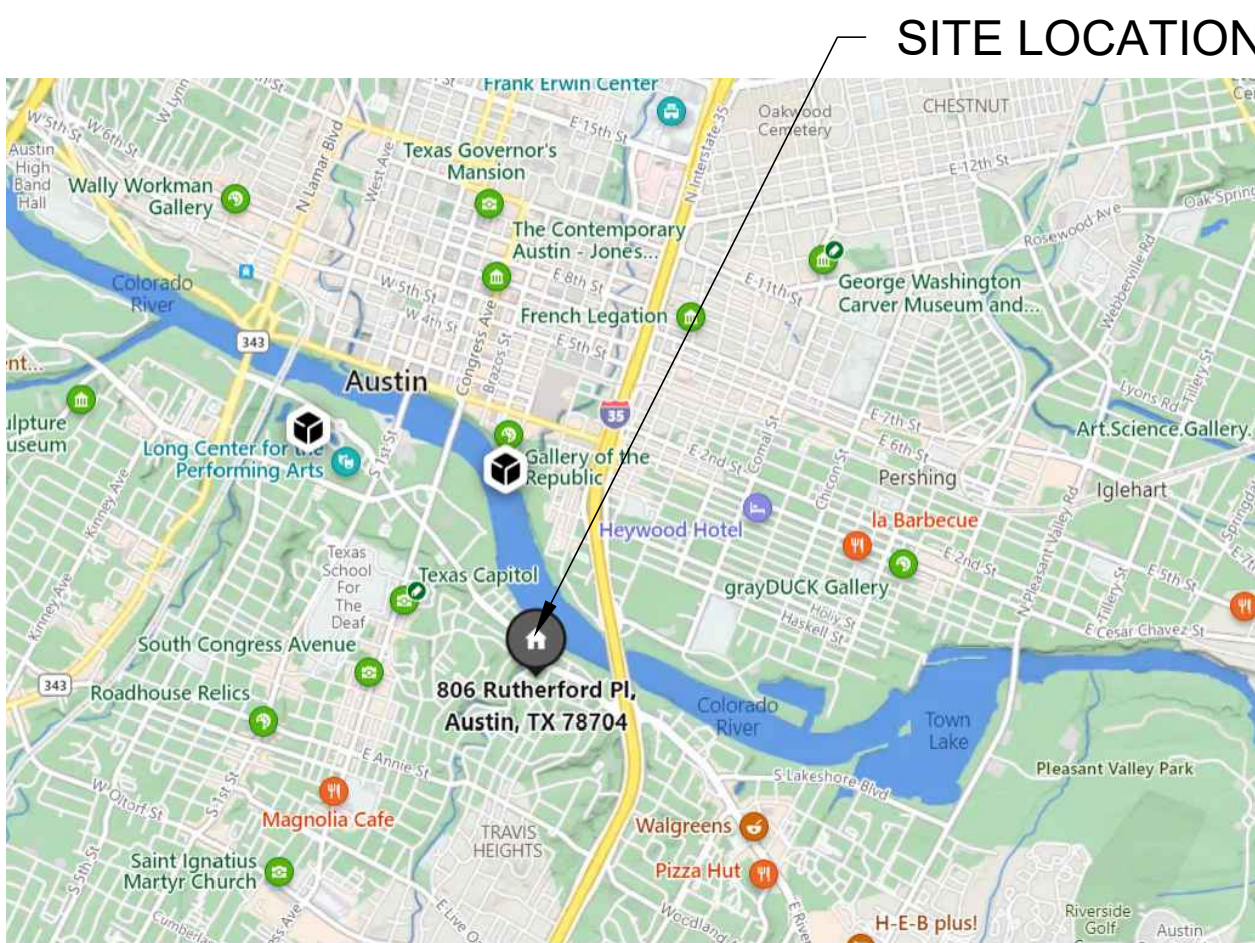


DRAWING INDEX		ISSUE												
		● NEW ● REVISED					○ NO CHANGE × ELIMINATED							
		SHEET NUMBER	12/20/22 BID SET	01/12/23 REVISED BID SET	03/23/23 PRICING PROGRESS SET	04/06/23 PRICING PROGRESS SET REV	04/21/23 PRICING PROGRESS SET REV1	06/13/23 PRICING PROGRESS SET REV2	06/29/23 PRICING PROGRESS SET REV3	07/21/23 PERMIT SET				
ARCHITECTURAL														
TITLE SHEET & SITEPLAN		A0.00	●	○	○	○	○	○	○	●				
GENERAL NOTES		A0.01	●	○	○	○	○	○	○	●				
SURVEY		A0.02	●	○	○	○	○	○	○	●				
DEMOLITION PLAN		D2.00	●	○	●	●	●	●	●	●				
DEMOLITION SITE PLAN		D2.01						●	●	●				
CONSTRUCTION PLANS: 1ST, 2ND & BASMNT		A2.00	●	●	●	●	●	●	●	●				
CONSTRUCTION PLANS: ROOF & GARAGE		A2.01	●	●	●	●	●	●	●	●				
FINISH & POWER PLAN		A2.10			●	●	●	●	●					
REFLECTED CLNG PLAN		A2.20			●	●	●	●	●					
BUILDING ELEVATIONS		A3.00	●	●	○	○	○	○	○	●				
WINDOW & DOOR SCHEDULE		A6.00	●	○	○	●	●	●	●	●				
PROJECT SCHEDULES		A6.01					●	●	●					
WINDOW & DOOR DETAILS		A6.02												
INTERIOR ELEVATIONS		A7.00			●	●	●	●	●					
INTERIOR ELEVATIONS		A7.01			●	●	●	●	●					
INTERIOR ELEVATIONS		A7.02			●	●	●	●	●					
INTERIOR ELEVATIONS		A7.03							●					
STAIR DETAILS		A8.00							●					
STRUCTURAL														
GENERAL NOTES		S0.0								●				
FOUNDATION PLANS AND DETAILS		S1.0						●	○	●				
FRAMING PLANS		S2.0						●	○					
FRAMING DETAILS		S3.0								●				
LATERAL BRACING DETAILS		S3.1								●				



LOCATION MAP

806 RUTHERFORD PLACE, AUSTIN, TX 78704

RUTHERFORD RES.

FAR CALCULATIONS CHART. RUTHERFORD PLACE RESIDENCE

DESCRIPTION	EXTG (SF)	NEW (SF)	EXCEPTION ALLOWED (SF)	TOTAL (SF)	PERCENT %
BASEMENT FLOOR CONDITIONED SPACE	265.0	15.0	0.0	280.0	4.6%
1ST FLOOR CONDITIONED SPACE	1090.0	36.0	0.0	1126.0	18.4%
2ND FLOOR CONDITIONED SPACE	899.0	109.0	0.0	1008.0	16.4%
EXISTING GARAGE	353.0	0.0	353.0	0.0	0.0%
TOTAL BUILT AREA	2607.0	160.0	353.0	2414.0	39.38%
TOTAL LOT SIZE				6130.0	100.0%

