

NOTES - DEMO PLAN

- DECONSTRUCT WALLS, DOORS, WINDOWS, AND FRAMES AS INDICATED ON PLAN. PROTECT ADJACENT SURFACES TO REMAIN. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - MEANS AND METHODS, INCLUDING SHORING, ARE ENCOUNTERED, NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH REMOVAL. PROVIDE TEMPORARY SHORING AS NEEDED FOR SAFE CONDITIONS OF WORK.
  - CONTRACTOR SHALL KEEP BUILDING WEATHERPROOF DURING CONSTRUCTION AND DEMOLITION.
  - IF UNEXPECTED STRUCTURAL ELEMENTS ARE ENCOUNTERED, NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH REMOVAL. PROVIDE TEMPORARY SHORING AS NEEDED FOR SAFE CONDITIONS OF WORK.
  - CAP OFF UTILITIES IN DEMO AREA AS REQUIRED BY UTILITY COMPANY.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
  - VERIFY EXISTING SITE CONDITIONS & REPORT TO ARCHITECT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS & THESE PLANS PRIOR TO COMMENCING WORK.
  - ALL NEW SIDEWALKS TO HAVE MAX 1:20 GRADE WITH CROSS SLOPE TO DRAIN AT 1/4" PER FOOT. SEAL CONCRETE & PROVIDE A BROOM FINISH UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO TIE INTO EXISTING UTILITIES. SOME UTILITIES MAY REQUIRE UPGRADING. CONTRACTOR TO VERIFY. VERIFY METER & UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
  - CONTRACTOR TO UTILIZE TEMPORARY EROSION & SEDIMENTATION CONTROL MEASURES AS REQUIRED BY CODE.
  - PROVIDE TREE PROTECTION FOR ALL TREES NOT MARKED FOR REMOVAL.
  - TREES TO BE REMOVED SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
  - SELECTIVELY CLEAR OR PRUNE ANY UNWANTED TREES OR THOSE IMPEDING CONSTRUCTION WITH CONSENT OF OWNER. COORDINATE REMOVAL & DISPOSAL OF UNWANTED TREES & OTHER LANDSCAPING MATERIALS WITH OWNER.
  - EXISTING UTILITY LINE LOCATIONS ARE APPROXIMATED. CONTRACTOR TO VERIFY LOCATIONS PRIOR TO CONSTRUCTION.
  - ENSURE ALL GRADING SLOPES AWAY FROM BUILDING FOR AT LEAST 10'-0".
  - CONTRACTOR TO STORE ALL NEW MATERIALS IN DRY & SECURE LOCATION ON SITE AS SPECIFIED BY OWNER.
  - EXTERIOR HVAC EQUIPMENT SHALL BE SCREENED IN COMPLIANCE WITH ANY CITY OF AUSTIN REGULATIONS &/OR LOCAL DEED RESTRICTIONS.
  - PROVIDE CONTROL & EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS & PATIOS.
  - PROVIDE NEW GUTTERS & DOWNSPOUTS TO DRAIN ON SITE. DOWNSPOUTS TO DRAIN AWAY FROM BUILDING. CONFIRM DOWNSPOUT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

NOTES - SITE PLAN



**DAVEY MCEATHRON  
ARCHITECTURE**  
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DAVEY@DAVEYARCH.COM  
512-599-0660

**PERMIT**

SITE PLAN LEGEND

	POWER POLE
	FIRE HYDRANT
	HOSE BIBB
	WATER METER
	ELECTRICAL METER
	GAS METER
	TELEPHONE RISER
	GAS LINE
	WATER LINE
	WASTE WATER LINE
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	FENCE



**NOTE: CONTOUR  
ELEVATIONS AND  
BENCHMARKS TAKEN FROM  
ORIGINAL SURVEY. ALL  
ELEVATIONS TO BE VERIFIED  
IN FIELD BY  
CONTRACTOR/SURVEYOR.**

**1** SITE PLAN COMPLETE  
1/8" = 1'-0"

PROJECT TO ADHERE TO ALL REQUIREMENTS IN THE 2021 IRC & ALL ADOPTED LOCAL AMENDMENTS.  
««« IF PRINTED AT 11X17, SCALE IS 1/2 OF WHAT IS NOTED »»»

**SOUTH SECOND  
ADU**  
2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

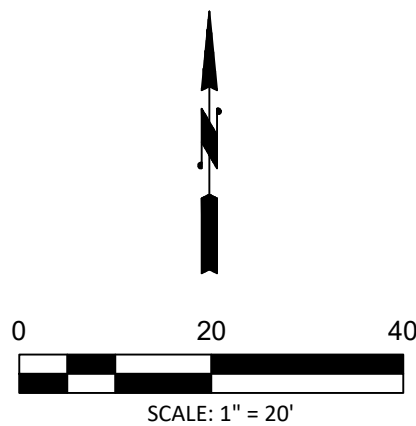
**SITE PLAN - HOUSE &  
ADU**

**A100**



# TOPOGRAPHIC, TREE & BOUNDARY SURVEY

OF LOT 9-A, BLOCK F  
RESUBDIVISION OF PART OF LOT 9, BLOCK F  
J.E. BOULDIN ADDITION  
VOLUME 56, PAGE 49  
PLAT RECORDS, TRAVIS COUNTY, TX



TREE TABLE		
No.	Type	Diameter
3000	PECAN	20 " (P)
3001	PECAN	20 " (P)
3652	PECAN	17 "
3653	PECAN	16.5 "
3654	PECAN	29.5 "(H)
3655	AMERICAN ELM	27 "(M) - 19"(P), 8", 8"
3657	PECAN	33.5 "(H)
3658	AMERICAN ELM	12 "
3689	LIVE OAK	6 "
3690	PECAN	28.5 "(H)
3691	PECAN	23.5 "(H)
3692	AMERICAN ELM	7.5 "

## FLOOD INFORMATION

PER WWW.FEMA.GOV, THIS PROPERTY APPEARS TO BE LOCATED IN ZONE X (UNSHADED). THIS PROPERTY WAS FOUND IN MAP NUMBER 48453C0585H, DATED 09/26/2008.

## DATUM & BEARING BASIS

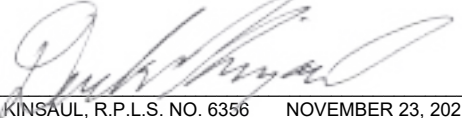
TEXAS STATE PLANE COORDINATE SYSTEM, GRID NORTH, CENTRAL ZONE (4203), NAD 83. ELEVATION DATA NAVD 88, GEOID 12B. DISTANCES IN US SURVEY FEET (GRID).

## GENERAL NOTES:

- 1) THIS PROPERTY IS SUBJECT TO ANY AND ALL RECORDED AND UNRECORDED EASEMENTS. SURVEYOR HAS MADE NO INVESTIGATION FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS OR OWNERSHIP TITLE EVIDENCE.
- 2) THIS SURVEY ONLY SHOWS ABOVE GROUND IMPROVEMENTS.
- 3) SUBJECT TO ALL APPLICABLE DEVELOPMENT CODES AND ZONING ORDINANCES.
- 4) DUE TO DIFFERING BUILDING PRACTICES, BUILDING DIMENSIONS ARE APPROXIMATE.
- 5) ANY UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR GRAPHIC REPRESENTATION ONLY.
- 6) OWNERSHIP DEED RECORDED IN DOCUMENT NO. 2021082312, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS.
- 7) TREE TYPES TO BE VERIFIED BY CERTIFIED ARBORIST.

I CERTIFY THAT THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF TEXAS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE OF LAST FIELD WORK: 10/26/2021

  
DEREK KINSAUL, R.P.L.S. NO. 6356 NOVEMBER 23, 2021



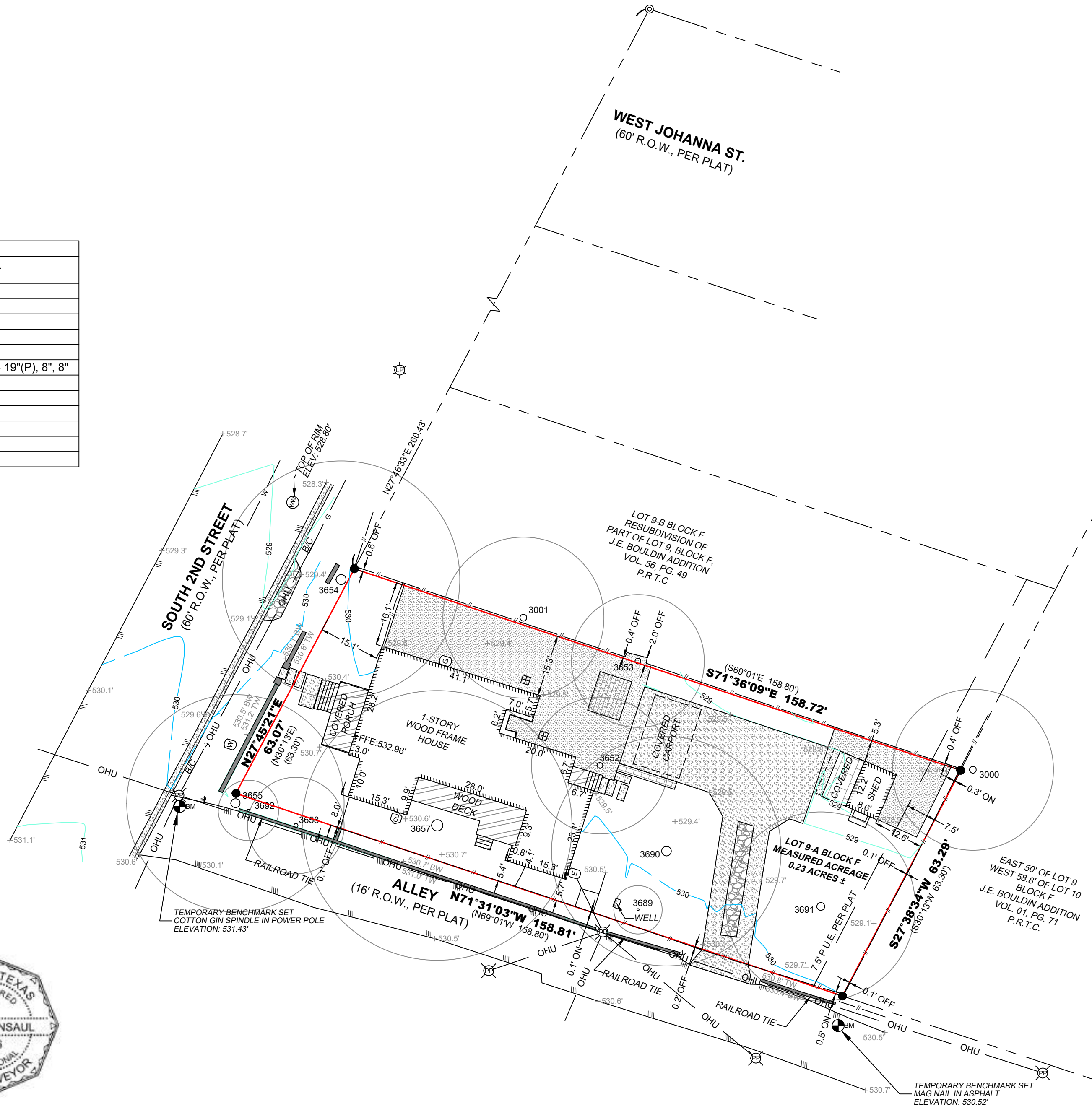
DRAWN BY: PDW  
FIELD CREW: JAD

REVIEWED BY: DJK


REVISION #:

## LEGEND

- 1/2" IRON ROD FOUND (UNLESS NOTED)
- ⊙ 1/2" IRON PIPE FOUND
- Ⓜ GAS METER
- ⓔ ELECTRIC METER
- Ⓦ WATER METER
- Ⓢ CLEAN OUT
- Ⓟ POWER POLE
- Ⓛ LIGHT POLE
- Ⓜ WASTE WATER MANHOLE
- ↓ GUY ANCHOR
- SIGN
- Ⓜ AIR CONDITIONING UNIT
- OHU — OVERHEAD UTILITY
- // — WOOD FENCE
- — PROPERTY LINE
- — EDGE OF PAVEMENT
- — ADJOINER LINE
- CONCRETE AREA
- CONCRETE WALL (UNLESS NOTED)
- WOOD DECK
- GRAVEL AREA
- STONE AREA
- BRICK AREA
- P.U.E. PUBLIC UTILITY EASEMENT
- VOL. PG. VOLUME AND PAGE
- P.R.T.C. PLAT RECORDS
- ON/OFF TRAVIS COUNTY
- R.O.W. FENCELINE ON/OFF
- ( ) SUBJECT PROPERTY
- FFE FINISHED FLOOR ELEVATION
- + 100' SPOT ELEVATION
- TW TOP OF WALL
- BW BOTTOM OF WALL
- CRITICAL ROOT ZONE = DIAMETER EQUAL IN FEET TO TWICE THE NUMBER OF INCHES OF THE TREE'S TRUNK DIAMETER
- (P) PROTECTED TREE (DIAMETER ≥ 19")
- (H) HERITAGE TREE (DIAMETER ≥ 24")
- (M) MULTIPLE TRUNK

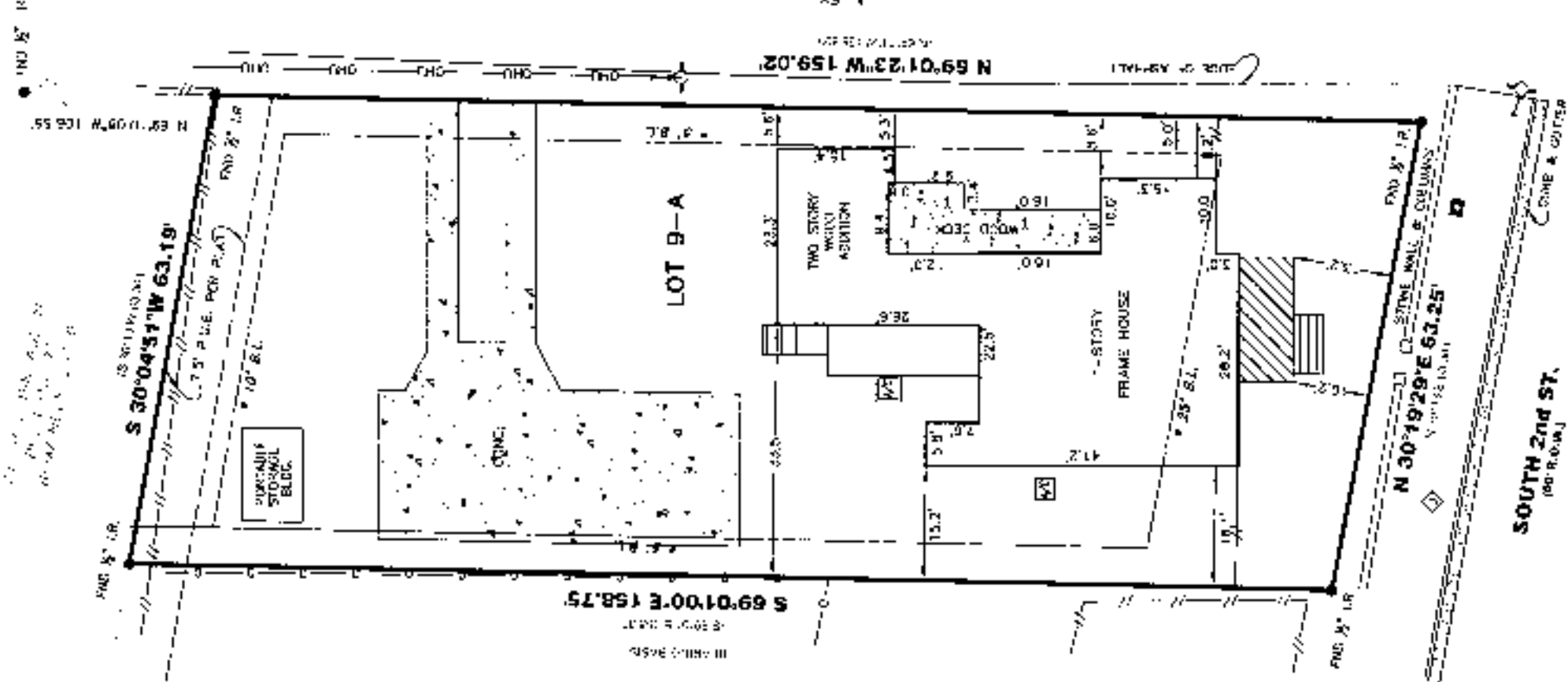


SURVEYED FOR: MCEATHRON  
PROJECT NO. 21-0322  
2009 SOUTH 2ND ST.  
AUSTIN, TX 78704

  
INFO@SURVEYWORKS.COM  
SURVEYWORKS.COM  
1207 UPLAND DRIVE  
AUSTIN, TX 78741  
FIRM #10194157  
(512) 599-8067

- [illegible]

\* PER CITY OF AUSTIN SEC. 3 ZONING



## PROPERTY INFORMATION 24

LOT - 9-A  
SUBDIVISION  
RESUBDIVISION OF PART OF LOT 9 BLOCK 1 JF EXHIBITATION  
RECORDING INFO  
RECORDED UNDER VOL. 56, PG. 49, PLAT  
RECORDS OF TRAVIS COUNTY TEXAS

TITLE C.O. GRACY TITLE  
 C.F. # 1010779 C.D. DATE 9-22-10  
 SURVEYED FOR: OGDONAH A. WUNCANNON & EDITH A.

