

kelley design group

RESIDENTIAL DESIGN

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05/31/2023 FOR REVIEW
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07/13/2023 REVISIONS FOR REVIEW
08/03/2023 REVISIONS FOR REVIEW
08/03/2023 FOR REVIEW HISTORICAL VIEW
DRAWN TK
DATE MAY 22, 2023
CHECKED TK

SITE PLAN

SEE SHEET T1
FOR TREE
PROTECTION PLAN

FULL SCALE 22x34: 1/8"=1'-0"
REDUCED SCALE 11x17: 1/16"=1'-0"

SHEET SP

GENERAL SITE NOTES

BUILDER TO RESCULPTURE TOPO/FINISHED GRADE TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.

FINAL LOCATION OF PROPOSED RESIDENCE TO BE DETERMINED BY BUILDER.

UTILITY LINE LOCATIONS ARE APPROXIMATES, GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS.

EXPOSED FOUNDATION TO BE A MINIMUM OF 8" AND A MAXIMUM OF 24" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS, UNDERPIN ALL EXPOSED FOUNDATIONS.

VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.

EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

CONFIRM ALL DRIVEWAY, WALKWAY AND PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.

PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.

ALL EXTERIOR HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS, DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION.

GARBAGE RECEPTACLES TO BE STORED IN GARAGE OR SCREENED FROM VIEW AND ANIMAL ACCESS.

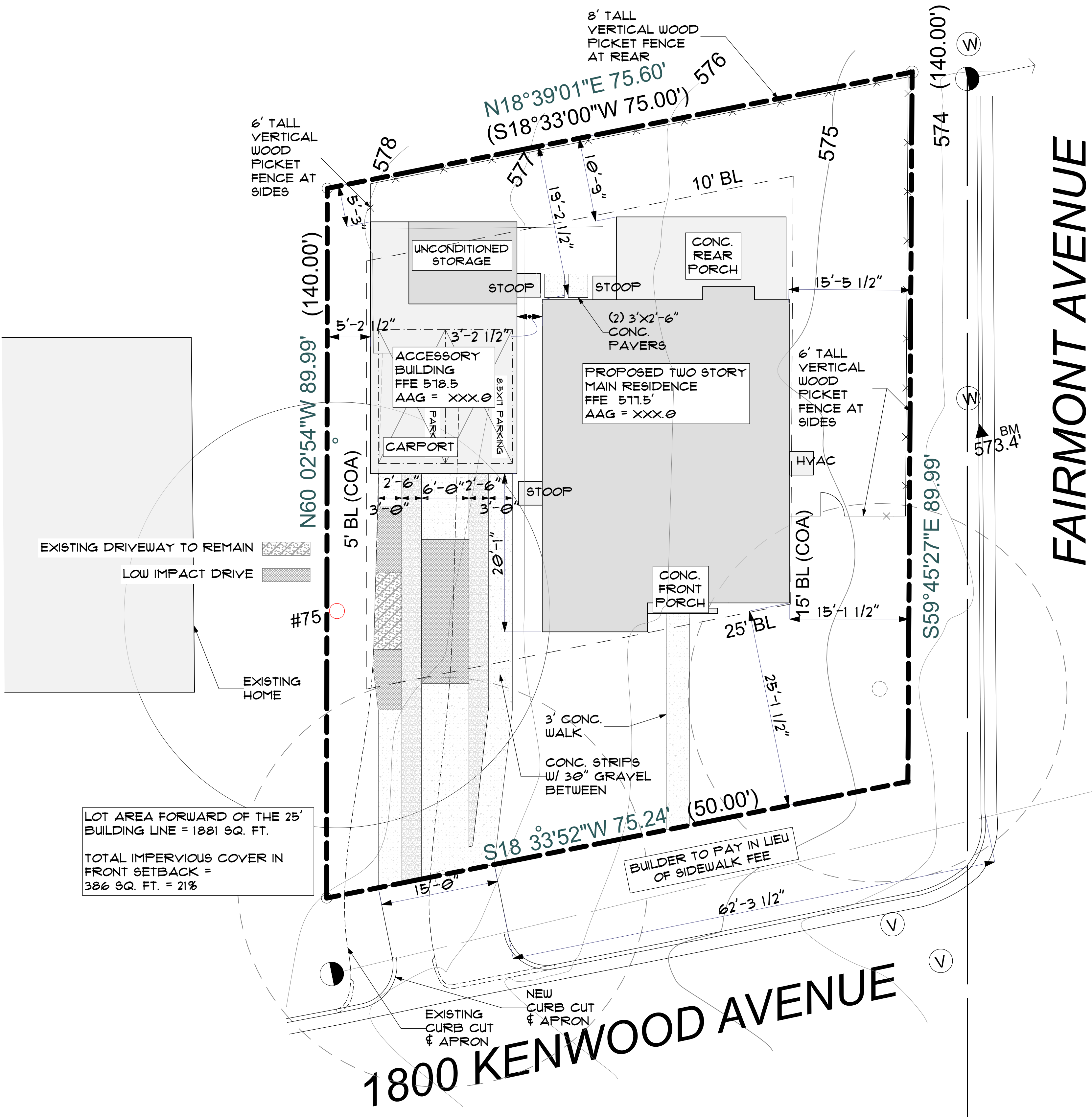
LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED PRIOR TO INSTALLATION.

ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.

LANDSCAPE PLANS TO BE PROVIDED BY OTHERS AND PERMIT FOR SAME TO BE OBTAINED SEPARATELY FROM THESE PLANS.

CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.

DRIVEWAY TO BE INSTALLED PER CITY OF AUSTIN 4335-1A.



LOWER FLOOR	1,262
UPPER FLOOR	1,253
	2,515 ft²
CARPORT	450
COV'D FRONT PORCH	15
COV'D REAR PORCH	215
STORAGE	143
	823 ft²
	3,338 ft²

EGRESS WINDOWS AND DOORS TO COMPLY WITH 2021 IRC.



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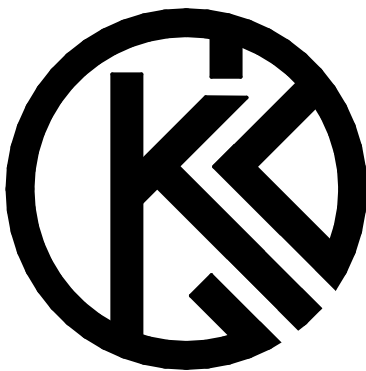
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FLOOR PLANS

SHEET A1





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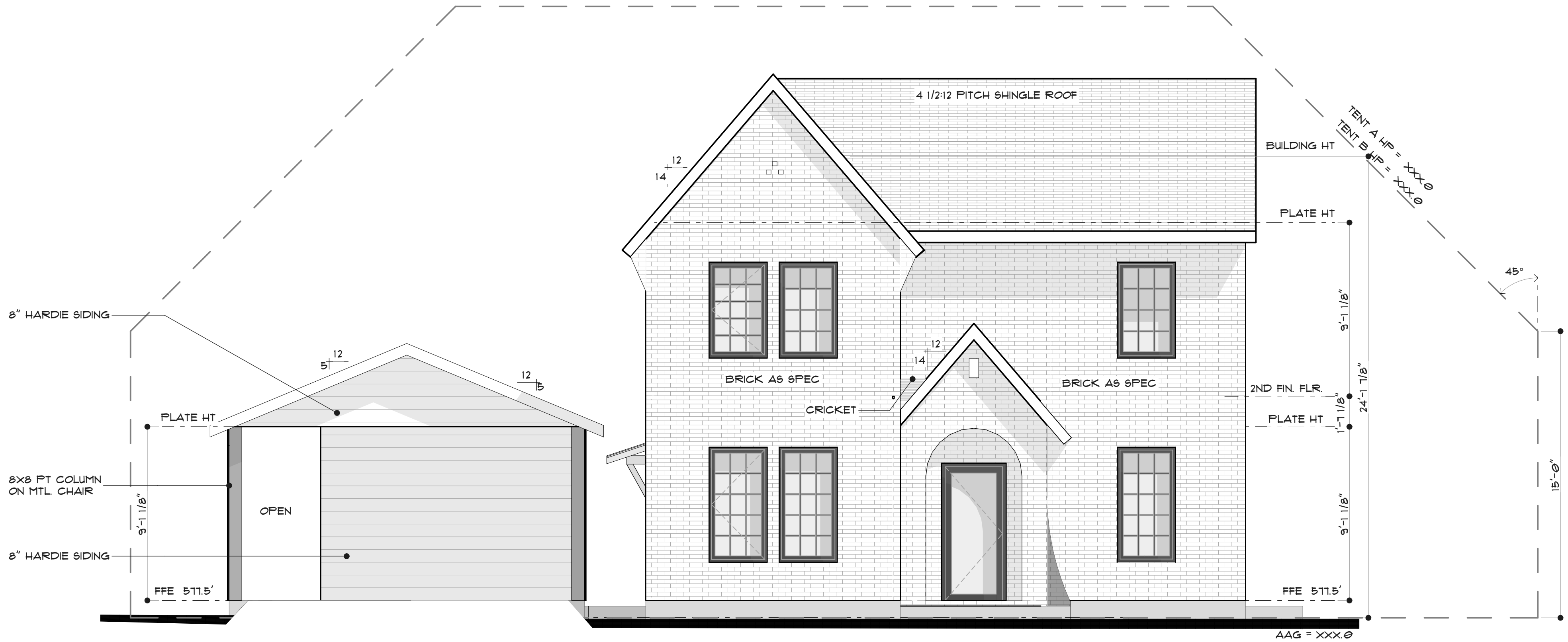
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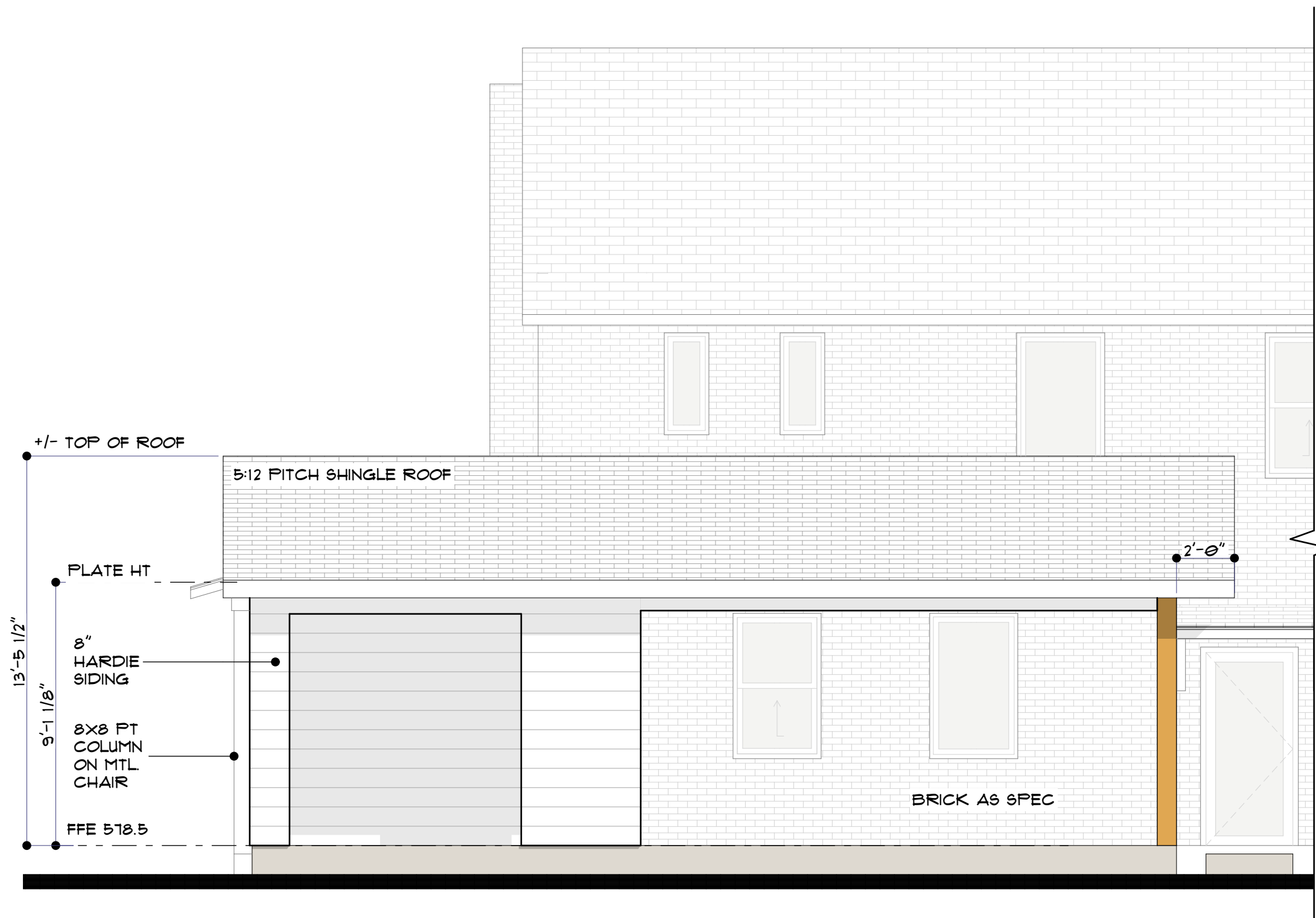
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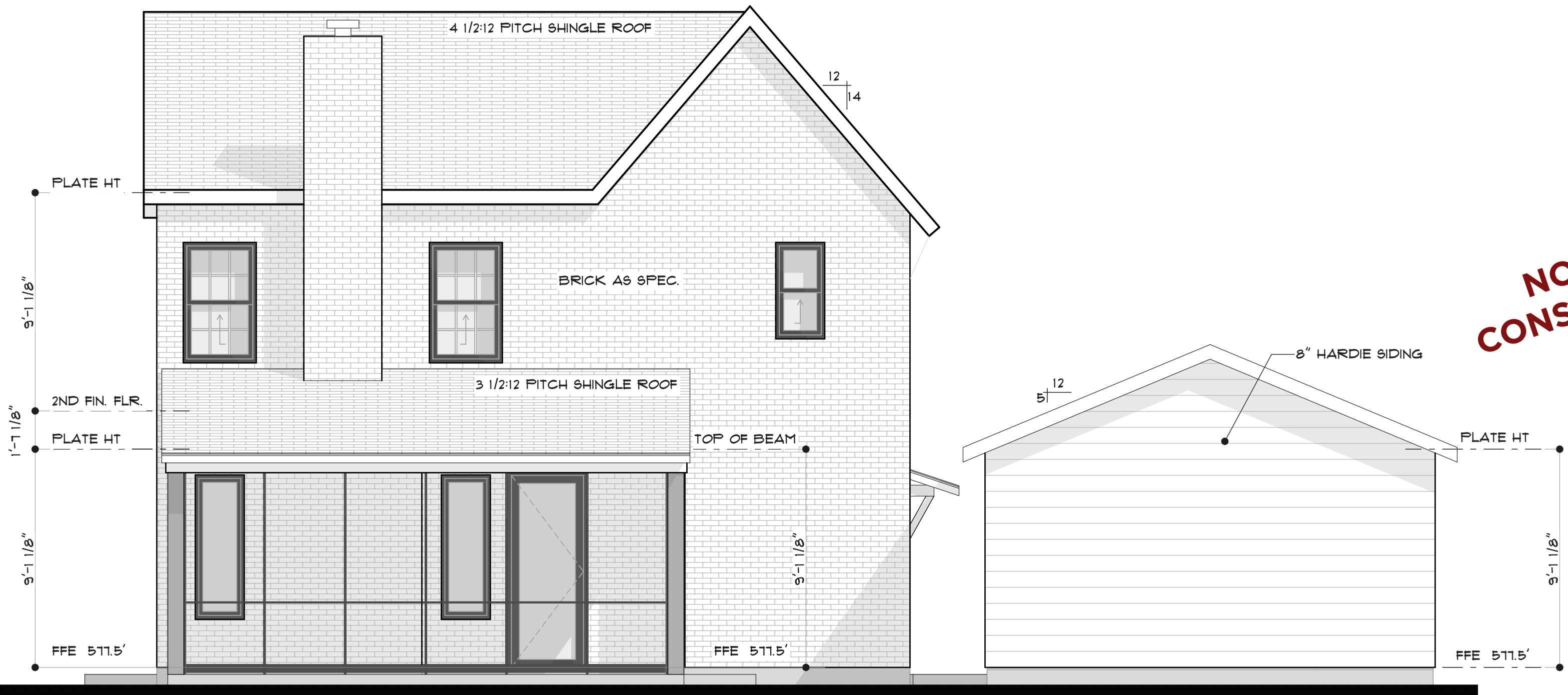
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Front Elevation