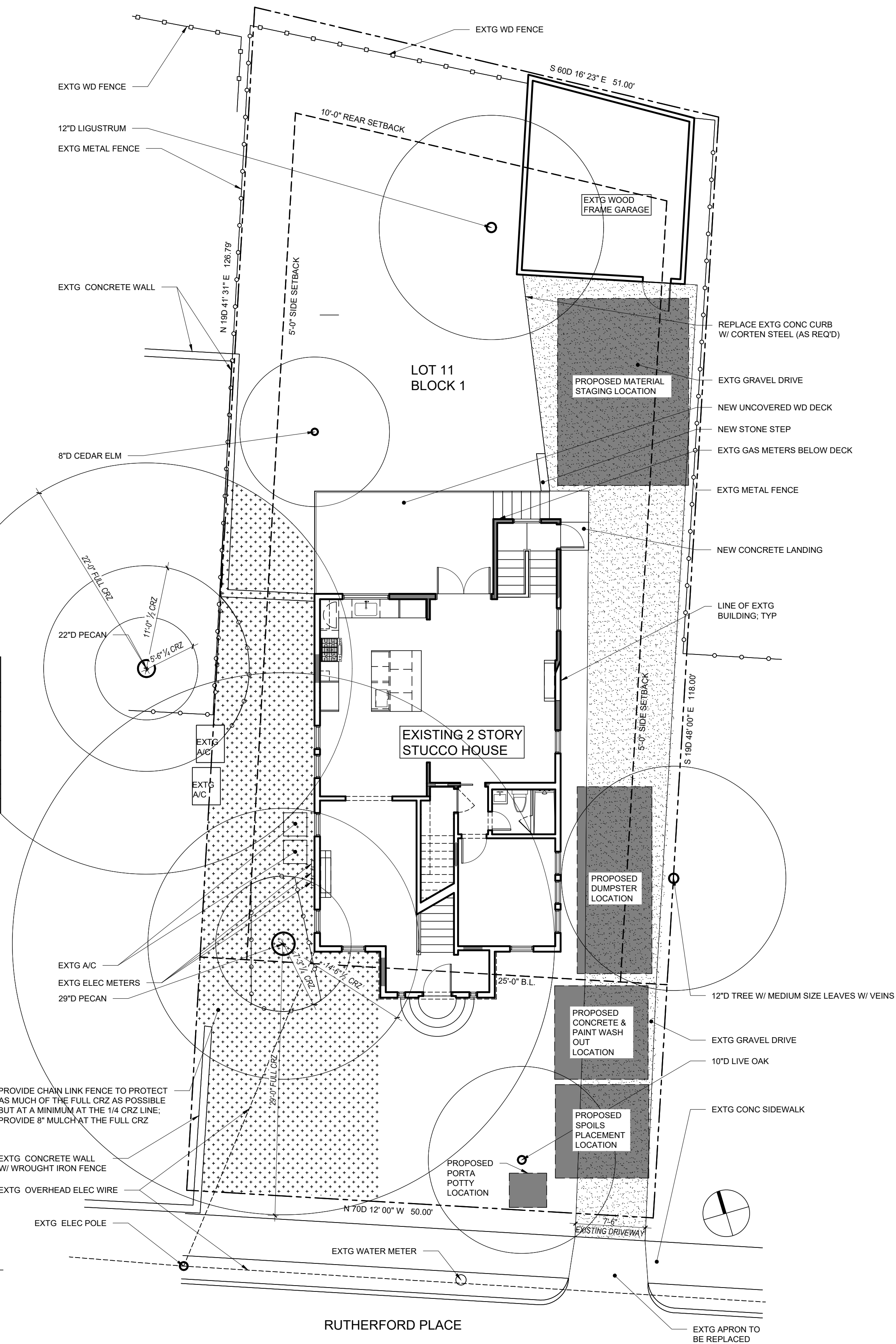
IMPERVIOUS CHART

DESCRIPTION	EXTG (SF)	NEW (SF)	TOTAL (SF)	PERCENT %
MAIN HOUSE FOOTPRINT	1090.0	36.0	1126.0	18.4%
EXTG GARAGE	353.0	0.0	353.0	5.8%
ENTRY CONCRETE STEPS	26.0	0.0	26.0	0.4%
CONCRETE	0.0	23.0	23.0	0.4%
GRAVEL DRIVEWAY	1024.0	0.0	1024.0	16.7%
CONCRETE WALLS	37.0	0.0	37.0	0.6%
WOOD DECK + STEPS @ 50%	0.0	114.0	114.0	1.9%
A/C PADS	22.0	0.0	22.0	0.4%
TOTAL IMPERVIOUS COVERAGE	2552.0	173.0	2725.0	44.45%
TOTAL LOT SIZE			6130.0	100.0%
MAXIMUM COVERAGE=45% OF LOT			2758.5	45.0%

LOT 11 BLK L TRAVIS HEIGHTS

LEGAL DESCRIPTION

1 SITEPLAN
SCALE: 1/8" = 1'-0"





7500 LADLE LANE AUSTIN, TX 78749
WWW.RESTRUCTURESTUDIO.COM

CONSULTANTS
STRUCTURAL ENGINEER:
ARCH CONSULTING ENGINEERS, PLLC
2579 WESTERN TRAILS BLVD, SUITE 230
AUSTIN, TX 78745 PHONE: 512-328-5353
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GENERAL CONTRACTOR:
NEON AGAVE HOMES
PHONE: 512-461-0382
INFO@NEONAGAVE.COM

LEGEND

NOTES
1. PROTECT TREE AS REQ'D; ERECT CONSTRUCTION FENCE @ HALF-CRITICAL ROOT ZONE.

ISSUE
BID SET 12/20/22
REVISED BID SET 01/12/23
PRICING PROGRESS SET 03/23/23
PRICING PROGRESS SET REV 04/09/23
PRICING PROGRESS SET REV1 04/21/23
PRICING PROGRESS SET REV2 06/13/23
PRICING PROGRESS SET REV3 06/29/23
PERMIT SET 07/20/23



07/20/23

RUTHERFORD RESIDENCE











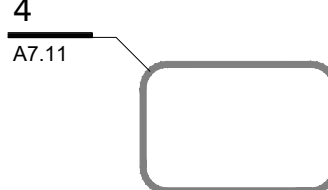

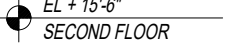

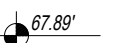





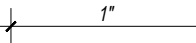

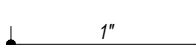

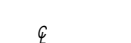

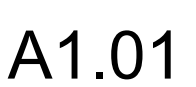



































806 RUTHERFORD PLACE
AUSTIN, TX 78704

THIS SHEET IS FORMATTED TO 22"X34".
SCALES ARE ONE HALF OF NOTED WHEN PRINTED ON 11"X17"

