



**Moore-Williams House**  
**ca. 1890**

Travis Heights-Fairview Park  
Historic District  
Coleman McAuley and Elisabeth Pefanis, Owners





Restore belvedere  
and porches

Restore original  
windows, typical

## East Elevation

Moore-Williams House  
1312 Newning





Clip gable end of garage addition

Remove non-original door

Remove non-original balcony

Replace non-original window

Convert one non-original window to new back door

## South Elevation

Moore-Williams House  
1312 Newning





Replace roof with  
composition shingles

Replace window with  
larger window

## North Elevation

Moore-Williams House  
1312 Newning





Replace roof with new composition shingles

Location of proposed dormer connection to belvedere

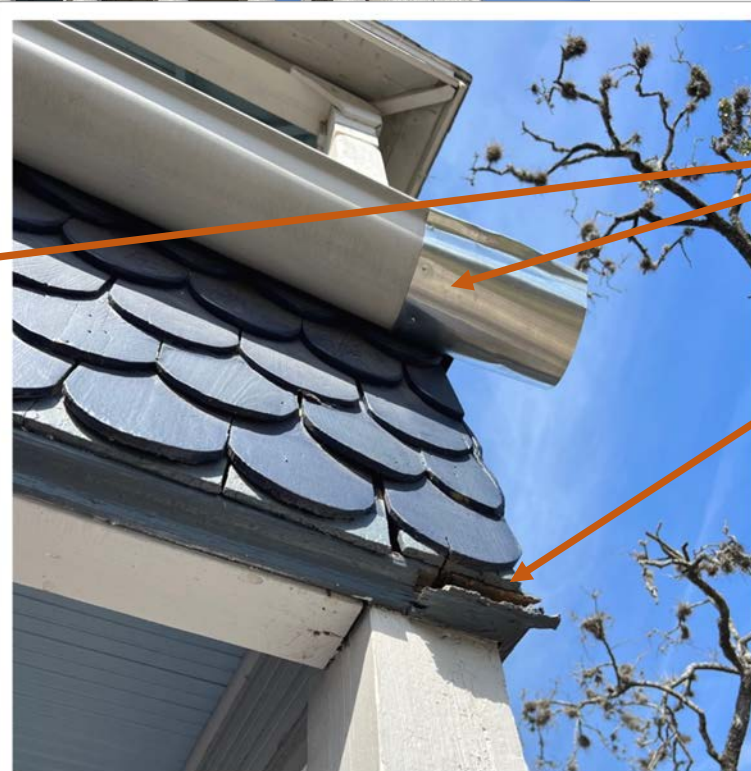
Restore original windows, typical

**North Elevation**  
Moore-Williams House  
1312 Newning





Epoxy repair and restore columns and original turned balusters



Remove gutter now that roof drainage pattern will change

Replace rotted wood

## BELVEDERE RESTORATION

Moore-Williams House  
1312 Newning





Note slope of second floor porch ceiling sloped towards face of house, indicating structural failure due to water damage

