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R RESIDENCE

CARR RES

1,262

450

215

143

426

162

16

27

81

755 ft²

43% 2,840 ft²

823 ft²

1,262 ft²

IMPERVIOUS COVER

COV'D FRONT PORCH

COV'D REAR PORCH

LOW IMPACT DRIVE

EXISTING DRIVE TO REMAIN

LOWER FLOOR

CARPORT

STORAGE

DRIVE

HVAC

PAVERS

STOOP

WALKWAY

REVISIONS

95.31.2023 | FOR REVIEW
91.31.2023 | REVISIONS FOR REVIEW
91.31.2023 | REVISIONS FOR REVIEW
98.92.2023 | REVISIONS FOR REVIEW
98.19.2023 | FOR REVIEW HISTORICAL REVIEW

DRAWN TK

DATE MAY 22, 2023

CHECKED TK

SITE PLAN

SEE SHEET **TI**FOR TREE
PROTECTION PLAN

IFULL SCALE 22x34: 1/8"=1'-0" REDUCED SCALE 11X17: 1/16"=1'-0"

SHEETSP

GENERAL SITE NOTES

BUILDER TO RESCULPTURE TOPO/FINISHED GRADE TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.

FINAL LOCATION OF PROPOSED RESIDENCE TO BE DETERMINED BY BUILDER.

UTILITY LINE LOCATIONS ARE APPROXIMATES, GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS.

EXPOSED FOUNDATION TO BE A MINIMUM OF 8" AND A MAXIMUM OF 24" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS, UNDERPIN ALL EXPOSED FOUNDATIONS.

VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.

EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

CONFIRM ALL DRIVEWAY, WALKWAY AND PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.

PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.

ALL EXTERIOR HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS, DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION.

GARBAGE RECEPTACLES TO BE STORED IN GARAGE OR SCREENED FROM VIEW

AND ANIMAL ACCESS.

LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED

PRIOR TO INSTALLATION.

ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.

LANDSCAPE PLANS TO BE PROVIDED BY OTHERS AND PERMIT FOR SAME TO BE OBTAINED SEPARATELY FROM THESE PLANS.

CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.

DRIVEWAY TO BE INSTALLED PER CITY OF AUSTIN 433S-1A.

_______ 2040 SH 48" H. WALL -w/ wood CAP SHOWER WIC BATH STANDING TUB **PRIMARY** BEDROOM 11'-0" LIVING BEDROOM 2 5' TUB W/ SHOWER BEDROOM 3 WIC BUILDER \$ MASON TO CONFIRM 3050 FGDL @ 1' HDR. DISTANCE BETWEEN 3050 CSMTDB050 FGDL 0 1' HDR. 5'-3 3/4" 4'-8 3/4" 4'-4 1/2" 3'-8" 4'-4 1/2" 4'-1 1/2" 3'-10 1/2" 18'-0 1/2" 30'-5 1/2"

UPPER FLOOR

AREA CALCULATIONS	
OWER FLOOR	1,262
JPPER FLOOR	1,253
	2,515 ft ²
CARPORT	450
COV'D FRONT PORCH	15
COV'D REAR PORCH	215
STORAGE	143
	823 ft ²
	3,338 ft ²
XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX	2x6 WALL
	2x4 WALL

ADEA CALCIII ATIONS

AREA CALCULATIONS	
LOWER FLOOR	1,26
UPPER FLOOR	1,25
	2,515 ft
CARPORT	450
COV'D FRONT PORCH	1.
COV'D REAR PORCH	21
STORAGE	143
	027 4

GENERAL FLOOR PLAN NOTES:

ALL WINDOW AND DOOR CALLOUTS ARE IN FEET/INCHES. EG: 2650 = 2'-6" WIDE X 5'-0" TALL

ALL WINDOW HEADERS ARE 8'-0" UNLESS NOTED.

ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE BUILDING DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.

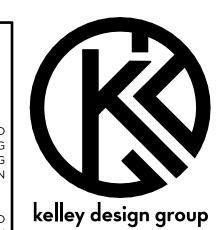
JNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING DESIGNER.

ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.

ALL PLUMBING WALLS TO BE 2X6.

