOB NO.
12067-00

DWG. NO.

G001

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A8 ENLARGED SITE PLAN
0 8 16FT

MATERIAL KEYNOTES

- BIOLOGICAL GROWTH
- CRACKS
- CEDAR SHAKES
- UNEARTH TO RECONSTRUCT HISTORIC RETAINING WALL

GENERAL NOTES

SHEET SPECIFIC NOTES

- REPAIR AND RECONSTRUCT CRESCENT RETAINING WALL TO ORIGINAL HEIGHT. STABILIZE, SHORE, AND REPAIR WALL FOUNDATION AS NEEDED. LINEAR FEET: 84'-8" V.I.F. REFER TO PHOTO 2.
- RESTORE AND RECONSTRUCT RETAINING WALL LOCATED EAST OF GARAGE. MAY REQUIRE UNEARTHING AND REMOVING VEGETATION BACK TO PROPERTY LINE. CONSULT WITH CITY OF AUSTIN ARBORIST BEFORE REMOVING TREES. REFERENCE HISTORICAL PHOTOS 4 AND 5.
- EXCAVATE TO ORIGINAL DRIVEWAY PATH GRADE. REMOVE VEGETATION AS NEEDED. REPAVE WITH CONCRETE PAD BETWEEN EXISTING DRIVEWAY AND GARAGE PER DRAWING.
- CRESCENT WALL TO BE RECONSTRUCTED. STABILIZE, SHORE, AND REPAIR WALL FOUNDATION AS NEEDED. LINEAR FEET: 35'-0" V.I.F. REFER TO PHOTO 6A.

KEY PLAN

SEAL

PROJECT NORTH



PHOTO 2: REPAIR AND REBUILD CRESCENT RETAINING WALL. DATE 2022-JUL-30.



PHOTO 3: BRICK CRACKS AND BIOLOGICAL GROWTH ON SOUTH FACADE. DATE 2022-JUL-30.

