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GONZALES RESIDENCE

NEW CONSTRUCTION

CLIENTS:
ANTONIO J. & MARIA C.
GONZALES

PERMIT SET;
FOR CONSTRUCTION
MARCH 11TH, 2023

GENERAL PROJECT NOTES:

1. THE CONTRACTOR SHALL REVIEW THIS SET OF CONSTRUCTION DOCUMENTS AND REPORT ANY DISCREPANCIES AND/OR INCONSISTENCIES BETWEEN THE ARCHITECTURAL DRAWING AND EACH OF THE OTHER DISCIPLINES DRAWINGS. THE CONTRACTOR SHALL RECEIVE WRITTEN CONFIRMATION AND NEW DESIGN DIRECTION FROM THE APPROPRIATE DISCIPLINES PRIOR TO COMMENCING WORK.
2. THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE ARCHITECT'S DESIGN INTENT. IF DIMENSIONS ARE IN QUESTION AND/OR MISSING, DO NOT SCALE THE DRAWINGS. REQUEST CLARIFICATION FROM THE ARCHITECT PRIOR TO COMMENCING WORK.
3. REFER TO STRUCTURAL FOR SHEAR WALL CONSTRUCTION AND LOCATIONS. STRUCTURAL REQUIREMENTS SHALL TAKE PRECEDENCE AT ALL SHEAR WALL LOCATIONS. SHOULD MODIFICATIONS BE REQUIRED, COORDINATE WITH ARCHITECT PRIOR TO MAKING ANY CHANGES.
4. ALL GYPSUM BOARD TO BE 3/4" FOR WALLS AND CEILINGS, U.N.O.
a. ALL WALLBOARD IN SHOWERS TO BE CEMENT BOARD.
b. ALL WALLBOARD SCHEDULED TO RECEIVE TILE FINISH SHALL BE GREENBOARD, U.N.O..
c. ALL WET AREAS, (I.E. RESTROOMS, KITCHEN, LAUNDRY, ETC.) TO HAVE MIN. 1'-0" HIGH OF CEMENT BOARD AT BASE.
d. ALL WALLS SCHEDULED/NOTED TO RECEIVE STONE VENEER SHALL HAVE PLYWOOD SHEATHING.
5. ALL EXTERIOR STUD WALLS TO HAVE FOAM INSULATION PER LOCAL ENERGY CODES, OR PROJECT ENERGY REPORT REQUIREMENTS.
6. PROVIDE HORIZONTAL STIFFENERS AT ALL WALLS AND PORTIONS OF WALLS WHICH ARE NOT GYPSUM BOARD SHEATHED ON BOTH SIDES PROVIDING BACKING PLATES AT ALL STUDS SUPPORTING EQUIPMENT AND FIXTURES SHOWN ON THE PLANS AND INTERIOR ELEVATIONS, SUCH SHELVING, CASEWORK, LIGHT FIXTURES, PLUMBING, ETC.
7. ALL WOOD TO BE PRESSURE TREATED WHERE IN CONTACT WITH EARTH, WITHIN 6" OF EARTH, OR WHERE OTHERWISE EXPOSED TO MOISTURE OR EMBEDDED IN CONCRETE OR MASONRY. ALL SILL PLATES TO BE PRESSURE TREATED.
8. INSTALL ALL PERIMETER WALL SILL PLATES ON FIBROUS SILL SEALER.
9. REVIEW ELECTRICAL PLANS PRIOR TO FRAMING AND POURING OF SLAB & VERIFY LOCATIONS OF ELECTRICAL & MECHANICAL FIXTURES WITH OWNER.

SHEET LIST

SHEET NUMBER	SHEET NAME
A0.00	COVER SHEET
A1.00	SITE PLAN
A1.01	FOUNDATION PLAN
A2.00	FLOOR PLAN & ROOF PLAN
A5.00	CEILING & ELECT. PLAN
A6.00	EXTERIOR & INTERIOR ELEVATIONS

AREA TABULATION

LIVING SPACE (CONDITIONED)	792 SF.
COVERED PORCH	49 SF.
WOOD DECK	160 SF.
TOTAL AREA	1,001 SF.
IMPERVIOUS COVER AREA	1,074 SF.



BUILDER:
ALBAREZ
CONSTRUCTION,
LLC

PROJECT NAME:
GONZALES RESIDENCE
81 WALLER ST.
AUSTIN, TX 78702

No.	Description	Date

DATE: 03.11.2023
DRAWN BY: MTH
CHECKED BY: MTH

COVER
SHEET

SHEET NO.
A0.00

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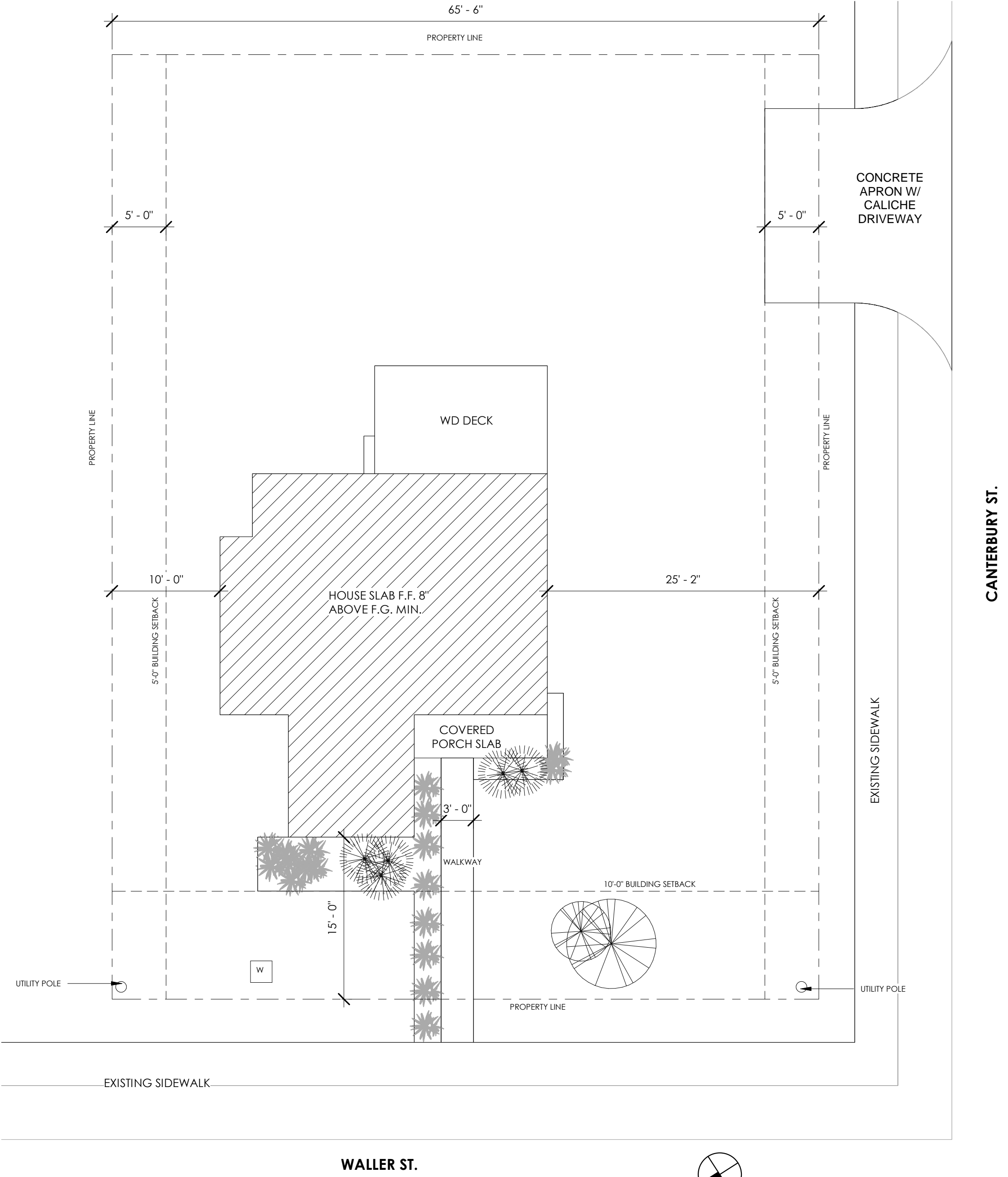
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SITE NOTES:

1. ARCHITECTURAL DRAWINGS ARE BASED ON SURVEY INFORMATION AND FIELD NOTES PREPARED BY OTHERS. THE ARCHITECT MAKES NO REPRESENTATION AS TO THE ACCURACY OF THE INFORMATION AND IS NOT RESPONSIBLE FOR ERRORS THEREIN OR CORRECTIONS REQUIRED AS A RESULT. CONTRACTOR SHALL OBTAIN COPIES OF ALL EXISTING SURVEYS FROM OWNER AND SHALL VERIFY EXISTING/PROPOSED TOPOGRAPHY AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
2. REFER TO FLOOR PLAN FOR DETAILED BUILDING INFORMATION. SHOULD DISCREPANCIES EXIST, NOTIFY ARCHITECT FOR CLARIFICATIONS PRIOR TO CONSTRUCTION. DOOR FRAMES TO BE LOCATED 4" FROM CORNER OF WALL U.N.O.
3. BUILDING LOCATION AND ALL SITE GRADING DESIGN BY OTHERS.
4. SITE AND STORM DRAINAGE DESIGN BY OTHERS.
5. SITE UTILITY DESIGN BY OTHERS. STUB OUT BUILDING UTILITIES FROM EXTERIOR BUILDING FACE FOR CONNECTION WITH SITE UTILITIES. COORDINATE SITE UTILITY LOCATIONS WITH PLUMBING AND ELECTRICAL DRAWINGS PRIOR TO CONSTRUCTION.
6. PROTECT ALL EXISTING TREES AND VEGETATION UNLESS SPECIFICALLY INDICATED TO BE REMOVED. COORDINATE LANDSCAPE REQUIREMENTS WITH LANDSCAPE DRAWINGS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES AND APPROPRIATE AGENCIES FOR PERMITS, APPROVALS CONNECTION, TESTS AND TEMPORARY SERVICES DURING CONSTRUCTION.
8. SLOPE ALL GRADES AWAY FROM BUILDING AT 1/2" PER FOOT (MIN.) AT LANDSCAPED AREAS AND 1/8" PER FOOT (MIN) AT HARDSCAPE (PAVED) AREAS FOR A DISTANCE OF 5'-0" (MIN.). U.N.O.