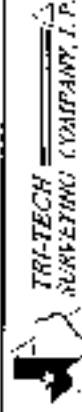
**DRAWING: INFORMATION**

CLIENT JOB NO: N/A  
 DRAWN BY: BDD  
 BEARING: NC BASL REFERRED TO: PLAY NORTH  
 FIELD DATE: 2-17-2015

**REVIEWS**

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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## NOTES:

[illegible][illegible]

**CERTIFICATION**

[illegible]
$$0.0001 \leq \frac{1}{n} \leq 0.001$$



# SOUTH 2ND RENO.

2009 SOUTH 2ND, AUSTIN, TEXAS 78704

PERMIT

JULY 6TH 2023



**DAVEY MCEATHRON  
ARCHITECTURE**  
1402 W N LOOP BLVD, AUSTIN, TX 78756  
DAVEY@DAVEYMARCH.COM  
512-599-0660

PROJECT NO:  
**DM210901**

**SHEET INDEX:**

A001	COVERSHEET-HOUSE
A100	SITE PLAN - HOUSE & ADU
A110	HOUSE - FLOOR 01 & 02 DEMO PLAN
A111	HOUSE - FLOOR 01 & 02 REFERENCE PLAN
A121	HOUSE - FLOOR 1 & 02 RCP
A201	EXTERIOR ELEVATIONS - HOUSE
A601	HOUSE - SCHEDULES
A703	HOUSE & ADU - TREE PROTECTION PLAN

**PROJECT TEAM:**

**ARCHITECT**  
DAVEY MCEATHRON  
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AUSTIN, TEXAS 78756  
TEL. (512) 599-0660

**STRUCTURAL**  
SEC SOLUTIONS  
407 FOREST STREET  
LIBERTY HILL, TX 78642  
TEL. (512) 215-4364

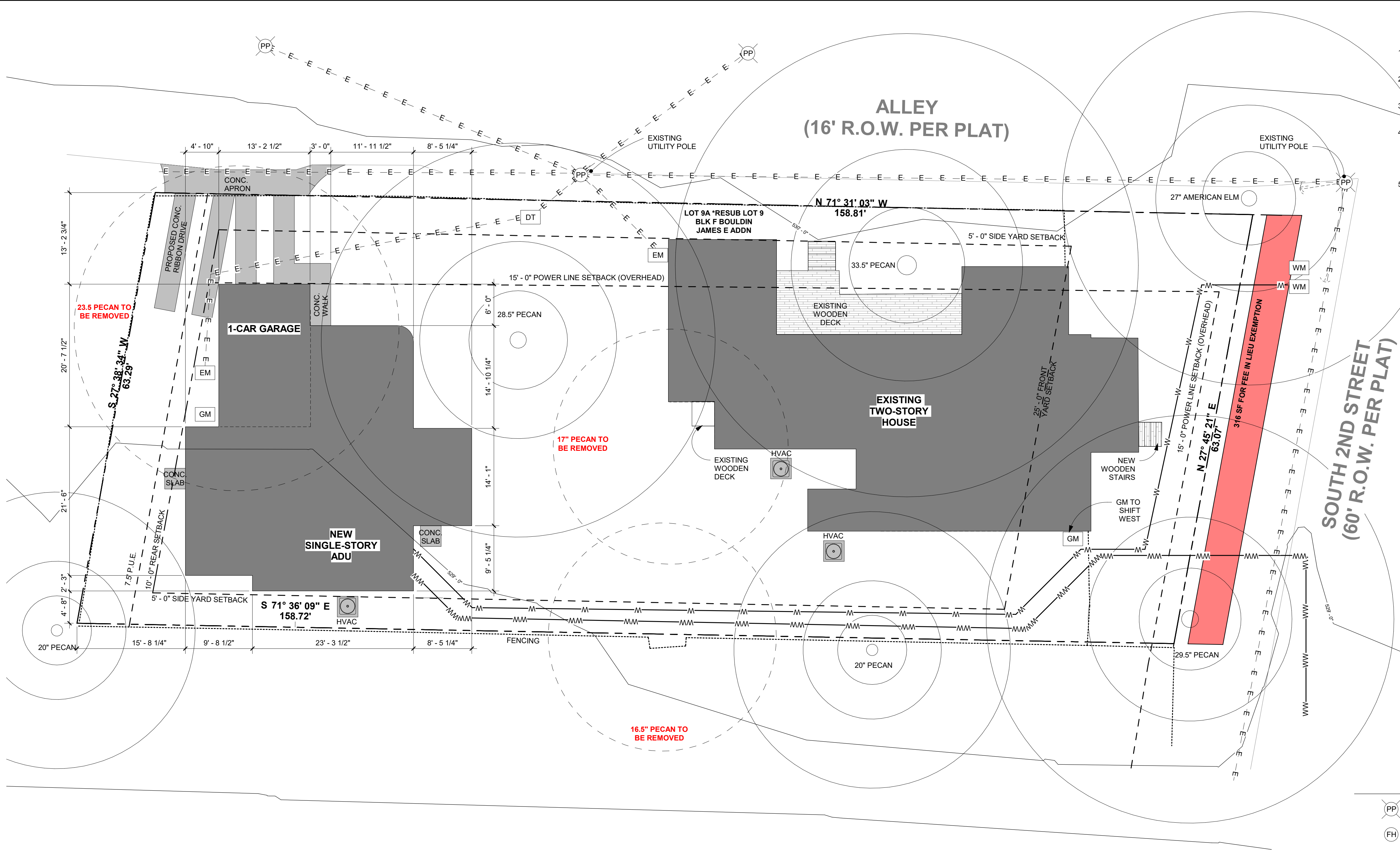
**SURVEY**  
TRI-TECH SURVEYING COMPANY, L.P.  
100 E. SAN ANTONIO ST., STE. 100  
SAN MARCOS, TEXAS 78666  
TEL. (512) 440-0224



REVISIONS		
NO	REFERENCE	ISSUED







NOTE: CONTOUR ELEVATIONS AND BENCHMARKS TAKEN FROM ORIGINAL SURVEY. ALL ELEVATIONS TO BE VERIFIED IN FIELD BY CONTRACTOR/SURVEYOR.

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#### NOTES - SITE PLAN

#### SITE PLAN LEGEND

PP	POWER POLE
FH	FIRE HYDRANT
HB	HOSE BIBB
WM	WATER METER
EM	ELECTRICAL METER
GM	GAS METER
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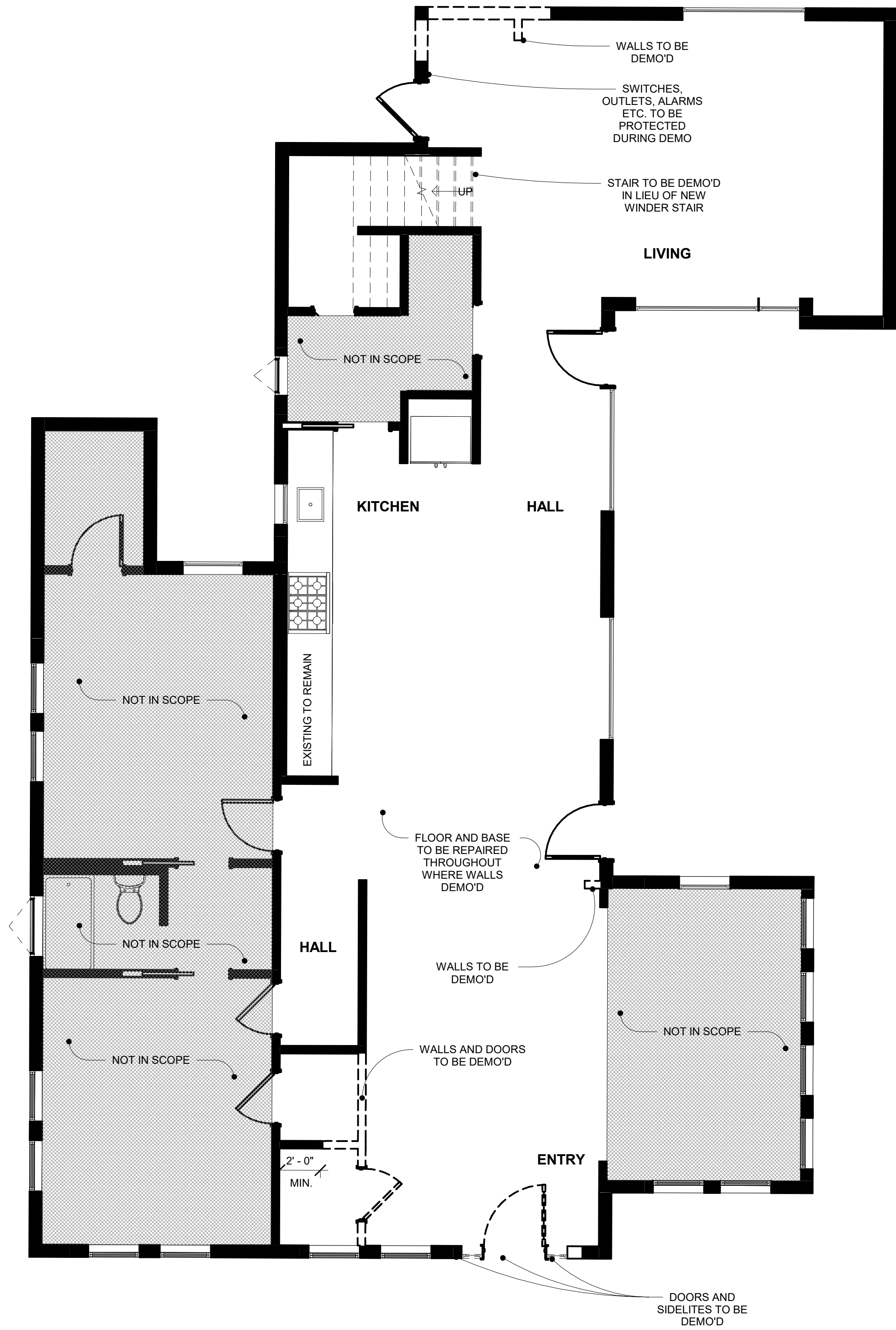
JULY 6TH 2023

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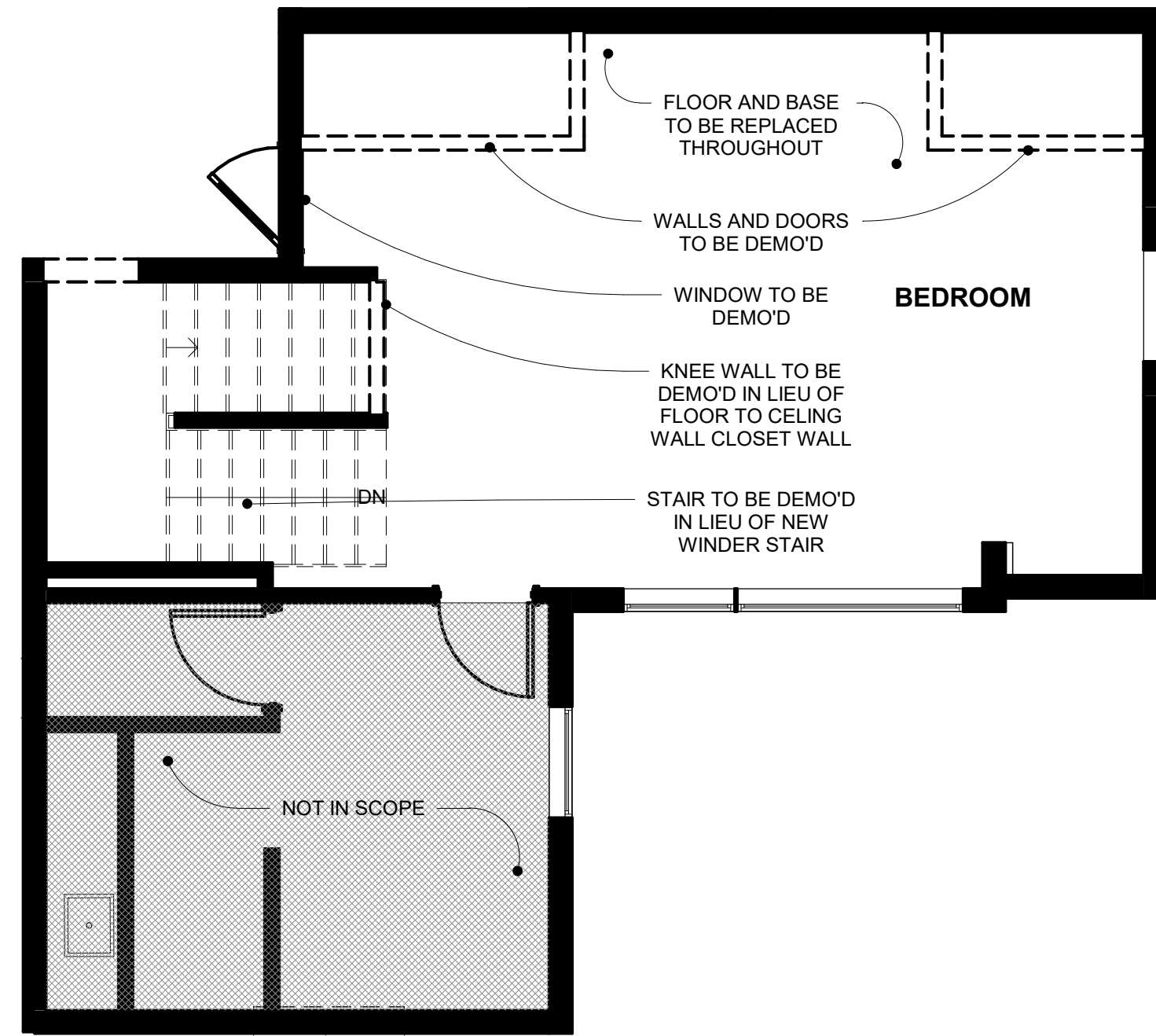
SITE PLAN - HOUSE &  
ADU

A100





1 FLOOR 01 PLAN EXISTING/DEMO  
1/4" = 1'-0"



2 FLOOR 02 PLAN EXISTING/DEMO  
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#### FLOOR PLAN LEGEND

- EXISTING WALL
- NEW WALL
- (E) EXISTING
- WALLS TO BE DEMOLISHED

#### NOTES - FLOOR PLAN

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FINISH FACE, UNLESS NOTED OTHERWISE.
- PROVIDE FIRE BLOCKING AT ALL PLUMBING OPENINGS.
- ALL INTERIOR WALL PARTITIONS TO BE 2X4'S AT 16" O.C., EXCEPT TOILET PLUMBING WALLS, WHICH ARE TO BE 2X6'S, UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING IN WALLS BEHIND & ADJACENT TO ALL TUBS & TOILETS FOR FUTURE GRAB BAR INSTALLATION.
- CABINET MATERIALS & ADHESIVES TO HAVE NO ADDED UREA-FORMALDEHYDE. INTERIOR PAINTS TO BE LOW-VOC.
- ALL NEW STAIRS, STEPS, & RAILINGS TO MEET CURRENT CODES AT THE TIME OF CONSTRUCTION.
- SHOWER HEADS SHALL BE MOUNTED 7'-0" AFF UNLESS NOTED OTHERWISE.
- ALL ELECTRICAL AND PLUMBING FIXTURES ARE TO BE INSTALLED PER CODE, INCLUDING LOCATION, OPERABLE COMPONENTS, & TYPE.
- CONFIRM ALL PLUMBING CONNECTION LOCATIONS WITH ACTUAL FIXTURES.
- PROTECT WOOD & WOOD-BASED PRODUCTS FROM DECAY & TERMITES PER CODE.
- FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR, THE DROP SHALL BE A MINIMUM OF 2". UNLESS OTHERWISE NOTED OR VISITABLE ENTRANCE. CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION & FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- GARAGE TO BE SEPARATED FROM HOUSE BY 5/8" TYPE 'X' GYP ON WALLS & CEILINGS IN COMMON WITH THE HOUSE. DOOR TO BE 20 MIN. RATED WITH A SELF CLOSER.



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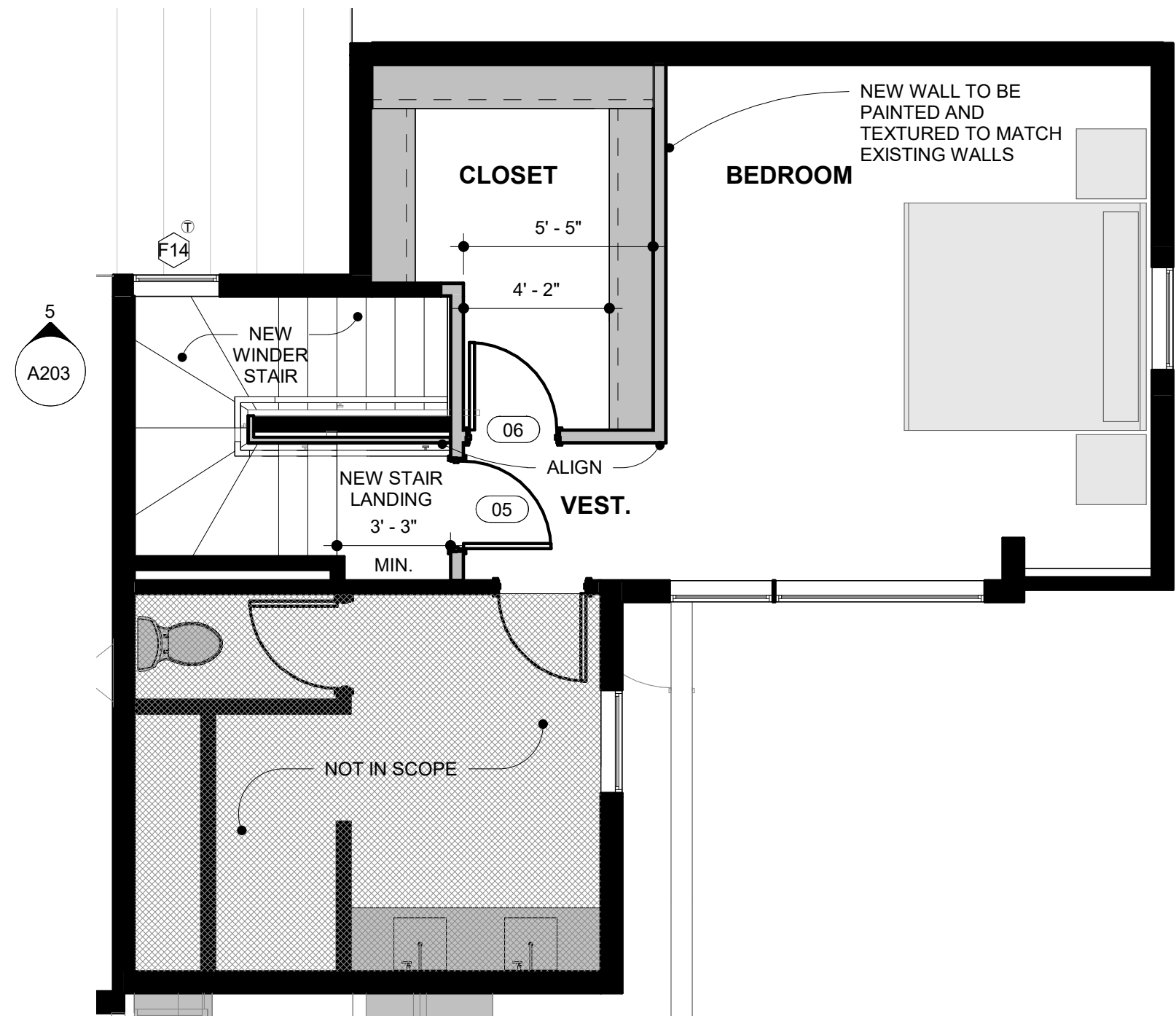
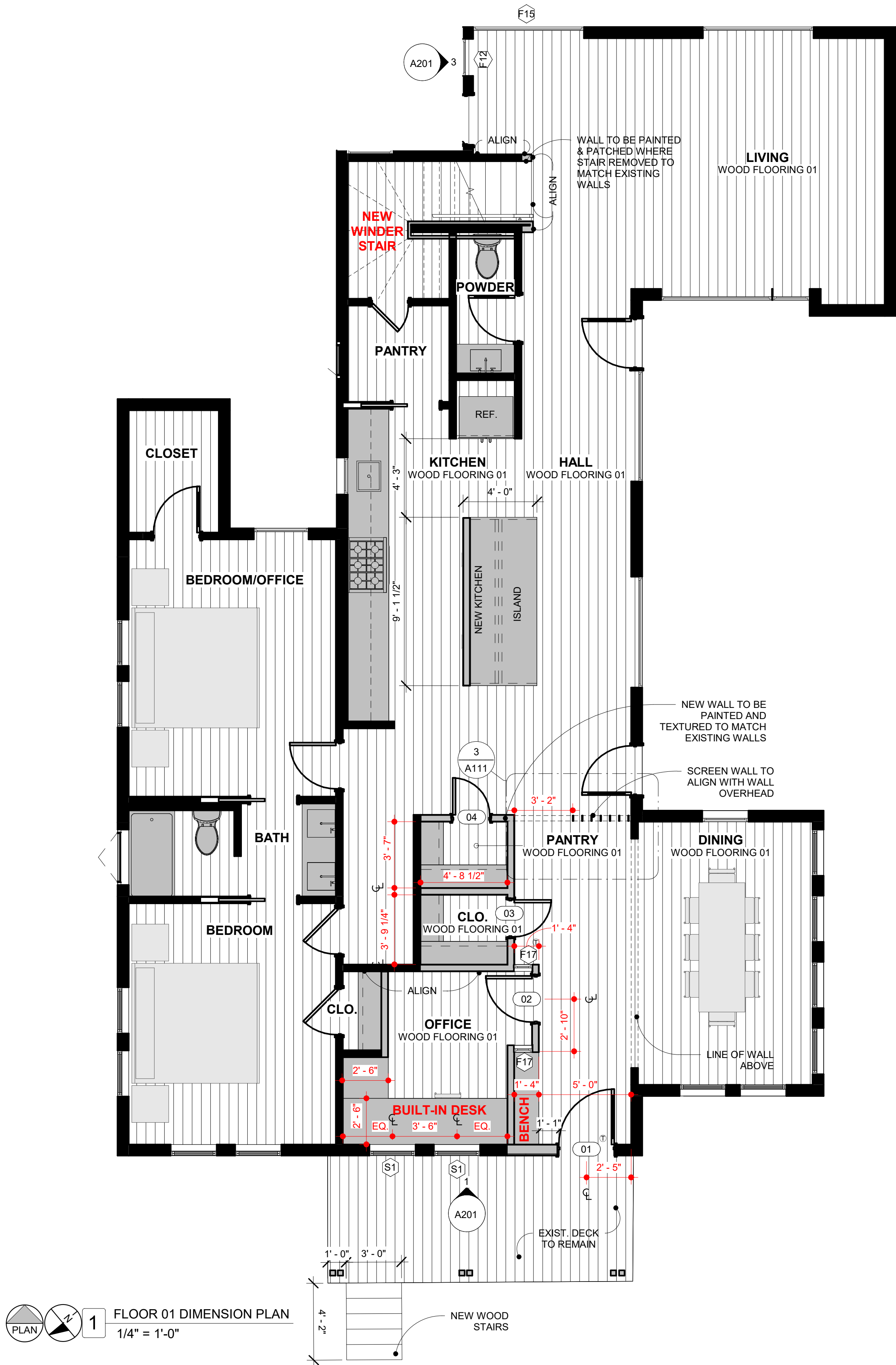
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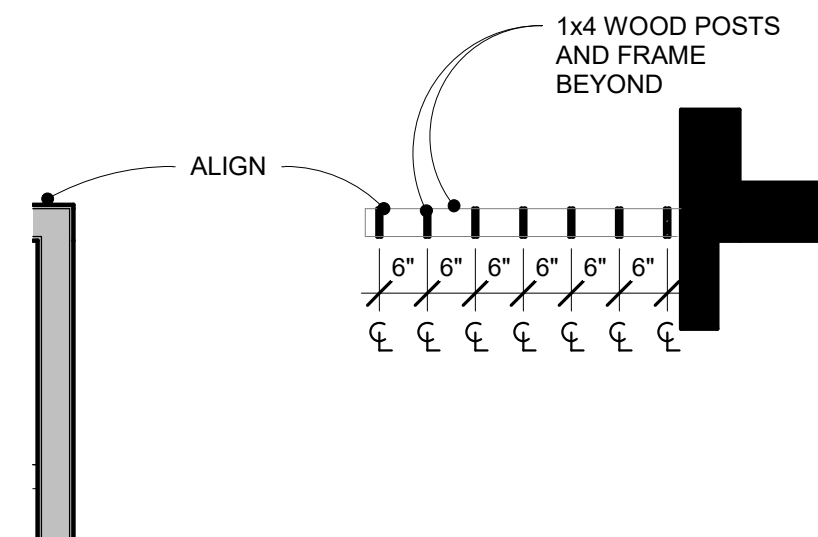
**HOUSE - FLOOR 01 &  
02 DEMO PLAN**