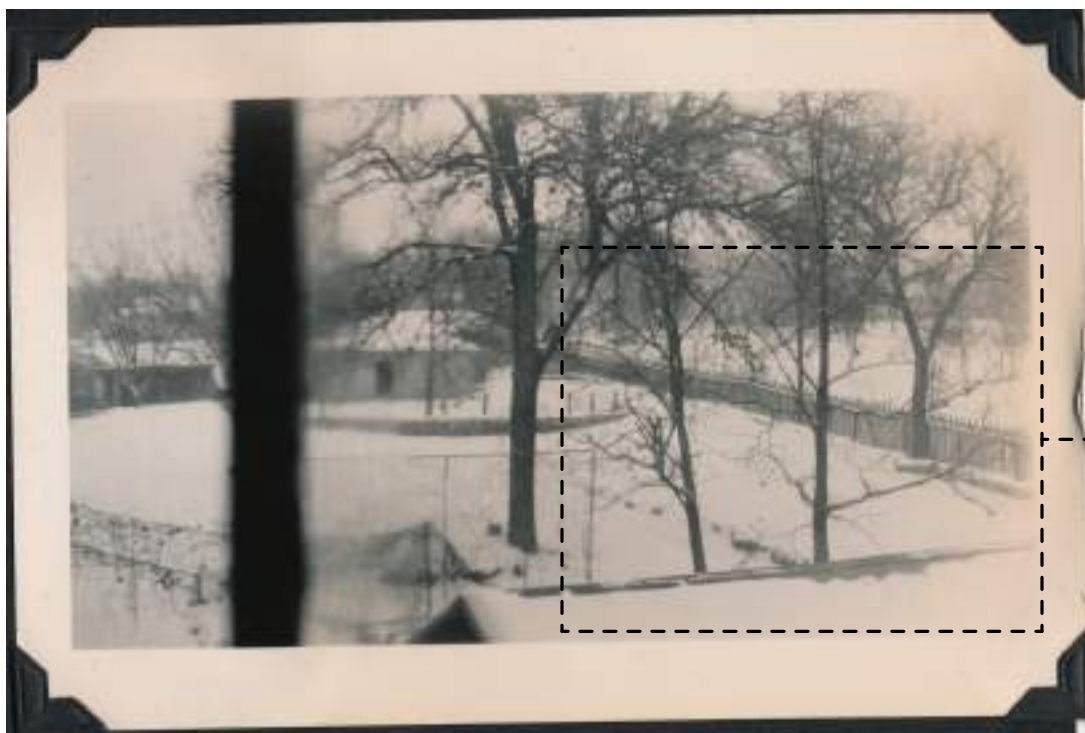


PHOTO 4: HISTORIC IMAGE OF GARAGE STRUCTURE. DATE UNKNOWN.



PHOTO 5: ENLARGED VIEW OF HISTORIC PHOTO 4



PHOTO 6: EAST OF GARAGE. DATE 2022-SEPT-27.



PHOTO 6A: SOUTHEAST OF GARAGE. DATE 2022-SEPT-27.