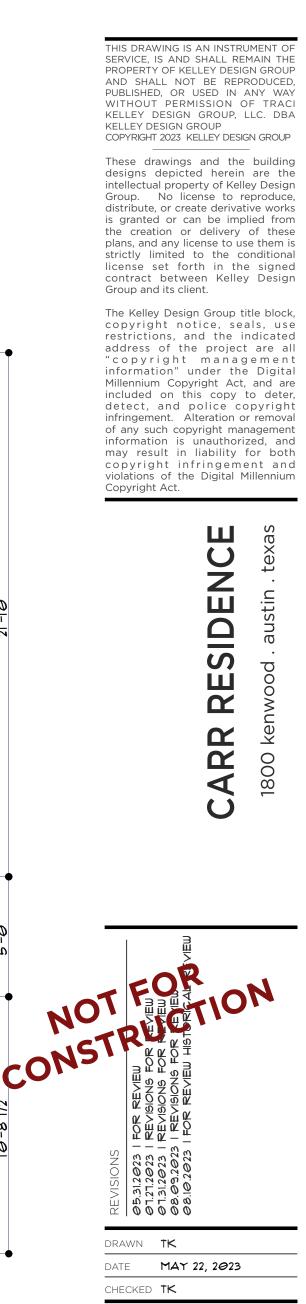
GREEN BOARD INS ALL SHOWERS AND WET AREAS.

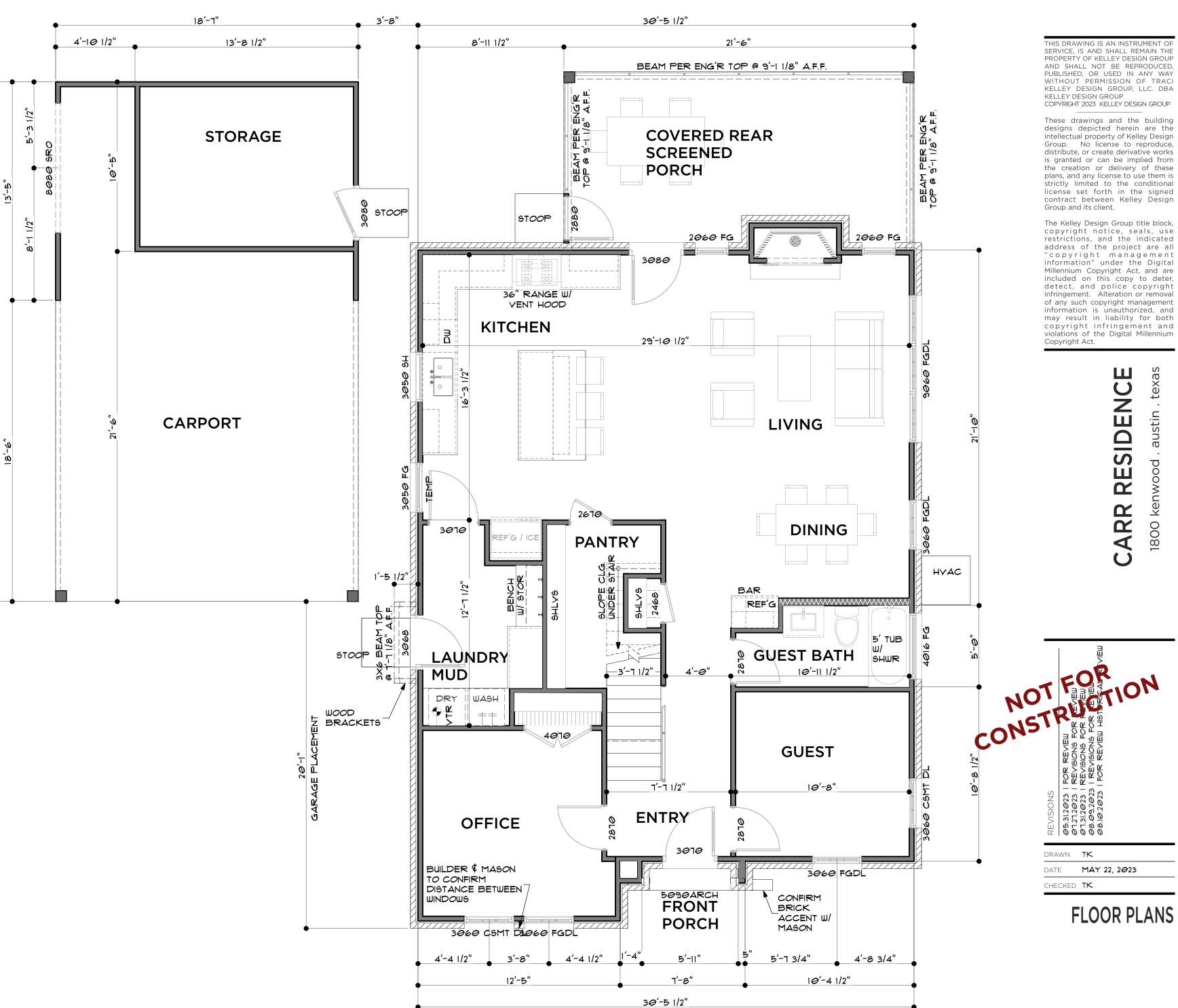
EGRESS WINDOWS AND DOORS TO COMPLY WITH 2021 IRC.