**A110**

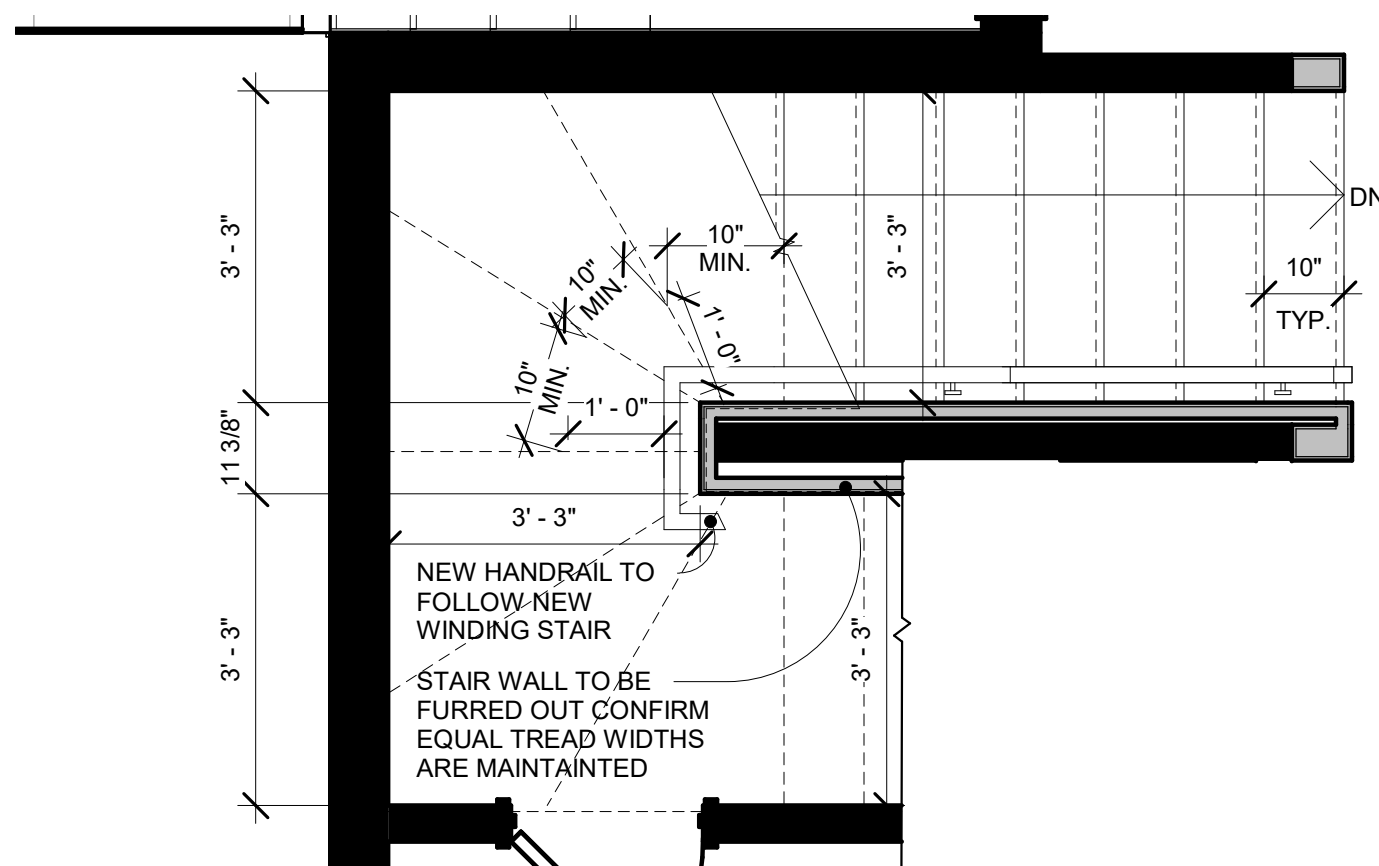




FLOOR 02 DIMENSION PLAN  
1/4" = 1'-0"



SCREEN WALL ENLARGED  
1/2" = 1'-0"



STAIR ENLARGED  
1/2" = 1'-0"

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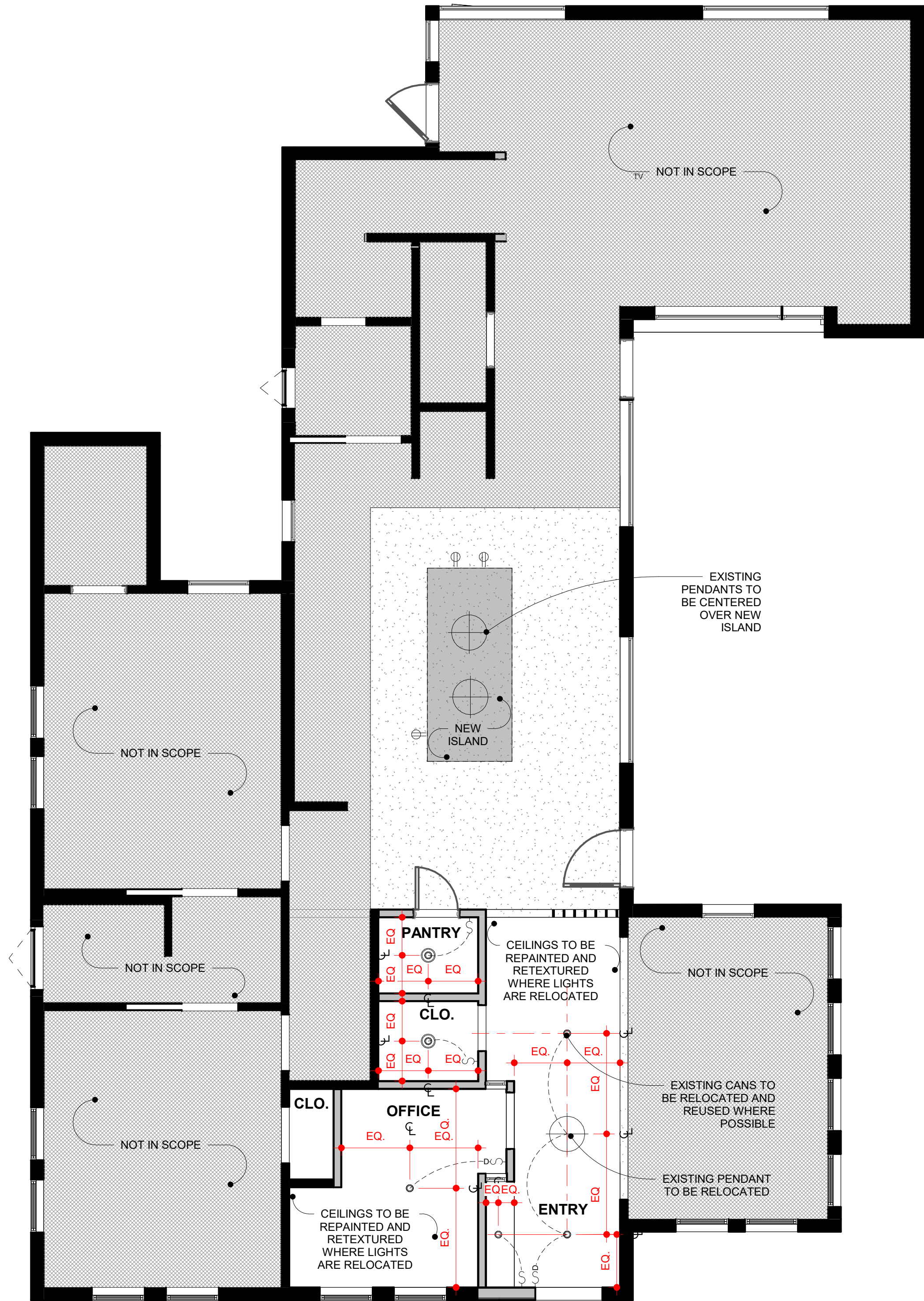
**SOUTH SECOND RENO.**  
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HOUSE - FLOOR 01 & 02 REFERENCE PLAN

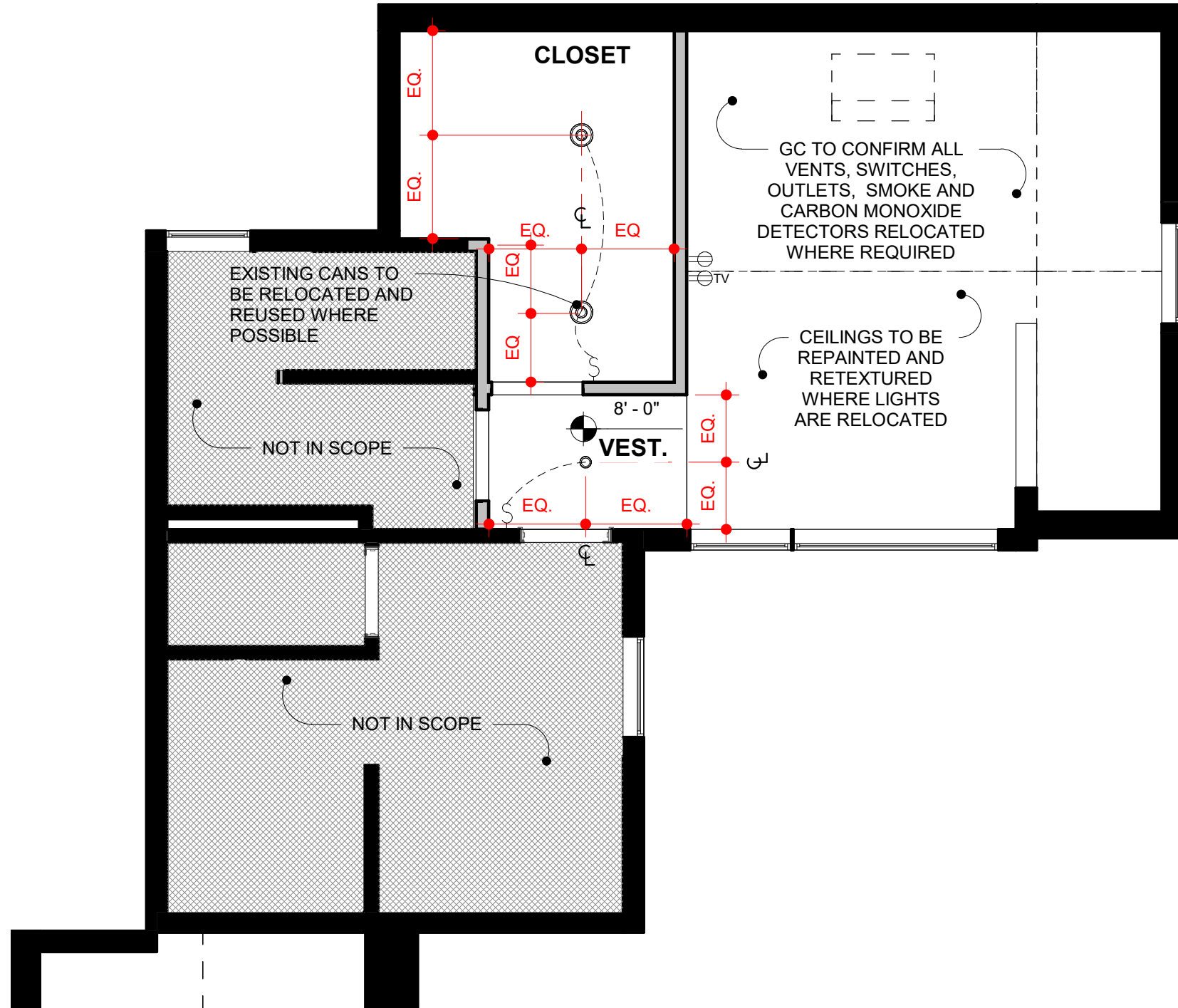
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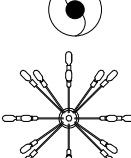
























1 HOUSE - FLOOR 01 - RCP  
1/4" = 1'-0"



2 HOUSE - FLOOR 02 RCP  
1/4" = 1'-0"



RCP/POWER LEGEND

	SURFACE MOUNTED LIGHT
	4" RECESSED DOWNLIGHT
	4" WET-RATED RECESSED DOWNLIGHT
	SMOKE / CO DETECTOR
	SMOKE DETECTOR
	EXHAUST FAN
	EXHAUST FAN/LIGHT COMBO
	CEILING LIGHT FIXTURE/CHANDELIER
	HVAC SUPPLY REGISTER
	HVAC RETURN REGISTER
	DUPLEX FLOOR OUTLET
	SURFACE MOUNT POP-UP OUTLET
	DUPLEX OUTLET
	DUPLEX OUTLET @ COUNTER HEIGHT
	GFCI DUPLEX OUTLET
	DEDICATED CIRCUIT
	TV OUTLET @ 60" A.F.F.
	REFRIGERATOR OUTLET
	DISHWASHER OUTLET
	MICROWAVE OUTLET
	CAR CHARGER (50 AMP MIN.)
	OUTLET 30" ABOVE FINISH FLOOR
	SWITCH
	DIMMER SWITCH
	THREE-WAY SWITCH
	SCONCE
	PENDANT
	DATA / TELE
	DOORBELL
	DOORBELL CHIME
	SECURITY CAMERA - CAT6 DROP
	THERMOSTAT

WINDOW KEY

A	AWNING
C	CASEMENT
E	EXISTING
F	FIXED
H	HUNG
S	SLIDER
SK	SKYLIGHT
T	TRANSOM

NOTES - REFLECTED CEILING PLAN

- ALL WORK EXECUTED UNDER THIS SECTION SHALL COMPLY WITH THE MOST CURRENT NATIONAL ELECTRICAL CODE & LOCAL CODE REGULATIONS. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
- ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS ARE TO BE HARDWIRED WITH A BATTERY BACKUP & INTERCONNECTED PER CODE.
- INSTALL SMOKE DETECTORS IN ALL SLEEPING ROOMS, AT AREAS ADJACENT TO SLEEPING ROOMS, & AT CEILING HEIGHT CHANGES GREATER THAN 24", PER IRC R314.
- CONTRACTOR SHALL VERIFY SMOKE DETECTORS ARE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW. PER 2007 NFPA 72 CHAPTER 11.
- INSTALL CARBON MONOXIDE DETECTORS IN THE AREA ADJACENT TO ALL SLEEPING ROOMS, PER IRC R315.
- DUCTWORK TO BE SEALED/MASKED OFF DURING CONSTRUCTION TO PREVENT CONTAMINATION FROM CONSTRUCTION DUST & DEBRIS.
- ALL LIGHTS & RECEPTACLES IN WET OR EXTERIOR LOCATIONS TO BE GFCI & WEATHERPROOF, PER CODE.
- ELECTRICAL RECEPTACLE DISTRIBUTION AS REQUIRED BY IRC 2021 E3901.2
- 100% OF ALL INSTALLED LIGHT FIXTURES ARE REQUIRED TO HAVE HIGH EFFICIENCY LAMPS.
- ALL EXTERIOR LIGHT FIXTURES TO BE SHIELDED FROM ABOVE TO PREVENT LIGHT POLLUTION.
- SWITCHES & ENVIRONMENTAL CONTROLS MAY BE NO HIGHER THAN 48" AFF ON THE FIRST FLOOR.
- GROUP ALL SWITCHES & OUTLETS WHERE POSSIBLE.
- SWITCHES SHALL NOT BE LOCATED WITHIN 5'-0" OF A TUB OR SHOWER.
- OUTLETS WITHIN 36" OF A SINK OR LAVATORY SHALL BE ON A GFCI CIRCUIT. ADDITIONAL GFCI SHALL BE PROVIDED AS REQUIRED BY CODE.
- OUTLETS & RECEPTACLES TO BE 15" MIN ABOVE INTERIOR FINISH FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS. THIS NOTE PERTAINS TO LEVEL 01 ONLY.
- PROVIDE BLOCKING FOR CEILING FANS AS REQUIRED.
- PROVIDE BLOCKING FOR WALL MOUNTED TVS IF INDICATED ON THE DRAWINGS. VIF LOCATION & HEIGHT WITH OWNER OR ARCHITECT.
- PROVIDE MAKE UP AIR AS NEEDED FOR VENTILATION FANS.
- RECESSED LIGHT FIXTURES TO BE 3000K UNLESS NOTED OTHERWISE.

NOTE: NO BEAM DOWN THE CENTER OF A HALLWAY. LIGHT FIXTURES SHALL BE CENTERED ON HALLWAY.

NOTE: DIMENSIONS SHOWN ON ROOF PLANS ARE TO EXTERIOR FACE OF FRAMING UNLESS NOTED OTHERWISE

NOTES - ROOF

- CONTRACTOR SHALL KEEP BUILDING WEATHERTIGHT.
- ALL ROOFS SHALL SLOPE TO DRAIN.
- CONTRACTOR SHALL PROVIDE ALL TRIM, FLASHING, UNDERLAYMENTS, FASTENERS & ACCESSORIES NECESSARY TO ENSURE A COMPLETE, WARRANTABLE, & WEATHERTIGHT CONSTRUCTED ROOF.
- ALL ROOF PENETRATIONS TO BE PROPERLY FLASHED & SEALED TO PREVENT WATER INTRUSION.
- NEW ROOF SRI VALUE: IF SLOPE IS >2:12, ROOFING MATERIALS SHALL HAVE A MINIMUM SRI OF 29.
- NEW ROOFS TO INCLUDE A RADIANT BARRIER WITH AN EMITTANCE OF .05 OR LESS, UNLESS ROOF IS COVERED WITH A MATERIAL HAVING A SOLAR REFLECTANCE OF 0.5 OR GREATER.
- AIR IMPERMEABLE INSULATION OF R-25 OF GREATER MAY BE USED IF MECHANICAL EQUIPMENT & AIR DISTRIBUTION SYSTEM ARE LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE. SEE AUSTIN AMENDMENTS TO THE BUILDING CODE. OTHERWISE, ROOFING INSULATION TO BE A MINIMUM OF R-38.
- SUPPLY & RETURN DUCTS LOCATED IN ATTICS OR OUTSIDE THE THERMAL ENVELOPE SHALL BE INSULATED AS R-8 MIN.
- SKYLIGHTS: USE APPROPRIATE FLASHING & CURBS TO PREVENT WATER INTRUSION & TO ACHIEVE MANUFACTURER'S WARRANTY.
- SKYLIGHTS TO INCLUDE 10 YEAR, NO-LEAK WARRANTY, 10 YEAR IMPACT WARRANTY & 20 YEAR SEAL WARRANTY.
- THE ENTIRE EXTERIOR ENVELOPE TO BE PROPERLY SEALED & FLASHED TO PREVENT MOISTURE INTRUSION.
- INSTALL ALL BUILDING ENVELOPE ASSEMBLIES AS PER MANUFACTURER'S RECOMMENDATIONS & STANDARD DETAILS TO ALLOW FOR PROPER FUNCTION, WEATHER PROTECTION & WARRANTIES (WHERE AVAILABLE). ASSEMBLIES INCLUDE, BUT ARE NOT LIMITED TO, ROOFING, RADIANT BARRIER, SKYLIGHTS, WINDOWS, DOORS, SIDING, FLASHING, INSULATION, WEATHER BARRIERS, SEALANTS, ETC.
- PROVIDE NEW GUTTERS & DOWNSPOUTS TO DRAIN ON SITE. DOWNSPOUTS TO DRAIN AWAY FROM BUILDING.