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SHEET TITLE
ENLARGED SITE PLAN

JOB NAME
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Heritage Preservation Grant - Historic Garage
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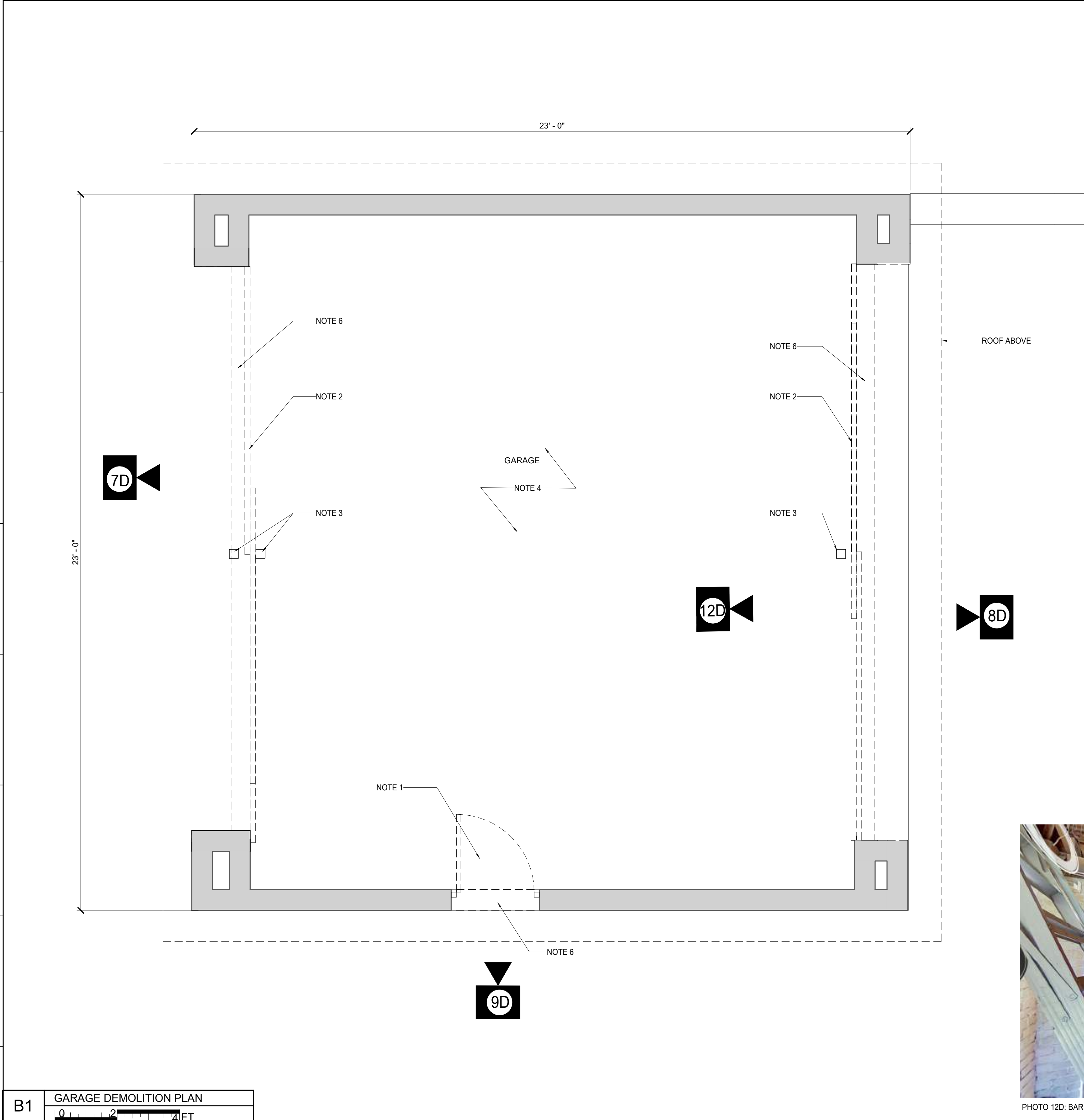
A002

