



6/28/2023  
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# WEST 10TH - PERMIT SET

1505 WEST 10TH STREET, AUSTIN, TX 78703

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## OWNER INFORMATION

CODY MITCHELL & DANIELLA BUSTILLOS  
1505 WEST 10TH ST, AUSTIN, TX 78703

## CONTACTS

ARCHITECT:

SIDE ANGLE SIDE  
470 RED BLUFF ROAD  
AUSTIN, TEXAS 78702  
ANNIE LAURE GRABIEL  
(305) 904.9318 or (305) 450.0806

CONTACT:

PHONE:

## CODE ANALYSIS

BUILDING CODE:	INTERNATIONAL RESIDENTIAL BUILDING CODE 2021, WITH AUSTIN AMENDMENTS
GEOGRAPHIC ID:	WU (WILDLAND URBAN INTERFACE CODE)
BUILDING DESCRIPTION:	3 STORY SLAB ON GRADE (W/ STUCCO)
LEGAL JURISDICTION:	CITY OF AUSTIN, TEXAS, TRAVIS COUNTY

## LEGAL DESCRIPTION

BEING A 0.336 ACRE PORTION OF A TRACT OF LAND CALLED 189.5' X 225' OUT OF OUTLOT 4, DIVISION 2, ORIGINAL CITY OF AUSTIN, SAME BEING THAT CERTAIN TRACT OF LAND CONVEYED BY DEED TO SAM LINCOLN ARCHER, AS RECORDED IN VOL. 410428 PG. 233, DEED RECORDS, TRAVIS COUNTY, TEXAS.