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ISSUE DATE: JULY 6TH 2023  
PROJECT NUMBER: DM210901  
DRAWN BY: SB

REVISIONS:		
NO	REFERENCE	ISSUED



JULY 6TH 2023

SOUTH SECOND  
RENO.  
2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

HOUSE - FLOOR 1 & 02  
RCP

A121

PROJECT TO ADHERE TO ALL REQUIREMENTS IN THE 2021 IRC & ALL ADOPTED LOCAL AMENDMENTS.

««« IF PRINTED AT 11X17, SCALE IS 1/2 OF WHAT IS NOTED »»»

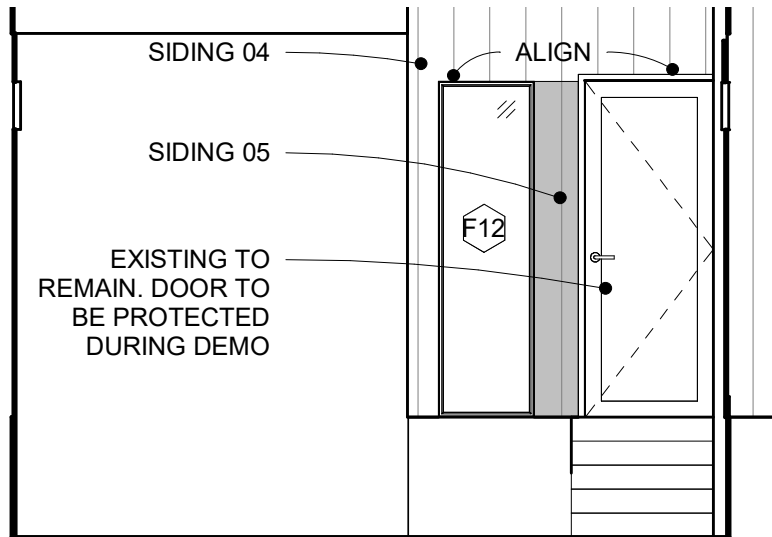


- WINDOW KEY**
- A AWNING
  - C CASEMENT
  - E EXISTING
  - F FIXED
  - H HUNG
  - S SLIDER
  - SK SKYLIGHT
  - T TRANSOM

- NOTES - EXTERIOR ELEVATIONS**
- CONTRACTOR SHALL KEEP BUILDING WEATHERTIGHT.
  - VERIFY ALL MATERIALS & FINISHES WITH ARCHITECT OR OWNER PRIOR TO INSTALLATION.
  - SLOPE GRADE AWAY FROM BUILDING & FOUNDATION FOR 10'-0" MIN. WHERE POSSIBLE.
  - ALL EXPOSED FASTENERS ON WOOD SIDING TO BE STAINLESS STEEL.
  - THE ENTIRE EXTERIOR ENVELOPE TO BE PROPERLY SEALED & FLASHED TO PREVENT MOISTURE INTRUSION.
  - ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.



**1** HOUSE - WEST ELEVATION  
1/4" = 1'-0"



**3** HOUSE - NORTH WALL  
1/4" = 1'-0"



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**SOUTH SECOND  
RENO.**

2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

**EXTERIOR  
ELEVATIONS - HOUSE**

**A201**



28.6" PECAN  
COVERED = 46%

TOTAL AREA OF CRZ = 2,552 SF

PROJECT'S IMPACTS OF CRZ - PREVIOUSLY IMPACTED = 1,016 SF  
PROJECT'S IMPACT OF CRZ - NEW IMPACTS = 63 SF  
ADJACENT IMPACT OF CRZ = 89 SF

TOTAL IMPACTED = 1,168 SF

PREVIOUS IMPACT OF CRZ TO BE UNCOVERED = 706 SF  
% OF PREVIOUS IMPACT TO BE UNCOVERED = 61%

ALLEY  
(16' R.O.W. PER PLAT)

SOUTH 2ND STREET  
(60' R.O.W. PER PLAT)

NOTES - DEMO PLAN

- DECONSTRUCT WALLS, DOORS, WINDOWS, AND FRAMES AS INDICATED ON PLAN. PROTECT ADJACENT SURFACES TO REMAIN.
- MEANS AND METHODS, INCLUDING SHORING, ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL KEEP BUILDING WEATHERPROOF DURING CONSTRUCTION AND DEMOLITION.
- IF UNEXPECTED STRUCTURAL ELEMENTS ARE ENCOUNTERED, NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH REMOVAL. PROVIDE TEMPORARY SHORING AS NEEDED FOR SAFE CONDITIONS OF WORK.
- CAP OFF UTILITIES IN DEMO AREA AS REQUIRED BY UTILITY COMPANY.

**NOTE: FOR ANY PROTECTED TREES IN WHICH THE ENTIRE 1/2 CRZ IS NOT PROTECTED BY FENCING, 2X4 OR GREATER SIZE PLANKS, A MINIMUM OF 6' TALL, SHALL BE STRAPPED AROUND THE TRUNK.**

**NOTE: NO BATTER BOARD OR FOUNDATION FORMWORK STAKES WITHIN THE 1/2 CRZ EXCEPT REBAR W/ POINTED TIP. USE STRONG-BACK DESIGN TO GET ANY LARGER STAKES OUT OF THE CRZ.**

**NOTE: DO NOT PLACE PORTABLE TOILET, CONCRETE WASHOUT, OR PAINT WASHOUT WITHIN FULL CRZ.**

**NOTE: PLACE SHEETS OF PLYWOOD ON TOP OF MULCH WHERE ACCESS IS NEEDED THROUGH 1/2 CRZ.**

NOTES - TREE PRESERVATION

- TREE PROTECTION FENCING IS REQUIRED FOR ALL PROTECTED/HERITAGE TREES WITHIN THE LIMITS OF CONSTRUCTION.
- FENCING SHOULD BE INDICATED TO PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ) AREA OR AS MUCH OF THE CRZ AS IS PRACTICAL.
- WHEN THE TREE PROTECTION FENCING CANNOT INCORPORATE THE ENTIRE 1/2 CRITICAL ROOT ZONE, AN EIGHT INCH LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR ALL TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE.
- FENCING IS REQUIRED TO BE CHAIN-LINK MESH AT A MINIMUM OF 5'-0" HIGH.
- 2X4 OR GREATER SIZE PLANKS (6'-0" TALL MIN) ARE REQUIRED TO BE STRAPPED SECURELY AROUND PROTECTED TREES TRUNKS & ROOT FLARES WHEN PROTECTIVE FENCING DOES NOT INCORPORATE THE ENTIRE 1/2 CRZ FOR ANY REASON AT ANY TIME IN THE PROJECT.
- NO CUT OR FILL GREATER THAN 4" ALLOWED WITHIN THE 1/2 CRZ OF PROTECTED TREES & NO IMPACT IS ALLOWED IN THE 1/4 CRZ.
- ALL DEMOLITION IN THE 1/4 & 1/2 CRZ OF PROTECTED TREES MUST BE PERFORMED WITH HAND TOOLS.
- PROTECTED TREES ARE NOTED AS 19" DIAMETER OR GREATER & HERITAGE TREES ARE 24" OR GREATER.
- 50% MIN. OF THE CRZ MUST BE PRESERVED AT NATURAL GRADE WITH NATURAL GROUND COVER.
- ALL UTILITY LINES & TRENCHING TO STAY CLEAR OF 1/2 CRZ OF ALL PROTECTED TREES.
- CONTRACTOR TO KEEP STAGING, DUMPSTER, & PORTA POTTY CLEAR OF 1/2 CRZ OF ALL PROTECTED TREES.



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ISSUE DATE: **JULY 6TH 2023**  
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DRAWN BY: Author

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JULY 6TH 2023

**SOUTH SECOND  
RENO.**  
2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

**HOUSE & ADU - TREE  
PROTECTION PLAN**

**A703**

SITE PLAN LEGEND

- PP POWER POLE
- FH FIRE HYDRANT
- HB HOSE BIBB
- WM WATER METER
- EM ELECTRICAL METER
- GM GAS METER
- T TELEPHONE RISER
- G GAS LINE
- W WATER LINE
- WW WASTE WATER LINE
- E OVERHEAD ELECTRIC LINE
- E UNDERGROUND ELECTRIC LINE
- FENCE

20" PECAN  
COVERED = 32%

TOTAL AREA OF CRZ = 1,267 SF

PROJECT'S IMPACTS OF CRZ - PREVIOUSLY IMPACTED = 75 SF  
PROJECT'S IMPACT OF CRZ - NEW IMPACTS = 0 SF  
ADJACENT IMPACT OF CRZ = 319 SF

TOTAL IMPACTED = 394 SF

PREVIOUS IMPACT OF CRZ TO BE UNCOVERED = 0 SF  
% OF PREVIOUS IMPACT TO BE UNCOVERED = 0%

29.5" PECAN  
COVERED = 39%

TOTAL AREA OF CRZ = 2,735 SF

PROJECT'S IMPACTS OF CRZ - PREVIOUSLY IMPACTED = 176 SF  
PROJECT'S IMPACT OF CRZ - NEW IMPACTS = 163 SF  
ADJACENT IMPACT OF CRZ = 722 SF

TOTAL IMPACTED = 1,061 SF

PREVIOUS IMPACT OF CRZ TO BE UNCOVERED = 42 SF  
% OF PREVIOUS IMPACT TO BE UNCOVERED = 26%

1 TREE PRESERVATION PLAN  
1/8" = 1'-0"



# SOUTH 2ND ADU

2009 SOUTH 2ND, AUSTIN, TEXAS 78704

PERMIT

JULY 6TH 2023



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PROJECT NO:  
**DM210901**

**SHEET INDEX:**

A002	COVERSHEET-ADU
A100	SITE PLAN - HOUSE & ADU
A112	ADU FLOOR PLAN
A122	ADU RCP
A132	ADU ROOF PLAN
A202	EXTERIOR ELEVATIONS - ADU
A600	ADU - SCHEDULES
A700	ADU - VISITABILITY EXHIBIT
A703	HOUSE & ADU - TREE PROTECTION PLAN
A704	ADU - SOLAR READY EXHIBIT

**PROJECT TEAM:**

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SURVEY

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100 E. SAN ANTONIO ST., STE. 100  
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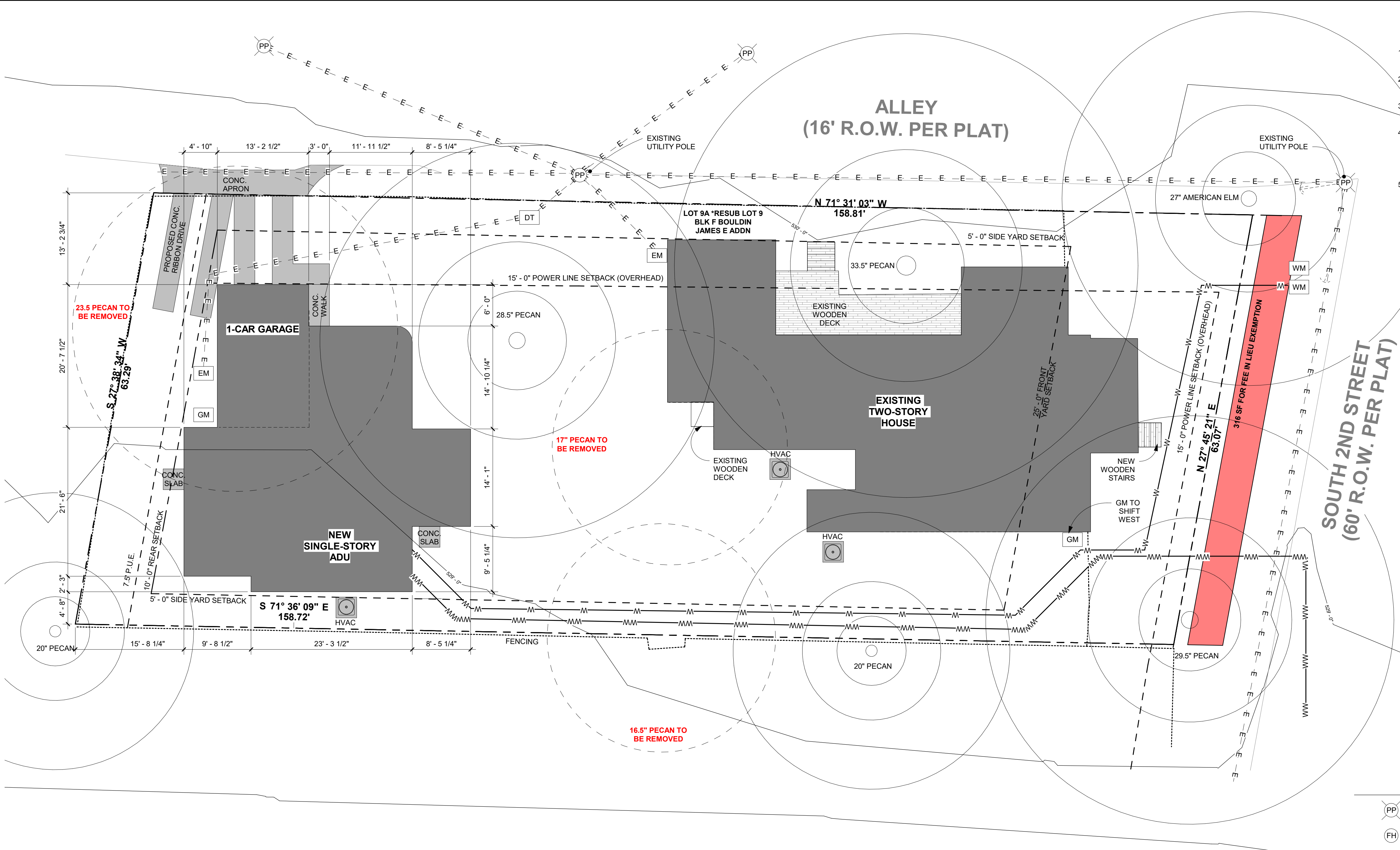


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NOTE: CONTOUR ELEVATIONS AND BENCHMARKS TAKEN FROM ORIGINAL SURVEY. ALL ELEVATIONS TO BE VERIFIED IN FIELD BY CONTRACTOR/SURVEYOR.

1 SITE PLAN COMPLETE  
1/8" = 1'-0"

- ### NOTES - DEMO PLAN

  - DECONSTRUCT WALLS, DOORS, WINDOWS, AND FRAMES AS INDICATED ON PLAN. PROTECT ADJACENT SURFACES TO REMAIN. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - MEANS AND METHODS, INCLUDING SHORING, ARE ENCOUNTERED, NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH REMOVAL. PROVIDE TEMPORARY SHORING AS NEEDED FOR SAFE CONDITIONS OF WORK.
  - CONTRACTOR SHALL KEEP BUILDING WEATHERPROOF DURING CONSTRUCTION AND DEMOLITION.
  - IF UNEXPECTED STRUCTURAL ELEMENTS ARE ENCOUNTERED, NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH REMOVAL. PROVIDE TEMPORARY SHORING AS NEEDED FOR SAFE CONDITIONS OF WORK.
  - CAP OFF UTILITIES IN DEMO AREA AS REQUIRED BY UTILITY COMPANY.
- ### NOTES - SITE PLAN

  - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
  - VERIFY EXISTING SITE CONDITIONS & REPORT TO ARCHITECT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS & THESE PLANS PRIOR TO COMMENCING WORK.
  - ALL NEW SIDEWALKS TO HAVE MAX 1:20 GRADE WITH CROSS SLOPE TO DRAIN AT 1/4" PER FOOT. SEAL CONCRETE & PROVIDE A BROOM FINISH UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO TIE INTO EXISTING UTILITIES. SOME UTILITIES MAY REQUIRE UPGRADING. CONTRACTOR TO VERIFY. VERIFY METER & UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
  - CONTRACTOR TO UTILIZE TEMPORARY EROSION & SEDIMENTATION CONTROL MEASURES AS REQUIRED BY CODE.
  - PROVIDE TREE PROTECTION FOR ALL TREES NOT MARKED FOR REMOVAL.
  - TREES TO BE REMOVED SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
  - SELECTIVELY CLEAR OR PRUNE ANY UNWANTED TREES OR THOSE IMPEDING CONSTRUCTION WITH CONSENT OF OWNER. COORDINATE REMOVAL & DISPOSAL OF UNWANTED TREES & OTHER LANDSCAPING MATERIALS WITH OWNER.
  - EXISTING UTILITY LINE LOCATIONS ARE APPROXIMATED. CONTRACTOR TO VERIFY LOCATIONS PRIOR TO CONSTRUCTION.
  - ENSURE ALL GRADING SLOPES AWAY FROM BUILDING FOR AT LEAST 10'-0".
  - CONTRACTOR TO STORE ALL NEW MATERIALS IN DRY & SECURE LOCATION ON SITE AS SPECIFIED BY OWNER.
  - EXTERIOR HVAC EQUIPMENT SHALL BE SCREENED IN COMPLIANCE WITH ANY CITY OF AUSTIN REGULATIONS &/OR LOCAL DEED RESTRICTIONS.
  - PROVIDE CONTROL & EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS & PATIOS.
  - PROVIDE NEW GUTTERS & DOWNSPOUTS TO DRAIN ON SITE. DOWNSPOUTS TO DRAIN AWAY FROM BUILDING. CONFIRM DOWNSPOUT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

SITE PLAN LEGEND		
PP	POWER POLE	
FH	FIRE HYDRANT	
HB	HOSE BIBB	
WM	WATER METER	
EM	ELECTRICAL METER	
GM	GAS METER	
T	TELEPHONE RISER	
G	GAS LINE	
W	WATER LINE	
WW	WASTE WATER LINE	
- E - - - E -	OVERHEAD ELECTRIC LINE	
- E - - - E -	UNDERGROUND ELECTRIC LINE	
-----	FENCE	

