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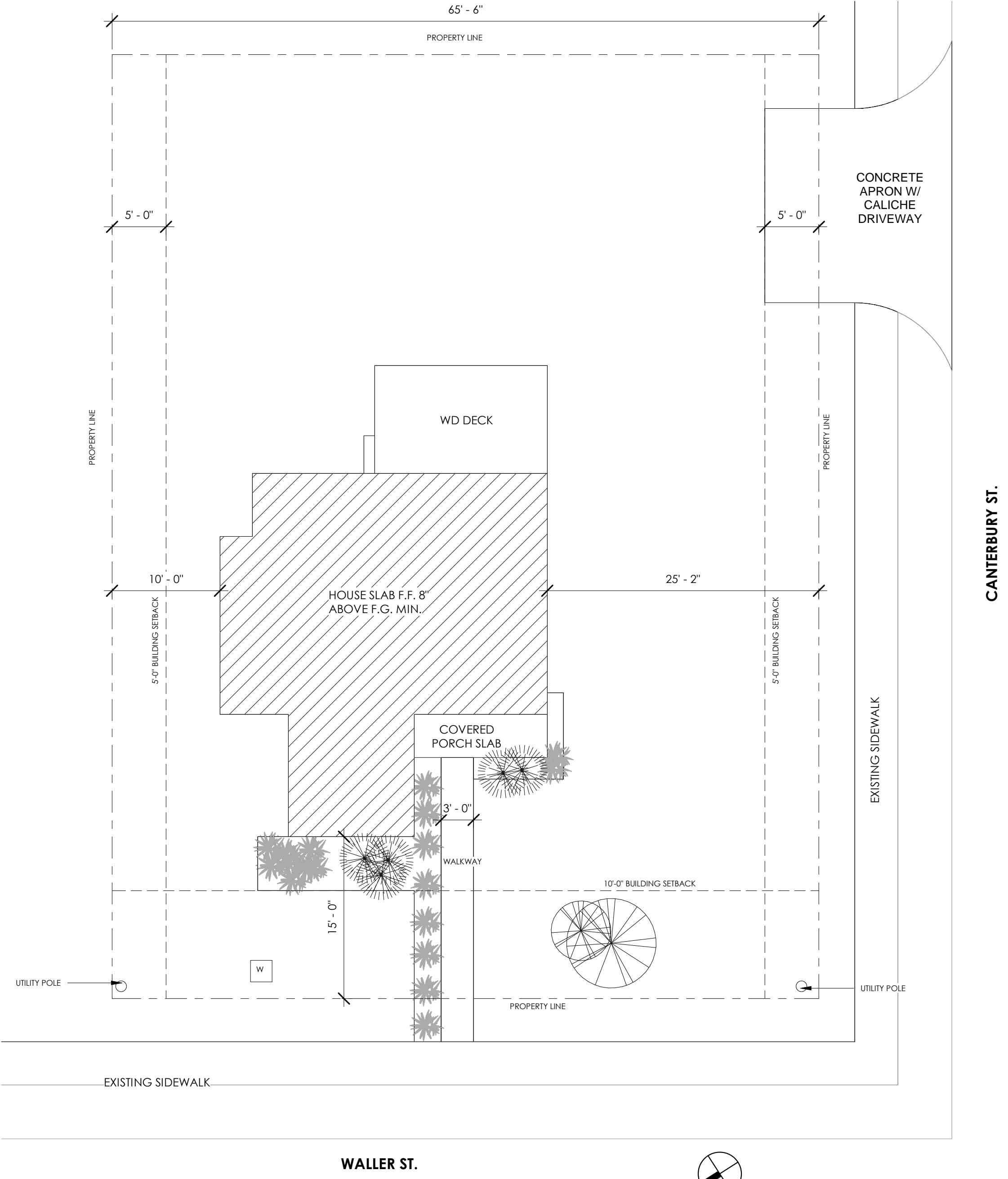
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SITE NOTES:

1. ARCHITECTURAL DRAWINGS ARE BASED ON SURVEY INFORMATION AND FIELD NOTES PREPARED BY OTHERS. THE ARCHITECT MAKES NO REPRESENTATION AS TO THE ACCURACY OF THE INFORMATION AND IS NOT RESPONSIBLE FOR ERRORS THEREIN OR CORRECTIONS REQUIRED AS A RESULT. CONTRACTOR SHALL OBTAIN COPIES OF ALL EXISTING SURVEYS FROM OWNER AND SHALL VERIFY EXISTING/PROPOSED TOPOGRAPHY AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
2. REFER TO FLOOR PLAN FOR DETAILED BUILDING INFORMATION. SHOULD DISCREPANCIES EXIST, NOTIFY ARCHITECT FOR CLARIFICATIONS PRIOR TO CONSTRUCTION. DOOR FRAMES TO BE LOCATED 4" FROM CORNER OF WALL U.N.O.
3. BUILDING LOCATION AND ALL SITE GRADING DESIGN BY OTHERS.
4. SITE AND STORM DRAINAGE DESIGN BY OTHERS.
5. SITE UTILITY DESIGN BY OTHERS. STUB OUT BUILDING UTILITIES FROM EXTERIOR BUILDING FACE FOR CONNECTION WITH SITE UTILITIES. COORDINATE SITE UTILITY LOCATIONS WITH PLUMBING AND ELECTRICAL DRAWINGS PRIOR TO CONSTRUCTION.
6. PROTECT ALL EXISTING TREES AND VEGETATION UNLESS SPECIFICALLY INDICATED TO BE REMOVED. COORDINATE LANDSCAPE REQUIREMENTS WITH LANDSCAPE DRAWINGS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES AND APPROPRIATE AGENCIES FOR PERMITS, APPROVALS CONNECTION, TESTS AND TEMPORARY SERVICES DURING CONSTRUCTION.
8. SLOPE ALL GRADES AWAY FROM BUILDING AT 1/2" PER FOOT (MIN.) AT LANDSCAPED AREAS AND 1/8" PER FOOT (MIN) AT HARDSCAPE (PAVED) AREAS FOR A DISTANCE OF 5'-0" (MIN.). U.N.O.

SITE PLAN LEGEND

- HOUSE SLAB
- DRIVEWAY
- LOT BOUNDARY
- LOT SETBACK



1 SITE PLAN
1/8" = 1'-0"



BUILDER:
ALBAREZ
CONSTRUCTION,
LLC

PROJECT NAME:
GONZALES RESIDENCE
81 WALLER ST.
AUSTIN, TX 78702

No.	Description	Date

DATE: 03.24.2023
DRAWN BY: MTH
CHECKED BY: MTH

SITE PLAN

SHEET NO.
A1.00