A0.00

TITLE SHEET & KEYPLAN

SCALE: AS NOTED
DATE: 12/08/22
PROJECT NO: 2214

ABBREVIATIONS		REFERENCE SYMBOLS		ELECTRICAL SYMBOLS		DEMOLITION NOTES		GENERAL NOTES		
ABV	above		STRUCTURAL GRID LINE		WALL-MOUNTED DUPLEX RECEPTACLE OUTLET	1. ALL PREPARATION, DEMOLITION, REMOVAL AND DISPOSAL IS TO BE PERFORMED IN ACCORDANCE WITH REQUIREMENTS OF THE APPLICABLE BUILDING CODES AND ALL THE AUTHORITIES HAVING JURISDICTION.	1. ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES.	1. ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES.	CONSULTANTS STRUCTURAL ENGINEER: ARCH CONSULTING ENGINEERS, PLLC 2579 WESTERN TRAILS BLVD, SUITE 230 AUSTIN, TX 78745 PHONE: 512-328-5353 WWW.ARCHCE.NET	
A/C	air conditioning		SECTION MARKER		WALL-MOUNTED QUAD RECEPTACLE OUTLET					
ADDT'L	additional		EXTERIOR ELEVATION		WALL-MOUNTED GROUND-FAULT INTERRUPTER RECEPTACLE OUTLET	2. PROVIDE INSURANCE, PRIOR TO COMMENCEMENT OF ANY WORK, AS REQUIRED BY OWNER. ALL INSURANCE TO CLEARLY AND COMPLETELY INDEMNIFY THE ARCHITECTS AND THE OWNERS FROM ALL CLAIMS WHICH ARISE FROM THE PERFORMANCE OF ALL WORK RELATED TO THIS CONTRACT.	2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.	2. THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND ELECTRICAL WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS THAT WOULD CAUSE AN AWKWARD INSTALLATION, IT SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER OR ARCHITECT.		
ADJ	adjustable		INTERIOR ELEVATION		WALL-MOUNTED WATERPROOF RECEPTACLE OUTLET	3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST SAFETY PRACTICES. USE ONLY LABORERS EXPERIENCED IN THIS WORK. ALL REMOVALS AND CAPPING OF EXISTING UTILITY SERVICES, (ELECTRIC, PLUMBING, GAS, ETC.) TO BE DONE BY LICENSED TRADESMEN. THE HIGHEST DEGREE OF CARE AND PRECAUTION SHALL BE EXERCISED FOR ALL WORK RELATED TO THIS CONTRACT TO PREVENT PERSONAL INJURIES, DAMAGES TO PROPERTY AND DAMAGES TO EXISTING ACTIVE UTILITY SERVICES.	3. THE CONTRACTOR SHALL CAREFULLY INSPECT ALL EXISTING CONDITIONS PRIOR TO BIDDING AND INCLUDE ALL REMOVALS AS NECESSARY TO ACCOMPLISH THE NEW CONSTRUCTION. THE PLAN IS TO DESIGNATE THE GENERAL SCOPE OF REMOVALS.	3. FINAL LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PANEL BOARDS, METERS, FIXTURES, FLUES, VENTS ETC SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.		
AFF	above finished floor		INTERIOR ELEVATIONS		WALL-MOUNTED USB RECEPTACLE OUTLET	4. DEMOLITION PLAN IS TO BE USED IN CONJUNCTION WITH ALL ARCHITECTURAL AND ENGINEER'S DRAWINGS. ALL WORK IS TO BE COORDINATED WITH THE RESPECTIVE TRADES.	4. STRUCTURAL DRAWINGS GOVERN SIZES, SPACING AND CONNECTIONS OF ALL STRUCTURAL MATERIALS AND MEMBERS. IN CASE OF DISCREPANCIES CONSULT WITH THE ARCHITECT BEFORE COMMENCEMENT OF WORK.	4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.		
ARCH	architect/architectural		DETAIL REFERENCE		DUPLEX SPECIAL PURPOSE OUTLET					
@	at		ELEVATION MARKER		WALL-MOUNTED DATA JACK	5. THE CONTRACTOR SHALL CAREFULLY INSPECT ALL EXISTING CONDITIONS PRIOR TO BIDDING AND INCLUDE ALL REMOVALS AS NECESSARY TO ACCOMPLISH THE NEW CONSTRUCTION. THE PLAN IS TO DESIGNATE THE GENERAL SCOPE OF REMOVALS.	5. THE CONTRACTOR SHALL CAREFULLY INSPECT ALL EXISTING CONDITIONS PRIOR TO BIDDING AND INCLUDE ALL REMOVALS AS NECESSARY TO ACCOMPLISH THE NEW CONSTRUCTION. THE PLAN IS TO DESIGNATE THE GENERAL SCOPE OF REMOVALS.	5. FINAL LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PANEL BOARDS, METERS, FIXTURES, FLUES, VENTS ETC SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.		
BLDG	building		SPOT ELEVATION (PROPOSED IN BOX)		WALL-MOUNTED CABLE TELEVISION JACK	6. THE CONTRACTOR SHALL ISOLATE WORK AREAS, SO AS TO PROVIDE A DUST-FREE ENVIRONMENT IN OCCUPIED AREAS. ALL FURNITURE AND FIXTURES IN THE IMMEDIATE VICINITY OF WORK IS TO BE PROPERLY PROTECTED PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR TO PROVIDE AND TO MAINTAIN NECESSARY COVERINGS THROUGHOUT COURSE OF WORK, AND REMOVE AND DISPOSE OF THESE UPON COMPLETION OF EACH PHASE OF CONSTRUCTION, WHEREIN THE SITE SHALL BE LEFT ORDERLY AND BROOM SWEEP. ANY DAMAGE RESULTING FROM CONTRACTOR'S IMPROPER PROTECTION OF EXISTING OR NEW CONSTRUCTION, FIXTURES OR FURNITURE IS TO BE REPAIRED OR REPLACED (AS REQUIRED) BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.	6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.	6. EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT HIS WORK SHALL BE MADE BY THE CONTRACTOR WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF AS TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL, AT SUCH TIME, ASCERTAIN AND CHECK LOCATION OF EXISTING STRUCTURES OR EQUIPMENT WHICH MAY AFFECT HIS WORK. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE IN HIS BEHALF FOR ANY EXPENSE TO WHICH HE MAY BE PUT INTO DUE TO FAILURE OR NEGLECT ON HIS PART TO MAKE SUCH AN EXAMINATION. ANY CONFLICT OR OMISSIONS, ETC SHOULD BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO VARIATION BETWEEN ACTUAL MEASUREMENTS AND DIMENSIONS INDICATED ON THE DRAWINGS.		
BLKG	blocking		DOOR NUMBER		FLOOR-MOUNTED DUPLEX RECEPTACLE OUTLET	7. ALL DEBRIS RESULTING FROM THE OPERATION UNDER THIS CONTRACT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL NOT BE STORED OR PERMITTED TO ACCUMULATE ON THE SITE.	7. ALL DEBRIS RESULTING FROM THE OPERATION UNDER THIS CONTRACT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL NOT BE STORED OR PERMITTED TO ACCUMULATE ON THE SITE.	7. EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT HIS WORK SHALL BE MADE BY THE CONTRACTOR WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF AS TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL, AT SUCH TIME, ASCERTAIN AND CHECK LOCATION OF EXISTING STRUCTURES OR EQUIPMENT WHICH MAY AFFECT HIS WORK. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE IN HIS BEHALF FOR ANY EXPENSE TO WHICH HE MAY BE PUT INTO DUE TO FAILURE OR NEGLECT ON HIS PART TO MAKE SUCH AN EXAMINATION. ANY CONFLICT OR OMISSIONS, ETC SHOULD BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO VARIATION BETWEEN ACTUAL MEASUREMENTS AND DIMENSIONS INDICATED ON THE DRAWINGS.		
BLW	below		ROOM NAME ROOM NUMBER		THERMOSTAT	8. THROUGHOUT THE COURSE OF DEMOLITION AND CONSTRUCTION, ALL AREAS OF NEW CONSTRUCTION, AS WELL AS THE PATH OF ACCESS, SHALL BE KEPT CLEAN AND FREE OF DEBRIS, UNUSED EQUIPMENT, DISCARDED MATERIALS AND GARBAGE.	8. THROUGHOUT THE COURSE OF DEMOLITION AND CONSTRUCTION, ALL AREAS OF NEW CONSTRUCTION, AS WELL AS THE PATH OF ACCESS, SHALL BE KEPT CLEAN AND FREE OF DEBRIS, UNUSED EQUIPMENT, DISCARDED MATERIALS AND GARBAGE.	8. THE CONTRACTOR IS CAUTIONED THAT HIS WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE SCOPE OF THE WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE PLANS, SHALL BE PERFORMED BY HIM AND INCLUDED IN HIS WORK AT NO ADDITIONAL COST TO THE OWNER.		
BO	bottom of		DIMENSION		DOOR BELL BUZZER	9. REPAIR ALL SURFACES AT POINTS OF REMOVAL, DEMOLITION OR NEW CONSTRUCTION, INCLUDING FLOORING, BASE, PAINT, ETC. WHERE IT IS POSSIBLE TO MATCH THE EXISTING FINISH TO THE SATISFACTION OF THE ARCHITECT, THE CONTRACTOR SHALL PROVIDE A NEW FINISH IN DESIGNATED AREAS.	9. REPAIR ALL SURFACES AT POINTS OF REMOVAL, DEMOLITION OR NEW CONSTRUCTION, INCLUDING FLOORING, BASE, PAINT, ETC. WHERE IT IS POSSIBLE TO MATCH THE EXISTING FINISH TO THE SATISFACTION OF THE ARCHITECT, THE CONTRACTOR SHALL PROVIDE A NEW FINISH IN DESIGNATED AREAS.	9. ITEMS OF WORK INDICATED ON THE DRAWINGS AS N.I.C. (NOT IN CONTRACT) SHALL BE PERFORMED, FURNISHED OR LET UNDER SEPARATE CONTRACT BY THE OWNER. THE CONTRACTOR SHALL COORDINATE HIS WORK ACCORDINGLY AS REQUIRED FOR A SMOOTH WORK SCHEDULE.		
CAB	cabinet		DIMENSION TO CL OR GRIDLINE		DOOR BELL CHIME	10. ALL MEASUREMENTS ARE TO BE VERIFIED IN FIELD AND ANY DISCREPANCIES THEREOF BROUGHT TO THE ATTENTION OF THE ARCHITECT.	10. ALL MEASUREMENTS ARE TO BE VERIFIED IN FIELD AND ANY DISCREPANCIES THEREOF BROUGHT TO THE ATTENTION OF THE ARCHITECT.	10. IT SHALL BE CONSTRUED THAT EACH SUBCONTRACT IS AN INTEGRAL PART OF THE GENERAL CONTRACT AND CONTRACTOR SHALL PROVIDE AND MAINTAIN IN FULL OPERATION AT ALL TIMES DURING THE PERFORMANCE OF THE CONTRACT A SUFFICIENT CREW OF LABORERS, MECHANICS AND FOREMAN TO PROSECUTE THE WORK WITH DISPATCH.		
CL	center line		CENTERLINE		WALL SWITCH					
CLG	ceiling		SHEET NUMBER		3-WAY WALL SWITCH	11. THE CONTRACTOR SHALL ARRANGE FOR THE PREMISES TO BE MAINTAINED IN AN ORDERLY MANNER THROUGHOUT THE COURSE OF THE JOB. HE SHALL MAINTAIN CLEANLINESS THROUGHOUT AND CONTROL ANY DUST CAUSED BY THE WORK, AS WELL AS PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE COURSE OF CONSTRUCTION.	11. THE CONTRACTOR SHALL ARRANGE FOR THE PREMISES TO BE MAINTAINED IN AN ORDERLY MANNER THROUGHOUT THE COURSE OF THE JOB. HE SHALL MAINTAIN CLEANLINESS THROUGHOUT AND CONTROL ANY DUST CAUSED BY THE WORK, AS WELL AS PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE COURSE OF CONSTRUCTION.	11. THE CONTRACTOR SHALL ARRANGE FOR THE PREMISES TO BE MAINTAINED IN AN ORDERLY MANNER THROUGHOUT THE COURSE OF THE JOB. HE SHALL MAINTAIN CLEANLINESS THROUGHOUT AND CONTROL ANY DUST CAUSED BY THE WORK, AS WELL AS PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE COURSE OF CONSTRUCTION.		
COL	column		WINDOW NUMBER		DIMMABLE WALL SWITCH					
CONC	concrete		DIMENSION		DIMMABLE 3-WAY WALL SWITCH	12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.		
CONST	construction		DIMENSION TO CL OR GRIDLINE		FAN SWITCH					
CONT	continuous		CENTERLINE		SMOKE DETECTOR	13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.		
DIA/Ø	diameter		CENTERLINE		CARBON MONOXIDE DETECTOR					
DIM	dimension		CENTERLINE		COMBO SMOKE DETECTOR & CARBON MONOXIDE UNIT	14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.		
DISP	disposal		CENTERLINE		J BOX					
DN	down		CENTERLINE		EXHAUST FAN	15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.		
DET/DTL	detail		CENTERLINE		EXHAUST FAN W/ LIGHT					
DWG	drawing		CENTERLINE		EXHAUST FAN W/ LIGHT & HEAT	16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.		
DW	dishwasher		CENTERLINE		RECESSED CAN LIGHT					
E	east		CENTERLINE		RECESSED CAN LIGHT; WET LOCATION	17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.		
EA	each		CENTERLINE		BIG PENDANT					
ELEC	electrical		CENTERLINE		SURFACE MOUNTED FIXTURE	18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.		
EQ	equal		CENTERLINE		WALL SCONCE					
EQUIP	equipment		CENTERLINE		UNDER-CABINET FIXTURE	19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.		
EXIST/EXTG	existing		CENTERLINE		LED GARAGE SHOP LIGHT					
EXT	exterior		CENTERLINE		CEILING FAN (W/O LIGHT KIT)	20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.		
FF	freezer		CENTERLINE		CEILING FAN W/ LIGHT KIT					
FIN	finished floor		CENTERLINE		EXTERIOR FLOOD LIGHTS	21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.		
FINX	finish		CENTERLINE		ELECTRICAL PANEL					
FLR	floor		CENTERLINE		A/C SUPPLY REGISTER / VENT	22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.	22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS			

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LEGEND

NOTES

ISSUE	
BID SET	12/20/22
REVISED BID SET	01/12/23
PRICING PROGRESS SET	03/23/23
PRICING PROGRESS SET REV	04/06/23
PRICING PROGRESS SET REV1	04/21/23
PRICING PROGRESS SET REV2	06/13/23
PRICING PROGRESS SET REV3	06/29/23
PERMIT SET	07/20/23



