

HISTORIC LANDMARK COMMISSION
APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS
AUGUST 2, 2023
HR-2023-087189, C14H-2002-0015
MOORE-WILLIAMS HOUSE
1312 NEWING AVENUE

PROPOSAL

Construct a ground-floor screened porch and two second-floor additions, connect the belvedere and the attic via new dormer, and repair deteriorated elements.

PROJECT SPECIFICATIONS

- 1) Repair deteriorated wood shingle siding, lap siding, balustrades, columns, stairs and trim using epoxy repair methods. Limit replacement to severely deteriorated pieces.
- 2) Repair and repoint chimney.
- 3) Replace roof with matching composition shingles.
- 4) Clip roof gable at 2004 addition. Add a new dormer to rear.
- 5) Add a 2nd-floor playroom with hipped roof, removing an existing balcony. The proposed addition is clad in fiber cement siding
- 6) Connect original house to second floor over ca. 2006 garage in place of non-original balcony. The proposed addition has a low-slope membrane roof and south-facing double-hung windows of metal-clad wood.
- 7) Construct a new screened porch at rear-side.
- 8) Convert one non-original window to a new back door at rear addition.
- 9) Enlarge one non-original window on rear of house and relocate one non-original window on south elevation. Create dormer at rear of belvedere, retaining existing columns at belvedere. Create new roof cricket for water diversion at front elevation.
- 10) Add new dormer with clipped gable at west (rear) elevation, second floor, above garage.

ARCHITECTURE

The 2002 historic zoning staff report describes the building as a two-story c. 1890 wood-frame front-gabled house originally with Victorian details, a full width projecting front porch, prominent front tower, wood frame windows including some with stained glass, prominent brick chimney and projecting bay on south façade.¹

DESIGN STANDARDS

The City of Austin's [Historic Design Standards](#) (March 2021) are based on the Secretary of the Interior's Standards for Rehabilitation and are used to evaluate projects at historic landmarks. The following standards apply to the proposed project:

Repair and alterations

1. General standards

The proposed project removes minimal historic fabric and repairs, rather than replaces, deteriorated elements wherever possible. Elements deteriorated beyond repair will be replaced in-kind. Revision of non-historic features does not appear to damage historic material.

3. Roofs

The proposed project replaces the shingle roof in-kind. Roof connections to additions do not appear to remove a significant amount of historic fabric. The proposed rear dormer changes the existing roofline, but appears minimally visible from the primary street; existing belvedere elements will not be removed for dormer installation.

4. Exterior walls and trim

The proposed project repairs deteriorated elements or replaces in-kind where deteriorated beyond repair.

5. Windows, doors, and screens

Proposed window modifications appear limited to non-original rear or side windows and openings.

¹ Sadowsky, Steve. Zoning Change Review Sheet, C14H-2002-0015.

Residential additions*1. Location*

The proposed additions' locations are mostly compatible, though upper-floor additions may be visible from oblique views of the primary streetscape. The rear and ground-floor additions impact mostly non-original material. While the belvedere addition is appropriately sited for its proposed function, removal of non-historic fabric may cause damage to historic material should it be removed in the future.

2. Scale, massing, and height

The proposed additions appear subordinate to the main house.

3. Design and style

The proposed additions appear appropriate in style and design.

4. Roofs

Proposed roofs are either not visible or match the existing shingle roof in slope, materials, and style.

5. Exterior walls

Proposed exterior walls appear appropriately differentiated and compatible.

6. Windows, screens, and doors

Proposed windows, doors, and screens appear compatible.

7. Porches and decks

The proposed first-floor screened porch appears compatible.

Summary

The project meets most of the applicable standards.