SITE PLAN LEGEND

- HOUSE SLAB
- DRIVEWAY
- LOT BOUNDARY
- LOT SETBACK



1 SITE PLAN
1/8" = 1'-0"



BUILDER:
ALBAREZ
CONSTRUCTION,
LLC

PROJECT NAME:
GONZALES RESIDENCE
81 WALLER ST.
AUSTIN, TX 78702

No.	Description	Date

DATE: 03.24.2023
DRAWN BY: MTH
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SITE PLAN

SHEET NO.
A1.00

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
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GENERAL FOUNDATION NOTES:

1. 4" CONCRETE SLAB 3,000 PSI @ 28 DAYS REINFORCED WITH #3 REBAR @ 12" O.C. BOTH WAYS VIS QUEEN VAPOR BARRIER WITH SOIL TREATMENT FOR TERMITE CONTROL.
2. STRUCTURAL ENGINEER TO VERIFY BEAM SIZES AND LOCATIONS FOR NEW SLAB.
3. THE DESIGN OF THE FOUNDATION ILLUSTRATED ON THESE DRAWINGS WAS MADE WITHOUT THE BENEFIT OF AN INVESTIGATIVE SOILS REPORT. IT IS STRONGLY RECOMMENDED THAT AN INVESTIGATIVE SOILS REPORT BE DONE TO VERIFY THE DESIGN. REVISIONS TO THE FOUNDATION DESIGN MUST BE MADE BY A STRUCTURAL ENGINEER TO MEET THE CONDITIONS IN THE SOILS REPORT. MT DESIGN GROUP WILL NOT BE RESPONSIBLE FOR ANY STRUCTURAL FAILURES AND/OR DAMAGE CAUSED BY CONSTRUCTION OF THE DESCRIBED STRUCTURE(S), AS ILLUSTRATED IN THESE PLANS.
4. INSTALL PERFORATED FOUNDATION DRAIN (4" ROUND MIN.) AROUND PERIMETER FOOTING. EXTEND DRAIN LINE TO A POINT AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE. ACTUAL LOCATION OF DRAIN LINE AND POINTS OF DRAINAGE MUST BE DETERMINED ON THE JOB SITE. IT SHOULD BE NOTED THAT A FOUNDATION DRAIN MAY NOT BE NECESSARY IN AREAS WHERE SOIL CONDITIONS AND/OR GROUND WATER DOES NOT POSE A PROBLEM. IF QUESTIONS ARISE, CONSULT A LOCAL SOILS ENGINEER FOR ADVICE.
5. VERIFY INSTALLATION OF FLOOR OUTLETS, UNDER FLOOR DUCTS, ETC. PRIOR TO POURING OF SLAB.
6. CONTRACTOR TO VERIFY INSTALLATION OF SAWCUT CONTROL JOINTS WITH OWNER. TYPICAL JOINT PLACEMENT MAY INTERFERE W/ ANY PROPOSED DECORATIVE SAWCUT PATTERN INTENDED FOR FLOOR FINISH.

FOUNDATION LEGEND

- FOUNDATION BEAM LINE
- 

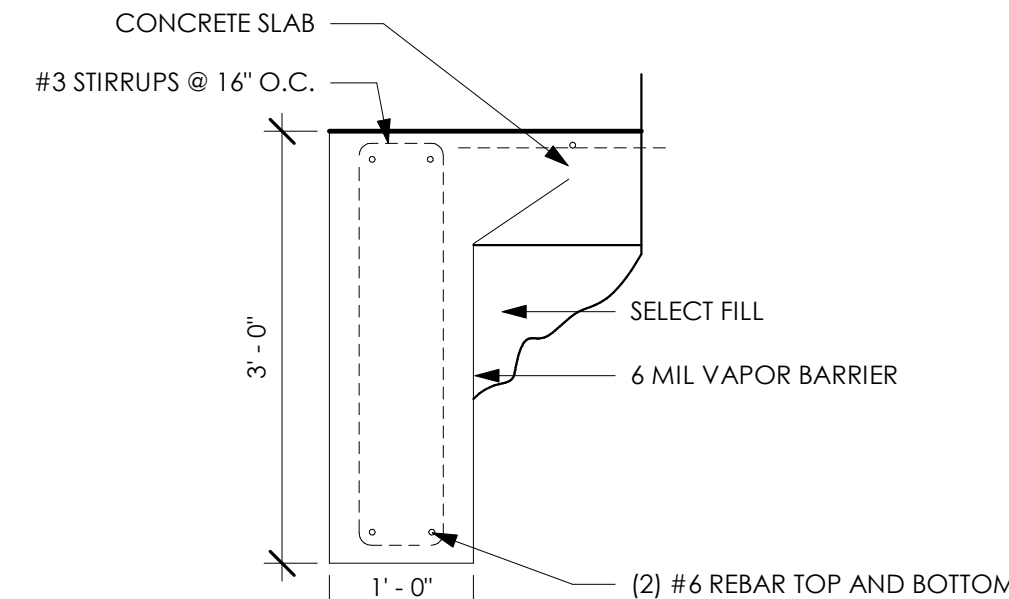
FOUNDATION LEVEL
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HOSE BIBB

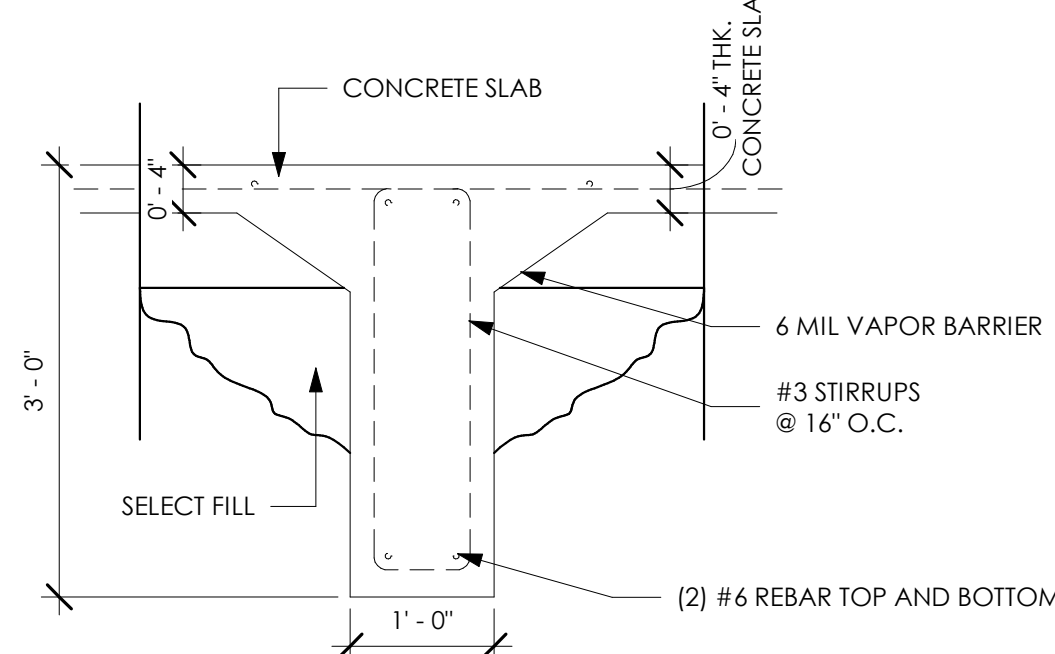
BEAM TYPE LEGEND

SCALE: 3/4" = 1' - 0"

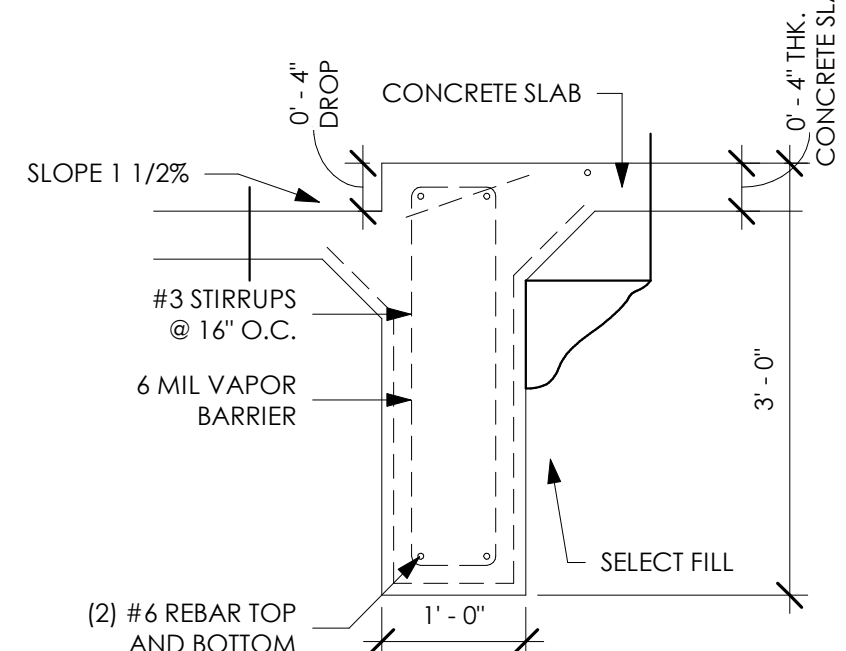
A. PERIMETER BM. SECTION



B. INTERMEDIATE BM. SECTION

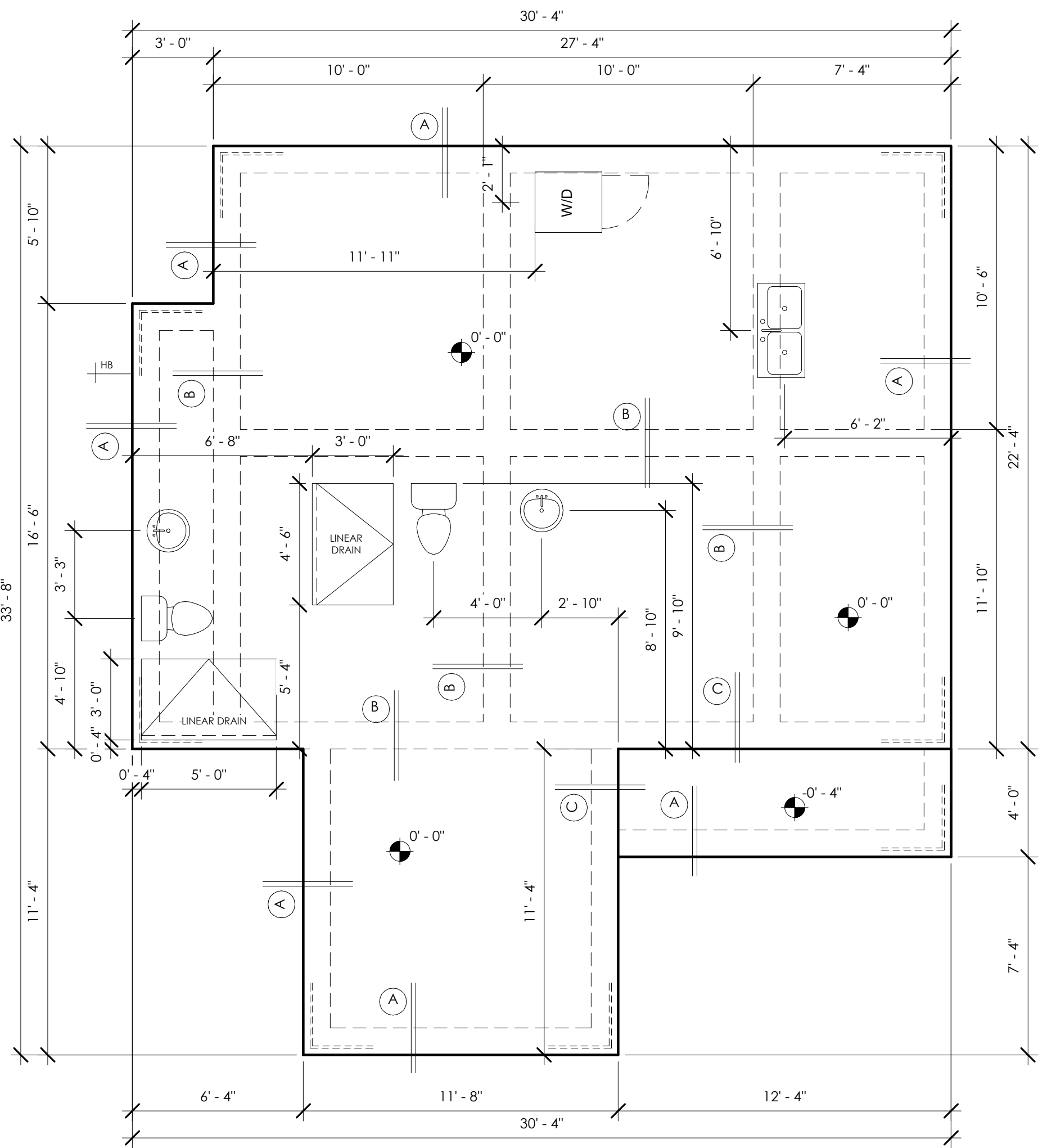
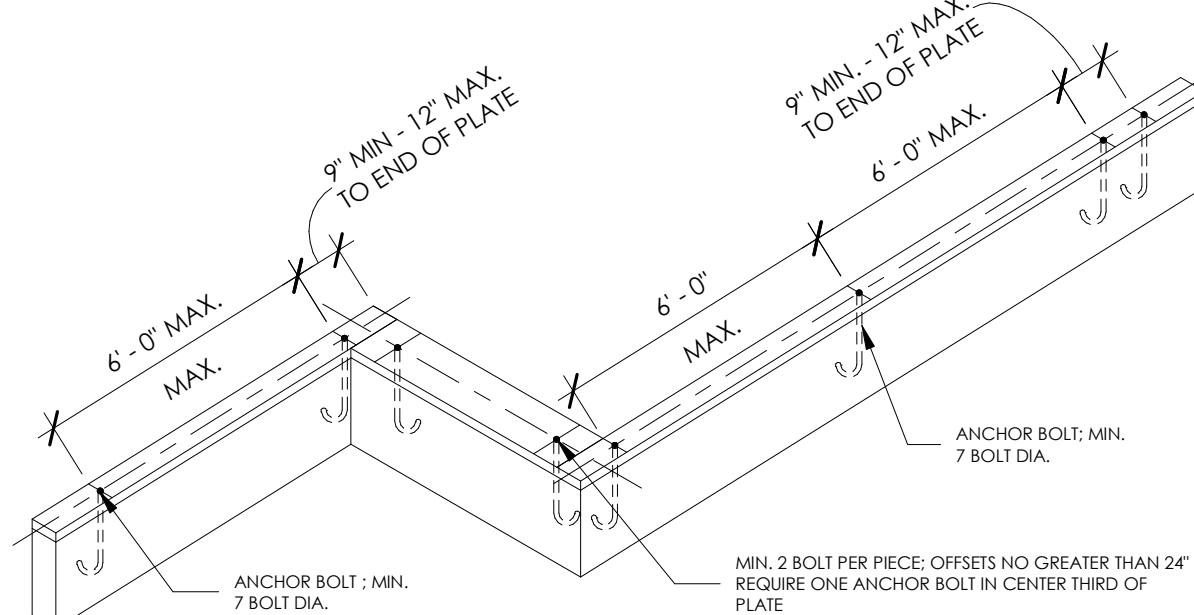