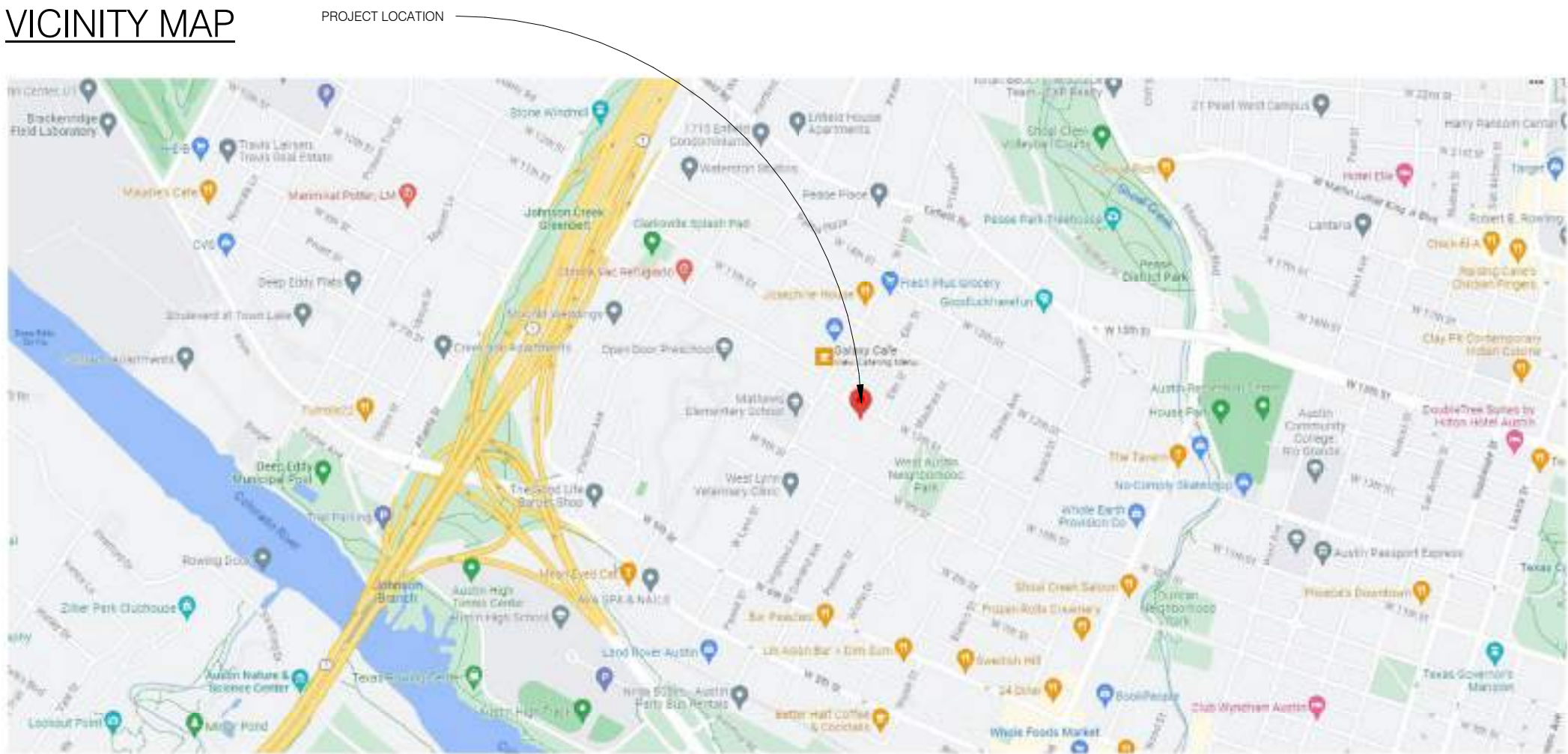
## SITE INFORMATION

SITE INFORMATION GATHERED FROM SURVEY PERFORMED BY ALL POINTS SURVEYING ON 11/10/2022.

## ZONING INFORMATION

ZONING:	SF-3 NP
FUTURE LAND USE:	SF-3 NP
PROPERTY ID:	X
LEGAL DESCRIPTION:	BEING A 0.336 ACRE PORTION OF A TRACT OF LAND CALLED 189.5' X 225' OUT OF OUTLOT 4, DIVISION 2, ORIGINAL CITY OF AUSTIN, SAME BEING THAT CERTAIN TRACT OF LAND CONVEYED BY DEED TO SAM LINCOLN ARCHER, AS RECORDED IN VOL. 410428 PG. 233, DEED RECORDS, TRAVIS COUNTY, TEXAS.
DATE BUILT:	1987
NEIGHBORHOOD:	CLARKSVILLE
NEIGHBORHOOD PLAN:	OLD WEST AUSTIN NEIGHBORHOOD (OWANA)
TCD:	N/A
OVERLAY DISTRICT:	N/A
FLOODPLAIN:	N/A
WATERSHED:	N/A
EASEMENTS:	7' 4" P.U.E. AT REAR OF PROPERTY
DEED RESTRICTIONS:	YES
OPEN/EXP'D PERMITS:	NONE
PROTECTED TREES:	YES (0)
MOANSION:	YES
COMPATIBILITY STANDARDS:	CSM AMENDMENTS
MINIMUM SETBACKS:	FRONT: 20' INTERIOR SIDE: 5' REAR: 10' (5' ALLEY)
MAX. BLDG. HEIGHT:	35'
LOT SIZE:	14,636 SF (0.336 ACRE) PER SURVEY
MAX BLDG. COVERAGE:	5,854.4 SF (40%)
MAX IMPERVIOUS COVER:	6,586.2 SF (45%)
MAX F.A.R.:	5,854.4 SF (40%)
PARKING:	PER BUILDING USE PROPOSED (CODE: 25-6 ZONING/TRANSPORTATION/APPENDIX A)

## VICINITY MAP



TAKEN FROM GOOGLE MAPS

## SYMBOL LEGEND

	EXTERIOR ELEVATION SYMBOL
	INTERIOR ELEVATION SYMBOL
	SECTION DETAIL SYMBOL
	SECTION SYMBOL
	PARTITION TYPE SYMBOL
	ROOM ID TAG
	DETAIL SYMBOL
	DOOR ID TAG
	WINDOW ID TAG

# WEST 10TH

1505 WEST 10TH ST, AUSTIN, TX 78703

## ISSUE SETS

DATE	DESCRIPTION
6.28.23	PERMIT SET

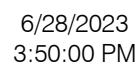
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COVER SHEET