RUTHERFORD
RESIDENCE

806 RUTHERFORD PLACE
AUSTIN, TX 78704

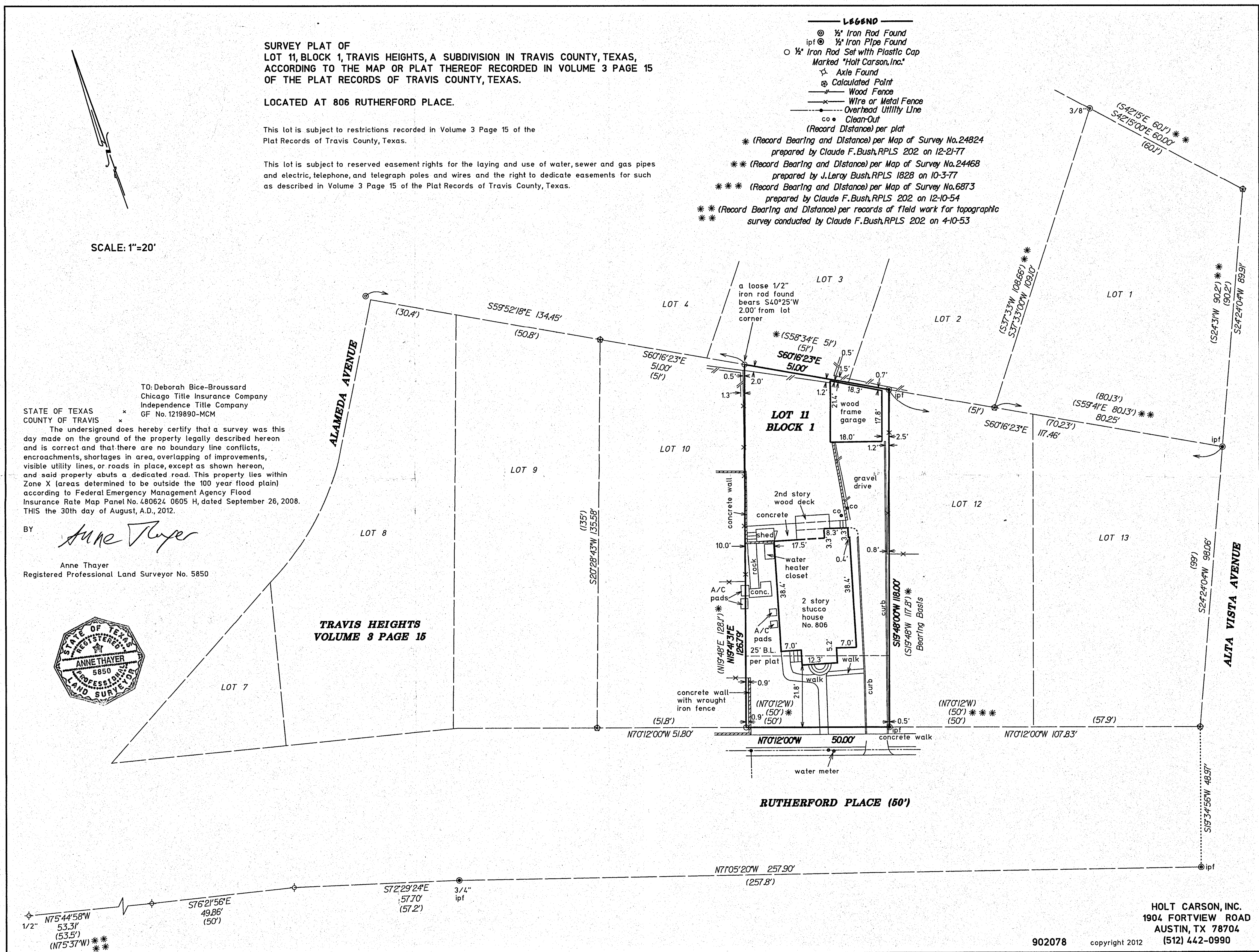
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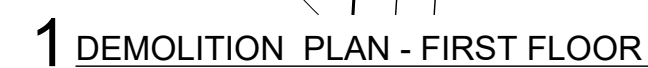
SURVEY

SCALE: _____ AS NOTED

DATE: 12/06/22

PROJECT NO: 2214






CONSULTANTS

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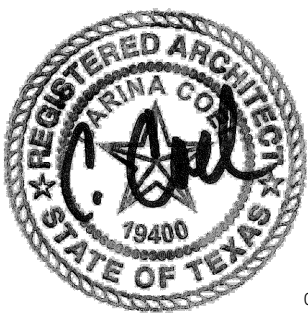
LEGEND

 EXISTING WALL, DOOR, ETC
TO BE REMOVED

NOTES

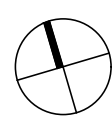
ISSUE

PRICING PROGRESS SET REV2	06/13/23
PRICING PROGRESS SET REV3	06/29/23
PERMIT SET	07/20/23



**RUTHERFORD
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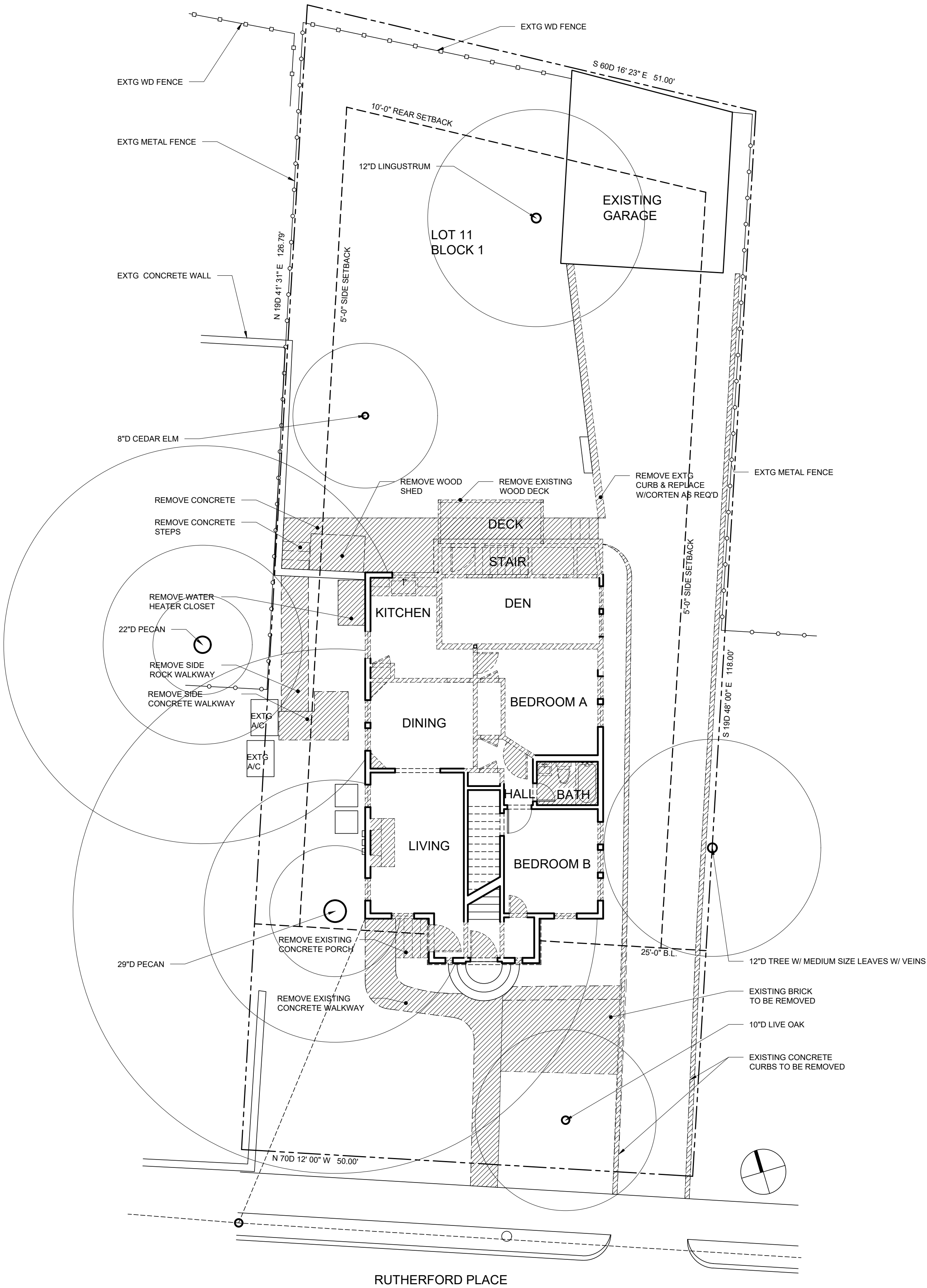


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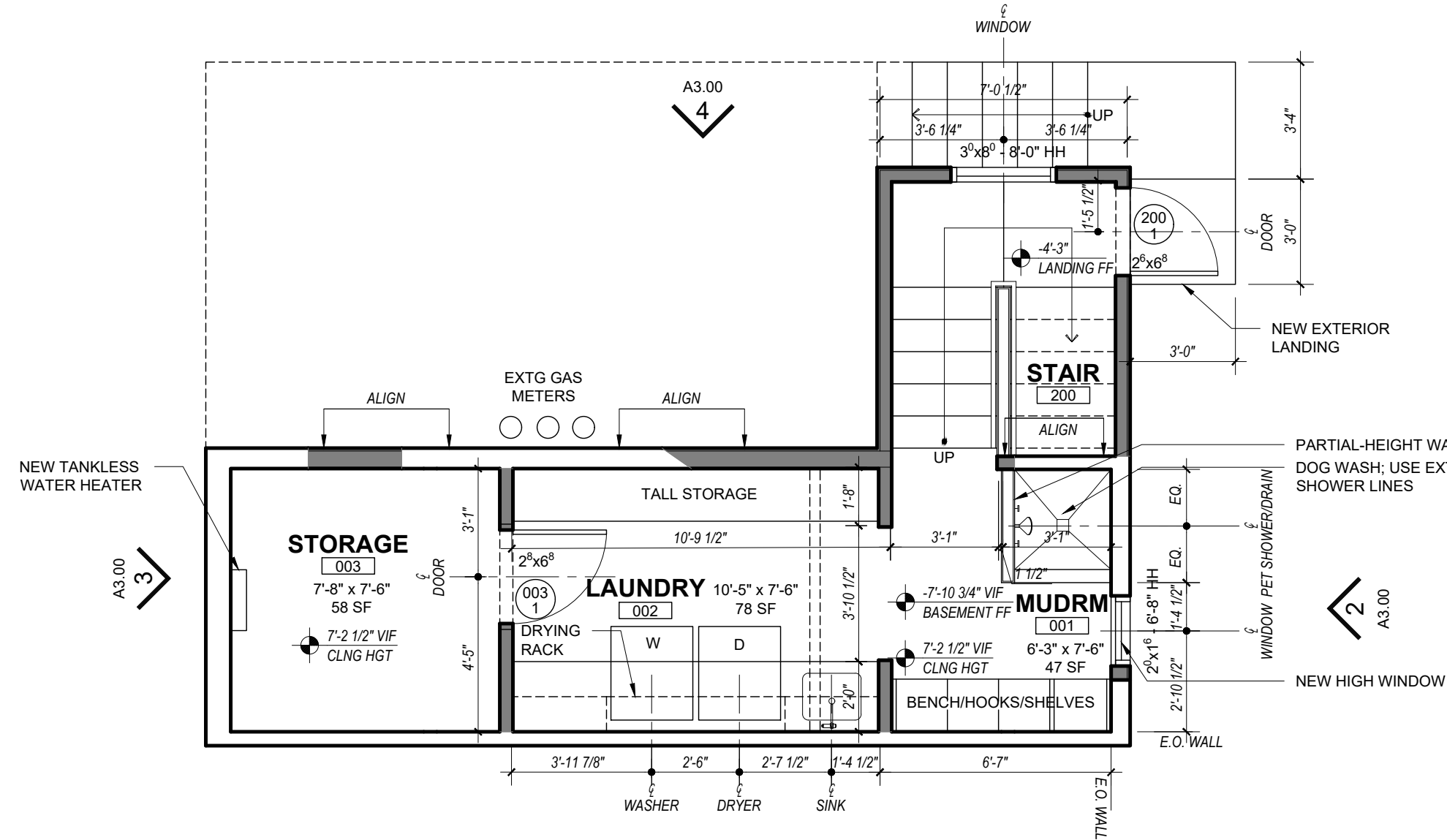
D2.01