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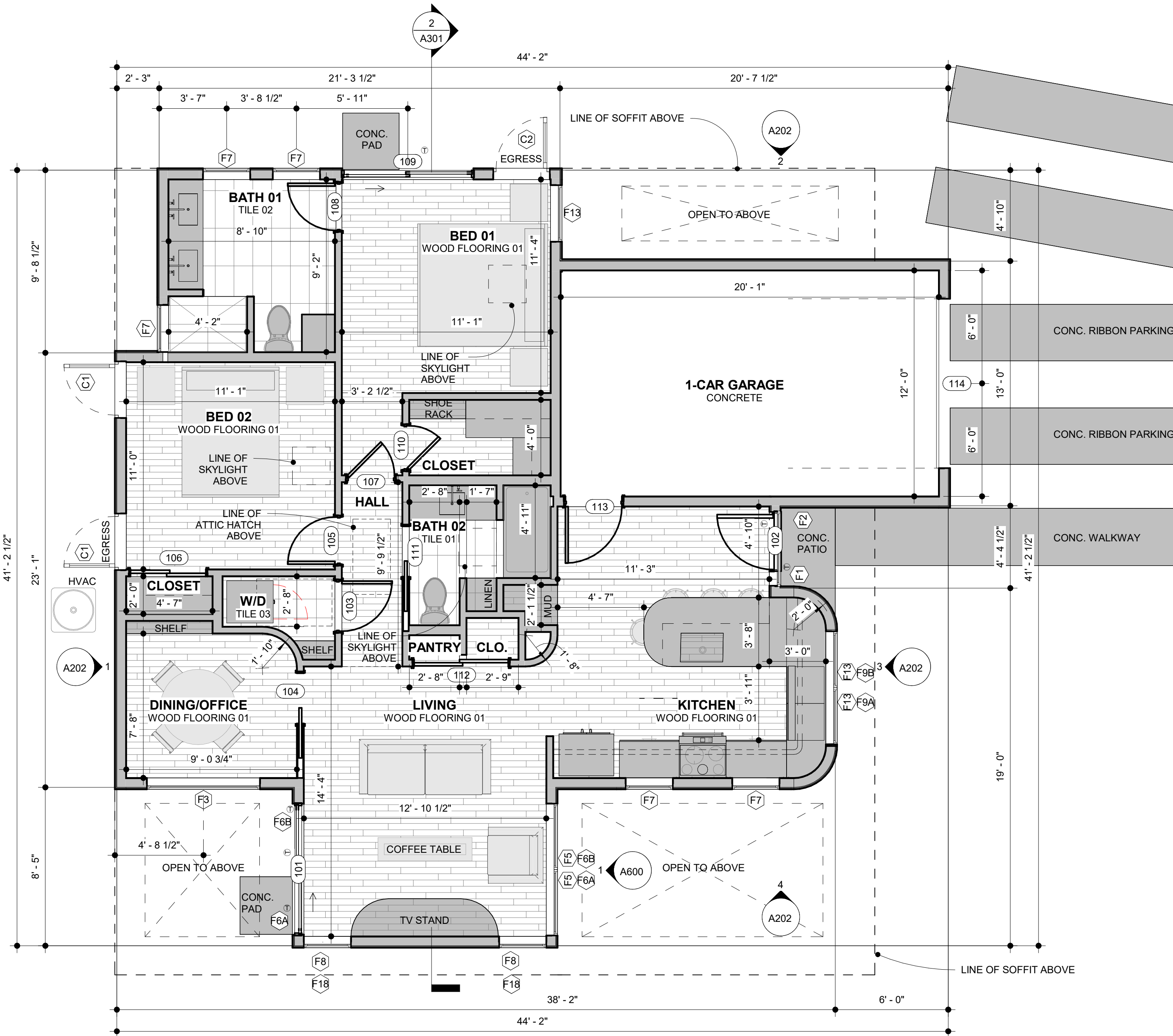


**SOUTH SECOND**  
**ADU**  
2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

**SITE PLAN - HOUSE &**  
**ADU**

**A100**





NOTES - FLOOR PLAN

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FINISH FACE, UNLESS NOTED OTHERWISE.
- PROVIDE FIRE BLOCKING AT ALL PLUMBING OPENINGS.
- ALL INTERIOR WALL PARTITIONS TO BE 2X4'S AT 16" O.C., EXCEPT TOILET PLUMBING WALLS, WHICH ARE TO BE 2X6'S, UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING IN WALLS BEHIND & ADJACENT TO ALL TUBS & TOILETS FOR FUTURE GRAB BAR INSTALLATION.
- CABINET MATERIALS & ADHESIVES TO HAVE NO ADDED UREA-FORMALDEHYDE. INTERIOR PAINTS TO BE LOW-VOC.
- ALL NEW STAIRS, STEPS, & RAILINGS TO MEET CURRENT CODES AT THE TIME OF CONSTRUCTION.
- SHOWER HEADS SHALL BE MOUNTED 7'-0" AFF UNLESS NOTED OTHERWISE.
- ALL ELECTRICAL AND PLUMBING FIXTURES ARE TO BE INSTALLED PER CODE, INCLUDING LOCATION, OPERABLE COMPONENTS, & TYPE.
- CONFIRM ALL PLUMBING CONNECTION LOCATIONS WITH ACTUAL FIXTURES.
- PROTECT WOOD & WOOD-BASED PRODUCTS FROM DECAY & TERMITES PER CODE.
- FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR, THE DROP SHALL BE A MINIMUM OF 2", UNLESS OTHERWISE NOTED OR VISITABLE ENTRANCE. CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION & FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- GARAGE TO BE SEPARATED FROM HOUSE BY 5/8" TYPE 'X' GYP ON WALLS & CEILINGS IN COMMON WITH THE HOUSE. DOOR TO BE 20 MIN. RATED WITH A SELF CLOSER.



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512-599-0660

**PERMIT**

ISSUE DATE: **JULY 6TH 2023**  
PROJECT NUMBER: **DM210901**  
DRAWN BY: **SB**

REVISIONS:		
NO	REFERENCE	ISSUED



**SOUTH SECOND  
ADU**  
2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

**ADU FLOOR PLAN**

**A112**

WINDOW KEY

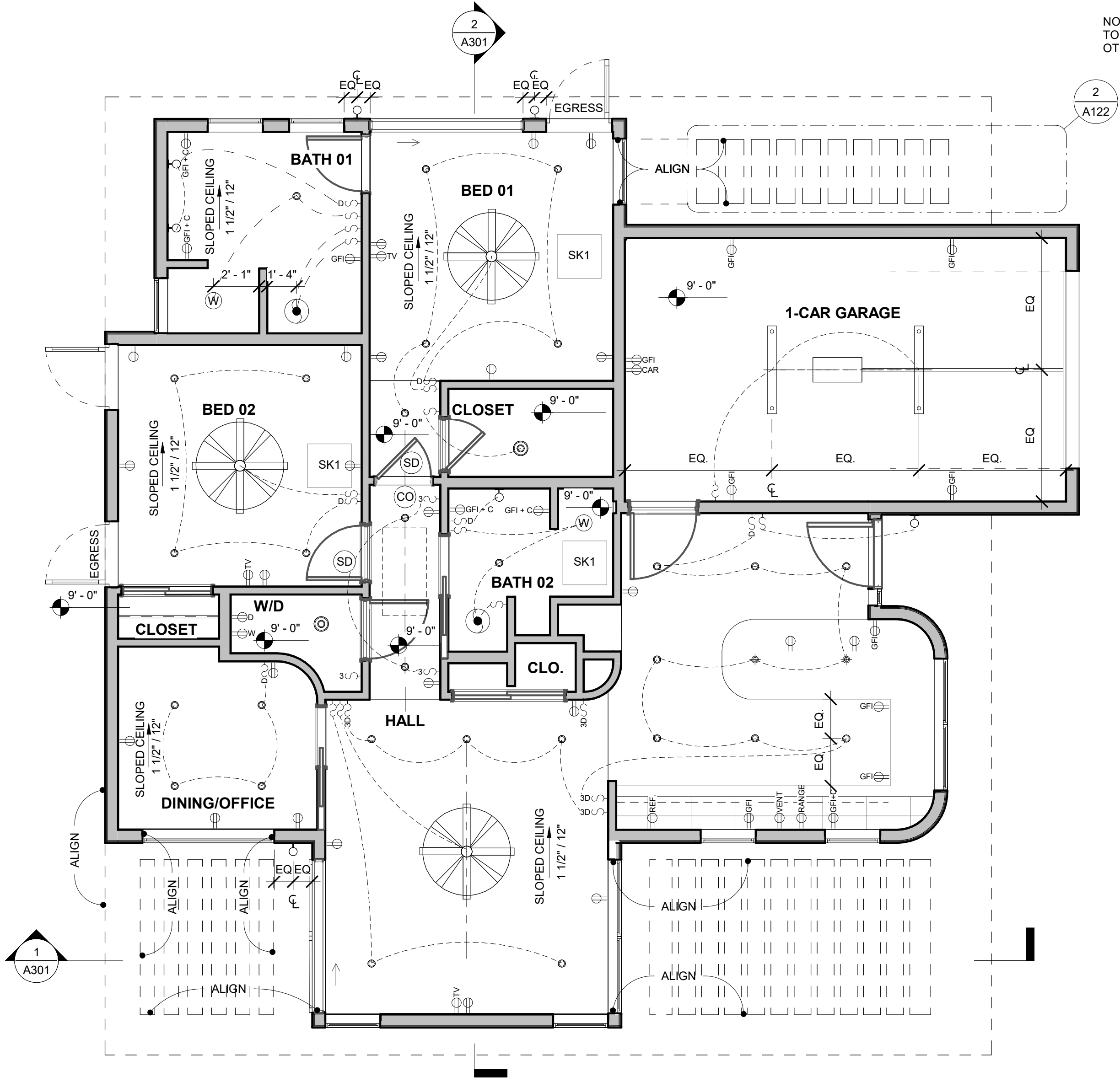
- A AWNING
- C CASEMENT
- E EXISTING
- F FIXED
- H HUNG
- S SLIDER
- SK SKYLIGHT
- T TRANSOM

FLOOR PLAN LEGEND

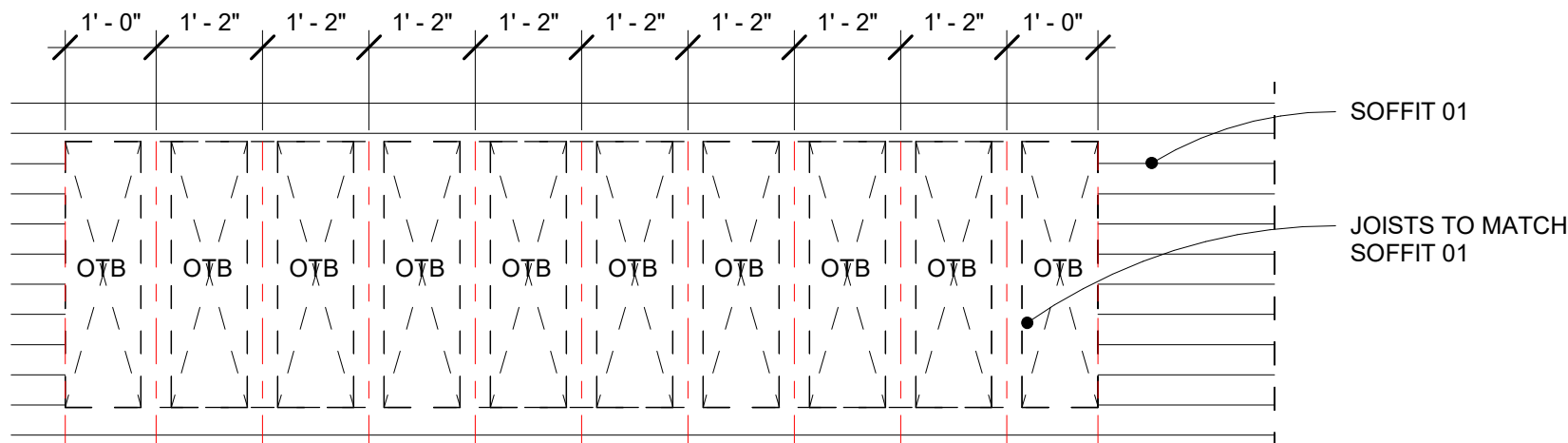
- EXISTING WALL
- NEW WALL
- EXISTING
- WALLS TO BE DEMOLISHED

**1** ADU FLOOR 01 DIMENSION PLAN  
1/4" = 1'-0"





NOTE: ALL CEILINGS SHOWN TO BE SLOPED GYP. UNLESS OTHERWISE NOTED.



2 TYP. SOFFIT VOID @ JOISTS  
1/2" = 1'-0"

RCP/POWER LEGEND	
	SURFACE MOUNTED LIGHT
	4" RECESSED DOWNLIGHT
	4" WET-RATED RECESSED DOWNLIGHT
	SMOKE / CO DETECTOR
	SMOKE DETECTOR
	EXHAUST FAN
	EXHAUST FAN/LIGHT COMBO
	CEILING LIGHT FIXTURE/CHANDELIER
	HVAC SUPPLY REGISTER
	HVAC RETURN REGISTER
	DUPLEX FLOOR OUTLET
	SURFACE MOUNT POP-UP OUTLET
	DUPLEX OUTLET
	DUPLEX OUTLET @ COUNTER HEIGHT
	GFCI DUPLEX OUTLET
	DEDICATED CIRCUIT
	TV OUTLET @ 60" A.F.F.
	REFRIGERATOR OUTLET
	DISHWASHER OUTLET
	MICROWAVE OUTLET
	CAR CHARGER (50 AMP MIN.)
	OUTLET 30" ABOVE FINISH FLOOR
	SWITCH
	DIMMER SWITCH
	THREE-WAY SWITCH
	SCONCE
	PENDANT
	DATA / TELE
	DOORBELL
	DOORBELL CHIME
	SECURITY CAMERA - CAT6 DROP
	THERMOSTAT

NOTES - REFLECTED CEILING PLAN

- ALL WORK EXECUTED UNDER THIS SECTION SHALL COMPLY WITH THE MOST CURRENT NATIONAL ELECTRICAL CODE & LOCAL CODE REGULATIONS. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
- ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS ARE TO BE HARDWIRED WITH A BATTERY BACKUP & INTERCONNECTED PER CODE.
- INSTALL SMOKE DETECTORS IN ALL SLEEPING ROOMS, AT AREAS ADJACENT TO SLEEPING ROOMS, & AT CEILING HEIGHT CHANGES GREATER THAN 24". PER IRC R314.
- CONTRACTOR SHALL VERIFY SMOKE DETECTORS ARE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW. PER 2007 NFPA 72 CHAPTER 11.
- INSTALL CARBON MONOXIDE DETECTORS IN THE AREA ADJACENT TO ALL SLEEPING ROOMS, PER IRC R315.
- DUCTWORK TO BE SEALED/MASKED OFF DURING CONSTRUCTION TO PREVENT CONTAMINATION FROM CONSTRUCTION DUST & DEBRIS.
- ALL LIGHTS & RECEPTACLES IN WET OR EXTERIOR LOCATIONS TO BE GFCI & WEATHERPROOF, PER CODE.
- ELECTRICAL RECEPTACLE DISTRIBUTION AS REQUIRED BY IRC 2021 E3901.2
- 100% OF ALL INSTALLED LIGHT FIXTURES ARE REQUIRED TO HAVE HIGH EFFICIENCY LAMPS.
- ALL EXTERIOR LIGHT FIXTURES TO BE SHIELDED FROM ABOVE TO PREVENT LIGHT POLLUTION.
- SWITCHES & ENVIRONMENTAL CONTROLS MAY BE NO HIGHER THAN 48" AFF ON THE FIRST FLOOR.
- GROUP ALL SWITCHES & OUTLETS WHERE POSSIBLE.
- SWITCHES SHALL NOT BE LOCATED WITHIN 5'-0" OF A TUB OR SHOWER.
- OUTLETS WITHIN 36" OF A SINK OR LAVATORY SHALL BE ON A GFCI CIRCUIT. ADDITIONAL GFCI SHALL BE PROVIDED AS REQUIRED BY CODE.
- OUTLETS & RECEPTACLES TO BE 15" MIN ABOVE INTERIOR FINISH FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS. THIS NOTE PERTAINS TO LEVEL 01 ONLY.
- PROVIDE BLOCKING FOR CEILING FANS AS REQUIRED.
- PROVIDE BLOCKING FOR WALL MOUNTED TVS IF INDICATED ON THE DRAWINGS. VIF LOCATION & HEIGHT WITH OWNER OR ARCHITECT.
- PROVIDE MAKE UP AIR AS NEEDED FOR VENTILATION FANS.
- RECESSED LIGHT FIXTURES TO BE 3000K UNLESS NOTED OTHERWISE.

WINDOW KEY

- A AWNING
- C CASEMENT
- E EXISTING
- F FIXED
- H HUNG
- S SLIDER
- SK SKYLIGHT
- T TRANSOM

NOTE: NO BEAM DOWN THE CENTER OF A HALLWAY. LIGHT FIXTURES SHALL BE CENTERED ON HALLWAY.

NOTE: NO OUTLET IN WATERFALL FACE OF ISLAND. ELECTRICIAN TO GET APPROVAL FROM ARCHITECT FOR OUTLET LOCATIONS IN ISLAND AND ALL OTHER SPECIALTY AREAS PRIOR TO INSTALL.

ADU - RCP  
1/4" = 1'-0"

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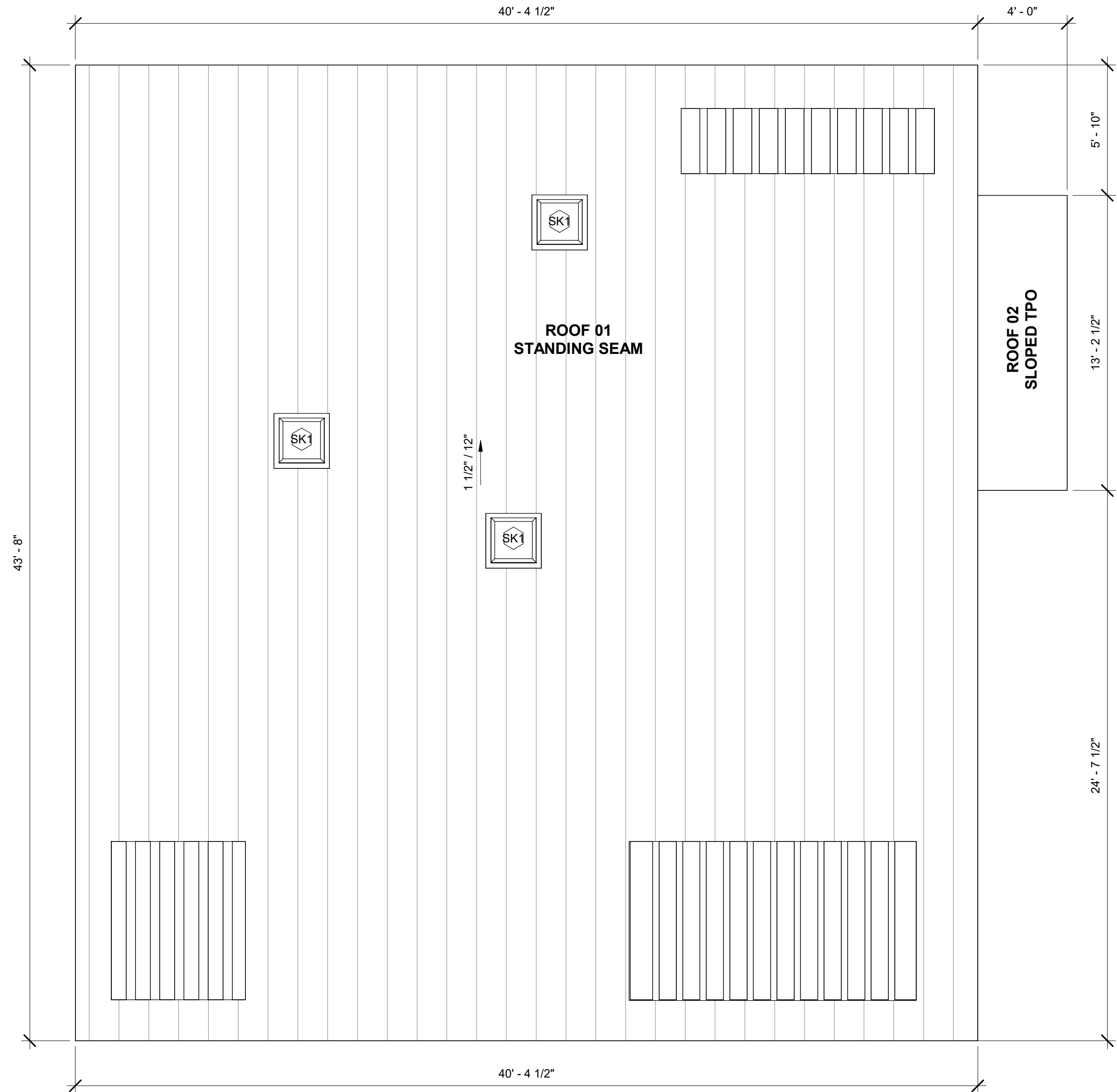
JULY 6TH 2023