LOCATION
1316 W 6th St
Austin, TX 78703

SCALE (N.D.)

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B1	GARAGE DEMOLITION PLAN
	0 2 4 FT

MATERIAL KEYNOTES

GENERAL NOTES

SHEET SPECIFIC NOTES

- DEMOLISH DOOR, TRIM, FRAME. REFER TO PHOTO 9D.
- REMOVE AND SALVAGE GARAGE DOOR FOR REUSE. REFER TO PHOTOS 7D-8D.
- REMOVE COLUMN ONCE NEW STRUCTURAL BEAM IS INSTALLED. REFER TO PHOTO 7D.
- DEMOLISH 4" OF FLOOR SLAB PER STRUCTURAL.
- REMOVE GARAGE DOOR TRACK.
- REPLACE WOOD BEAM PER STRUCTURAL. REFER TO PHOTO 12D.
- REMOVE LINTEL PER STRUCTURAL. REFER TO PHOTO 9D.



KEY PLAN

SEAL

PROJECT NORTH



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SHEET TITLE
GARAGE DEMOLITION FLOOR PLAN

SCALE (N.D.)

JOB NAME
Flower Hill Foundation
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LOCATION
1316 W 6th St
Austin, TX 78703

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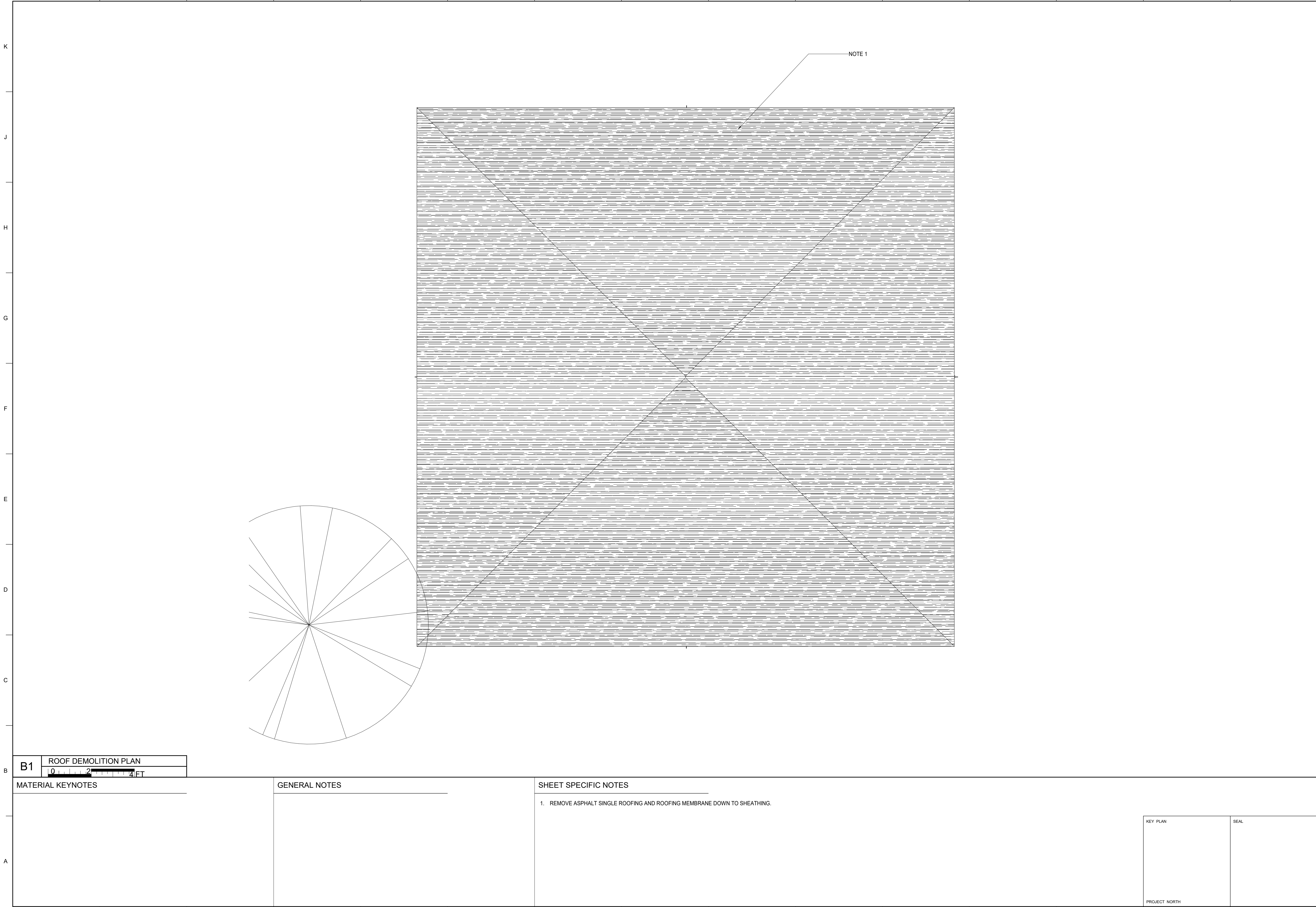
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DWG. NO.

AD101

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B1 ROOF DEMOLITION PLAN
0 2 4 FT

MATERIAL KEYNOTES

GENERAL NOTES

SHEET SPECIFIC NOTES

1. REMOVE ASPHALT SINGLE ROOFING AND ROOFING MEMBRANE DOWN TO SHEATHING.

KEY PLAN

SEAL

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LOCATION
1316 W 6th St
Austin, TX 78703

SHEET TITLE
GARAGE DEMOLITION ROOF PLAN

SCALE (N.O.)

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REVISION:

LORD
AECK
SARGENT

AD102

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SHEET TITLE

GARAGE ROOF PLAN

SCALE (UNO.)

JOB NAME	Flower Hill Foundation
	Heritage Preservation Grant - Historic Garage Renovation
LOCATION	1316 W 6th St Austin, TX 78703