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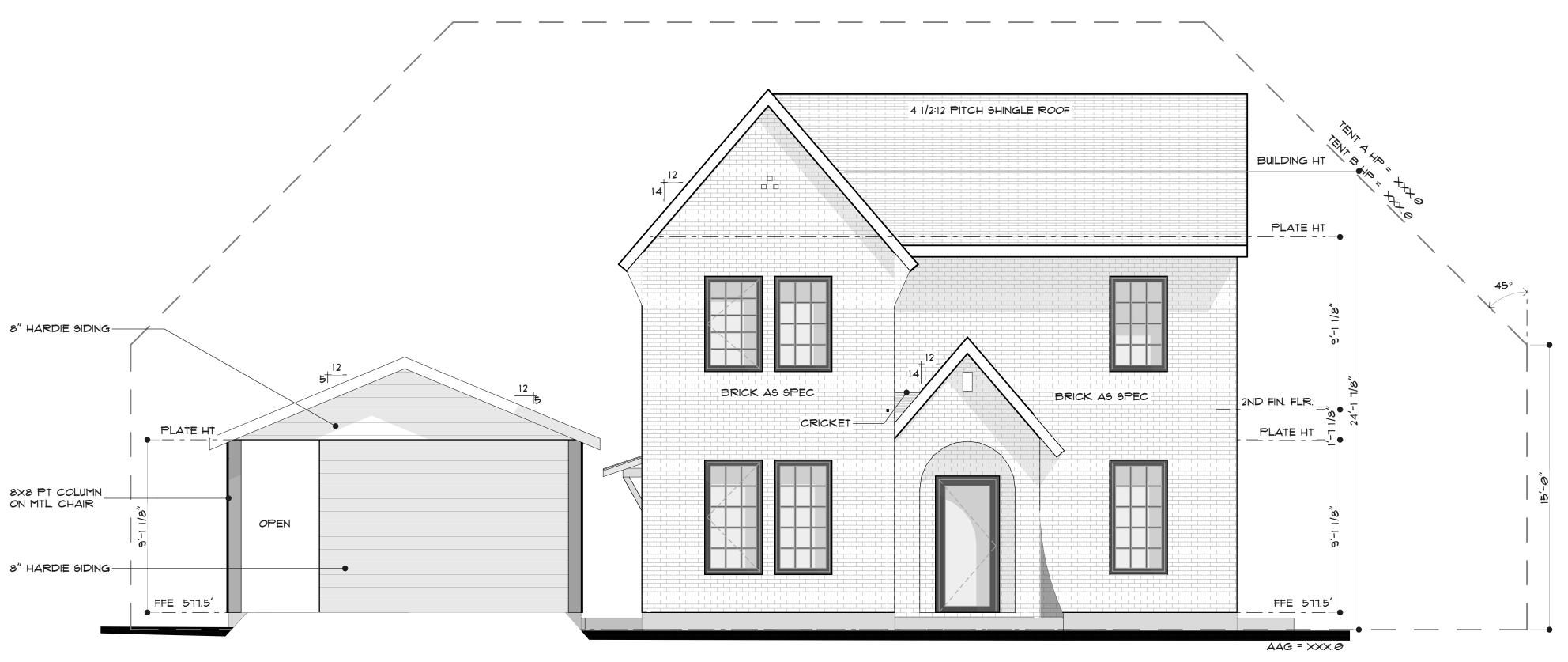