Non original spiral stair is unstable and damaged beyond repair

BELVEDERE RESTORATION

Moore-Williams House  
1312 Newning





#### EXISTING CONDITION:

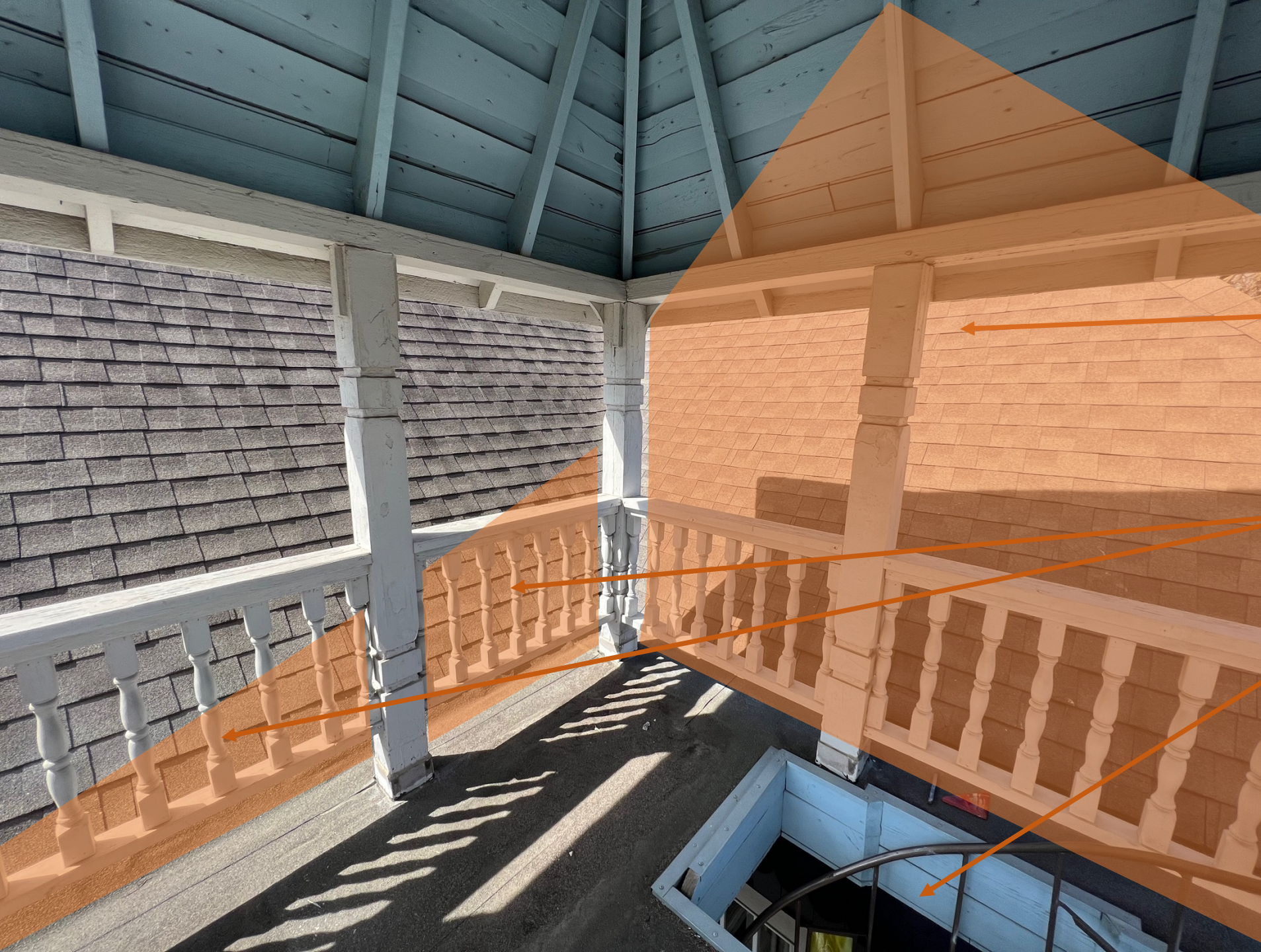
Belvedere receives water from 2 large areas of roof. Long term water infiltration has caused rot both above and below roof system.

Curb at spiral stair has been patched several times

#### BELVEDERE RESTORATION

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New gabled connector in this area to change roof drainage pattern and gain access to belvedere from attic

Replace balusters w/ new to match historic. Reconstructed rail will be removeable from the inside for maintenance.

Eliminate spiral stair, replace roof

## BELVEDERE RESTORATION

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Epoxy repair  
original  
columns –  
consider  
accurate  
reproduction  
of missing historic  
elements if  
within budget

Replace severely rotted components  
to match historic

Epoxy repair original turned balusters

## BELVEDERE RESTORATION

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1312 Newning





Construct new connector at second floor – leave exterior siding exposed in new playroom

Remove existing balcony and deck overhang

Construct new screened porch addition in this area

## NEW SCREENED PORCH AND SECOND FLOOR CONNECTOR

### South Elevation

Moore-Williams House  
1312 Newning





View towards garage



View towards house  
Siding to remain exposed inside new playroom

## NEW PLAYROOM CONNECTOR

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1312 Newning





Construct new clipped gable  
dormer

NEW DORMER

**West Elevation,  
Two-car Garage, Ca. 2006**

Moore-Williams House  
1312 Newning





Restore windows and repair siding

## WOOD SIDING AND WINDOW RESTORATION

Moore-Williams House  
1312 Newning





## INTERIORS

Remove modern crown moldings to the extent feasible.

Replace stair from second floor to attic to provide code-compliant clearance.

Moore-Williams House  
1312 Newning





## · INTERIORS

Replace and redesign bathrooms throughout

Moore-Williams House  
1312 Newning