DEMOLITION SITE PLAN

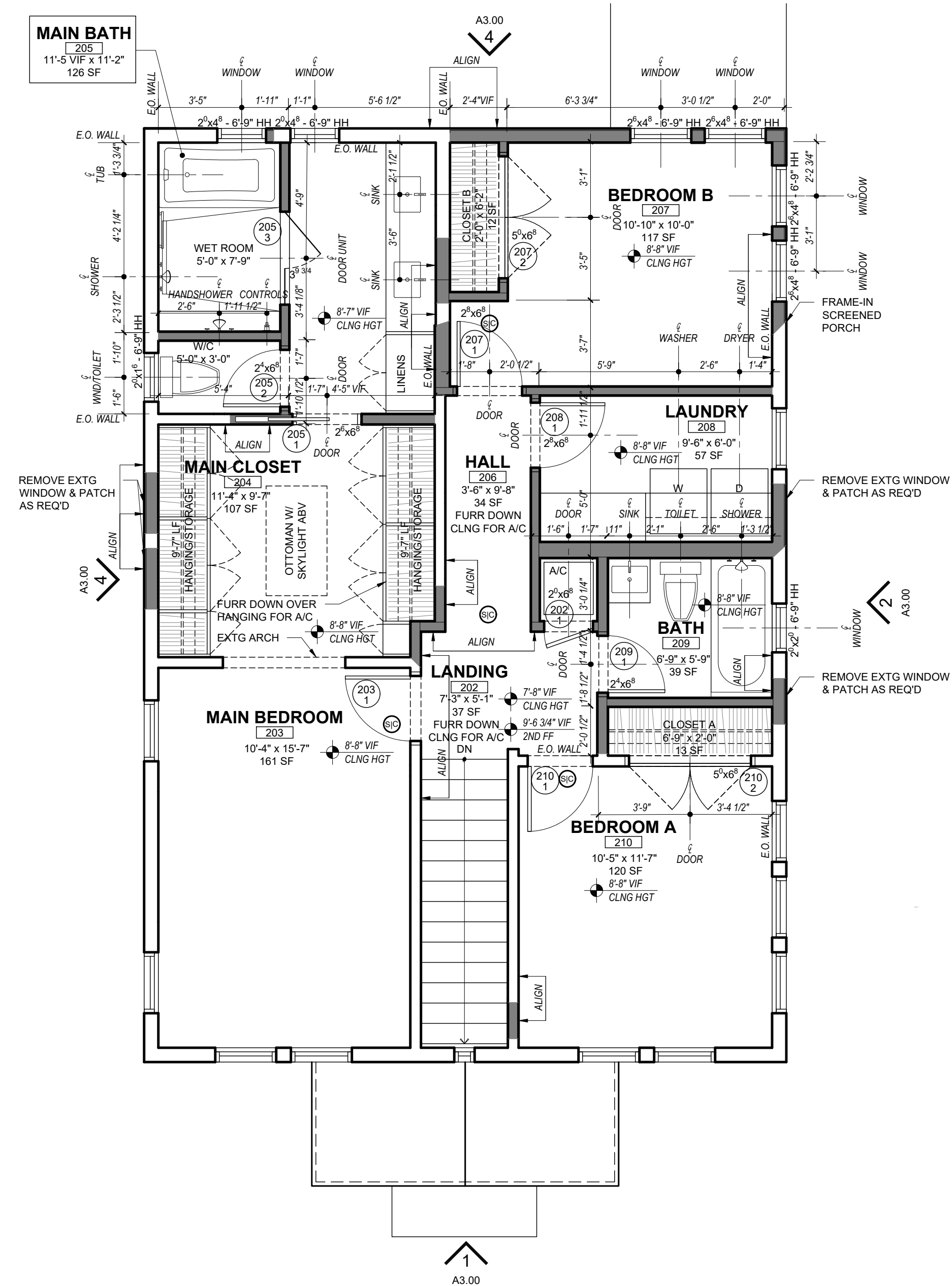
SCALE:	1/8"=1'-0"
DATE:	06/13/23
PROJECT NO:	2214



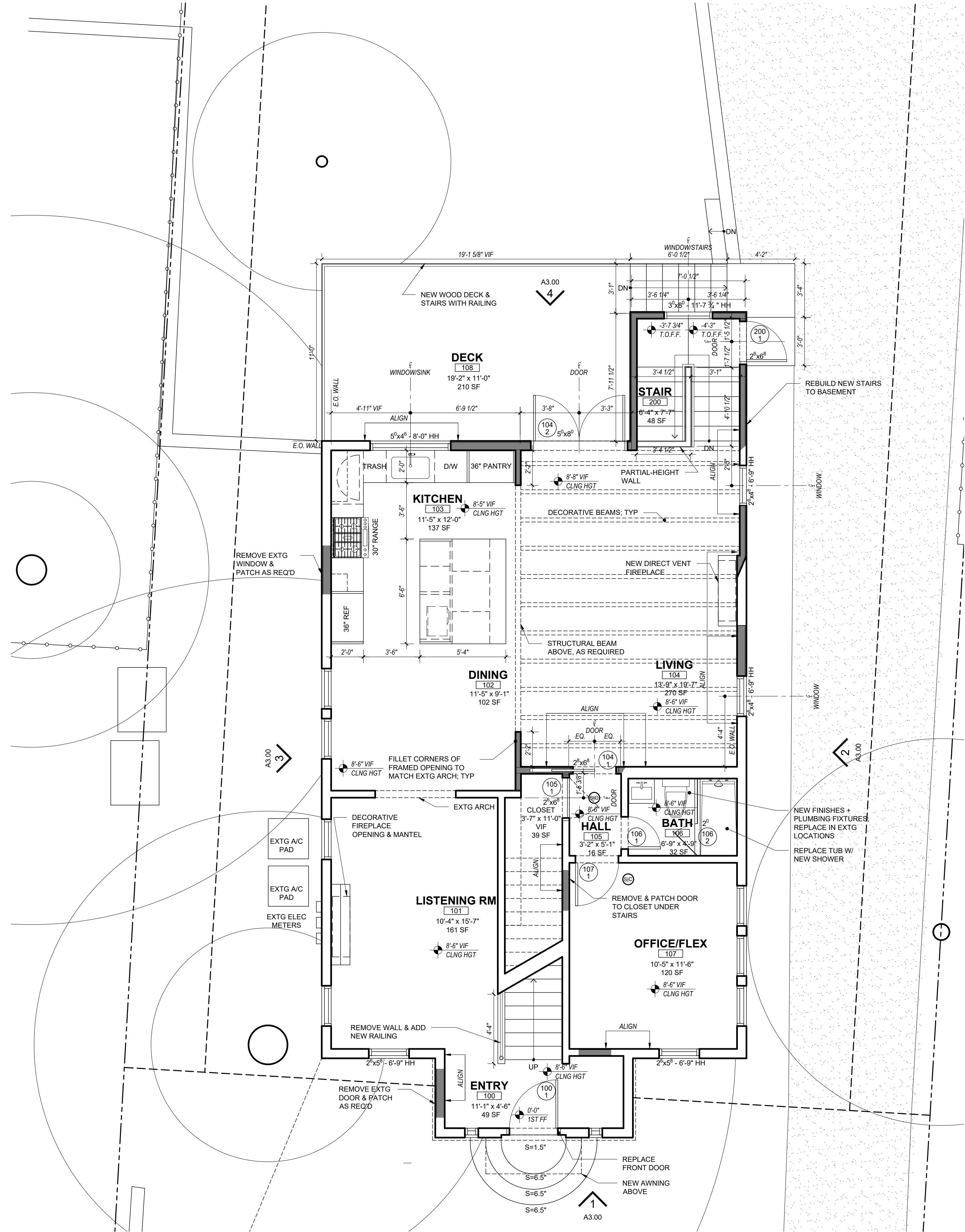
3 CONSTRUCTION PLAN - BASEMENT FLOOR




2 CONSTRUCTION PLAN - SECOND FLOOR



1 CONSTRUCTION PLAN - FIRST FLOOR



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WWW.RESTRUCTURESTUDIO.COM

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LEGEND

XXX DOOR TAG


SIC SMOKE CARBON MONOXIDE DETECTOR COMBO

NOT IN CONTRACT

NEW WALL


NOTES
1. ALL DIMENSIONS ARE TO FRAMING U.O.N
2. INSTALL A SMOKE DETECTOR SYSTEM - HARD WIRED, INTERCONNECTED, BATTERY BACK-UP AT EACH SLEEPING ROOM & VICINITY. PER IRC 2021 SEC0314
3. APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN THE DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND DWELLING UNITS THAT HAVE ATTACHED GARAGES. IN ACCORDANCE WITH 2021 IRC SEC R315.1

ISSUE	
BID SET	12/20/22
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PRICING PROGRESS SET REV3	06/29/23
PERMIT SET	07/20/23