LOWER FLOOR

FULL SCALE 22x34: 1/4"=1'-0" REDUCED SCALE 11X17: 1/8"=1'-0"

SHEET A1



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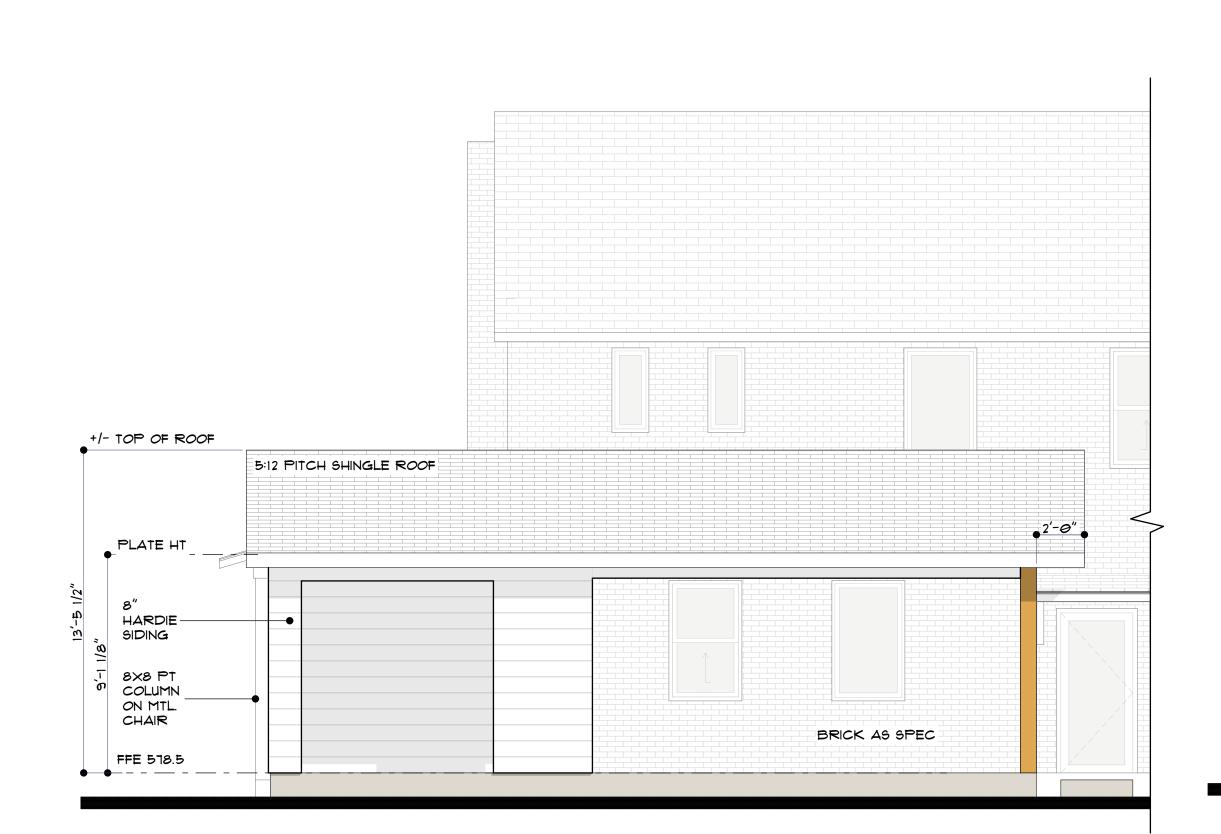