Carport Left Elevation



Rear Elevation

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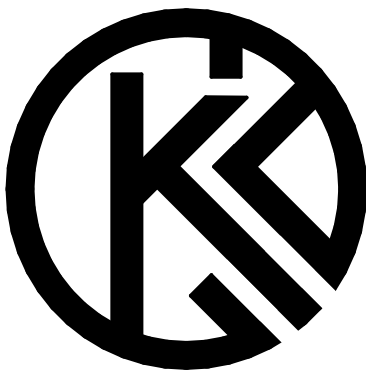
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EXTERIOR ELEVATIONS

FULL SCALE 22x34: 1/4"=1'-0"
REDUCED SCALE 11x17: 1/8"=1'-0"

SHEET A2.0



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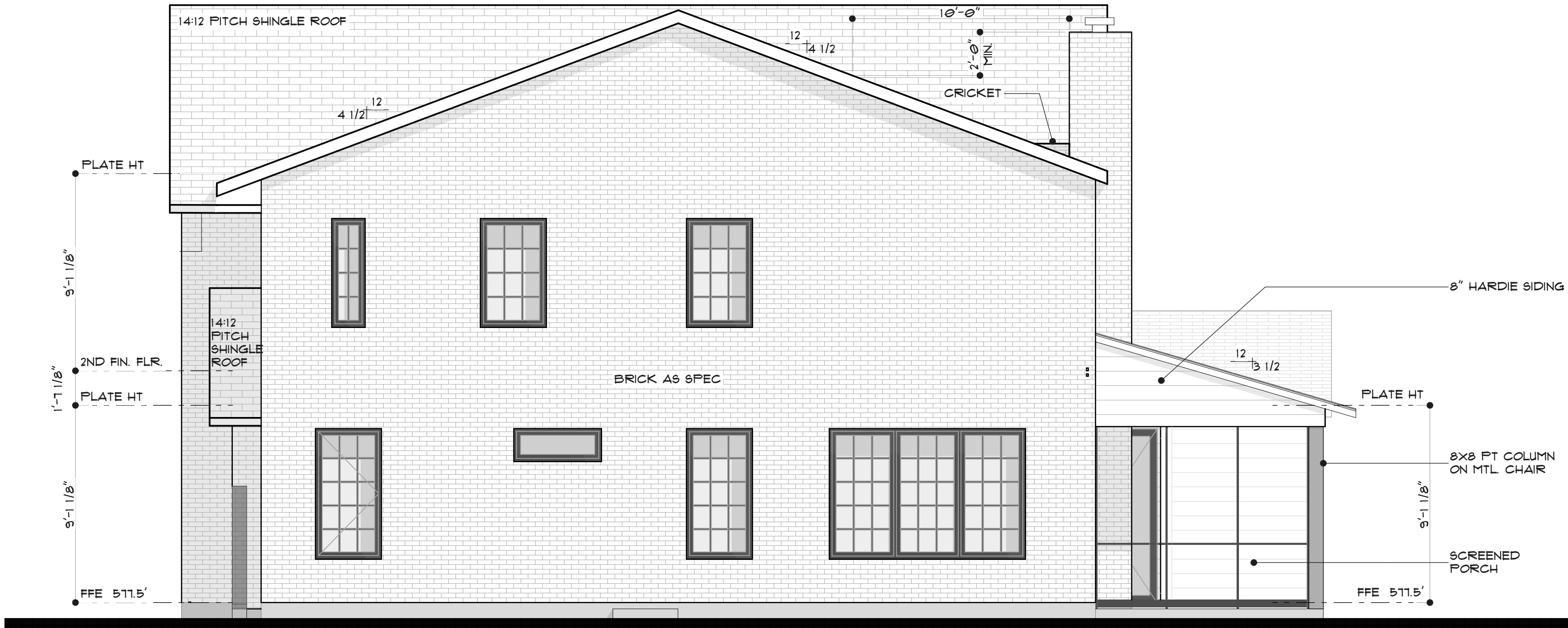
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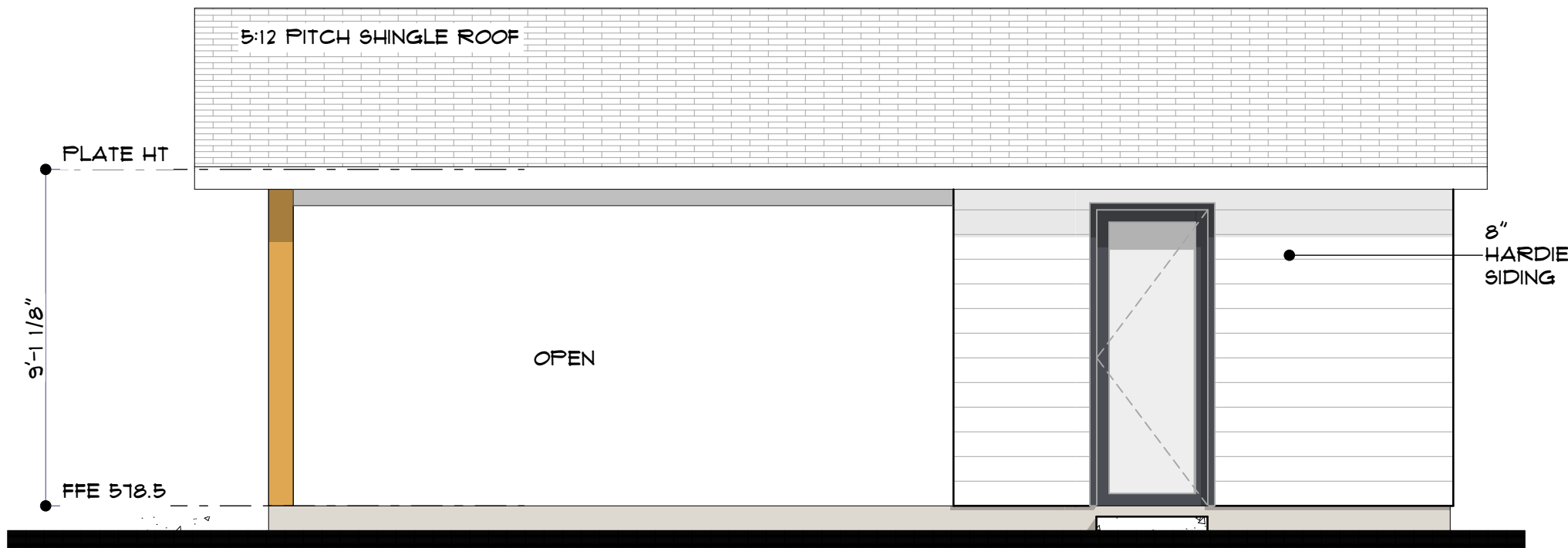
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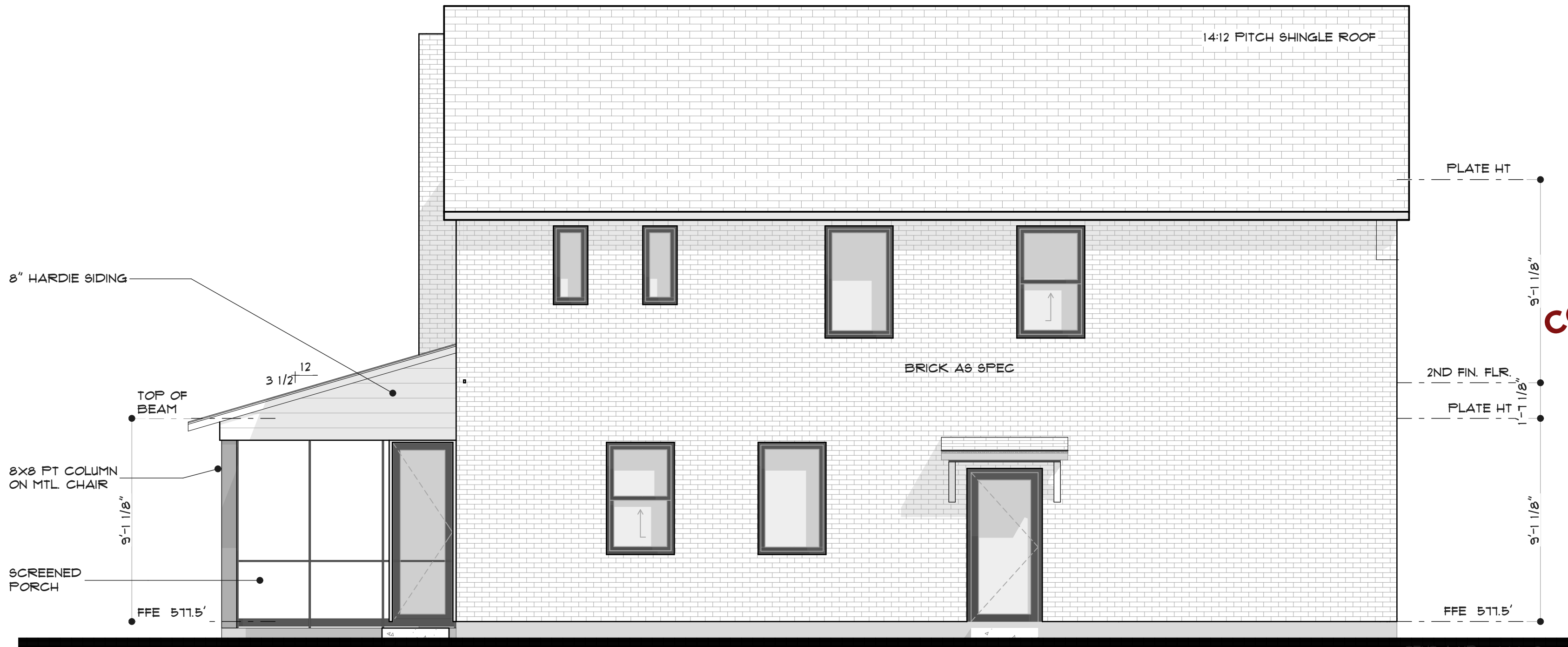
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Right Elevation