# G1.0



09 Red Bluff Road  
Austin, TX 78702



8" OF MULCH FOR ALL AREAS OF THE **FULL CRZ** NOT PROTECTED BY THE FENCING

TREE PROTECTION FENCING

MATERIALS AND STAGING

ASSUMED EXISTING UNDERGROUND WASTEWATER LINE

NEW WASTEWATER LINE

NEW WATER LINE

NEW GAS LINE

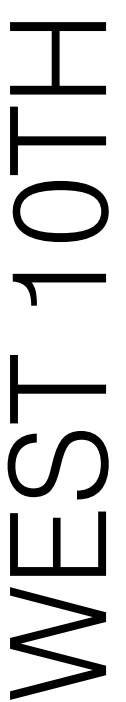
NEW UNDERGROUND ELECTRICAL LINE

EXISTING OVERHEAD POWER LINES

1. MULCH TRAFFIC AREA AND SET PROTECTIVE FENCING AROUND FULL CURB OF ALL PROTECTED TREES
2. NO CONSTRUCTION STAGING WITHIN CRITICAL ROOT ZONES
3. FOOTINGS WITHIN CRITICAL ROOT ZONES TO BE EXCAVATED USING AN AIR SPADE BY CERTIFIED AEROSOL CUT AND LIFTING DISCREET SOIL TREATMENT. IF ANY ROOTS ARE EXPOSED, THEY MUST BE PROTECTED. IF ANY ROOTING MUST BE MOVED TO AVOID ROOT, CONTACT ENGINEER FOR DIRECTION OF SHIFT.
4. MATERIAL STATIONS, DUMPTERS AND SPILLS PLACEMENT CANNOT BE WITHIN THE 1/2 CURB OF PROTECTED TREES. PORTABLE TOILET AND CONCRETE WASHOUT CANNOT BE WITHIN THE FULL CURB OF ANY PROTECTED TREES. COORDINATE EXACT LOCATIONS WITH TREE INSPECTOR DURING PRE-CONSTRUCTION MEETING.
5. WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SPILLAGE FROM LEACHING INTO THE SOIL OF ANY PROTECTED TREES.
6. IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CURB OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2X4 LUMBER UNDER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SOIL TO LEAVE A MAX. LAYER OF 3" WITHIN ROOT ZONES.
7. AN 8 INCH LAYER OF MULCH SHALL BE INSTALLED OVER ANY UNFENCED AREAS OF FULL CURB TO HELP LIMIT SOIL/ROOT COMPACTION ON PROTECTED TREES.
8. USE LOW IMPACT AIR-SPADE OR HAND DIGGING METHOD TO BURY ALL ELECTRIC, GAS, AND UTILITY LINES WHEN THEY ARE LOCATED WITHIN THE CRITICAL ROOT ZONE. AVOID AVOID CUTTING ANY ROOTS GREATER THAN 1.5 IN. IN DIAMETER OR GREATER.

- AVERAGE GRADE @ NEW STRUCTURE = 550' - 6 3/4"
- AVOID THE 1/2 CRITICAL ROOT ZONE OF ANY PROTECTED TREE WITH ANY NEWLY PROPOSED UTILITY ROUTES AND METER LOCATIONS.
- CONFIRM UTILITY LOCATION WITH TAP PLAN.

SITE INFORMATION GATHERED FROM SURVEY PERFORMED BY ALLPOINTS SURVEYING ON 11/10/2022



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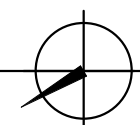
## ISSUE SETS

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## REE PROTECTION PLAN

① TREE PROTECTION PLAN  
1/8" = 1'-0"