C. DROP SECTION



ANCHOR BOLTS DETAIL

SCALE: 1/4" = 1' - 0"



1 FOUNDATION PLAN
1/4" = 1'-0"



BUILDER:

ALBAREZ
CONSTRUCTION,
LLC

PROJECT NAME:

GONZALES RESIDENCE
81 WALLER ST.
AUSTIN, TX 78702

No.	Description	Date

DATE: 03.11.2023

DRAWN BY: MTH

CHECKED BY: MTH

FOUNDATION
PLAN

SHEET NO.

A1.01

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DOOR SCHEDULE								
DOOR		PANEL			FRAME			
MARK	NUMBER OF PANELS	WIDTH		HEIGHT	FINISH	TYPE	HINGE	COMMENTS
		PANEL 1	PANEL 2					
1	1	3' - 0"		6' - 8"	GLASS	EXT	LH	FULL LT SINGLE DR
2	1	2' - 8"		6' - 8"	WD	INT	LH	SINGLE DR
3	1	2' - 4"		6' - 8"	WD	INT	LH	SINGLE DR
4	1	2' - 6"		6' - 8"	WD	INT	RH	SINGLE DR
5	1	2' - 8"		6' - 8"	WD	INT	LH	SINGLE DR; LOUVERED LOWER HALF
6	1	2' - 8"		6' - 8"	WD	INT	LH	SINGLE DR
7	2	2' - 6"	2' - 6"	6' - 8"	WD	INT	BOTH	DOUBLE DR
8	1	2' - 6"		6' - 8"	WD	INT	LH	SINGLE DR
9	1	2' - 8"		6' - 8"	WD	INT	LH	SINGLE DR
10	1	2' - 8"		6' - 8"	GLASS	EXT	LH	FULL LT SINGLE DR

WINDOW SCHEDULE					
	TYPE MARK	WIDTH	HEIGHT	SILL HEIGHT	COMMENTS
1	A	3' - 0"	5' - 0"	1' - 8"	S.H.
2	A	3' - 0"	5' - 0"	1' - 8"	S.H.
3	A	3' - 0"	5' - 0"	1' - 8"	S.H.
4	A	3' - 0"	5' - 0"	1' - 8"	S.H.
5	A	3' - 0"	5' - 0"	1' - 8"	S.H.
6	B	3' - 0"	5' - 0"	1' - 8"	FIXED
7	B	3' - 0"	5' - 0"	1' - 8"	FIXED
8	C	7' - 0"	2' - 0"	3' - 0"	FIXED

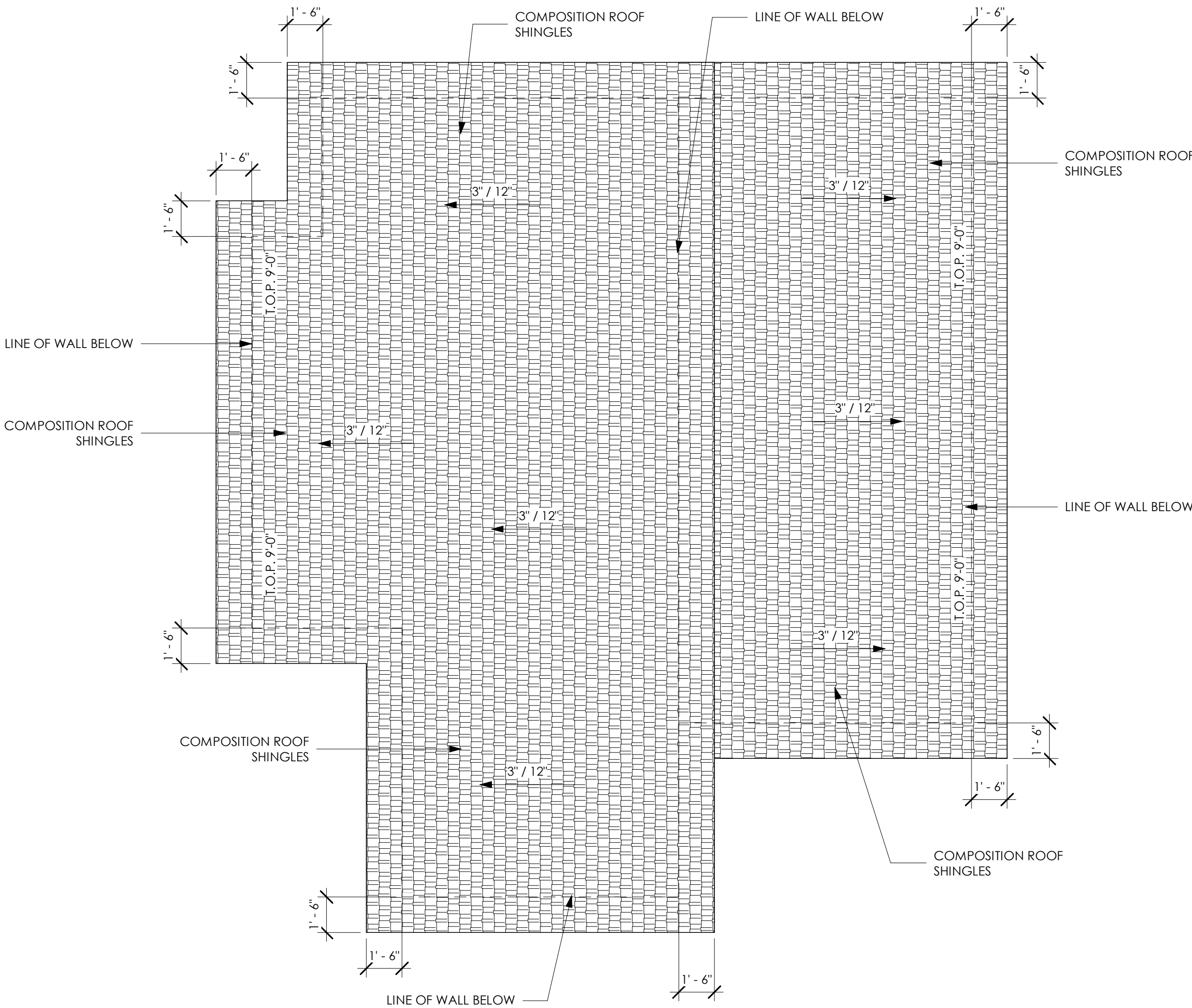
PLAN NOTES:

1. DIMENSIONS SHOWN ARE FROM FACE OF STRUCTURAL STRATA, U.N.O.
2. ALL WINDOW/DOOR DIMENSIONS IN CONVENTIONAL WOOD FRAMING ARE TO CENTER OF WINDOW/DOOR UNLESS NOTED OTHERWISE.
3. DOOR FRAMES TO BE LOCATED 6" FROM CORNER OF WALL U.N.O (UNLESS NOTED OTHERWISE).
4. WHERE PLYWOOD IS ADDED FOR SHEAR ON PARTIAL WALL, REMAINDER OF WALL SHALL HAVE SIMILAR SHEATHING TO PROVIDE FLUSH WALL SURFACE. RE: STRUCT FOR SHEAR WALL LOCATIONS.
5. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. REPORT ANY DISCREPANCIES TO ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
6. CONTRACTOR TO CONFIRM & COORDINATE ALL PLUMBING, EQUIPMENT, & ACCESSORIES SIZES FOR CLEARANCE.
7. CONFIRM ALL FINAL DOOR SELECTION, LOCATION AND SIZE WITH ARCHITECT PRIOR TO INSTALLATION.
8. TILE ON ALL INSIDE SHOWER WALLS & CEILINGS.
9. ALL STORAGE AND PANTRY SHELVES TO BE WOOD, U.N.O.
10. 2X4 WOOD STUDS @ 16" O.C.