07/20/23

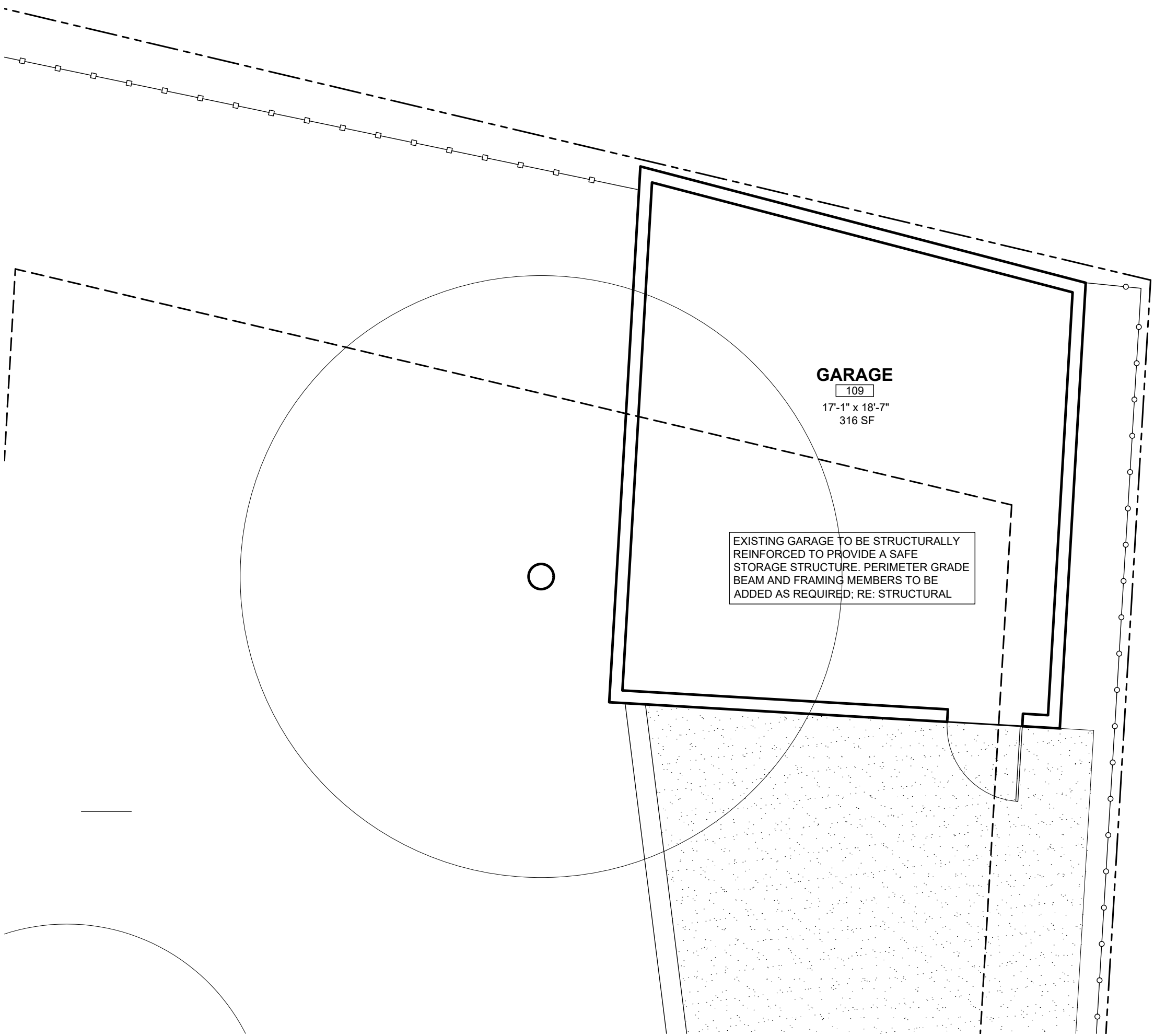
RUTHERFORD RESIDENCE
806 RUTHERFORD PLACE
AUSTIN, TX 78704



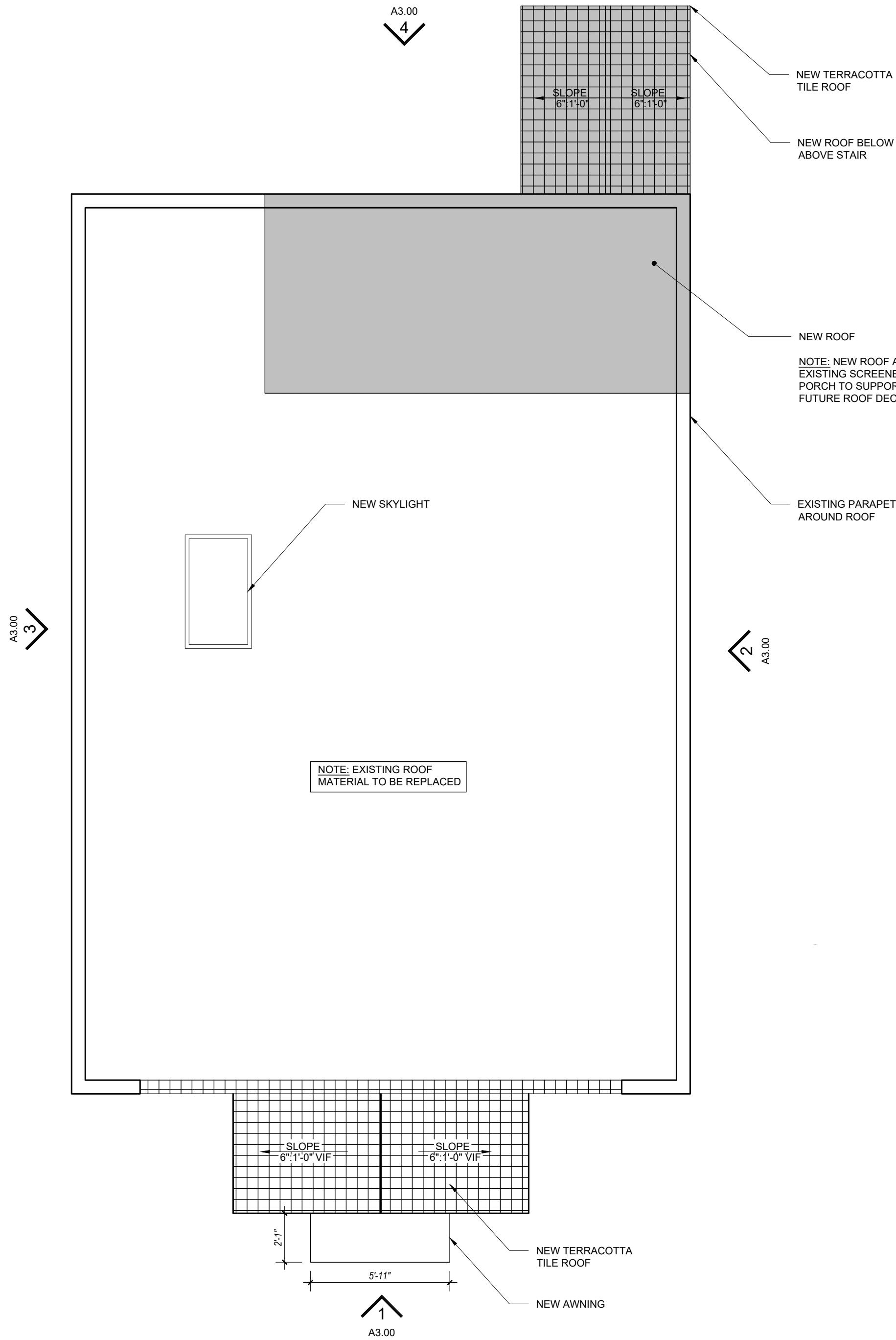
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A2.00
CONSTRUCTION PLANS
FIRST, SECOND &
BASEMENT FLOOR

SCALE: 1/4"=1'-0"
DATE: 12/16/2022
PROJECT NO: 2214



2 CONSTRUCTION PLAN - GARAGE



1 CONSTRUCTION PLAN - ROOF

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- LEGEND
- DOOR TAG
 - SMOKE CARBON MONOXIDE DETECTOR COMBO
 - NOT IN CONTRACT
 - NEW ROOF AREA

- NOTES
- ALL DIMENSIONS ARE TO FRAMING U.O.N
 - INSTALL A SMOKE DETECTOR SYSTEM - HARD WIRED, INTERCONNECTED, BATTERY BACK-UP AT EACH SLEEPING ROOM & VICINITY. PER IRC 2021 SEC0314
 - APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN THE DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND DWELLING UNITS THAT HAVE ATTACHED GARAGES. IN ACCORDANCE WITH 2021 IRC SEC R315.1