SOUTH SECOND  
ADU  
2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

ADU RCP

A122





**NOTE: DIMENSIONS SHOWN  
ON ROOF PLANS ARE TO  
EXTERIOR FACE OF FRAMING  
UNLESS NOTED OTHERWISE**

**WINDOW KEY**

- A AWNING
- C CASEMENT
- E EXISTING
- F FIXED
- H HUNG
- S SLIDER
- SK SKYLIGHT
- T TRANSOM

**NOTES - ROOF**

- CONTRACTOR SHALL KEEP BUILDING WEATHERTIGHT.
- ALL ROOFS SHALL SLOPE TO DRAIN.
- CONTRACTOR SHALL PROVIDE ALL TRIM, FLASHING, UNDERLAYMENTS, FASTENERS & ACCESSORIES NECESSARY TO ENSURE A COMPLETE, WARRANTABLE, & WEATHERTIGHT CONSTRUCTED ROOF.
- ALL ROOF PENETRATIONS TO BE PROPERLY FLASHED & SEALED TO PREVENT WATER INTRUSION.
- NEW ROOF SRI VALUE: IF SLOPE IS >2:12, ROOFING MATERIALS SHALL HAVE A MINIMUM SRI OF 29.
- NEW ROOFS TO INCLUDE A RADIANT BARRIER WITH AN EMITTANCE OF .05 OR LESS, UNLESS ROOF IS COVERED WITH A MATERIAL HAVING A SOLAR REFLECTANCE OF 0.5 OR GREATER.
- AIR IMPERMEABLE INSULATION OF R-25 OR GREATER MAY BE USED IF MECHANICAL EQUIPMENT & AIR DISTRIBUTION SYSTEM ARE LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE. SEE AUSTIN AMENDMENTS TO THE BUILDING CODE. OTHERWISE, ROOFING INSULATION TO BE A MINIMUM OF R-38.
- SUPPLY & RETURN DUCTS LOCATED IN ATTICS OR OUTSIDE THE THERMAL ENVELOPE SHALL BE INSULATED AS R-8 MIN.
- SKYLIGHTS: USE APPROPRIATE FLASHING & CURBS TO PREVENT WATER INTRUSION & TO ACHIEVE MANUFACTURER'S WARRANTY.
- SKYLIGHTS TO INCLUDE 10 YEAR, NO-LEAK WARRANTY, 10 YEAR IMPACT WARRANTY & 20 YEAR SEAL WARRANTY.
- THE ENTIRE EXTERIOR ENVELOPE TO BE PROPERLY SEALED & FLASHED TO PREVENT MOISTURE INTRUSION.
- INSTALL ALL BUILDING ENVELOPE ASSEMBLIES AS PER MANUFACTURER'S RECOMMENDATIONS & STANDARD DETAILS TO ALLOW FOR PROPER FUNCTION, WEATHER PROTECTION & WARRANTIES (WHERE AVAILABLE). ASSEMBLIES INCLUDE, BUT ARE NOT LIMITED TO, ROOFING, RADIANT BARRIER, SKYLIGHTS, WINDOWS, DOORS, SIDING, FLASHING, INSULATION, WEATHER BARRIERS, SEALANTS, ETC.
- PROVIDE NEW GUTTERS & DOWNSPOUTS TO DRAIN ON SITE. DOWNSPOUTS TO DRAIN AWAY FROM BUILDING.



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JULY 6TH 2023

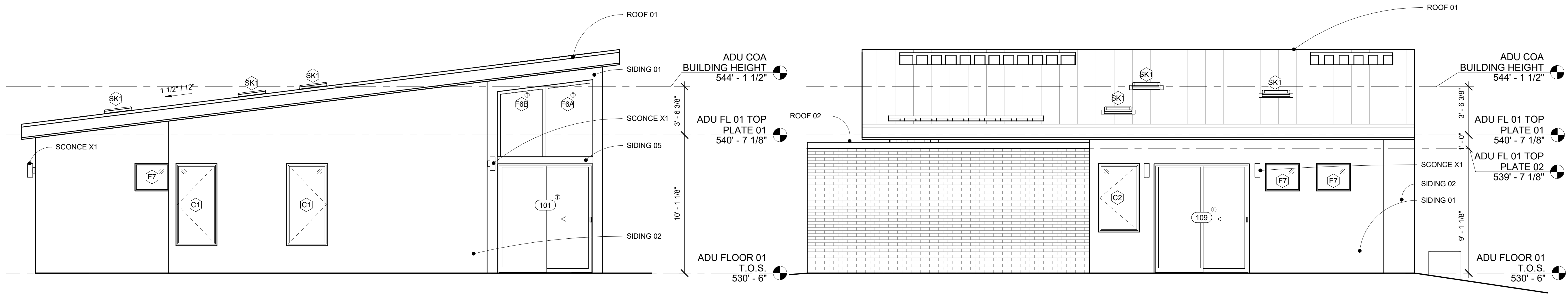
**SOUTH SECOND  
ADU**  
2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

**ADU ROOF PLAN**

**A132**

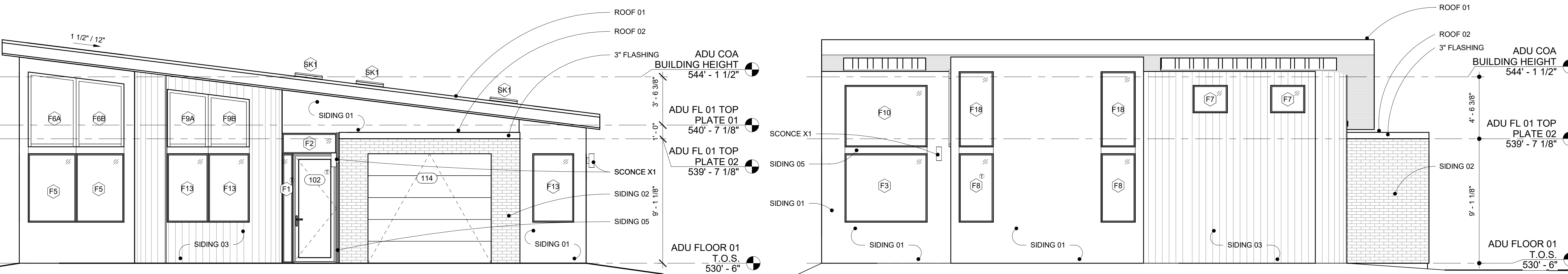
**1** ADU ROOF PLAN  
1/4" = 1'-0"





1 ADU - NORTH ELEVATION  
1/4" = 1'-0"

2 ADU - EAST ELEVATION  
1/4" = 1'-0"



3 ADU - SOUTH ELEVATION  
1/4" = 1'-0"

4 ADU - WEST ELEVATION  
1/4" = 1'-0"

- WINDOW KEY**
- A AWNING
  - C CASEMENT
  - E EXISTING
  - F FIXED
  - H HUNG
  - S SLIDER
  - SK SKYLIGHT
  - T TRANSOM

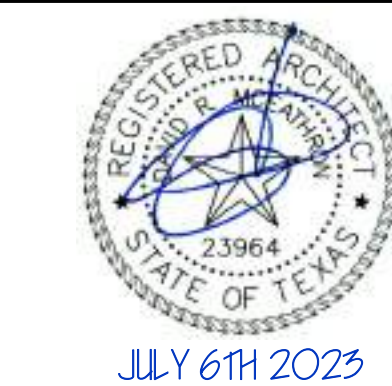
- NOTES - EXTERIOR ELEVATIONS**
- CONTRACTOR SHALL KEEP BUILDING WEATHERTIGHT.
  - VERIFY ALL MATERIALS & FINISHES WITH ARCHITECT OR OWNER PRIOR TO INSTALLATION.
  - SLOPE GRADE AWAY FROM BUILDING & FOUNDATION FOR 10'-0" MIN. WHERE POSSIBLE.
  - ALL EXPOSED FASTENERS ON WOOD SIDING TO BE STAINLESS STEEL.
  - THE ENTIRE EXTERIOR ENVELOPE TO BE PROPERLY SEALED & FLASHED TO PREVENT MOISTURE INTRUSION.
  - ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.

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**SOUTH SECOND**  
**ADU**  
2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

**EXTERIOR**  
**ELEVATIONS - ADU**

**A202**

PROJECT TO ADHERE TO ALL REQUIREMENTS IN THE 2021 IRC & ALL ADOPTED LOCAL AMENDMENTS.  
««« IF PRINTED AT 11X17, SCALE IS 1/2 OF WHAT IS NOTED »»»

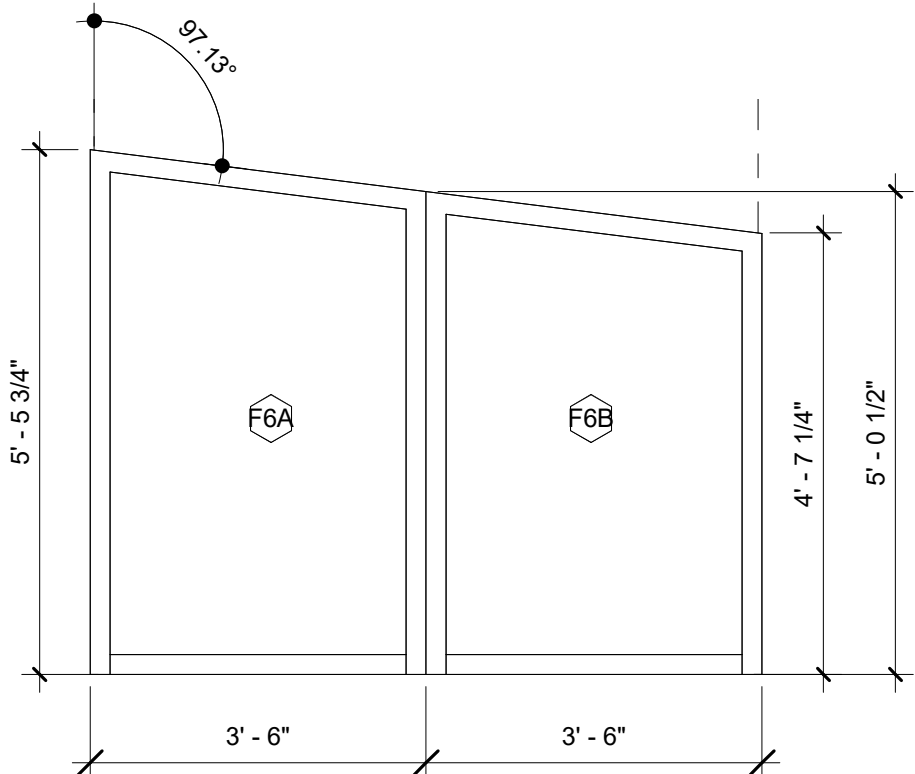


WINDOW SCHEDULE - ADU										
ROOM NAME	NET FRAME		ROUGH OPENING		SILL HEIGHT	HEAD HEIGHT	GLAZING	EGRESS REQ'D	COMMENTS	Level
	WIDTH	HEIGHT	WIDTH	HEIGHT						
CASEMENT										
C1										
BED 02	3' - 0"	6' - 0"	3' - 0 1/2"	6' - 0 1/2"	2' - 0"	8' - 0"	-	EGRESS		ADU FLOOR 01 T.O.S.
BED 02	3' - 0"	6' - 0"	3' - 0 1/2"	6' - 0 1/2"	2' - 0"	8' - 0"	-	-		ADU FLOOR 01 T.O.S.
C2										
BED 01	3' - 0"	5' - 0"	3' - 0 1/2"	5' - 0 1/2"	3' - 0"	8' - 0"	-	EGRESS		ADU FLOOR 01 T.O.S.
FIXED										
F1										
KITCHEN	9"	8' - 0"	9 1/2"	8' - 0 1/2"	0"	8' - 0"	TEMPERED			ADU FLOOR 01 T.O.S.
F2										
KITCHEN	4' - 0"	1' - 6"	4' - 0 1/2"	1' - 6 1/2"	8' - 0"	9' - 6"	-			ADU FLOOR 01 T.O.S.
F3										
DINING/OFFICE	6' - 0"	5' - 0"	6' - 0 1/2"	5' - 0 1/2"	3' - 0"	8' - 0"	-			ADU FLOOR 01 T.O.S.
F5										
LIVING	3' - 6"	5' - 0"	3' - 6 1/2"	5' - 0 1/2"	3' - 0"	8' - 0"	-			ADU FLOOR 01 T.O.S.
LIVING	3' - 6"	5' - 0"	3' - 6 1/2"	5' - 0 1/2"	3' - 0"	8' - 0"	-			ADU FLOOR 01 T.O.S.
F6A										
LIVING	3' - 5"	REF: ELEV.	3' - 5 1/2"	REF: ELEV.	8' - 6"	10' - 6"	-			ADU FLOOR 01 T.O.S.
F6B										
LIVING	3' - 5"	REF: ELEV.	3' - 5 1/2"	REF: ELEV.	8' - 6"	10' - 6"	-			ADU FLOOR 01 T.O.S.
F7										
BATH 01	2' - 6"	2' - 0"	2' - 6 1/2"	2' - 0 1/2"	6' - 0"	8' - 0"	-			ADU FLOOR 01 T.O.S.
BATH 01	2' - 6"	2' - 0"	2' - 6 1/2"	2' - 0 1/2"	6' - 0"	8' - 0"	-			ADU FLOOR 01 T.O.S.
BATH 01	2' - 6"	2' - 0"	2' - 6 1/2"	2' - 0 1/2"	6' - 0"	8' - 0"	-			ADU FLOOR 01 T.O.S.
KITCHEN	2' - 6"	2' - 0"	2' - 6 1/2"	2' - 0 1/2"	11' - 0"	13' - 0"	-			ADU FLOOR 01 T.O.S.
KITCHEN	2' - 6"	2' - 0"	2' - 6 1/2"	2' - 0 1/2"	11' - 0"	13' - 0"	-			ADU FLOOR 01 T.O.S.
F8										
LIVING	2' - 6"	5' - 0"	2' - 6 1/2"	5' - 0 1/2"	3' - 0"	8' - 0"	TEMPERED			ADU FLOOR 01 T.O.S.
LIVING	2' - 6"	5' - 0"	2' - 6 1/2"	5' - 0 1/2"	3' - 0"	8' - 0"	-			ADU FLOOR 01 T.O.S.
F9A										
KITCHEN	3' - 0"	REF: ELEV.	3' - 0 1/2"	REF: ELEV.	8' - 6"	10' - 6"	-			ADU FLOOR 01 T.O.S.
F9B										
KITCHEN	3' - 0"	REF: ELEV.	3' - 0 1/2"	REF: ELEV.	8' - 6"	10' - 6"	-			ADU FLOOR 01 T.O.S.
F13										
BED 01	3' - 0"	5' - 0"	3' - 0 1/2"	5' - 0 1/2"	3' - 0"	8' - 0"	-			ADU FLOOR 01 T.O.S.
KITCHEN	3' - 0"	5' - 0"	3' - 0 1/2"	5' - 0 1/2"	3' - 0"	8' - 0"	-			ADU FLOOR 01 T.O.S.
KITCHEN	3' - 0"	5' - 0"	3' - 0 1/2"	5' - 0 1/2"	3' - 0"	8' - 0"	-			ADU FLOOR 01 T.O.S.
F18										
LIVING	2' - 6"	5' - 6"	2' - 6 1/2"	5' - 6 1/2"	8' - 6"	14' - 0"	-			ADU FLOOR 01 T.O.S.
LIVING	2' - 6"	5' - 6"	2' - 6 1/2"	5' - 6 1/2"	8' - 6"	14' - 0"	-			ADU FLOOR 01 T.O.S.

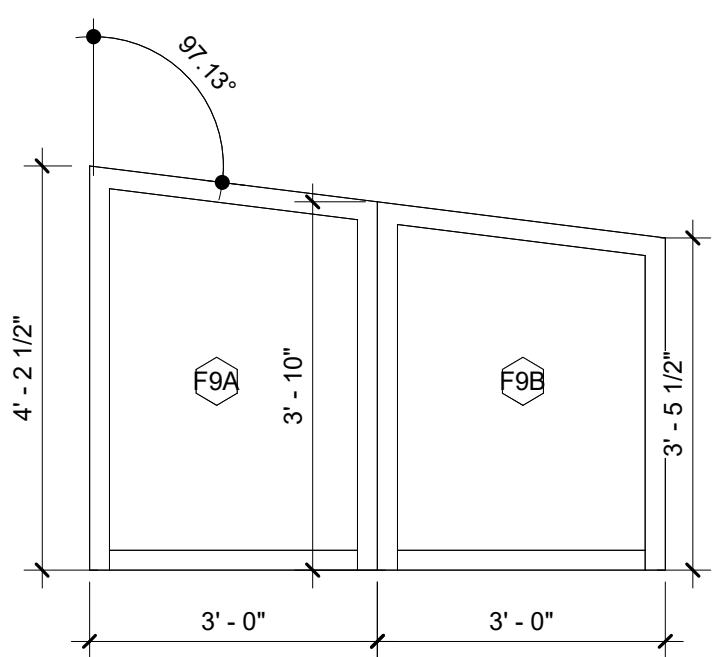
DOOR SCHEDULE - ADU								
DOOR #	ROOM NAME	TYPE	PANEL				COMMENTS	Level
			WIDTH	HEIGHT	THICKNESS	GLAZING		
101	LIVING	SLIDING	7' - 0"	8' - 0"	4 1/2"	TEMPERED		ADU FLOOR 01 T.O.S.
102	KITCHEN	SWING - GLASS	3' - 2"	8' - 0"	4 1/2"	TEMPERED	VISITABLE ENTRANCE DOOR, COMMERCIAL SILL	ADU FLOOR 01 T.O.S.
103	W/D	SWING	2' - 8"	8' - 0"	1 3/4"			ADU FLOOR 01 T.O.S.
104	DINING/OFFICE	POCKET	2' - 8"	8' - 0"	1 3/4"			ADU FLOOR 01 T.O.S.
105	HALL	SWING	2' - 6"	8' - 0"	1 3/4"			ADU FLOOR 01 T.O.S.
106	BED 02	SLIDING	4' - 0"	8' - 0"	2"			ADU FLOOR 01 T.O.S.
107	HALL	SWING	2' - 6"	7' - 0"	1 3/4"			ADU FLOOR 01 T.O.S.
108	BED 01	SWING	2' - 6"	7' - 0"	1 3/4"			ADU FLOOR 01 T.O.S.
109	BED 01	SLIDING	7' - 0"	8' - 0"	4 1/2"	TEMPERED		ADU FLOOR 01 T.O.S.
110	BED 01	SWING	2' - 4"	8' - 0"	1 3/4"			ADU FLOOR 01 T.O.S.
111	BATH 02	POCKET	2' - 8"	8' - 0"	1 3/4"		VISITABLE BATHROOM DOOR	ADU FLOOR 01 T.O.S.
112	LIVING	SLIDING	5' - 0"	8' - 0"	2"			ADU FLOOR 01 T.O.S.
113	1-CAR GARAGE	SWING	3' - 0"	8' - 0"	1 3/4"			ADU FLOOR 01 T.O.S.
114	1-CAR GARAGE	OVERHEAD	9' - 0"	8' - 0"	1 1/2"			ADU FLOOR 01 T.O.S.