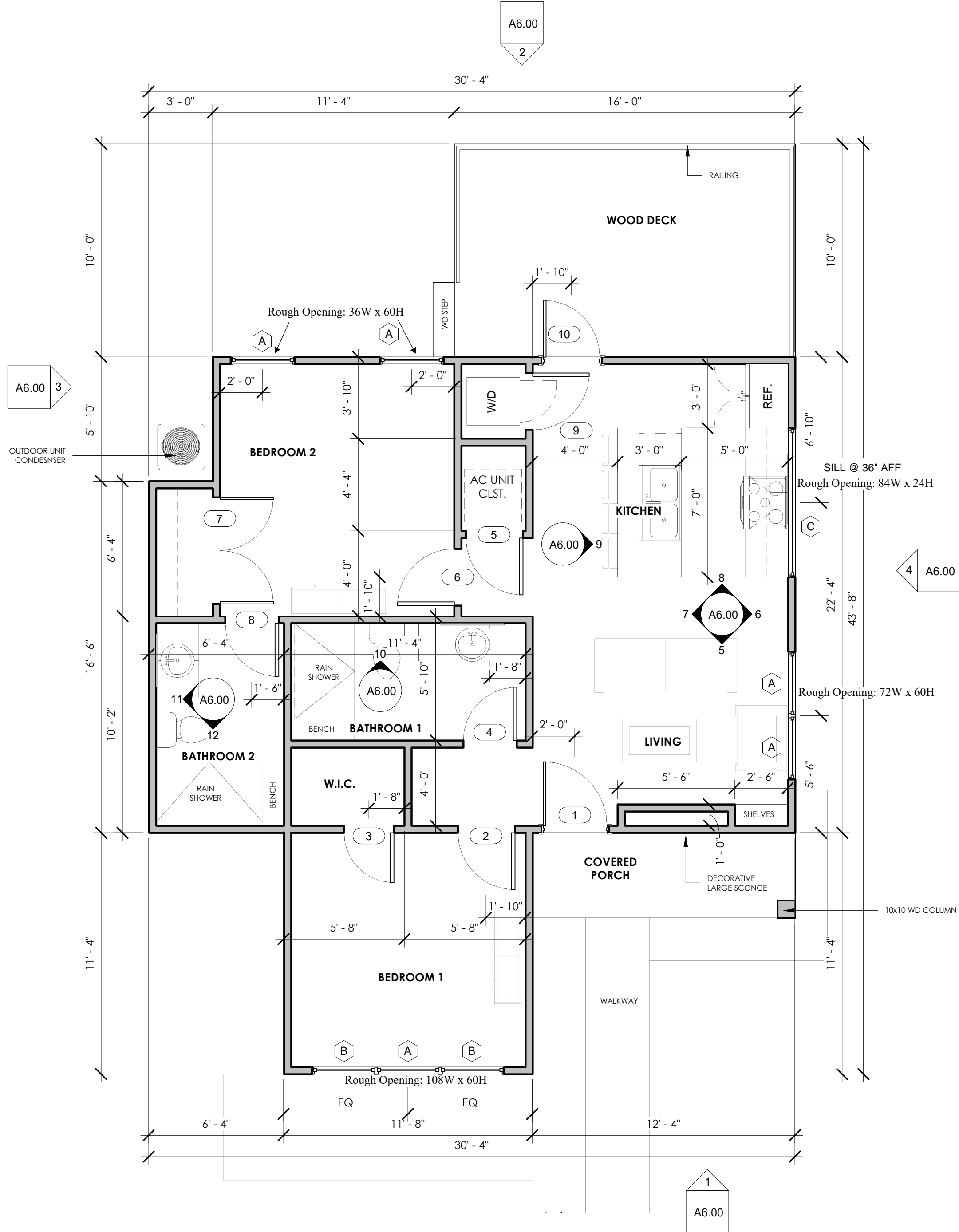
AREA TABULATION

LIVING SPACE (CONDITIONED)	792 SF.
COVERED PORCH	49 SF.
WOOD DECK	160 SF.
TOTAL AREA	1,001 SF.

IMPERVIOUS COVER AREA	1,074 SF.
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2 ROOF PLAN
1/4" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"



BUILDER:
ALBAREZ
CONSTRUCTION,
LLC

PROJECT NAME:
GONZALES RESIDENCE
81 WALLER ST.
AUSTIN, TX 78702

No.	Description	Date
1	Revision 1	03.29.2022

DATE: 03.11.2023
DRAWN BY: MTH
CHECKED BY: MTH

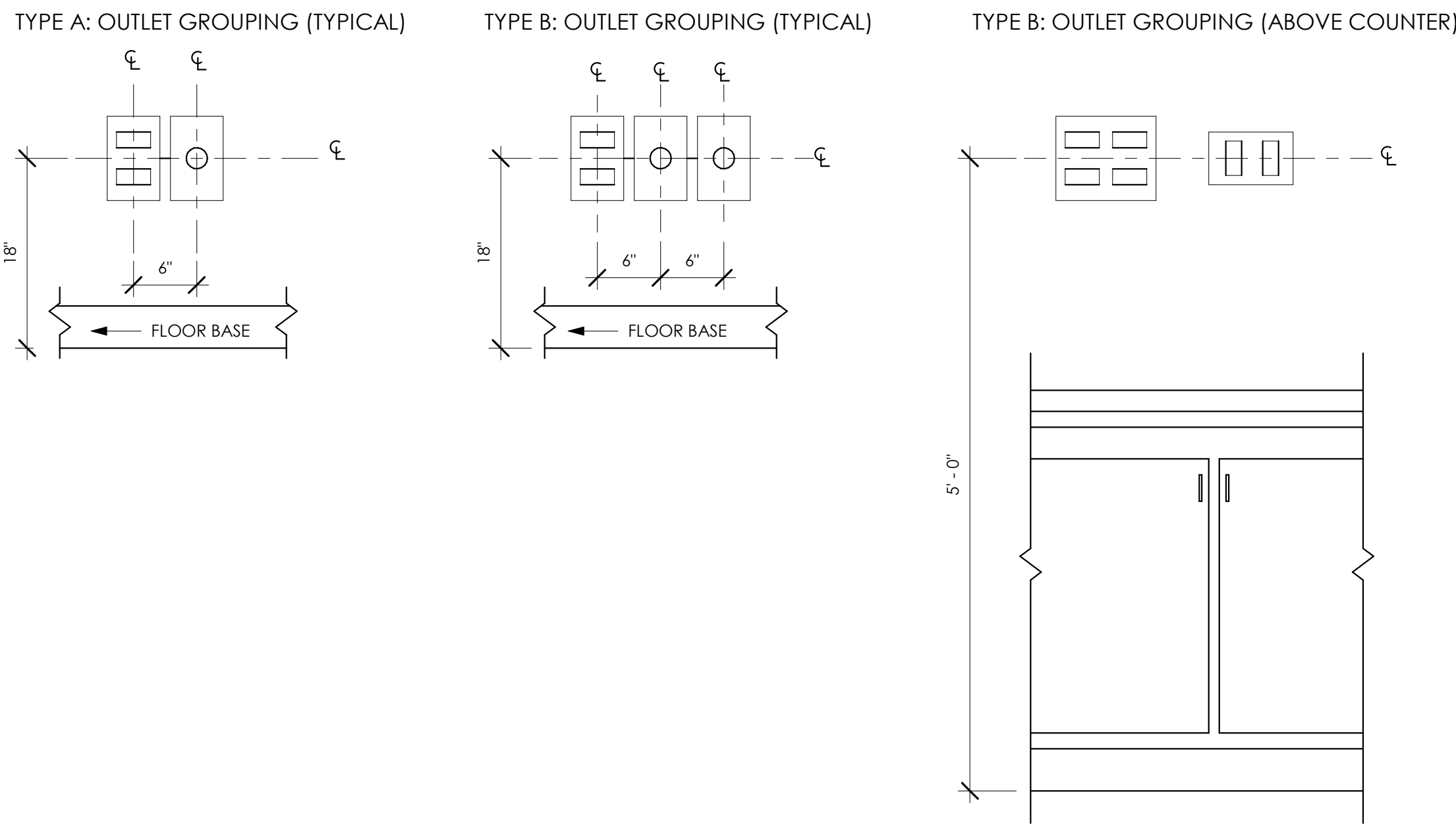
FLOOR PLAN
& ROOF
PLAN

SHEET NO.
A2.00

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OUTLET MOUNTING DETAILS

NOTE: OUTLET TYPE AND DIMENSIONS PER PLAN



ELECTRICAL LEGEND

	110V DUPLEX RECEPTACLE OUTLET @ 12" AFF
	220V RECEPTACLE OUTLET
	GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLE OUTLET
	RANGE RECEPTACLE OUTLET
	EXHAUST VENT / LIGHT FIXTURE
	EXTERIOR FLOOD LAMP
	DECORATIVE EXTERIOR SCONCE
	6" RECESSED LIGHT FIXTURE
	3" RECESSED LIGHT FIXTURE
	CEILING FAN
	PENDANT
	CHANDELIER
	SMOKE DETECTOR
	TELEVISION CABLE OUTLET
	SINGLE LIGHT SWITCH
	3-WAY LIGHT SWITCH
	SINGLE DIMMER SWITCH
	GARAGE CEILING MOUNT LIGHT FIXTURE

ELECTRICAL NOTES:

- ALL ELECTRICAL WORK SHALL COMPLY WITH I.R.C., APPLICABLE ELECTRICAL CODE AND ALL LOCAL CODES.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES TO AVOID CONFLICT AT THE SITE.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO SUBMITTING BID.
- COORDINATE LOCATIONS OF ALL ELECTRICAL OUTLETS IN MILLWORK WITH SCHEDULED APPLIANCES.
- PROVIDE APPROPRIATE BLOCKING FOR ALL DECORATIVE LIGHT FIXTURES AND CEILING FANS.
- ALL SMOKE DETECTORS SHALL BE HARD WIRED AND EQUIPPED WITH A BATTERY BACKUP PER CODE.
- ALL KITCHEN COUNTERTOP OUTLETS TO BE GFCI PROTECTED & SPACED 24" O.C.
- ALL OUTDOOR RECEPTACLES TO BE GFCI PROTECTED.
- ALL GENERAL PURPOSE GARAGE RECEPTACLES TO BE GFCI PROTECTED.
- ALL BATHROOM RECEPTACLES MUST BE GFCI PROTECTED.
- RECEPTACLES WITHIN 6' OF SINK MUST BE GFCI PROTECTED.
- ALL BEDROOM/SLEEPING AREA OUTLETS MUST BE AFCI PROTECTED.
- THE CONTRACTOR IS TO LAY OUT PANELS TO SCALE WITH ACTUAL GEAR TO BE INSTALLED TO ENSURE PROPER FIT AND CLEARANCES BEFORE INSTALLATION. NOTIFY G.C. AND ARCHITECT OF ANY DIMENSIONAL PROBLEMS
- PROVIDE OUTLETS FOR ALL NECESSARY APPLIANCES; INCLUDING BUT NOT LIMITED TO:
 - GARBAGE DISPOSAL
 - MICROWAVE
 - HOOD VENT
 - DISHWASHER
 - TRASH COMPACTOR
 - MINI FRIDGE
- COORDINATE CABLE, DATA, & INTERNET LOCATION PER OWNER.
- PROVIDE OUTLETS AT AC UNITS ON THE EXTERIOR OF RESIDENCE.
- ELECTRICIAN TO VERIFY POWER REQUIRED FOR COOKTOP AND OVENS - GAS OR ELECTRIC.
- LOCATE SMOKE DETECTORS AND THERMOSTATS NEAR RETURN AIR GRILLES AND PER LOCAL CODE REQUIREMENTS. NO SMOKE DETECTORS IN BATHROOMS OR NEAR COOKING SURFACES.
- SMOKE DETECTORS ARE TO BE HARD WIRED TO A LIGHT CIRCUIT, NOT AN OUTLET CIRCUIT.
- ANY OUTLET WITHIN 5' OF A BATHTUB MUST BE "BONDED" OR INDIVIDUALLY GROUNDDED, AS WELL AS ON GFI.
- INCLUDE EXHAUST FANS AND VENT HOOD DUCT WORK TO OUTSIDE AIR (DO NOT VENT INTO THE ATTIC).
- ALL OUTLET SHOWN @ BUILT-INS AND CABINETS TO BE LOCATED ACCORDING TO OUTLET / SWITCH MOUNTING DETAILS.