# A0.1



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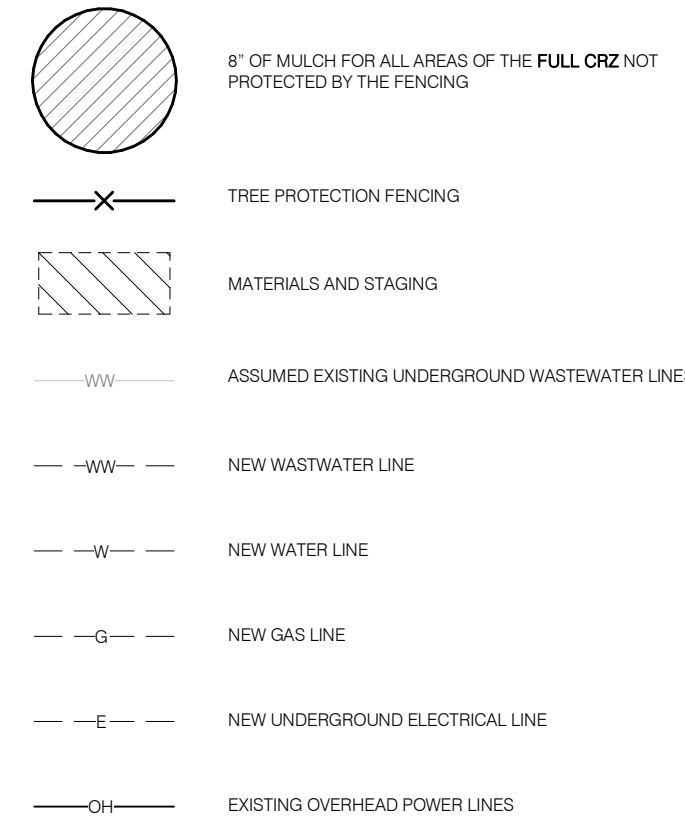
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SITE PLAN

A0.2

## TREE PROTECTION LEGEND



## TREE PROTECTION NOTES:

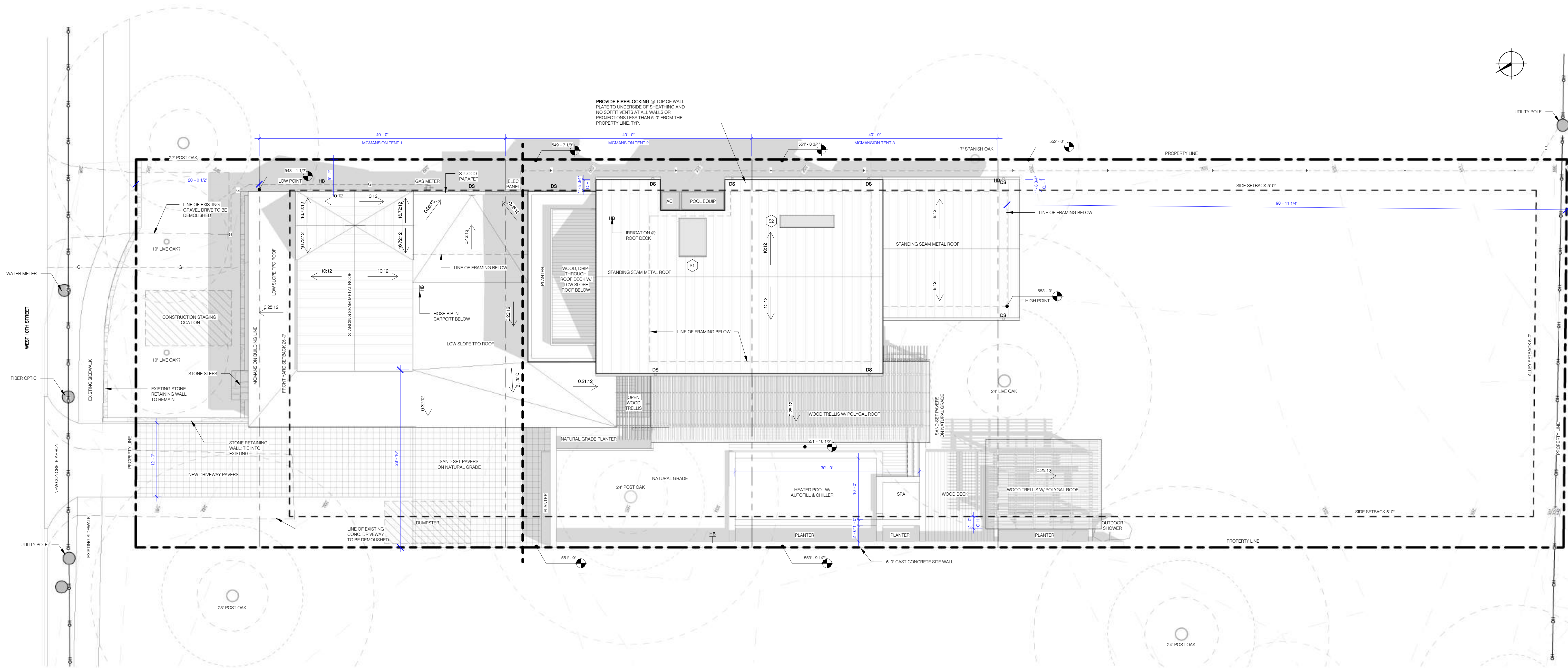
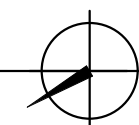
- MULCH TRAFFIC AREA AND SET PROTECTIVE FENCING AROUND FULL CRZ OF ALL PROTECTED TREES
- NO CONSTRUCTION STAGING WITHIN CRITICAL ROOT ZONES.
- FOOTINGS WITHIN CRITICAL ROOT ZONES TO BE EXCAVATED USING AN AIR SPADE BY A CERTIFIED ARBORIST ON SITE AND USING PRESCRIBED SOIL TREATMENT. IF ANY ROOTS 1.5\"/>
- MATERIAL STAGING, DUMPSTER AND SPOILS PLACEMENT CANNOT BE WITHIN THE 1/2 CRZ OF ANY PROTECTED TREES. PORTABLE TOILET AND CONCRETE WASHOUT CANNOT BE WITHIN THE FULL CRZ OF ANY PROTECTED TREES. COORDINATE EXACT LOCATIONS WITH TREE INSPECTOR DURING PRE-CONSTRUCTION MEETING.
- WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES.
- IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 84\"/>
- AN 8 INCH LAYER OF MULCH SHALL BE INSTALLED OVER ANY UNFENCED AREAS OF FULL CRZ TO HELP LIMIT SOIL/ROOT COMPACTION ON PROTECTED TREES.
- USE LOW IMPACT AIR-SPADE OR HAND DIGGING METHOD TO BURY ALL ELECTRIC, GAS, AND WATER LINES WHEN THE CRZ OF ANY PROTECTED TREES CANNOT BE AVOIDED. AVOID CUTTING ANY ROOTS GREATER THAN 1.5\"/>