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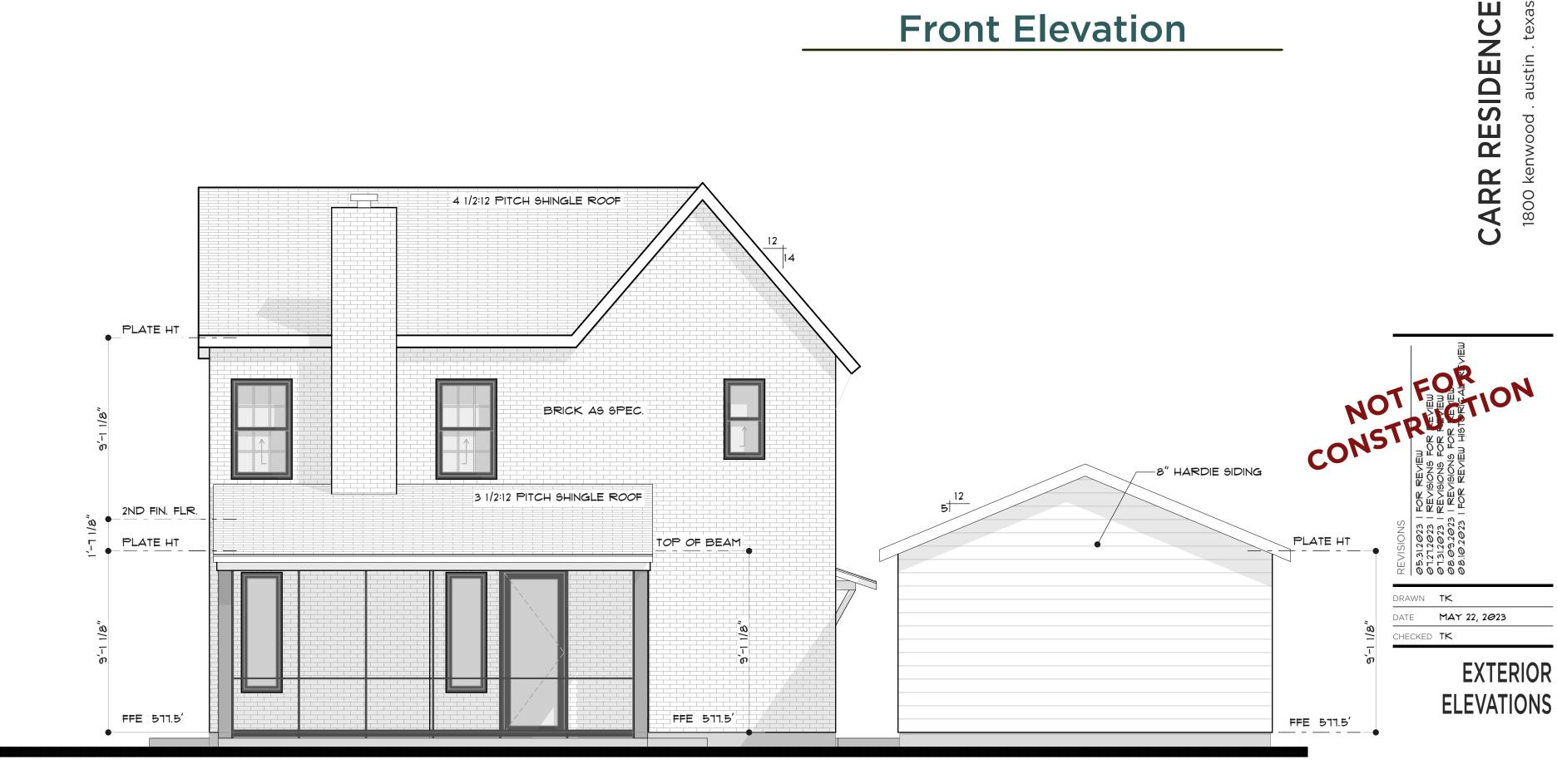
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Front Elevation