NOTES - DOOR SCHEDULE

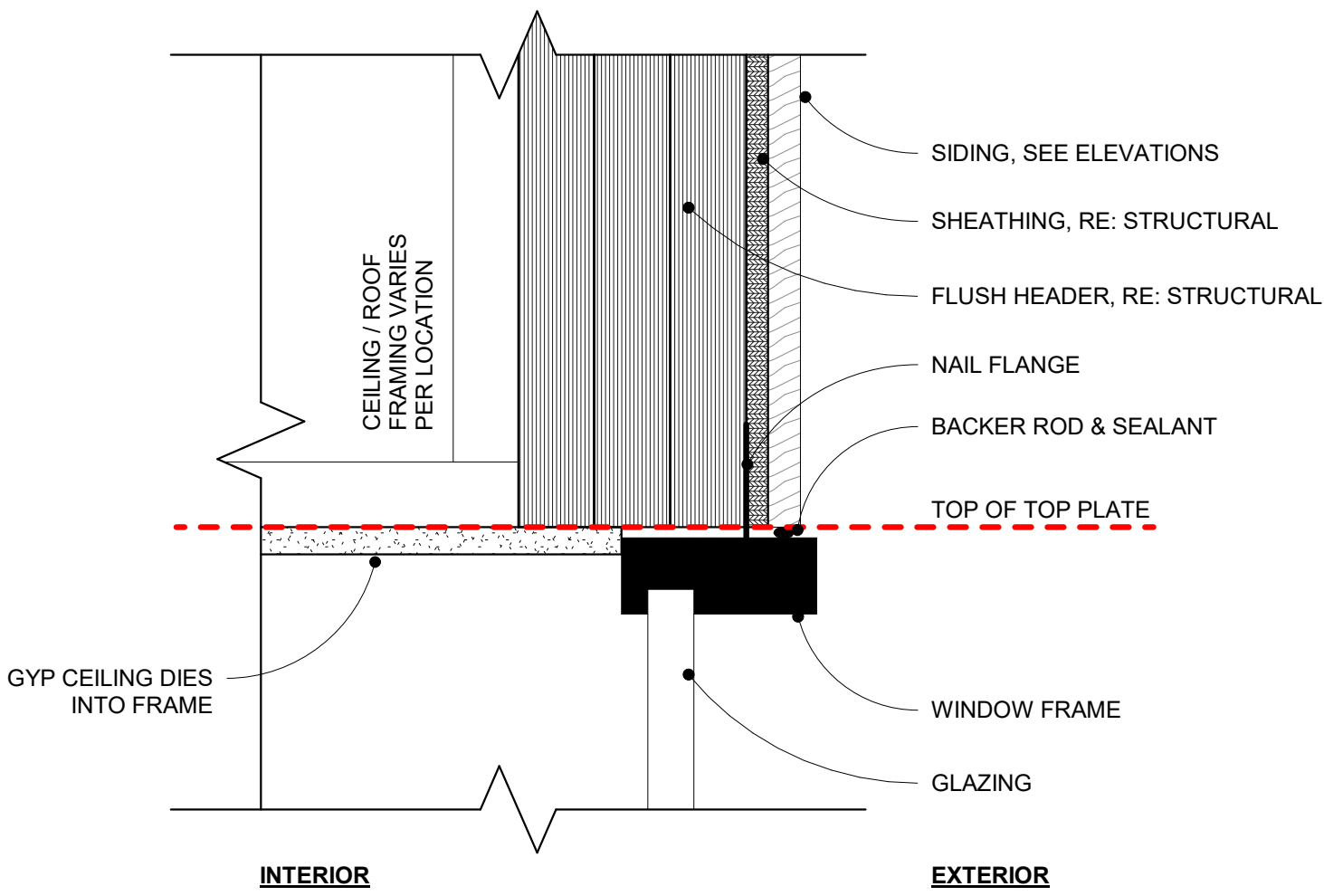
- WINDOWS & DOORS TO MEET IRC 2021 REQUIREMENTS & ALL AMENDMENTS AS ADOPTED BY THE CITY OF AUSTIN.
- ALL GLAZING IN DOORS & WITHIN A 24" ARC OF THE VERTICAL EDGE OF DOORS MUST BE TEMPERED.
- CONTRACTOR TO COORDINATE WITH DOOR SUPPLIER TO ENSURE DOORS MEET CURRENT CODES.



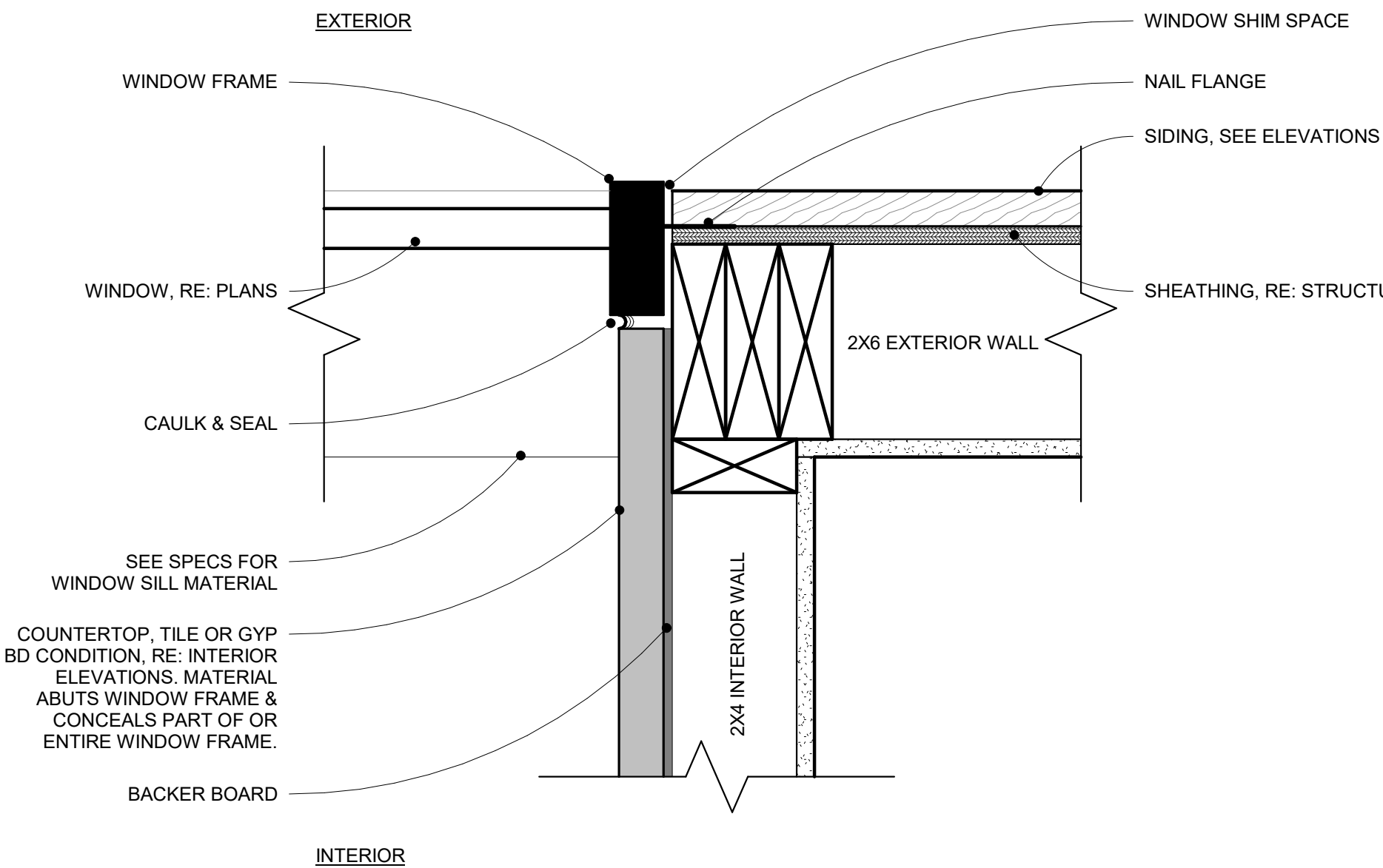
1 WINDOW - F6  
1/2" = 1'-0"



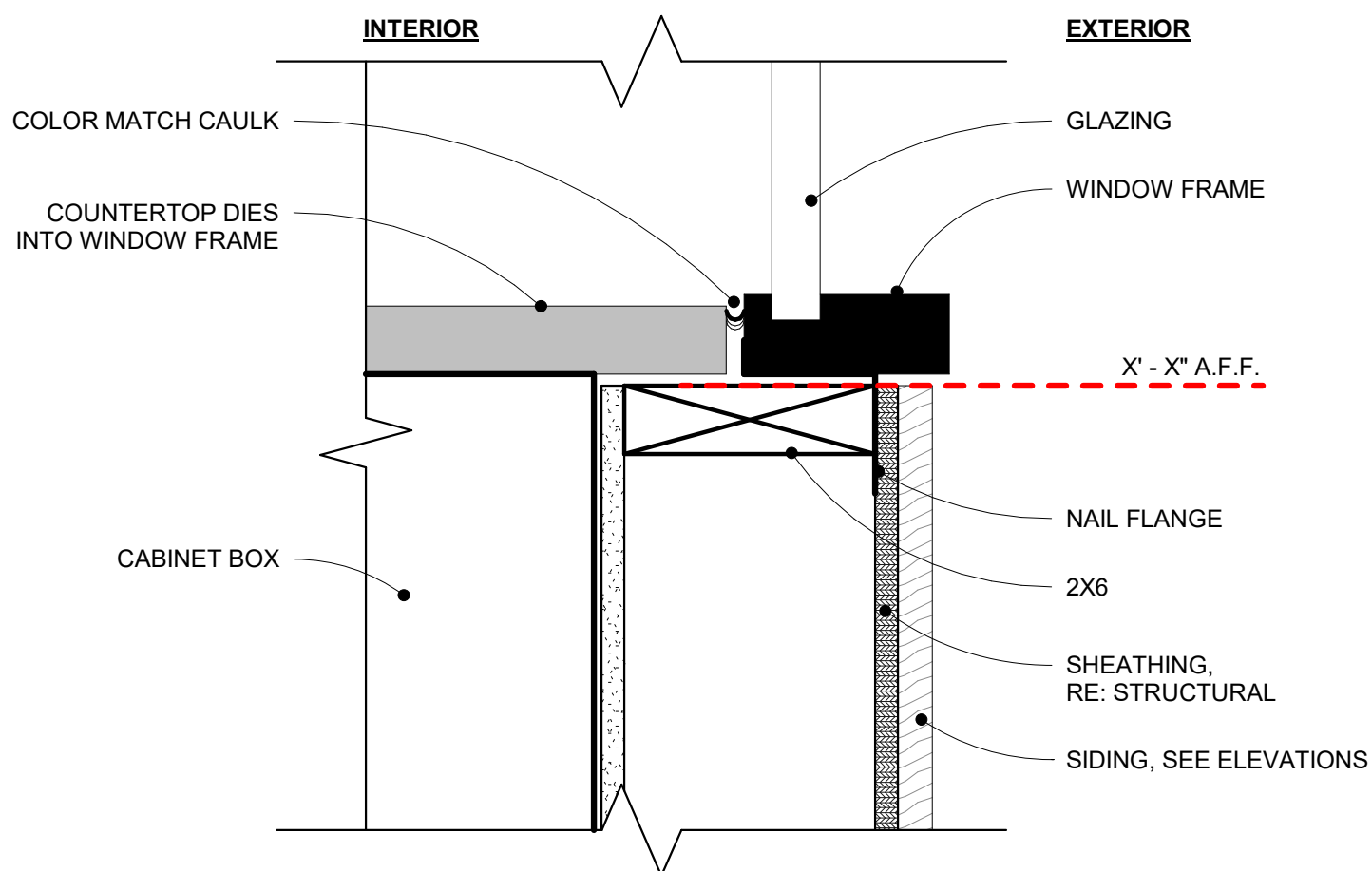
2 WINDOW - F9  
1/2" = 1'-0"



3 WINDOW HEAD @ FLUSH HEADER  
3" = 1'-0"



4 WINDOW JAMB @ WALL INTERSECTION  
3" = 1'-0"



5 WINDOW SILL @ COUNTERTOP  
3" = 1'-0"

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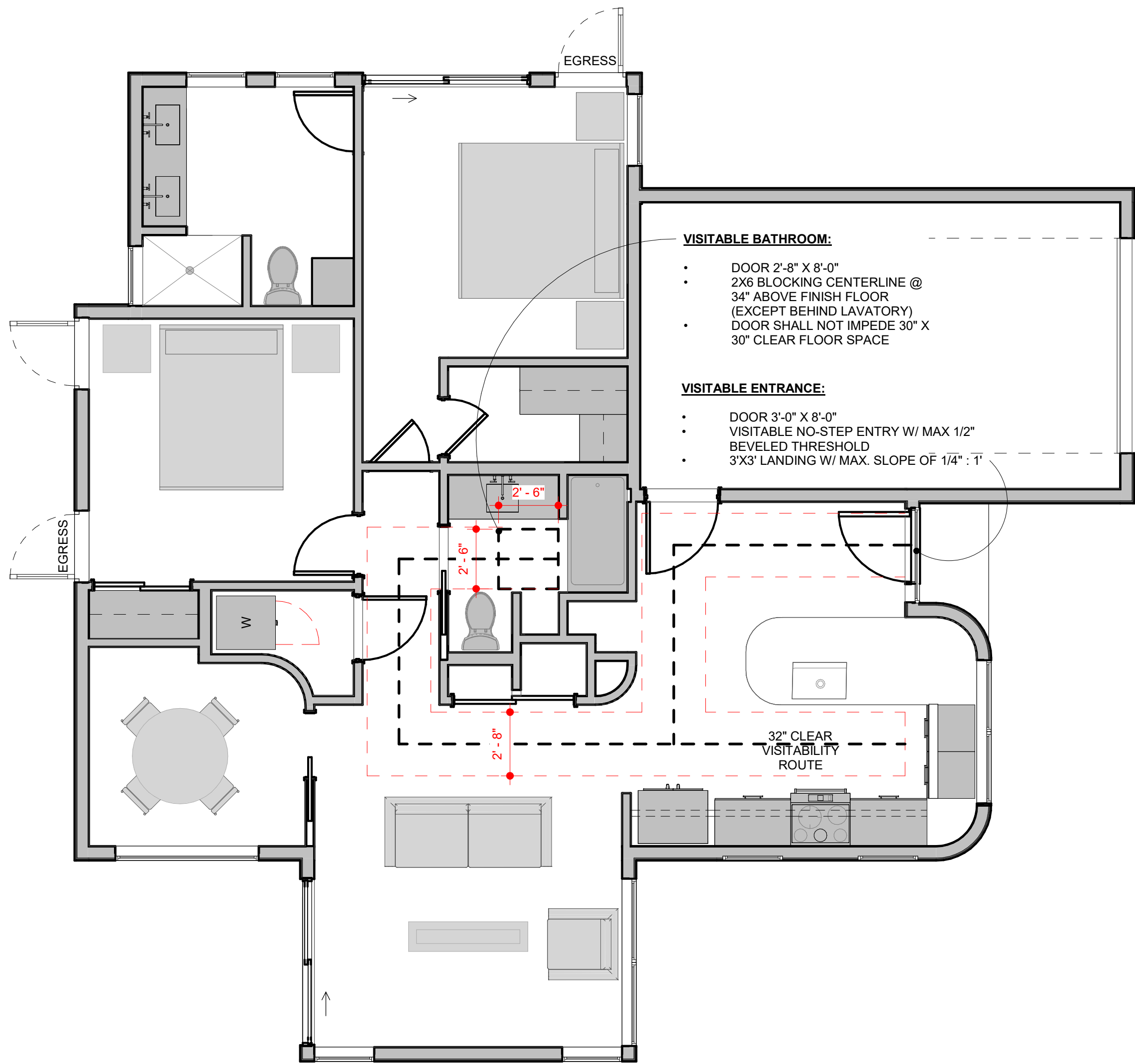
SOUTH SECOND  
ADU

2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

ADU - SCHEDULES

A600





**VISITABLE BATHROOM:**

- DOOR 2'-8" X 8'-0"
- 2X6 BLOCKING CENTERLINE @ 34" ABOVE FINISH FLOOR (EXCEPT BEHIND LAVATORY)
- DOOR SHALL NOT IMPEDE 30" X 30" CLEAR FLOOR SPACE

**VISITABLE ENTRANCE:**

- DOOR 3'-0" X 8'-0"
- VISITABLE NO-STEP ENTRY W/ MAX 1/2" BEVELED THRESHOLD
- 3'X3' LANDING W/ MAX. SLOPE OF 1/4" : 1'

32" CLEAR  
VISITABILITY  
ROUTE

EGRESS

EGRESS

NOTES - VISITABILITY

1. LIGHT SWITCH & ENVIRONMENTAL CONTROLS NO HIGHER THAN 48" ABOVE INTERIOR FINISH FLOOR LEVEL. THIS NOTE PERTAINS TO LEVEL 01 ONLY.
2. OUTLETS & RECEPTACLES MINIMUM 15" ABOVE INTERIOR FINISH FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS. THIS NOTE PERTAINS TO LEVEL 01 ONLY.
3. CONTRACTOR TO PROVIDE BLOCKING, CENTERED AT 34" ABOVE FINISH FLOOR ALONG ALL WALLS, EXCEPT BEHIND LAVATORIES, IN ALL BATHROOMS.



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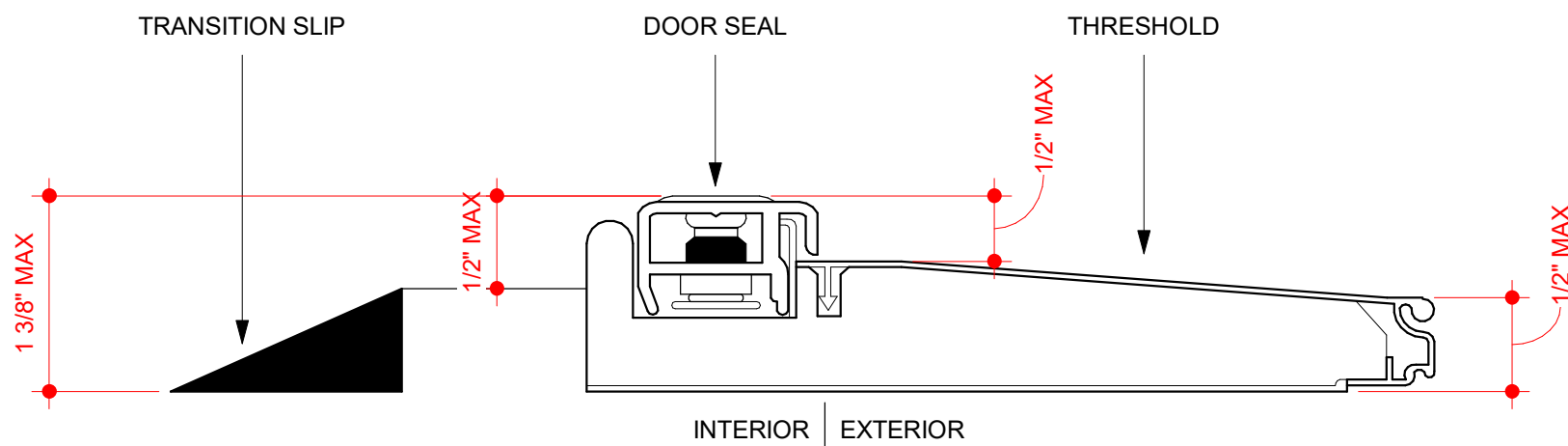
JULY 6TH 2023

**SOUTH SECOND  
ADU**

2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

**ADU - VISITABILITY  
EXHIBIT**

**A700**



**APPROVED THRESHOLD DETAIL**

N.T.S.

REFER TO CODE INTERPRETATION C12013-0002 FOR ADDITIONAL INFORMATION

PROJECT TO ADHERE TO ALL REQUIREMENTS IN THE 2021 IRC & ALL ADOPTED LOCAL AMENDMENTS.

««« IF PRINTED AT 11X17, SCALE IS 1/2 OF WHAT IS NOTED »»»



28.6" PECAN  
COVERED = 46%

TOTAL AREA OF CRZ = 2,552 SF

PROJECT'S IMPACTS OF CRZ - PREVIOUSLY IMPACTED = 1,016 SF  
PROJECT'S IMPACT OF CRZ - NEW IMPACTS = 63 SF  
ADJACENT IMPACT OF CRZ = 89 SF

TOTAL IMPACTED = 1,168 SF

PREVIOUS IMPACT OF CRZ TO BE UNCOVERED = 706 SF  
% OF PREVIOUS IMPACT TO BE UNCOVERED = 61%

ALLEY  
(16' R.O.W. PER PLAT)

SOUTH 2ND STREET  
(60' R.O.W. PER PLAT)

NOTES - DEMO PLAN

- DECONSTRUCT WALLS, DOORS, WINDOWS, AND FRAMES AS INDICATED ON PLAN. PROTECT ADJACENT SURFACES TO REMAIN.
- MEANS AND METHODS, INCLUDING SHORING, ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL KEEP BUILDING WEATHERPROOF DURING CONSTRUCTION AND DEMOLITION.
- IF UNEXPECTED STRUCTURAL ELEMENTS ARE ENCOUNTERED, NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH REMOVAL. PROVIDE TEMPORARY SHORING AS NEEDED FOR SAFE CONDITIONS OF WORK.
- CAP OFF UTILITIES IN DEMO AREA AS REQUIRED BY UTILITY COMPANY.