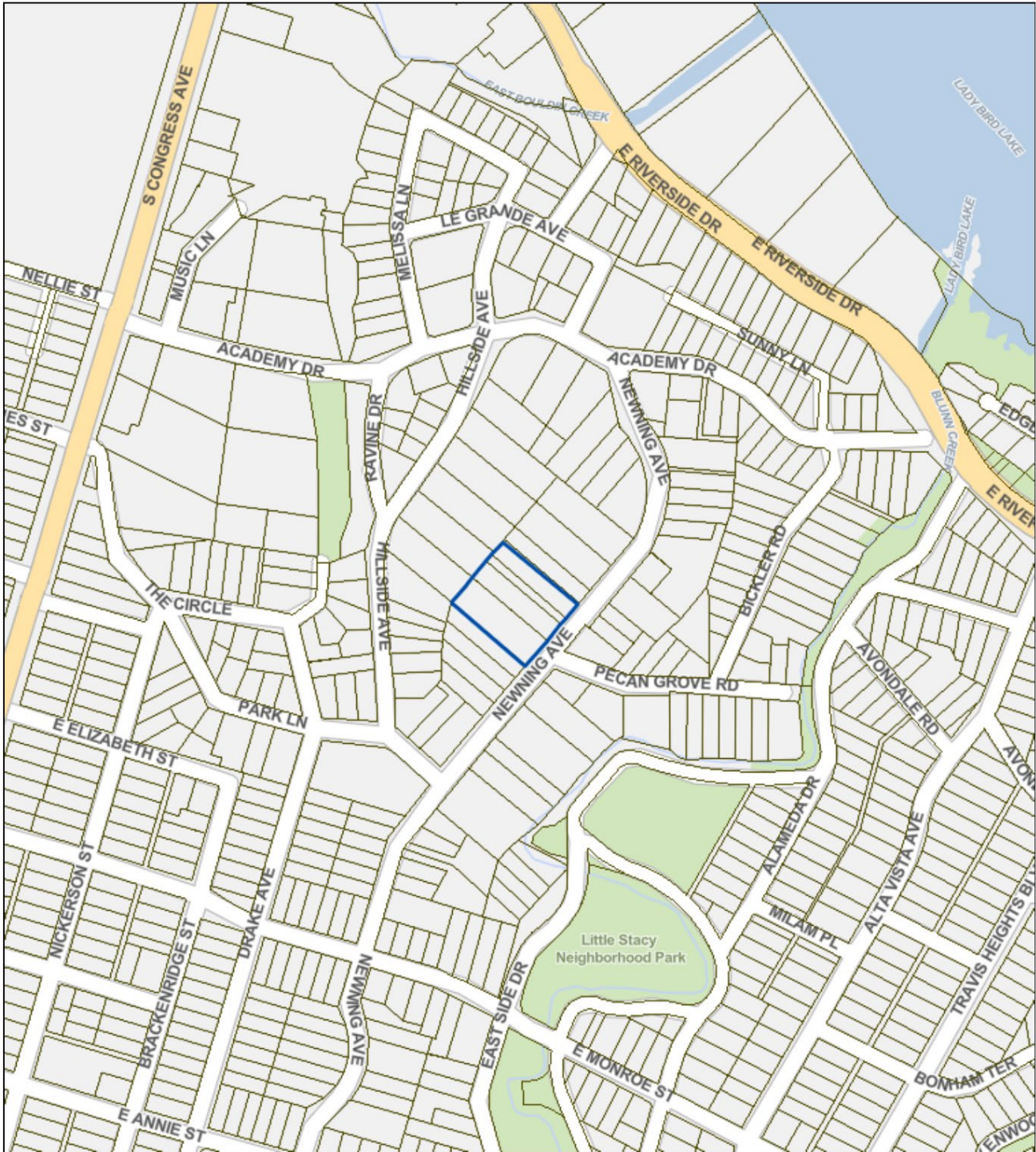
PROPERTY EVALUATION


The property contributes to the Travis Heights-Fairview Park National Register district.

STAFF RECOMMENDATION

Approve the application as-is, but suggest retaining existing separation of belvedere and attic, rather than adding a rear dormer.

LOCATION MAP






1: 4800

7/17/2023

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