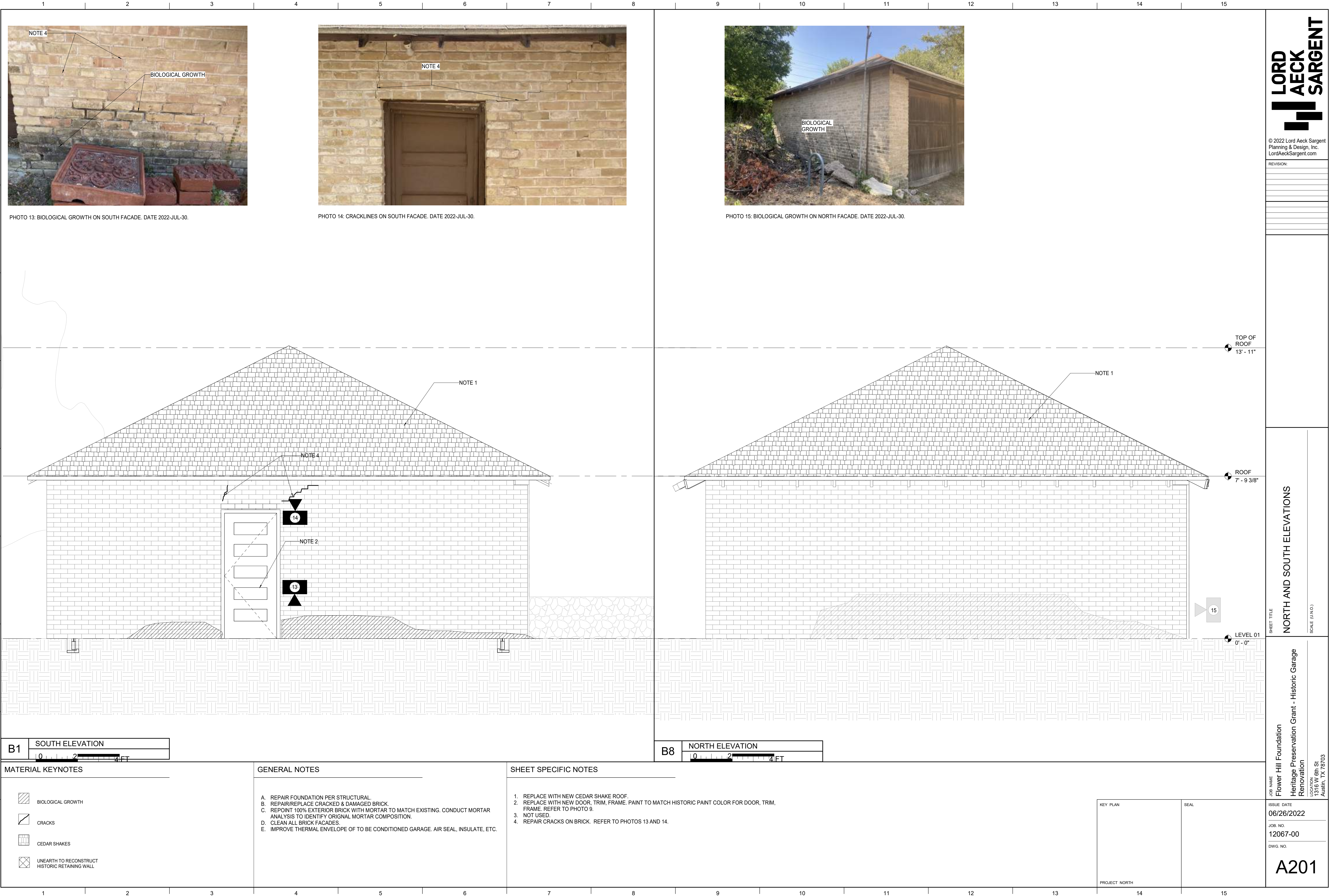
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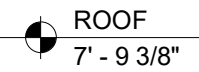
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12067-00

DWG. NO.
A102

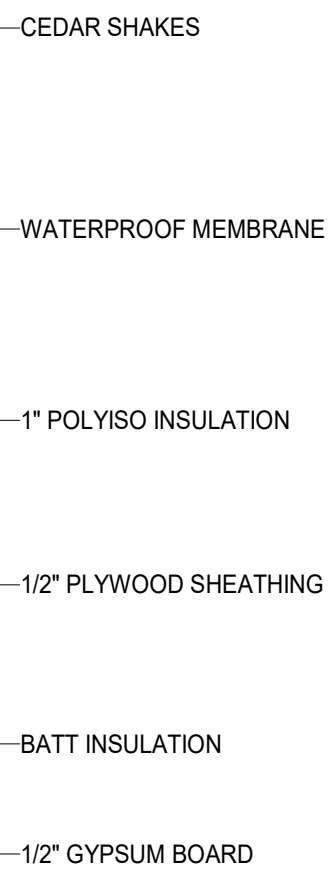
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A horizontal number line with tick marks at 9, 10, 11, and 12. The numbers are placed below the tick marks.

GENERAL NOTES

SHEET SPECIFIC NOTES

SEAL

PROJECT NORTH



SCALE (U.N.O.)

LOCATION
1316 W 6th St
Austin, TX 78703

DWG. NO.

A511

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