## NOTE:

- AVERAGE GRADE @ NEW STRUCTURE = **550' - 6 3/4"**
- AVOID THE 1/2 CRITICAL ROOT ZONE OF ANY PROTECTED TREE WITH ANY NEWLY PROPOSED UTILITY ROUTES AND METER LOCATIONS.
- CONFIRM UTILITY LOCATION WITH TAP PLAN.

## SITE INFORMATION

SITE INFORMATION GATHERED FROM SURVEY PERFORMED BY ALLPOINTS SURVEYING ON 11/10/2022

1 SITE PLAN PROPOSED  
1/8" = 1'-0"



GENERAL NOTES

- ALL DIMENSIONS ARE TO **FACE OF FRAMING** UNLESS NOTED OTHERWISE.
- ALL WINDOW AND DOOR OPENINGS ARE DIMENSIONED TO **CENTERLINE OF OPENING** UNLESS NOTED OTHERWISE.
- REFERENCE INTERIOR ELEVATIONS FOR ALL BUILT-IN CABINETRY / FURNITURE, FLOOR MATERIALS AND TRIM.
- PROVIDE **SMOKE ALARMS** - HARD WIRED, INTERCONNECTED, BATTERY BACKUP AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE SLEEPING ROOMS. LOCATED NOT LESS THAN 9' FROM A DOOR OF A BATHROOM WITH A TUB OR SHOWER EXCEPT WHEN THIS REQUIREMENT WILL PREVENT THE INSTALL OF A SMOKE ALARM IN A BED LOCATION. (REF. ROPS FOR PREFERRED LOCATIONS)
- PROVIDE **CARBON MONOXIDE ALARM** - HARD WIRED WITH BATTERY BACKUP OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. (REF. ROPS FOR PREFERRED LOCATIONS)
- A FULL RESIDENTIAL **FIRE SPRINKLER SYSTEM** DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE 2019 NFPA 13D OR THE 2021 IRC F2004 STANDARDS WILL BE INSTALLED IN THIS PROPERTY. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE MULTIPURPOSE RESIDENTIAL FIRE PROTECTION SPRINKLER SPECIALIST (MPSPS) ENDORSEMENT. THE SPRINKLER P-ANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS. A FLOW TEST OF THE MOST DEMANDING AREA WILL BE REQUIRED.