Carport Left Elevation



Left Elevation

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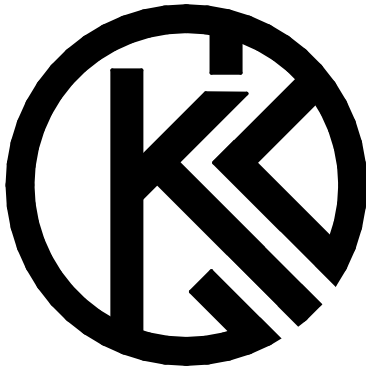
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EXTERIOR ELEVATIONS

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SHEET A2.1



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ROOF LAYOUT

FULL SCALE 22x34: 1/4"=1'-0"
REDUCED SCALE 11x17: 1/8"=1'-0"

SHEET A3.0

ROOF NOTES

ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.

ALL OVERHANGS TO BE MEASURED FROM THE FRAME WALL UNLESS NOTED OTHERWISE.

ALL EXTERIOR OPENINGS TO BE LOAD BEARING.

SEE ENGINEERED TRUSS DRAWINGS FOR ROOF FRAMING.

TRUSS MANUFACTURER TO DESIGN TRUSSES WITH SPACE FOR HVAC DUCTWORK.

ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2X6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2X6 STUDS THEY MUST BE BUILT WITH DOUBLE 2X4 STUDS AT 12" O.C.

BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE BUILDING DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.