CEILING NOTES:

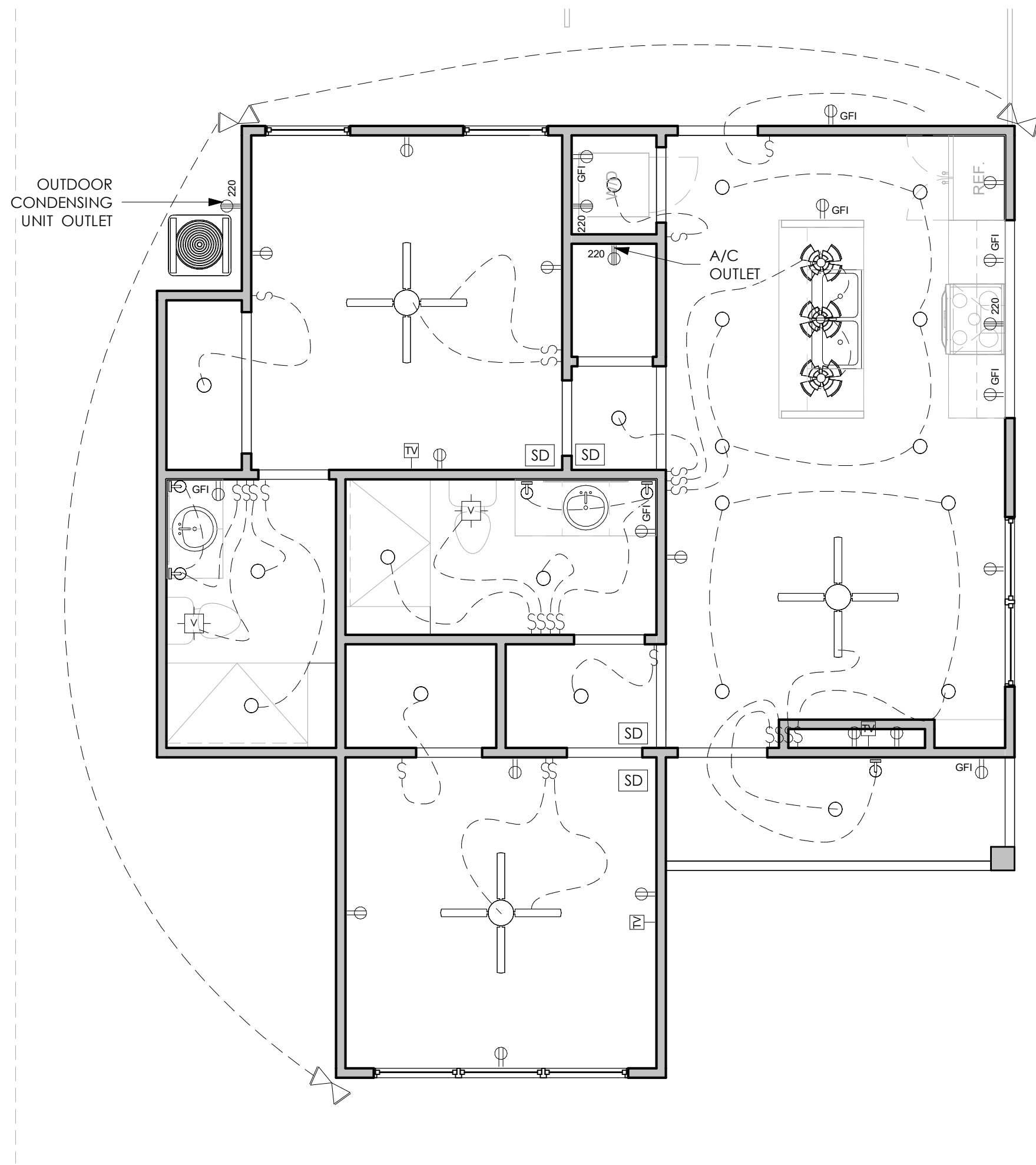
- ALL DIMENSIONS GIVEN ARE FROM FACE OF STRUCTURE, U.N.O.
- LIGHT FIXTURES, DIFFUSERS, GRILLES, TO BE CENTERED BETWEEN WALLS / BEAMS, SOFFITS, ETC., U.N.O. HVAC GRILLES, SPEAKERS, AND CEILING DEVICES TO ALIGN WITH ADJACENT LIGHT FIXTURES U.N.O. VERIFY EXACT LOCATIONS WITH ARCHITECT IF NOT DERIVED ON PLANS SHOULD CONFLICT OCCUR WITH STRUCTURAL FRAMING. CONTRACTOR SHALL COORDINATE WITH ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION.
- INSTALL ATTIC LIGHTING PER CODE REQUIREMENTS.
- AN ATTIC ACCESS OPENING SHALL BE PROVIDED TO ALL ATTICS OF BUILDING WITH A MINIMUM HEIGHT CLEARANCE OF 30". MINIMUM ACCESS OPENING SHALL NOT BE LESS THAN 20"X30". COORDINATE INSTALLATION ALIGNMENT OF ATTIC ACCESS DOORS WITH TRUSS LAYOUT PRIOR TO INSTALLATION. REFER TO ROOF FOR ADDITIONAL LOCATIONS.
- INSTALL APPROPRIATE BLOCKING / SUPPORT FOR LIGHTING AND M.E.P. EQUIPMENT/DEVICE.
- CONTRACTOR TO VERIFY IF SMOKE DETECTOR LOCATIONS MEET CODE; RELOCATE OR ADD NEW ACCORDINGLY.
- CONTRACTOR TO VERIFY RETURN VENT DUCTS TO EXTERIOR THROUGH ROOF.

CEILING LEGEND

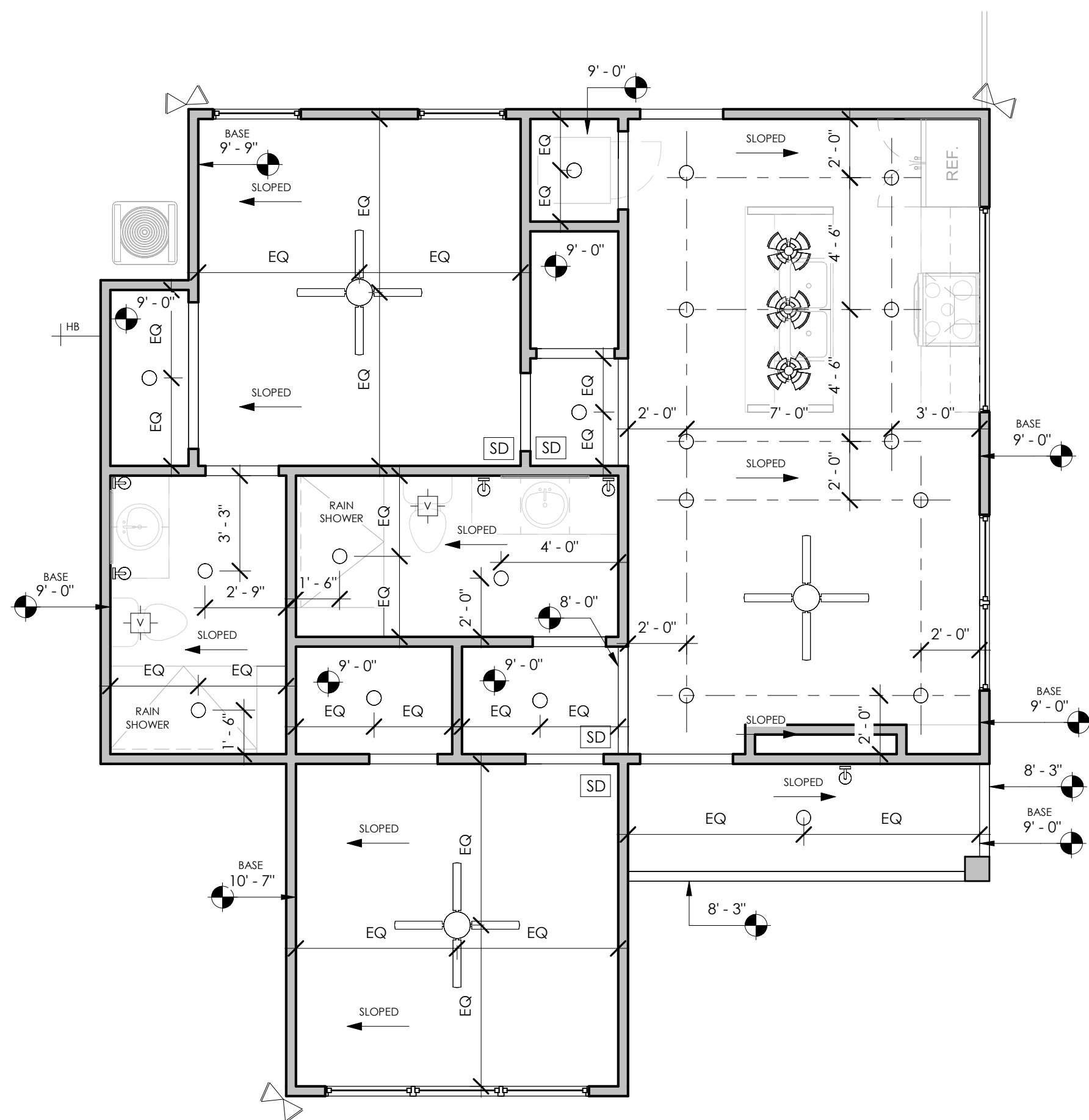
	EXHAUST VENT / LIGHT FIXTURE
	EXTERIOR FLOOD LAMP
	DECORATIVE EXTERIOR SCONCE
	6" RECESSED LIGHT FIXTURE
	3" RECESSED LIGHT FIXTURE
	CEILING FAN
	PENDANT
	CHANDELIER
	GARAGE CEILING MOUNT LIGHT FIXTURE
	SMOKE DETECTOR
	HOSE BIBB

LIGHT FIXTURE SCHEDULE

EXTERIOR DECORATIVE SCONCE	1
6" RECESSED LIGHT FIXTURE	20
VANITY SCONCES	4
EXHAUST VENT FIXTURE	2
SMOKE DETECTOR	4
CEILING FAN	3
DECORATIVE PENDANT	3
EXTERIOR FLOOD LAMP	3



2 ELECTRICAL PLAN
1/4" = 1'-0"



1 CEILING PLAN
1/4" = 1'-0"

PROJECT NAME:

GONZALES RESIDENCE
81 WALLER ST.
AUSTIN, TX 78702

No.	Description	Date

DATE: 03.11.2023
DRAWN BY: MTH
CHECKED BY: MTH

CEILING &
ELECT. PLAN

SHEET NO.