**NOTE: FOR ANY PROTECTED TREES IN WHICH THE ENTIRE 1/2 CRZ IS NOT PROTECTED BY FENCING, 2X4 OR GREATER SIZE PLANKS, A MINIMUM OF 6' TALL, SHALL BE STRAPPED AROUND THE TRUNK.**

**NOTE: NO BATTER BOARD OR FOUNDATION FORMWORK STAKES WITHIN THE 1/2 CRZ EXCEPT REBAR W/ POINTED TIP. USE STRONG-BACK DESIGN TO GET ANY LARGER STAKES OUT OF THE CRZ.**

**NOTE: DO NOT PLACE PORTABLE TOILET, CONCRETE WASHOUT, OR PAINT WASHOUT WITHIN FULL CRZ.**

**NOTE: PLACE SHEETS OF PLYWOOD ON TOP OF MULCH WHERE ACCESS IS NEEDED THROUGH 1/2 CRZ.**

NOTES - TREE PRESERVATION

- TREE PROTECTION FENCING IS REQUIRED FOR ALL PROTECTED/HERITAGE TREES WITHIN THE LIMITS OF CONSTRUCTION.
- FENCING SHOULD BE INDICATED TO PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ) AREA OR AS MUCH OF THE CRZ AS IS PRACTICAL.
- WHEN THE TREE PROTECTION FENCING CANNOT INCORPORATE THE ENTIRE 1/2 CRITICAL ROOT ZONE, AN EIGHT INCH LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR ALL TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE.
- FENCING IS REQUIRED TO BE CHAIN-LINK MESH AT A MINIMUM OF 5'-0" HIGH.
- 2X4 OR GREATER SIZE PLANKS (6'-0" TALL MIN) ARE REQUIRED TO BE STRAPPED SECURELY AROUND PROTECTED TREES TRUNKS & ROOT FLARES WHEN PROTECTIVE FENCING DOES NOT INCORPORATE THE ENTIRE 1/2 CRZ FOR ANY REASON AT ANY TIME IN THE PROJECT.
- NO CUT OR FILL GREATER THAN 4" ALLOWED WITHIN THE 1/2 CRZ OF PROTECTED TREES & NO IMPACT IS ALLOWED IN THE 1/4 CRZ.
- ALL DEMOLITION IN THE 1/4 & 1/2 CRZ OF PROTECTED TREES MUST BE PERFORMED WITH HAND TOOLS.
- PROTECTED TREES ARE NOTED AS 19" DIAMETER OR GREATER & HERITAGE TREES ARE 24" OR GREATER.
- 50% MIN. OF THE CRZ MUST BE PRESERVED AT NATURAL GRADE WITH NATURAL GROUND COVER.
- ALL UTILITY LINES & TRENCHING TO STAY CLEAR OF 1/2 CRZ OF ALL PROTECTED TREES.
- CONTRACTOR TO KEEP STAGING, DUMPSTER, & PORTA POTTY CLEAR OF 1/2 CRZ OF ALL PROTECTED TREES.



**DAVEY MCEATHRON  
ARCHITECTURE**  
1402 W NORTH LOOP BLVD, AUSTIN, TX 78756  
DAVEY@DAVEYARCH.COM  
512-599-0660

**PERMIT**

ISSUE DATE: JULY 6TH 2023

PROJECT NUMBER: DM210901  
DRAWN BY: Author

REVISIONS:		
NO	REFERENCE	ISSUED



JULY 6TH 2023

**SOUTH SECOND  
ADU**  
2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

**HOUSE & ADU - TREE  
PROTECTION PLAN**

**A703**

SITE PLAN LEGEND

- PP POWER POLE
- FH FIRE HYDRANT
- HB HOSE BIBB
- WM WATER METER
- EM ELECTRICAL METER
- GM GAS METER
- T TELEPHONE RISER
- G GAS LINE
- W WATER LINE
- WW WASTE WATER LINE
- E OVERHEAD ELECTRIC LINE
- E UNDERGROUND ELECTRIC LINE
- FENCE

20" PECAN  
COVERED = 32%

TOTAL AREA OF CRZ = 1,267 SF

PROJECT'S IMPACTS OF CRZ - PREVIOUSLY IMPACTED = 75 SF  
PROJECT'S IMPACT OF CRZ - NEW IMPACTS = 0 SF  
ADJACENT IMPACT OF CRZ = 319 SF

TOTAL IMPACTED = 394 SF

PREVIOUS IMPACT OF CRZ TO BE UNCOVERED = 0 SF  
% OF PREVIOUS IMPACT TO BE UNCOVERED = 0%

29.5" PECAN  
COVERED = 39%

TOTAL AREA OF CRZ = 2,735 SF

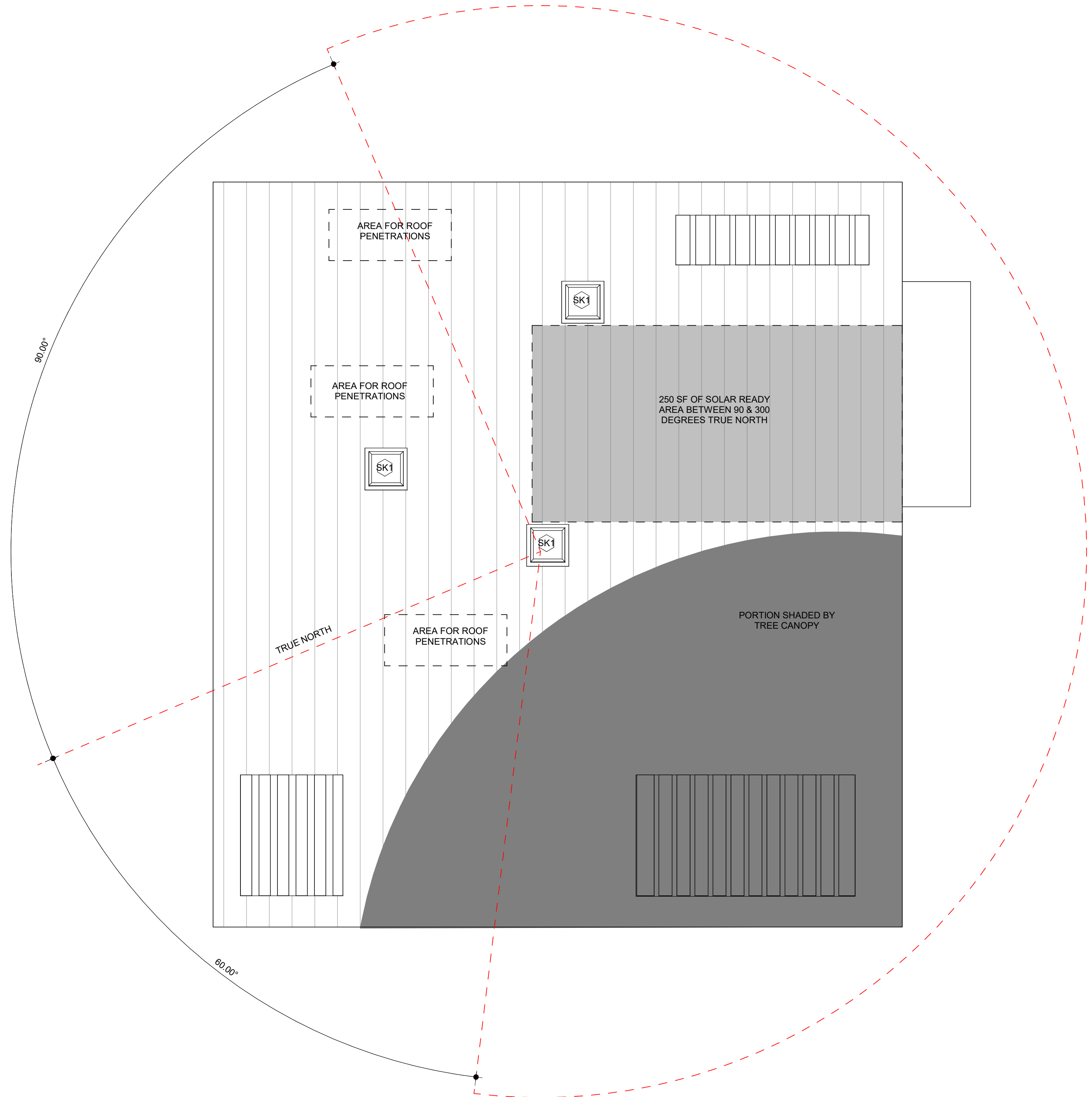
PROJECT'S IMPACTS OF CRZ - PREVIOUSLY IMPACTED = 176 SF  
PROJECT'S IMPACT OF CRZ - NEW IMPACTS = 163 SF  
ADJACENT IMPACT OF CRZ = 722 SF

TOTAL IMPACTED = 1,061 SF

PREVIOUS IMPACT OF CRZ TO BE UNCOVERED = 42 SF  
% OF PREVIOUS IMPACT TO BE UNCOVERED = 26%

1 TREE PRESERVATION PLAN  
1/8" = 1'-0"





NOTES - SOLAR READY

1. AREAS DESIGNATED AS SOLAR-READY ARE TO BE FREE & CLEAR OF ANY & ALL ROOF PENETRATIONS OR OBSTRUCTIONS.
2. NO SOLAR-READY ZONES ARE TO BE LESS THAN 6' - 0" ON A SIDE.



**DAVEY MCEATHRON  
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1402 W NORTH LOOP BLVD, AUSTIN, TX 78756  
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ISSUE DATE: **JULY 6TH 2023**

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REVISIONS:

NO	REFERENCE	ISSUED





JULY 6TH 2023

**SOUTH SECOND  
ADU**

2009 SOUTH 2ND, AUSTIN,  
TEXAS 78704

**ADU - SOLAR READY  
EXHIBIT**

**A704**

  **1** SOLAR READY EXHIBIT  
1/4" = 1'-0"





**City of Austin / Travis County  
911 ADDRESSING VERIFICATION**

**911 Addressing Website:** <http://austintexas.gov/911addressing>

**Email:** [addressing@austintexas.gov](mailto:addressing@austintexas.gov)

**Date:** May 18, 2023

**The Following Is A Valid Address:** 2009 S 2ND ST

\*Please contact the [United States Postal Service](#) to verify the correct zip code assigned for this address.

**Legal Description:** LOT 9-A BLK F BOULDIN ADDN 1900

Geographic ID: 0401021017

Property ID: 302941

**Jurisdiction:** AUSTIN FULL PURPOSE

Verify your jurisdiction with our new [Jurisdictions Web Map](#)

**County:** TRAVIS

**Parent Address Place Id:** 241450

***This address is a valid 9-1-1 Address, assigned by Address Management Staff***

**Disclaimer:** The assignment and/or verification of this address does not authorize a change in land use or constitute the City of Austin's approval of any division of real property. The assignment and/or verification of this address does not supersede any requirements of the City of Austin's Land Development Code, the Texas Local Government Code, or any other state or municipal regulations.





**AUSTIN FIRE DEPARTMENT**  
**FIRE PREVENTION DIVISION**  
6310 Wilhelmina Delco Dr., Austin, Texas 78752  
afd.hydrants@austintexas.gov



## Hydrant Flow Test Report

TEST DATE	09/30/2022	FIRE BOX	603	COMPANY	PREVENTION
TIME	1245 HRS	MAP GRID ID	H20	AFD STAFF	PADILLA, AJ

### RESIDUAL HYDRANT

RESIDUAL HYDRANT #	167616	MAIN SIZE (in.)	6
BLK #	DIRECTION	STREET NAME	TYPE
2300		OAK CREST	AVE
STATIC PRESSURE (PSI)	69	RESIDUAL PRESSURE (PSI)	64

### FLOW HYDRANT

FLOW HYDRANT #	166817	MAIN SIZE (in.)	6
BLK #	DIRECTION	STREET NAME	TYPE
2200	S	3RD	ST
STATIC PRESSURE (PSI)	67	RESIDUAL PRESSURE (PSI)	51

Comments	dc = discharge coefficient straight 2½" butt = 0.9 w/ 45° elbow = 0.75	0.75
	FLOW RATE (GPM) =	998

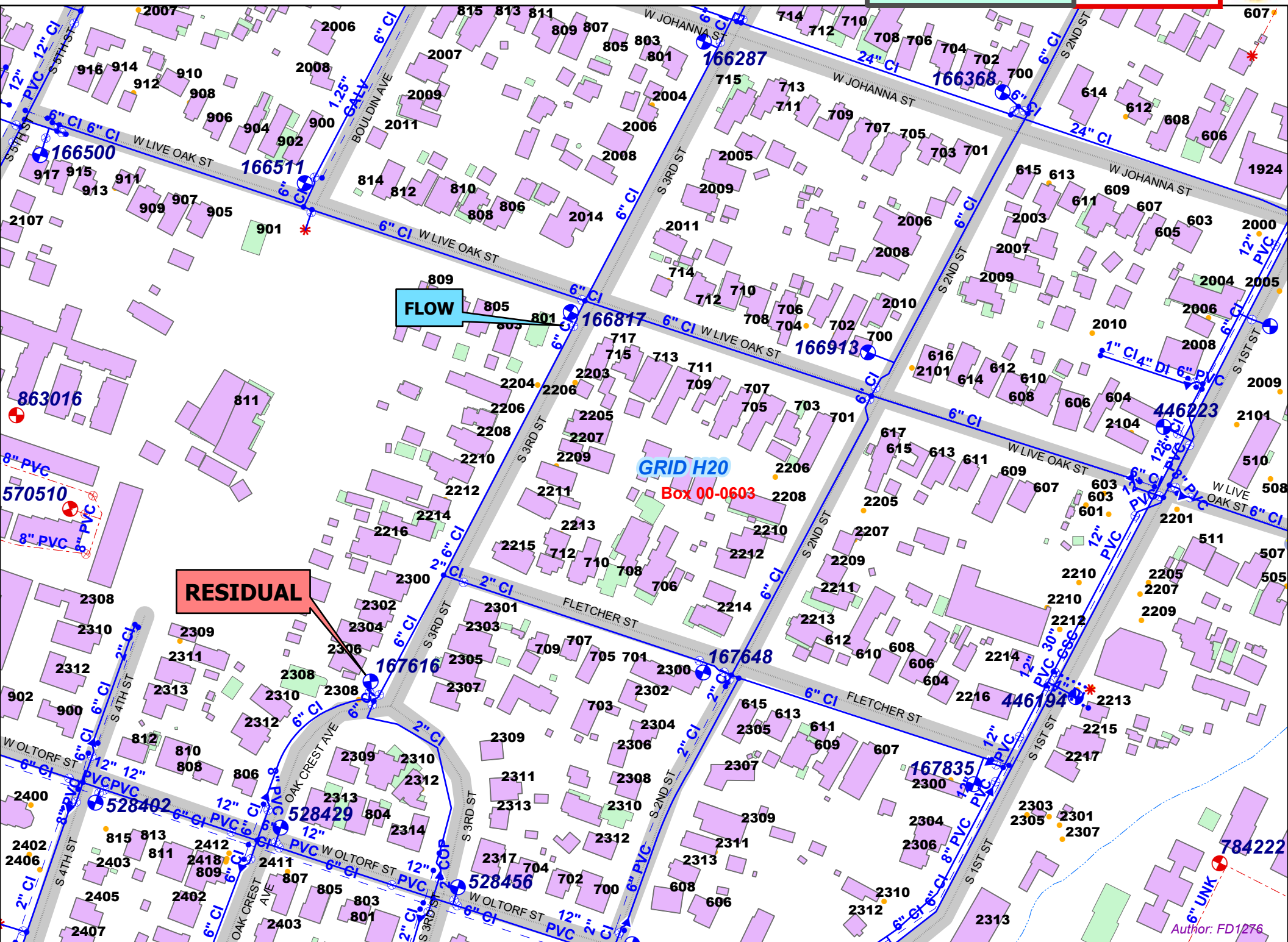
NOTE: This information represents the water supply characteristics in the immediate area on the date and time tested. The City of Austin does not guarantee this data will be representative of the water supply characteristics at any time in the future. It is the requesting party's responsibility to ensure that this test information is appropriate to the location of the project in question and that any differences in elevation between the test location and project are accounted for and included in the hydraulic calculations.



# 2300 BLK OAK CREST AVE...BOX 603

REF# 16254379

09/21/2022





TAX CERTIFICATE  
Bruce Elfant  
Travis County Tax Assessor-Collector  
P.O. Box 1748  
Austin, Texas 78767  
(512) 854-9473

NO 2302787

ACCOUNT NUMBER: 04-0102-1017-0000

PROPERTY OWNER:

CHRISTIE BRANDON & AND ANNA WAN  
2009 S 2ND ST  
AUSTIN, TX 78704-4170

PROPERTY DESCRIPTION:

LOT 9A \*RESUB LOT 9 BLK F BOULDIN  
JAMES E ADDN

ACRES

.2326 MIN%

.000000000000 TYPE

SITUS INFORMATION: 2009 S 2

ST

This is to certify that after a careful check of tax records of this office, the following taxes, delinquent taxes, penalties and interests are due on the described property of the following tax unit(s):

YEAR	ENTITY
2022	AUSTIN ISD
	CITY OF AUSTIN (TRAV)
	TRAVIS COUNTY
	TRAVIS CENTRAL HEALTH
	ACC (TRAVIS)

TOTAL	
*ALL	PAID*
*ALL	PAID*
*ALL	PAID*
*ALL	PAID*
*ALL	PAID*

TOTAL SEQUENCE 0

\*ALL PAID\*

TOTAL TAX:  
UNPAID FEES:  
INTEREST ON FEES:  
COMMISSION:  
TOTAL DUE ==>

*ALL	PAID*
* NONE	*
* NONE	*
* NONE	*
*ALL	PAID*

TAXES PAID FOR YEAR 2022 \$31,303.90

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 2022 EXCEPT FOR UNPAID YEARS LISTED ABOVE.

The above described property may be subject to special valuation based on its use, and additional rollback taxes may become due. (Section 23.55, State Property Tax Code).

Pursuant to Section 31.08 of the State Property Tax Code, there is a fee of \$10.00 for all Tax Certificates.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 04/05/2023

Fee Paid: \$10.00

Bruce Elfant  
Tax Assessor-Collector

By: \_\_\_\_\_

SILVAR1 printed on 04/05/2023 @ 16:48:58:32

Page# 1



# WATER SERVICE PERMIT

Austin, Texas

E

N<sup>o</sup>

39935

Received of \_\_\_\_\_ Date \_\_\_\_\_

Address 2009 SOUTH 2ND ST.

Amount \_\_\_\_\_ \$

Plumber \_\_\_\_\_ Size of Tap \_\_\_\_\_

Date of Connection 11-16-65

Size of Tap Made 3/4"

Size Service Made 3/4"

Size Main Tapped 6" C.I.

From Front Prop. Line to Curb Cock 8'

From SOUTH Prop. Line to Curb Cock 13'

Location of Meter FRONT

Type of Box ROUND

Depth of Main in St. 4'

Depth of Service Line 3'

From Curb Cock to Tap on Main 25'

Checked by Engr. Dept. \_\_\_\_\_

Size

No. Fittings

27' Pipe 3/4" Cop.

1 Corp. Cock 3/4"

Cop. to Iron ell

Cop. to Cop. ell

Cop. to Iron Coupling

Cop. to Cop. Coupling

1 Angle Stop 3/4"

Stop

Bushing

Nipples

Service Clamp

Valve

Meter Box

Lock Lid

Drain Tile

Drain Tile Lid

Stop & Drain

Job. No. 82132201-701435

Foreman th. Cooper



The Hydrant Flow Test Calculator measures the rated capacity at 20 psi of a fire hydrant. The rated capacity calculation is useful in determining the total water supply at a given point in the hydrant or water main. The calculation offers more useful information than the test flow by itself and is used by insurance underwriters. For more information see NFPA 291, AWWA M-17, or our web page on Hydrant Flow Testing.

Static Pressure (PSI):

Residual Pressure (PSI):

Total Test Flow Rate (GPM):

**Calculate**

**GPM at 20 psi: 1785**

**Class: AA**

**Marking color: Light Blue**

**% Pressure Drop: 24%**