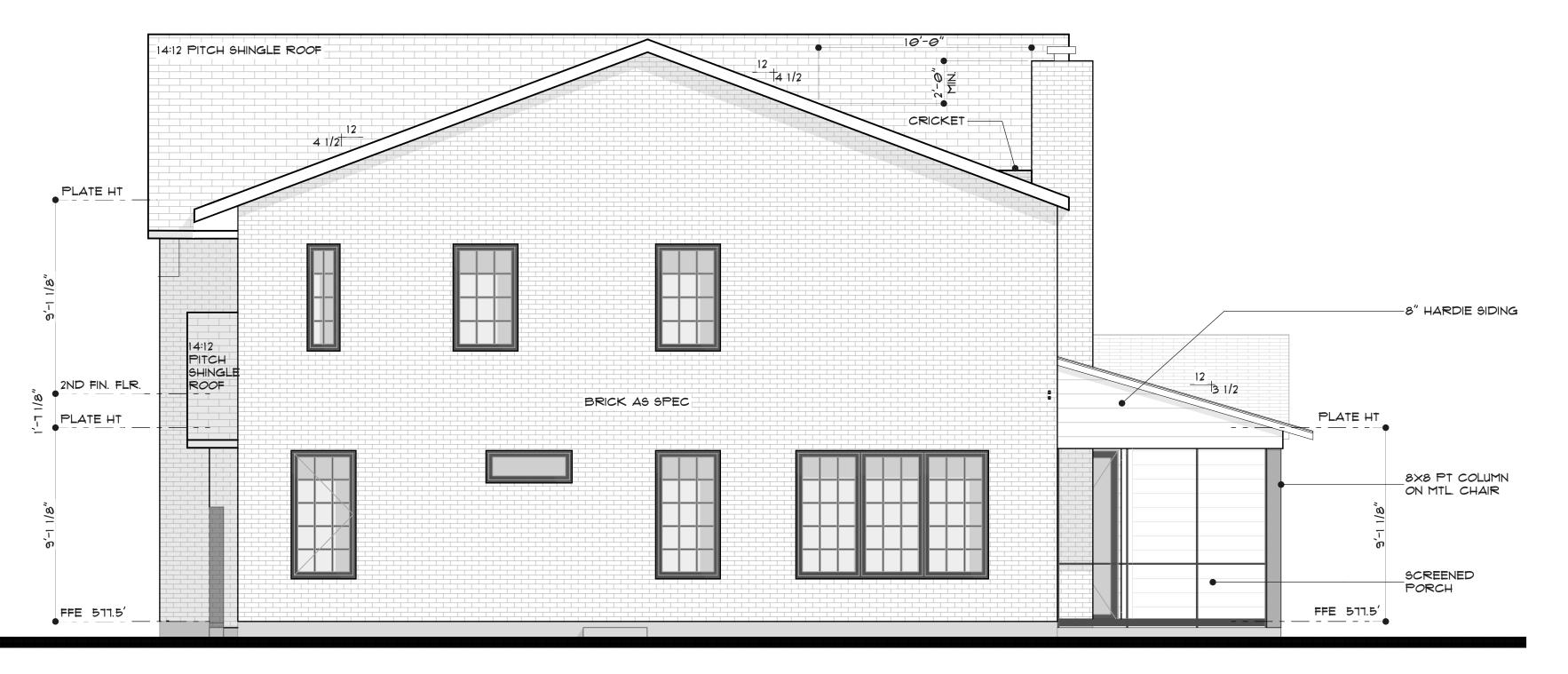


Carport Left Elevation

Rear Elevation

FULL SCALE 22x34: 1/4"=1'-0" REDUCED SCALE 11X17: 1/8"=1'-0"