A5.00

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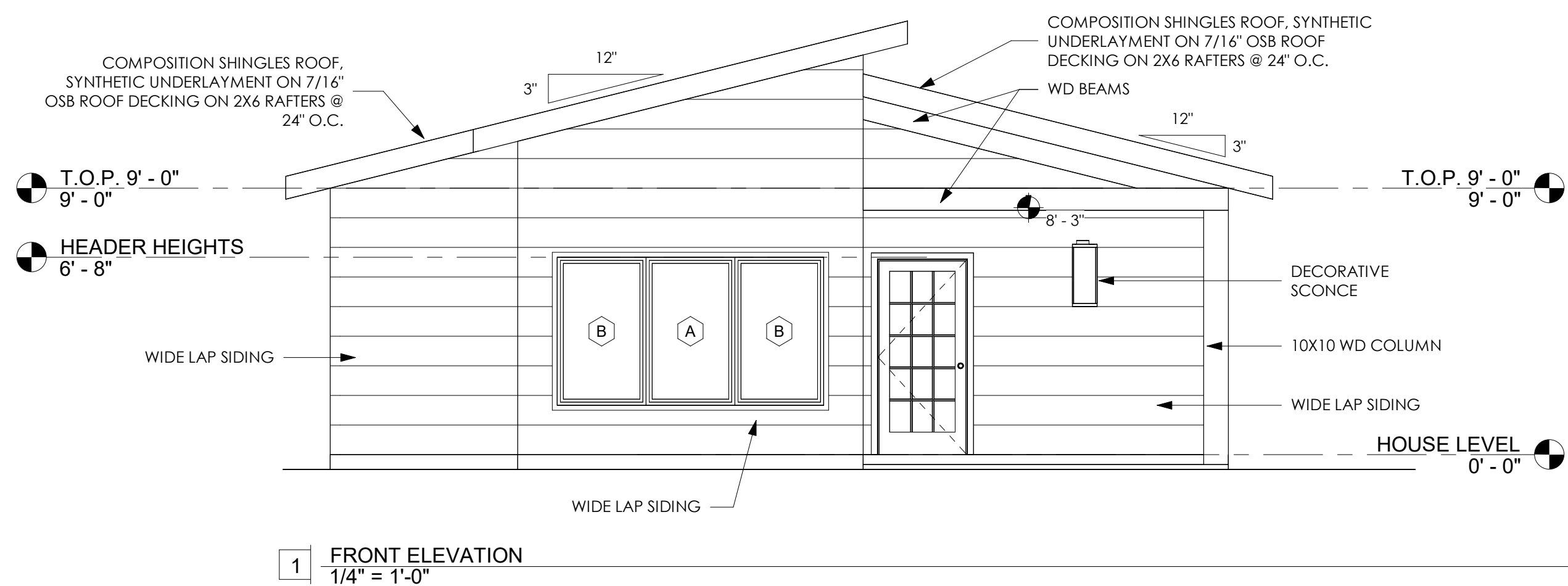
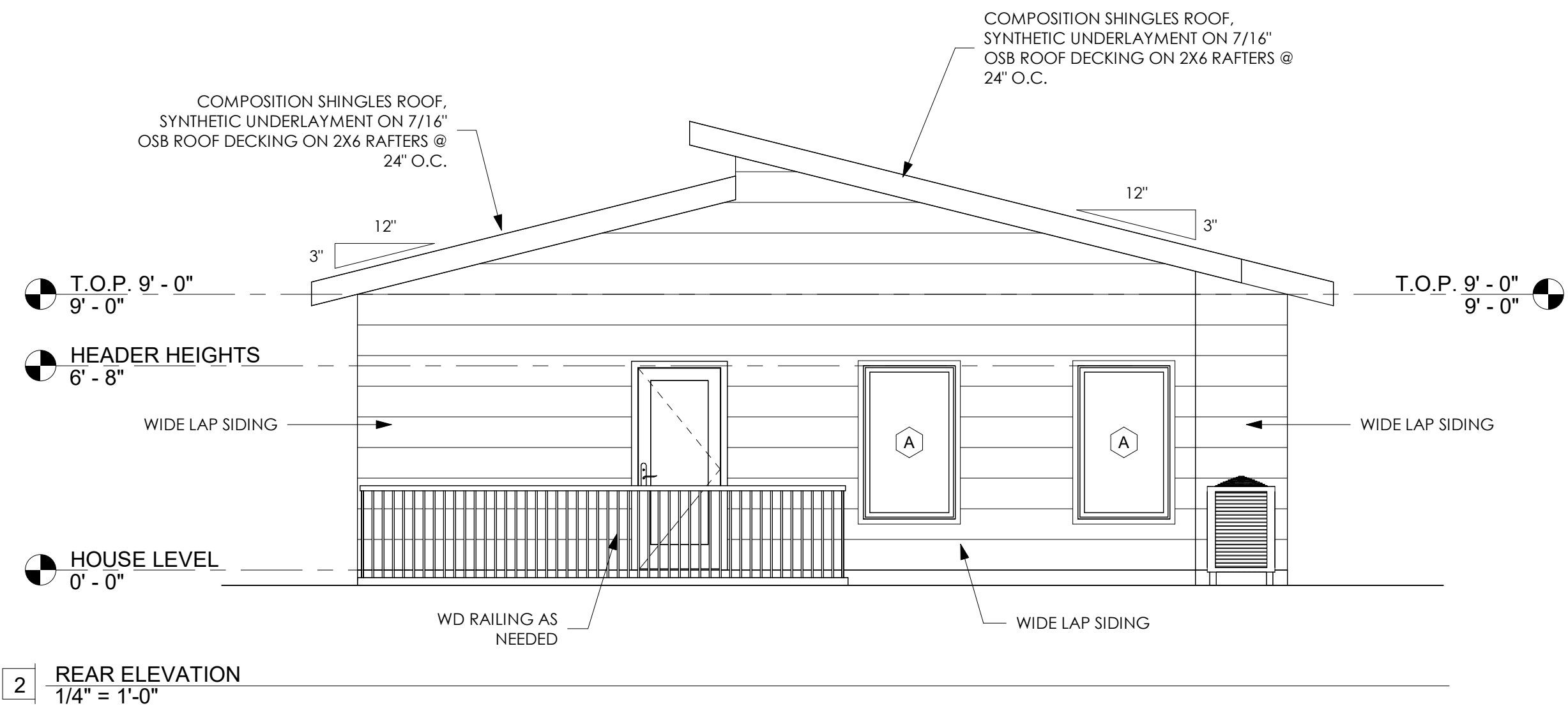
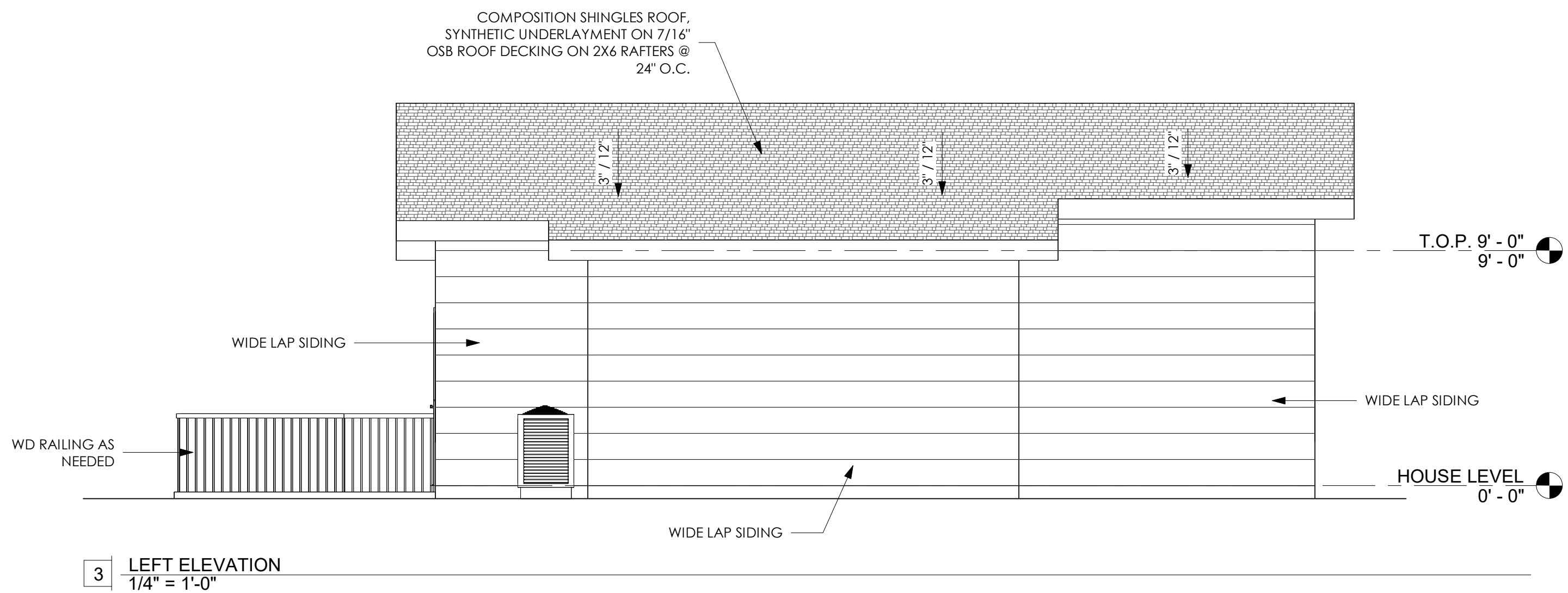
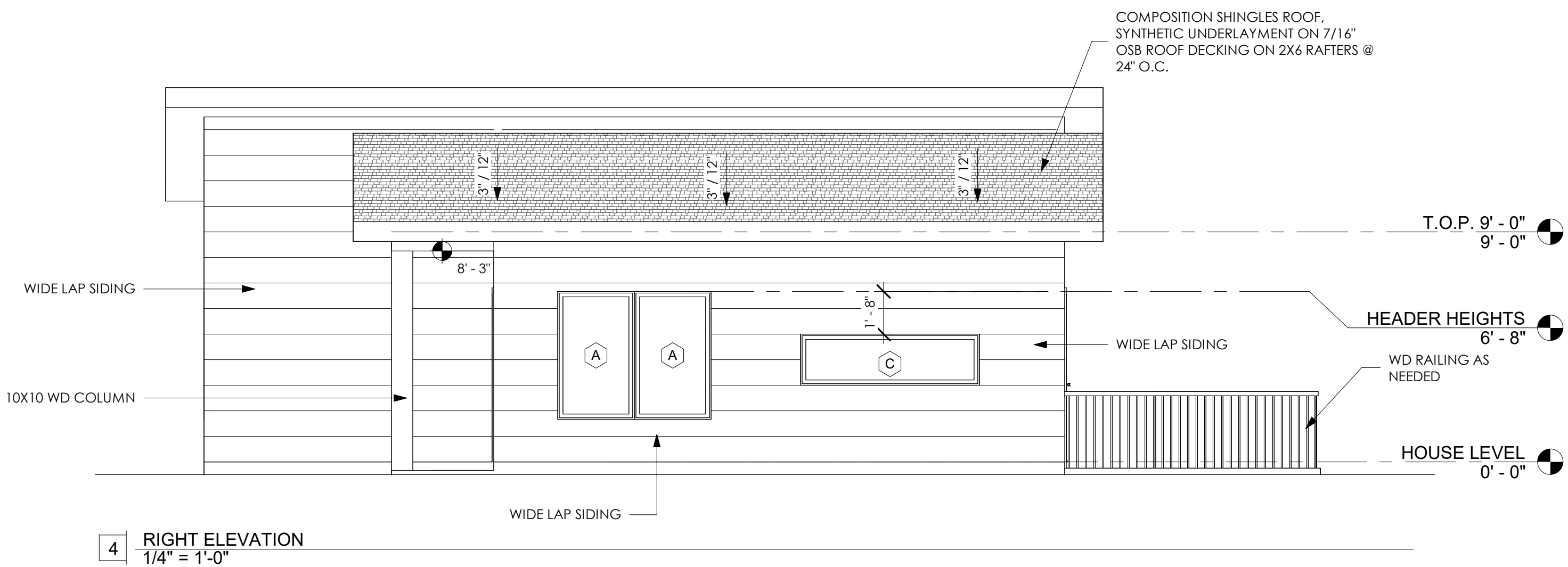
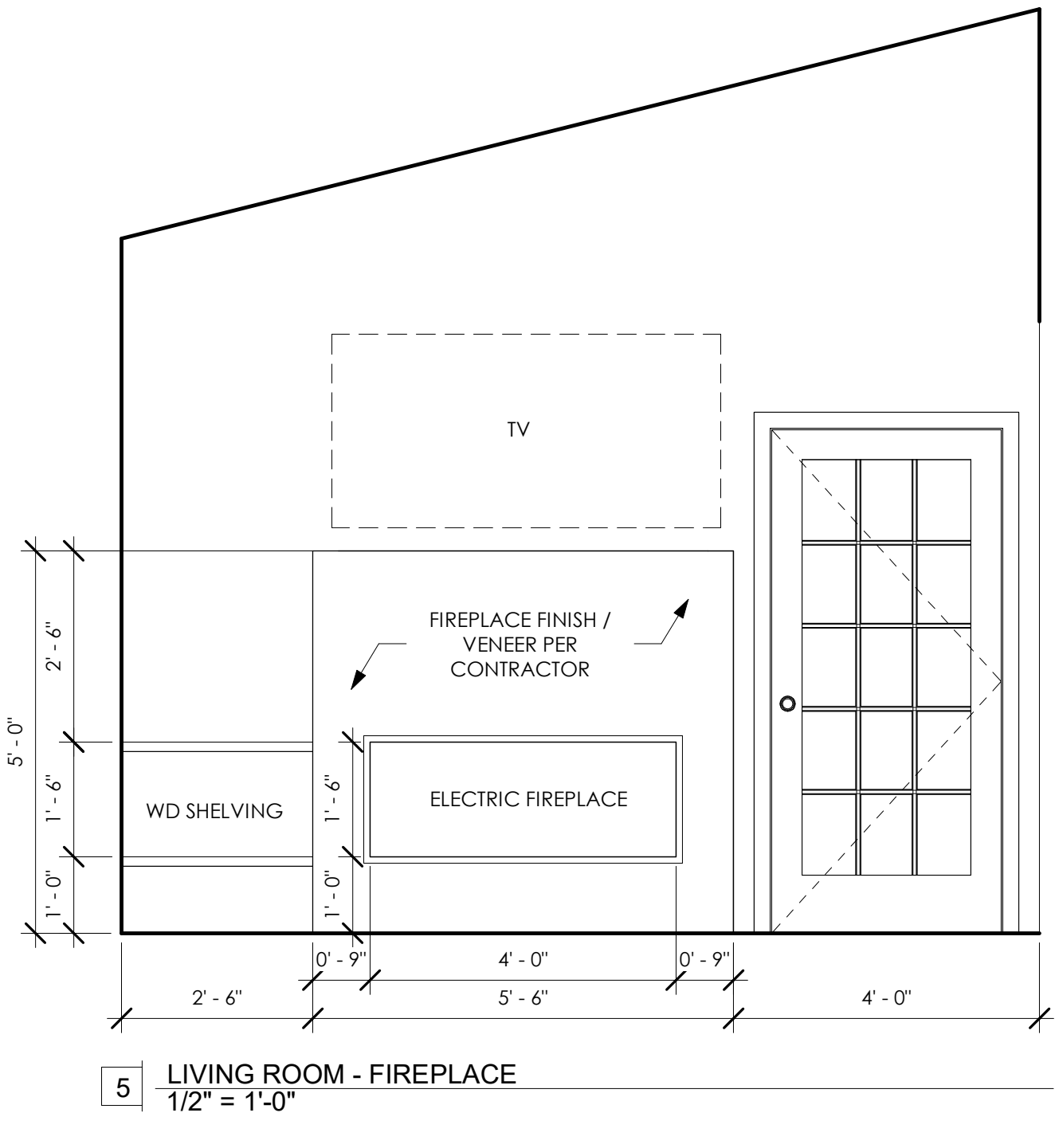