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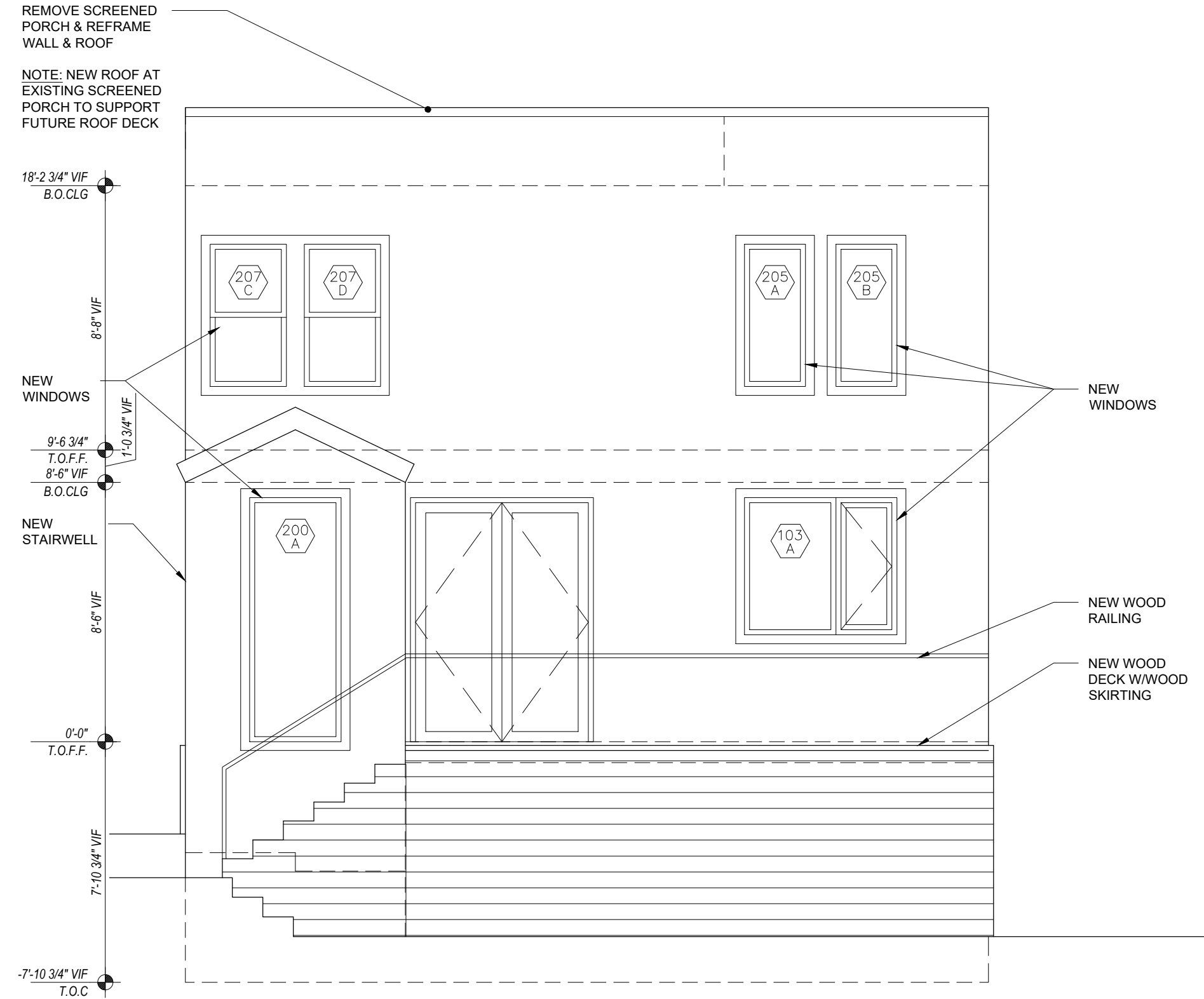


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AUSTIN, TX 78704

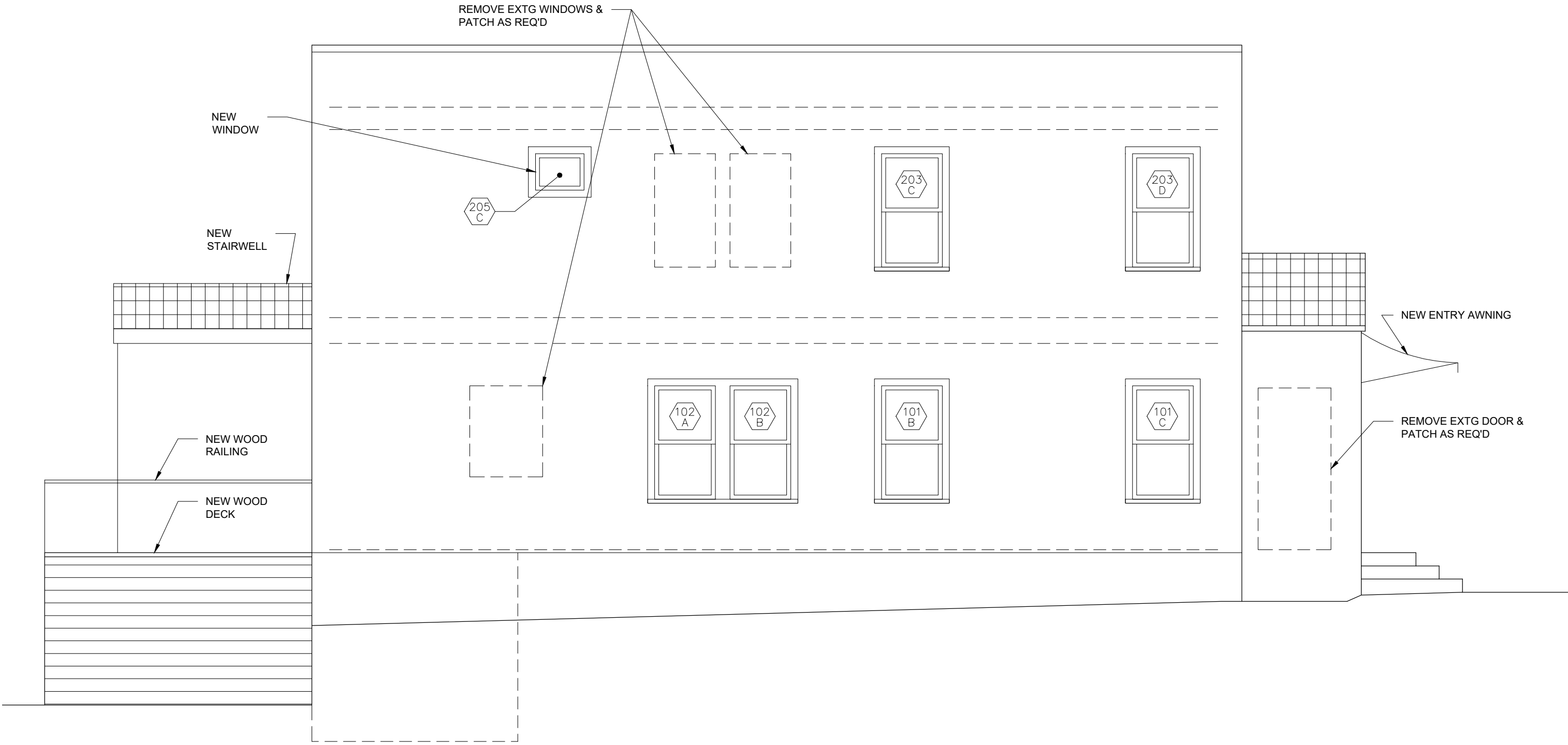
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A2.01
CONSTRUCTION PLANS
ROOF & GARAGE