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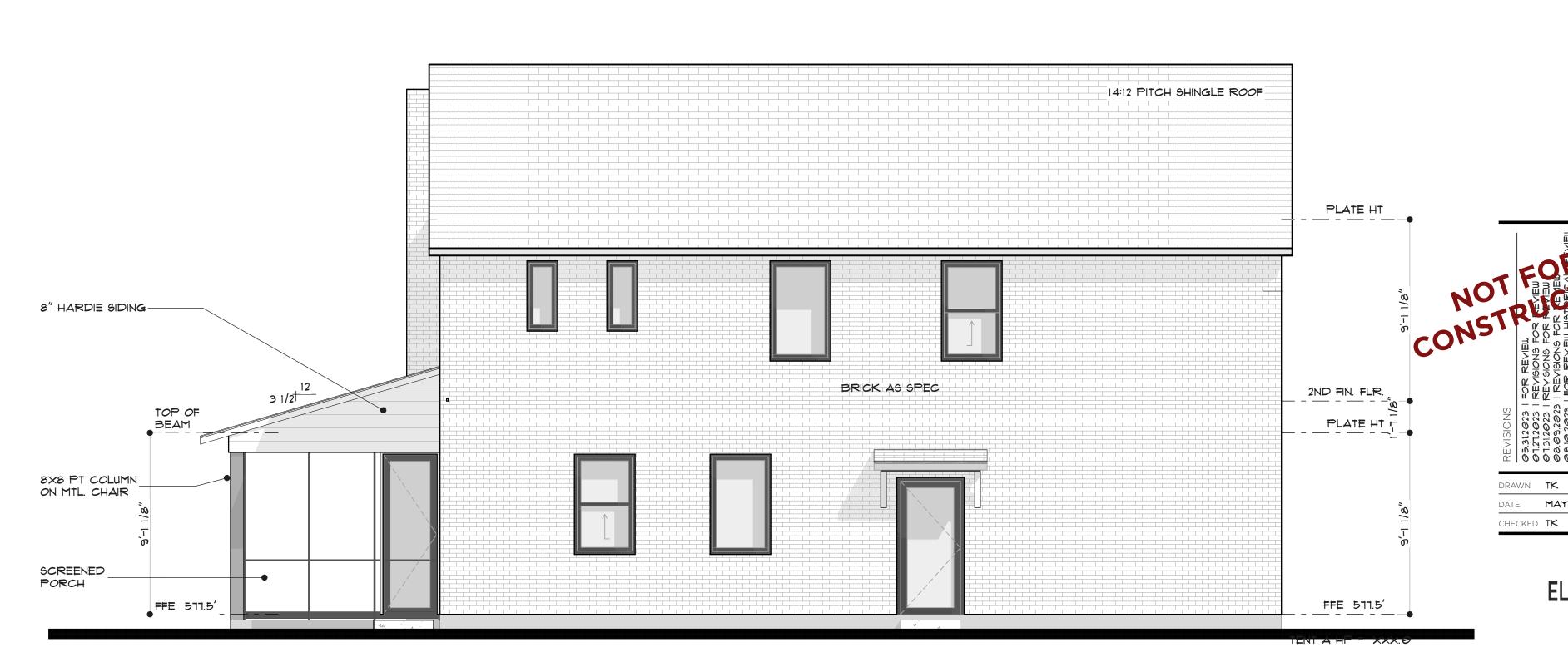
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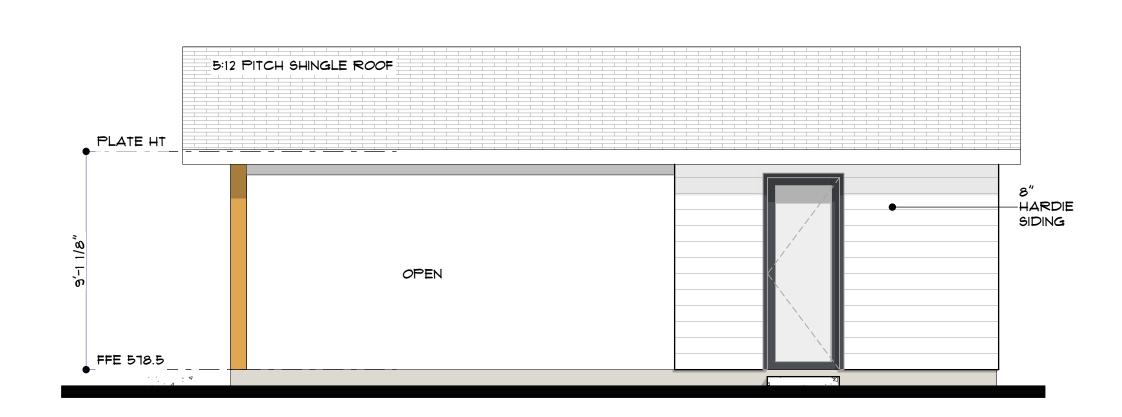
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Right Elevation

CARR RESIDENCE





Left Elevation

FULL SCALE 22x34: 1/4"=1'-0" REDUCED SCALE 11X17: 1/8"=1'-0"

EXTERIOR

ELEVATIONS

Carport Left Elevation

ation SHFFTA:

ROOF NOTES

ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.

ALL OVERHANGS TO BE MEASURED FROM THE FRAME WALL UNLESS NOTED OTHERWISE.