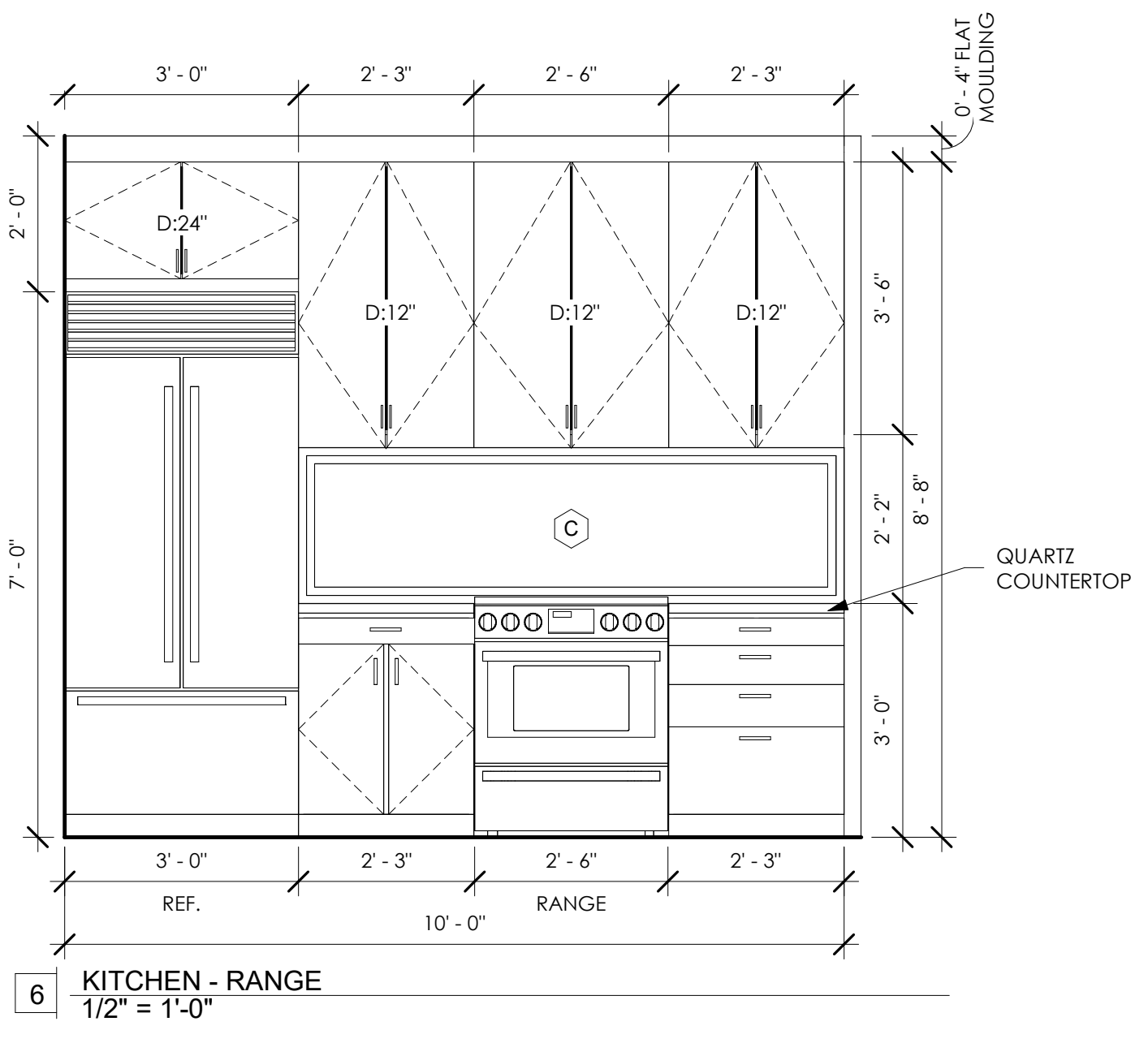
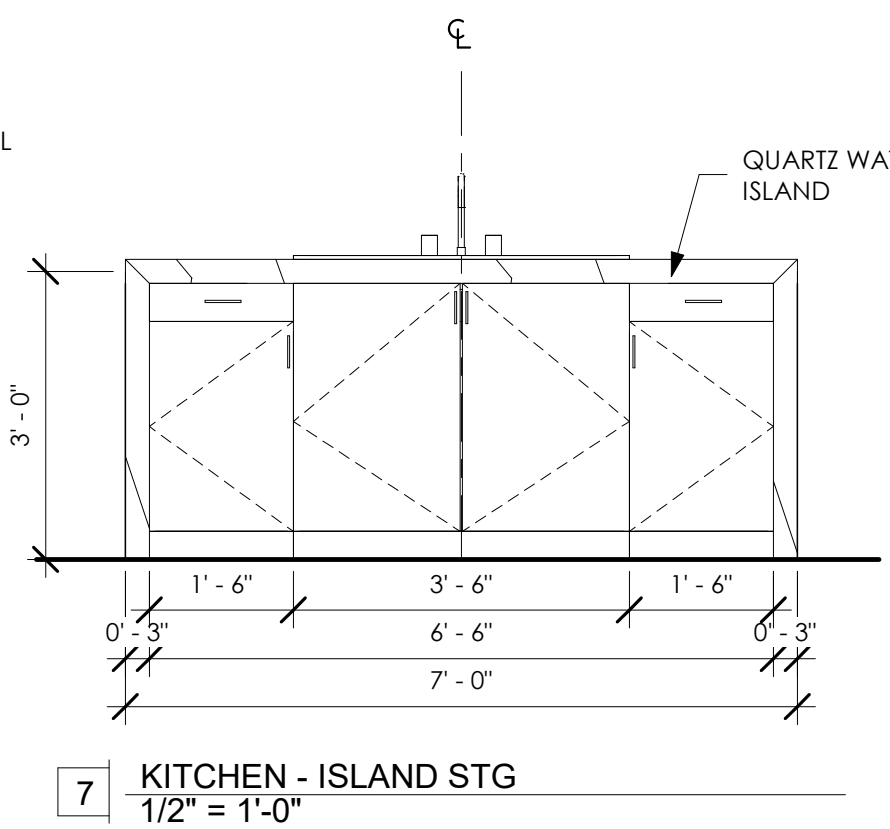
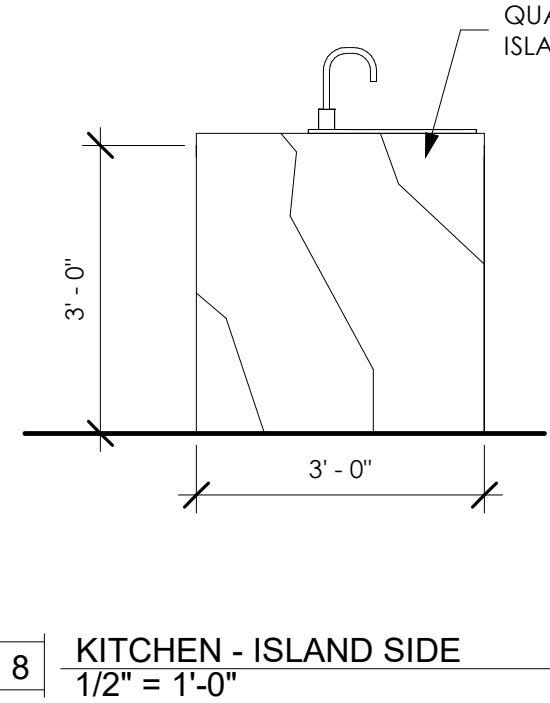
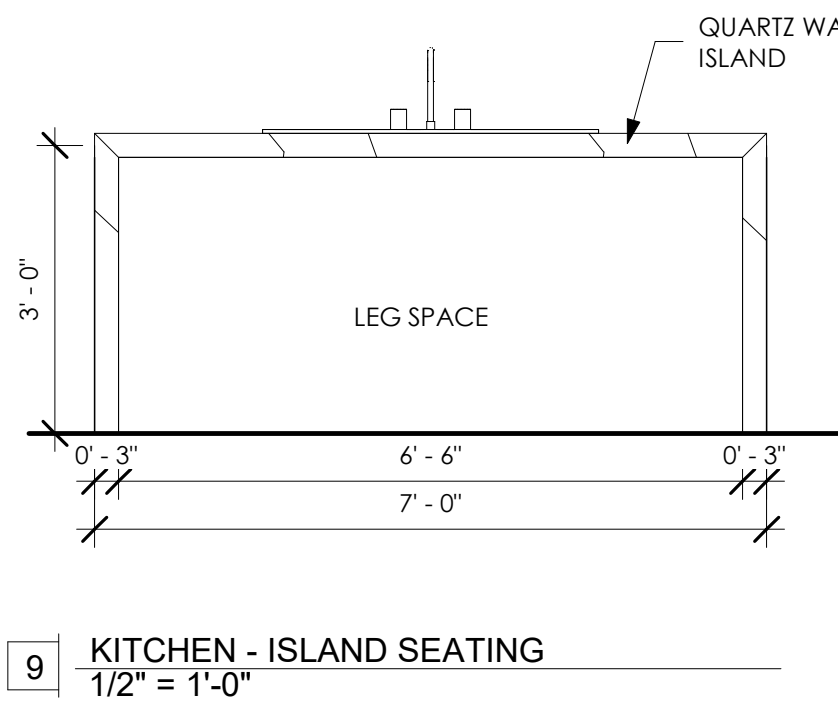
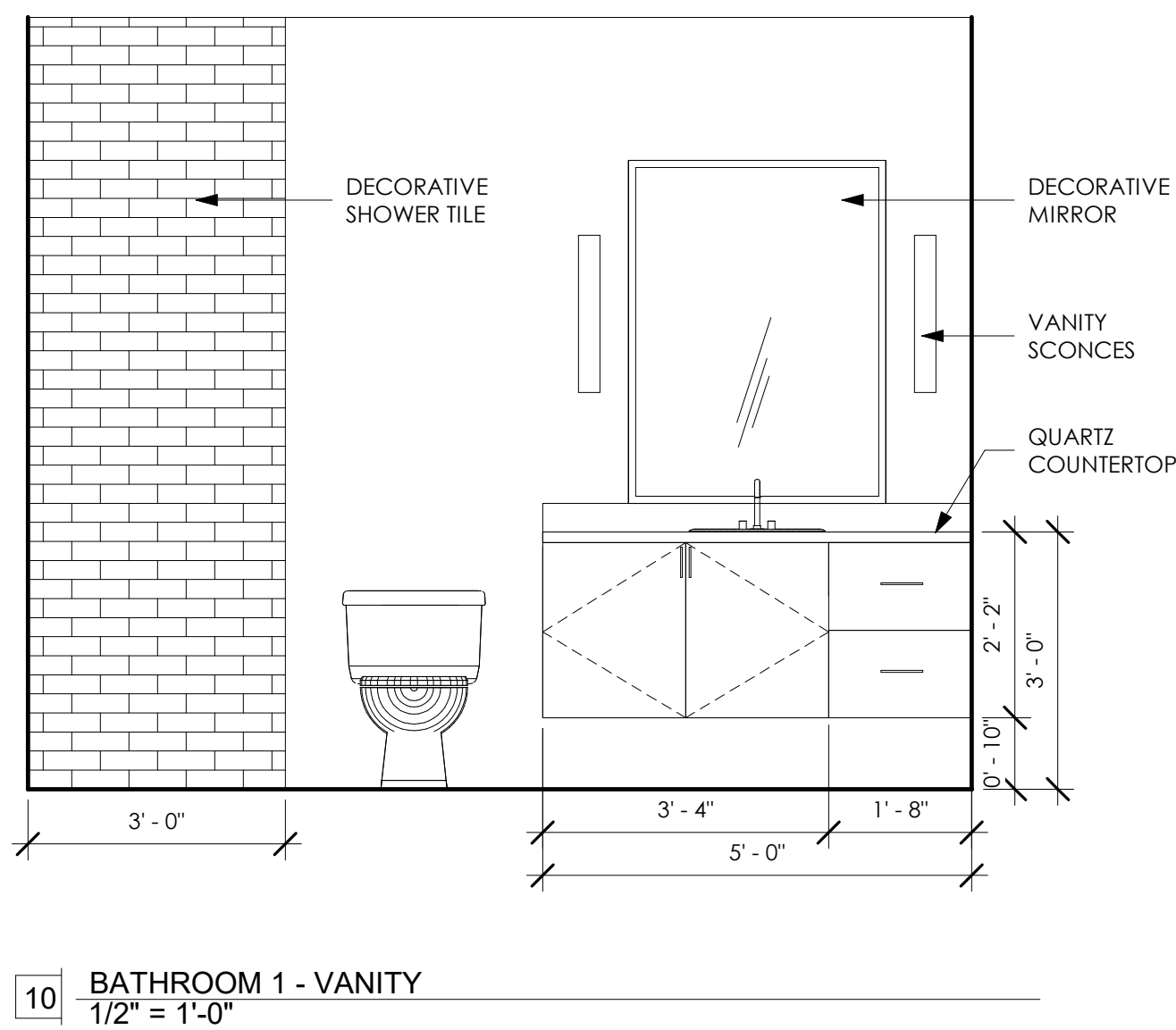
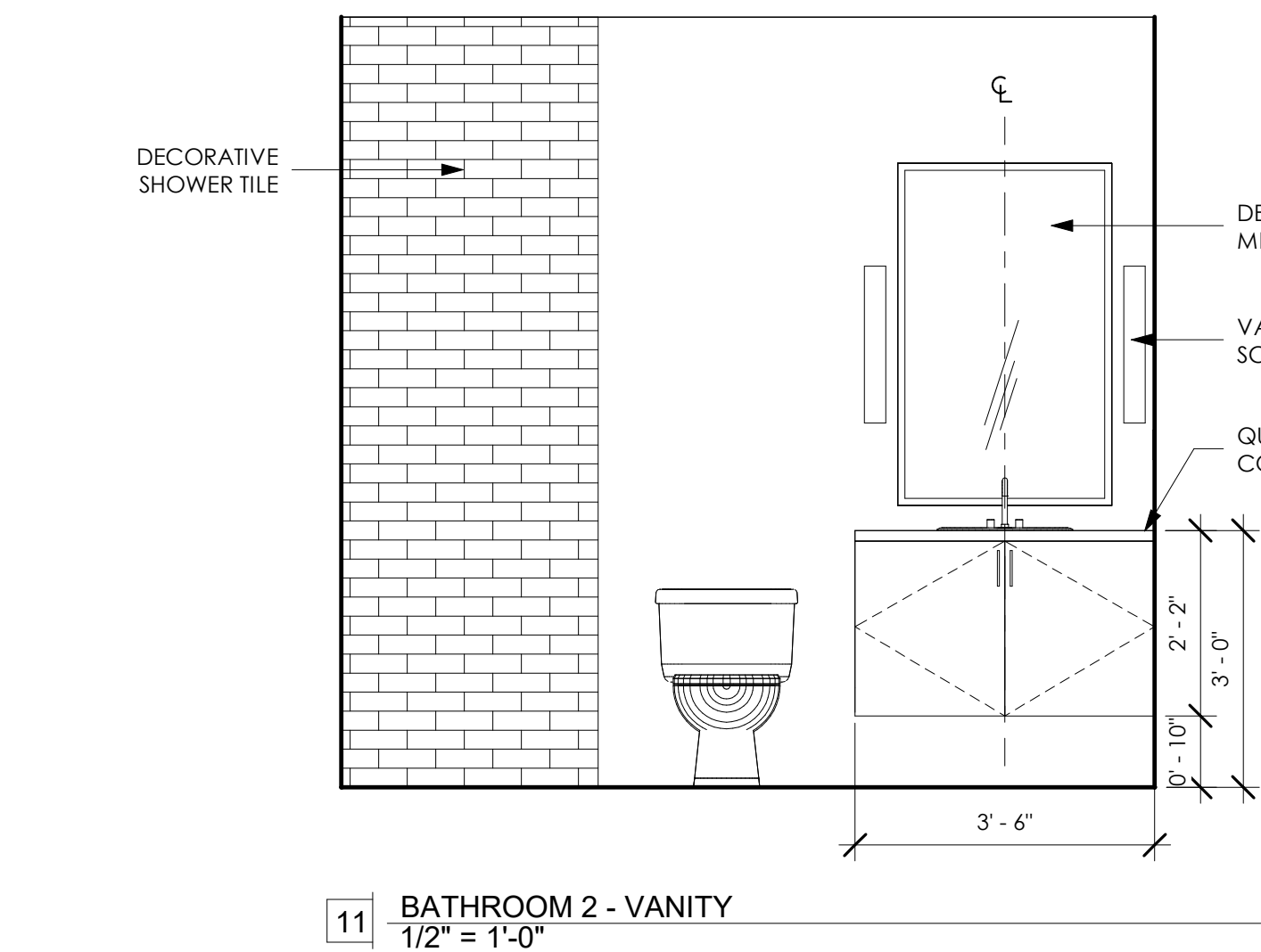
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1