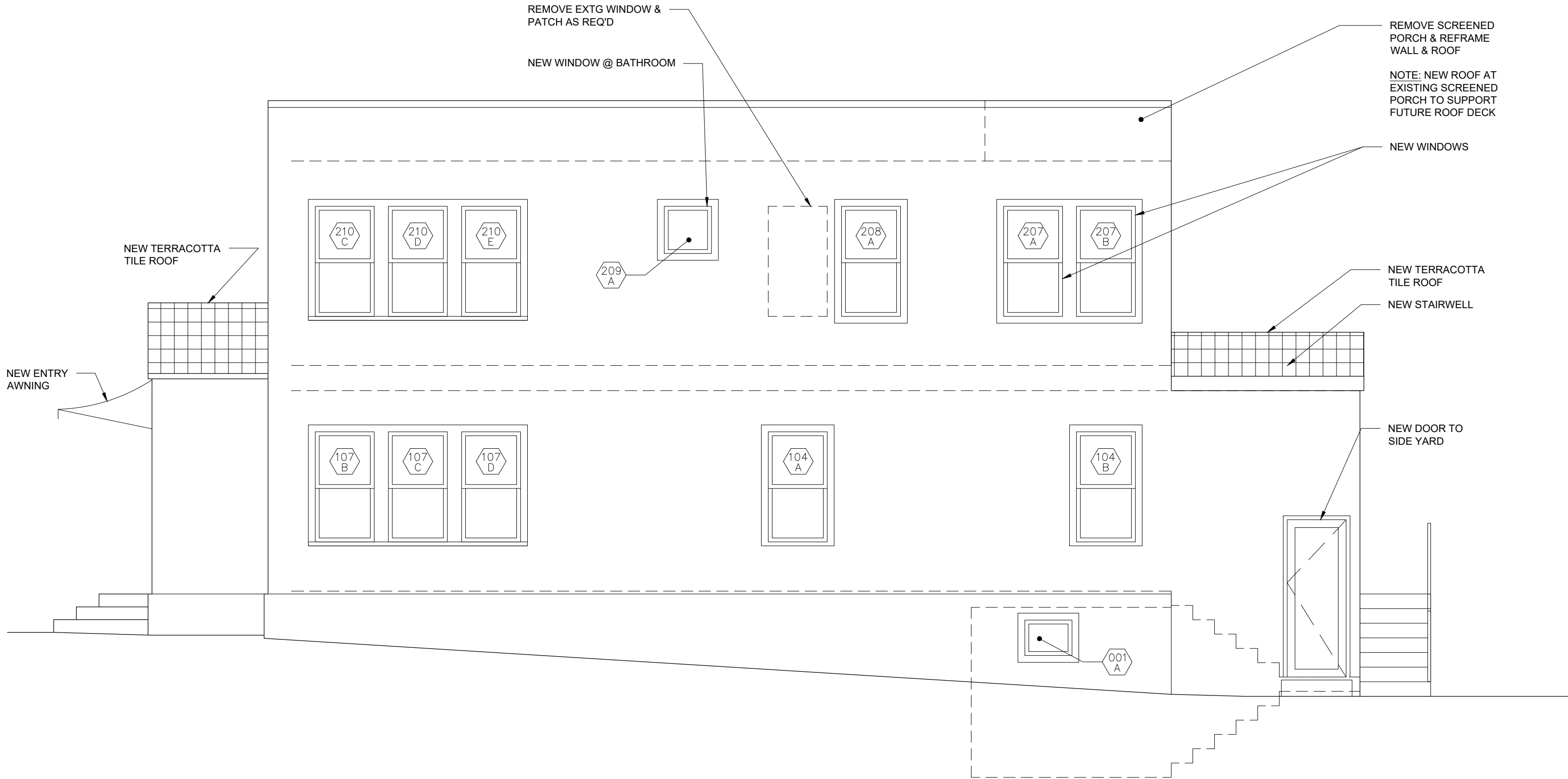
SCALE: 1/4"=1'-0"
DATE: 12/18/2022
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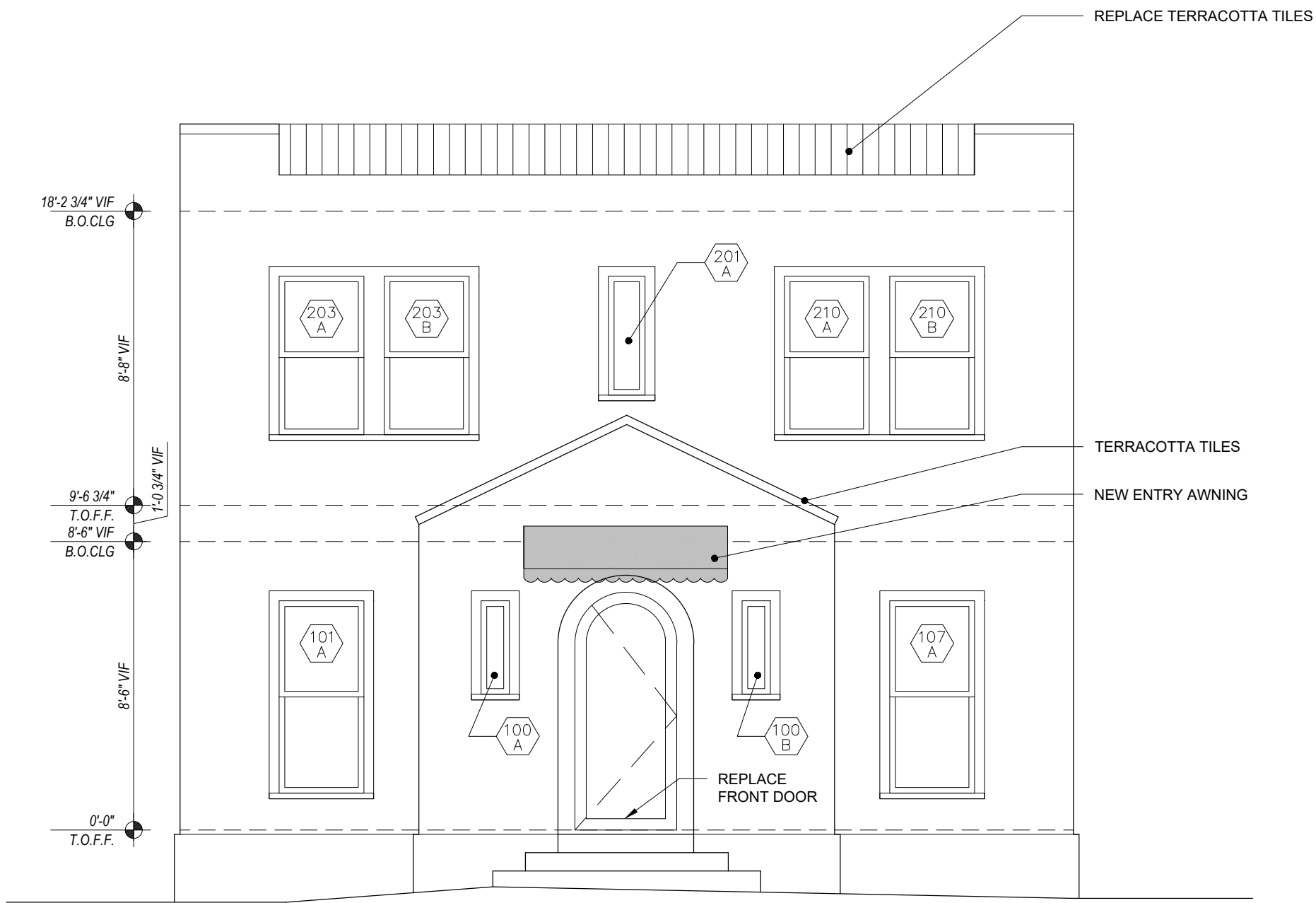
4 REAR ELEVATION (NORTH)




3 SIDE ELEVATION (WEST)



2 SIDE ELEVATION (EAST)



1 FRONT ELEVATION (SOUTH)

**RESTRUCTURESTUDIO**
7500 LADLE LANE AUSTIN, TX 78749
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INFO@NEONAGAVE.COM

LEGEND

NOTES
1. EXTERIOR STUCCO FINISH TO BE RE-TEXTURED
WITH A SMOOTHER FINISH AND NEW COLOR

ISSUE	
BID SET	12/20/22
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07/20/23
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A3.00
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"
DATE: 12/18/2022
PROJECT NO: 2214

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LEGEND

NOTES

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A6.00

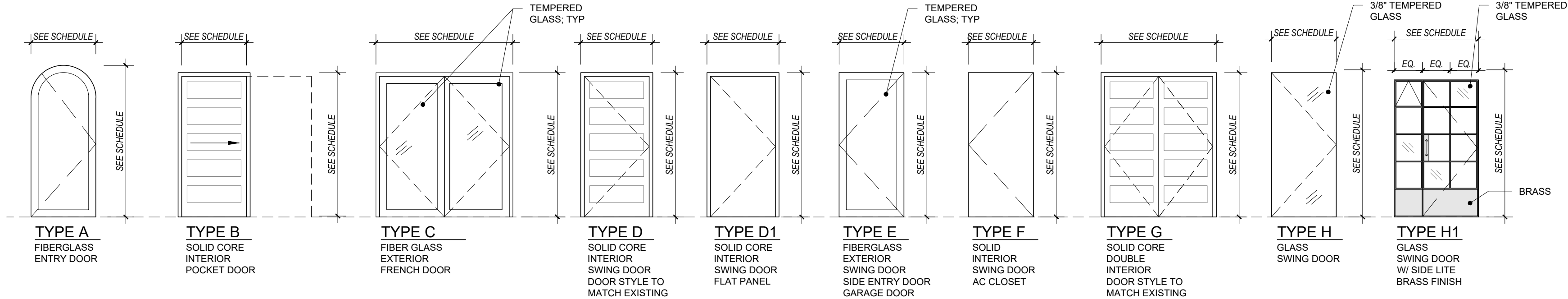
DOOR & WINDOW
SCHEDULE

SCALE: 1/4"=1'-0"
DATE: 12/19/22
PROJECT NO: 2214

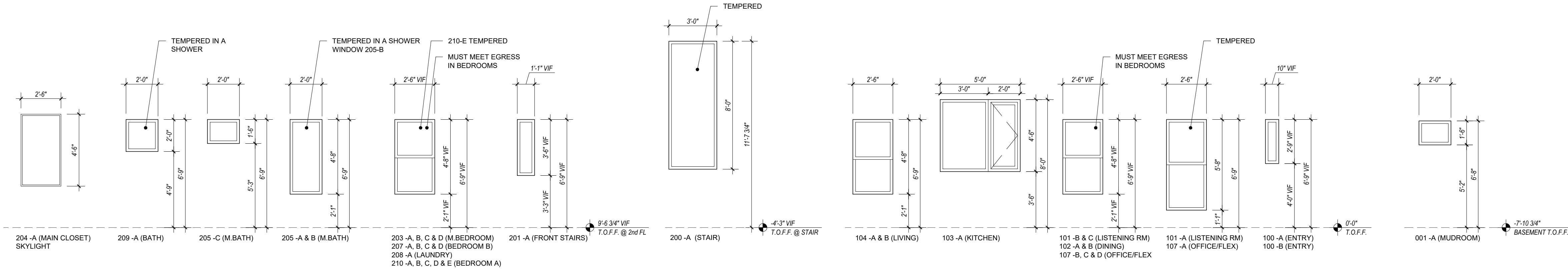
DOOR SCHEDULE: RUTHERFORD RESIDENCE

DOOR SCHEDULE							
DOOR NO.	ROOM NAME	INT/ EXT	DOOR TYPE	LEAF SIZE		HARDWARE TYPE	NOTES
				WIDTH	HEIGHT		
First Floor							
100-1	ENTRY	E	A	3'-0" VIF	7'-0" VIF	Entry	Rounded door see A3.00 #1
104-1	LIVING	I	B	2'-8"	6'-8"	Passage	Pocket door
104-2	LIVING	E	C	5'-0"	8'-0"	Entry	French Exterior Door
105-1	HALL	I	D	2'-6"	6'-8"	Passage	
106-1	BATH	I	D	2'-0" VIF	6'-8" VIF	Privacy	Existing Door
106-2	BATH	I	H	2'-0"	-	-	Glass Shower Door
107-1	OFFICE/FLEX	I	D	2'-8" VIF	6'-8" VIF	Privacy	Existing Door
200-1	STAIR	E	E	2'-6"	6'-8"	Entry	Side Entrance
Second Floor							
202-1	AC CLOSET	I	F	2'-0"	6'-8"	Passage	
203-1	MAIN BEDROOM	I	D	2'-8" VIF	6'-8" VIF	Privacy	Existing Door
205-1	MAIN BATHROOM	I	B	2'-6"	6'-8"	Privacy	Pocket door
205-2	MAIN BATHROOM	I	D1	2'-4"	6'-8"	Privacy	
205-3	MAIN BATHROOM	I	H1	3'-9 3/4"	-	-	Glass Shower Door w/ side lite
207-1	BEDROOM B	I	D	2'-8"	6'-8"	Privacy	
207-2	BEDROOM B	I	G	5'-0"	6'-8"	Passage	French Door
208-1	LAUNDRY	I	D	2'-8"	6'-8"	Passage	
209-1	BATH	I	D	2'-4"	6'-8"	Privacy	
210-1	BEDROOM A	I	D	2'-8"	6'-8"	Privacy	Existing Door
210-2	BEDROOM A	I	G	5'-0"	6'-8"	Passage	French Door
Basement Floor							
003-1	STORAGE	I	D	2'-8"	6'-8"	Passage	
NOTE: All existing door hardware to be cleaned and re-installed							

NOTE: All existing door hardware to be cleaned and re-installed



2 DOOR ELEVATIONS



1 WINDOW ELEVATIONS