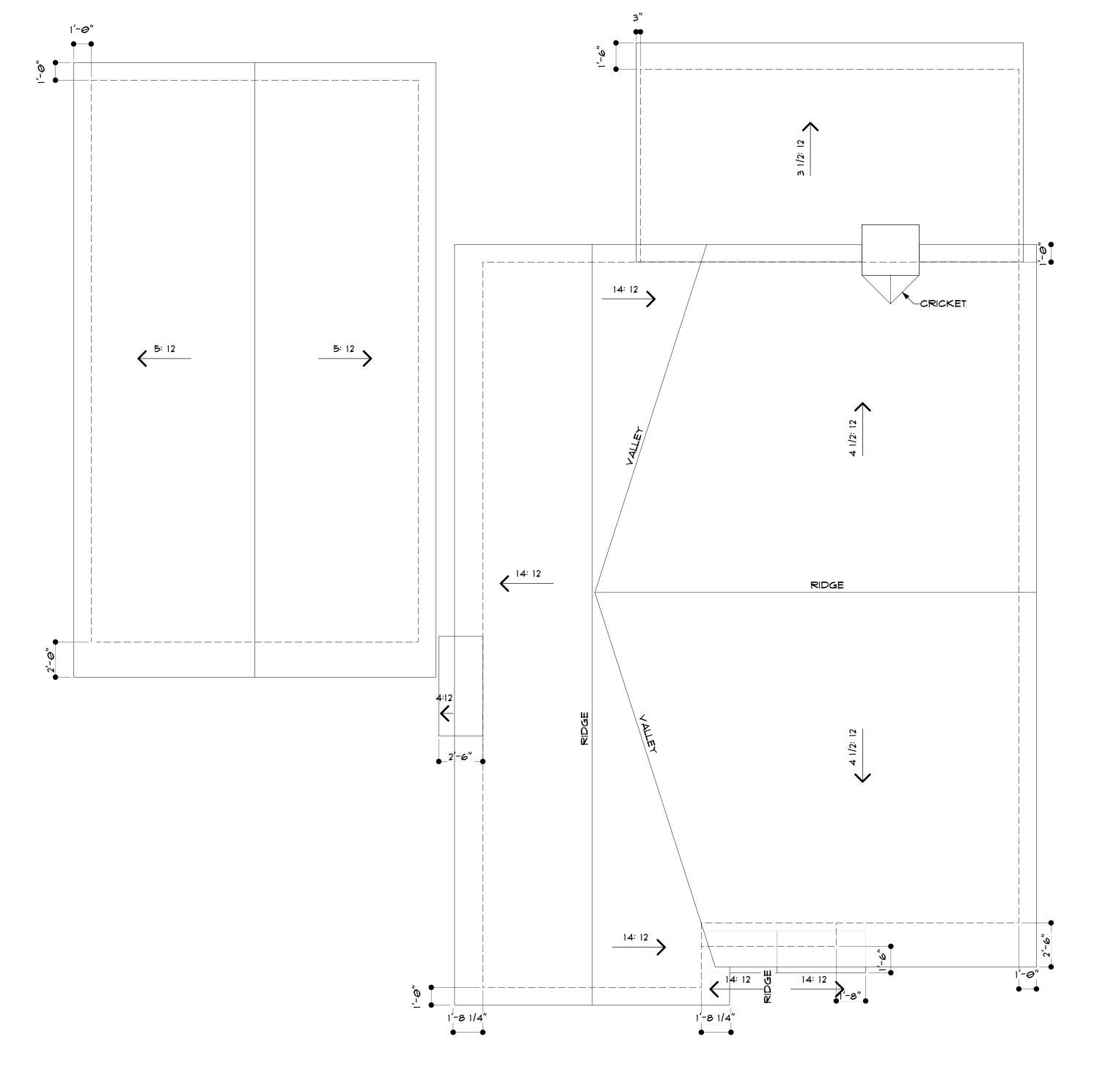
ALL EXTERIOR OPENINGS TO BE LOAD BEARING.

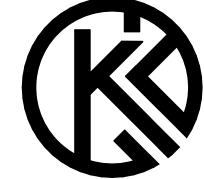
SEE ENGINEERED TRUSS DRAWINGS FOR ROOF FRAMING.

TRUSS MANUFACTURER TO DESIGN TRUSSES WITH SPACE FOR HVAC DUCTWORK.

ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2X6 STUDS.
IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2X6 STUDS THEY
MUST BE BUILT WITH DOUBLE 2X4 STUDS AT 12" OC.

BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE BUILDING DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.





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CARR RESIDENCE

REVISIONS

DE 31.2023 | FOR REVIEW

01.31.2023 | REVISIONS FOR REVIEW

03.02.2023 | FOR REVIEW HISTORICAL REVIEW

08.10.2023 | FOR REVIEW HISTORICAL REVIEW

DRAWN **TK**DATE **MAY 22, 2023**

CHECKED TK

ROOF LAYOUT

FULL SCALE 22x34: 1/4"=1'-0" REDUCED SCALE 11X17: 1/8"=1'-0"

SHEET A3.0