EXTERIOR ELEVATION NOTES:

1. BUILDING ELEVATIONS SHOWN ARE TO HELP CLARIFY OVERALL DESIGN INTENT. REFER TO FLOOR PLAN, AND SUPPORTING DRAWINGS FOR SPECIFIC DESIGN INFORMATION NOT EXPRESSLY DEFINED HEREIN.
2. EXTERIOR FINISH MATERIALS AND TREATMENTS ARE NOT NOTED IN ALL LOCATIONS, WHERE A MATERIAL, SURFACE, OR SYSTEM IS DEFINED THE BALANCE SHALL BE CONSIDERED AS REPETITION.
3. GRADE LINES INDICATED ON ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL DRAWINGS FOR FINISH GRADE CONTOURS.
4. COORDINATE LANDSCAPING TO SCREEN EXPOSED FOUNDATION.
5. CONTRACTOR TO CONFIRM ALL BEDROOM WINDOWS MEET EGRESS CODE: NOTIFY OWNER IF OUT OF CODE.
6. CONTRACTOR TO COORDINATE GUTTER SYSTEM AND DOWNSPOUT DESIGN WITH GUTTER MANUFACTURER.
7. STUCCO FINISH TO EXTEND TO SLAB; KEEP 18" ABOVE GROUND.
8. REF. TO SHEET A2.00 FOR DR AND WINDOW SIZES.



BUILDER:
ALBAREZ
CONSTRUCTION,
LLC

PROJECT NAME:
GONZALES RESIDENCE
81 WALLER ST.
AUSTIN, TX 78702

No.	Description	Date

DATE: 03.11.2023

DRAWN BY: MTH

CHECKED BY: MTH

EXTERIOR &
INTERIOR
ELEVATIONS

SHEET NO.
A6.00

3/11/2023 9:26:56 AM