DRAWING LEGEND

- NEW CONSTRUCTION
- TILE
- CONCRETE
- WOOD FLOORING

SIDE  
ANGLE  
SIDE

4709 Red Bluff Road  
Austin, TX 78702



6/28/2023  
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WEST 10TH  
1505 WEST 10TH ST, AUSTIN, TX 78703

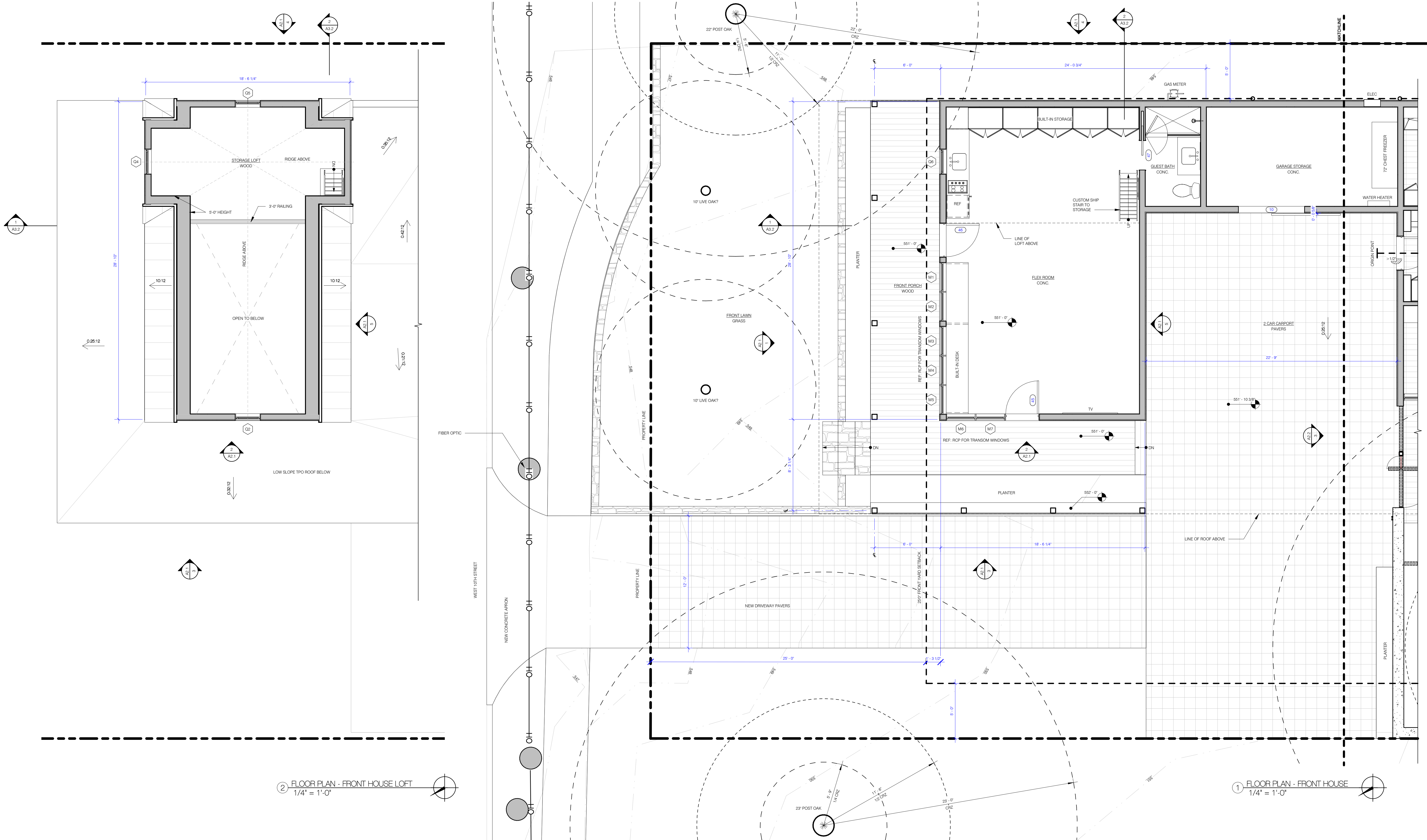
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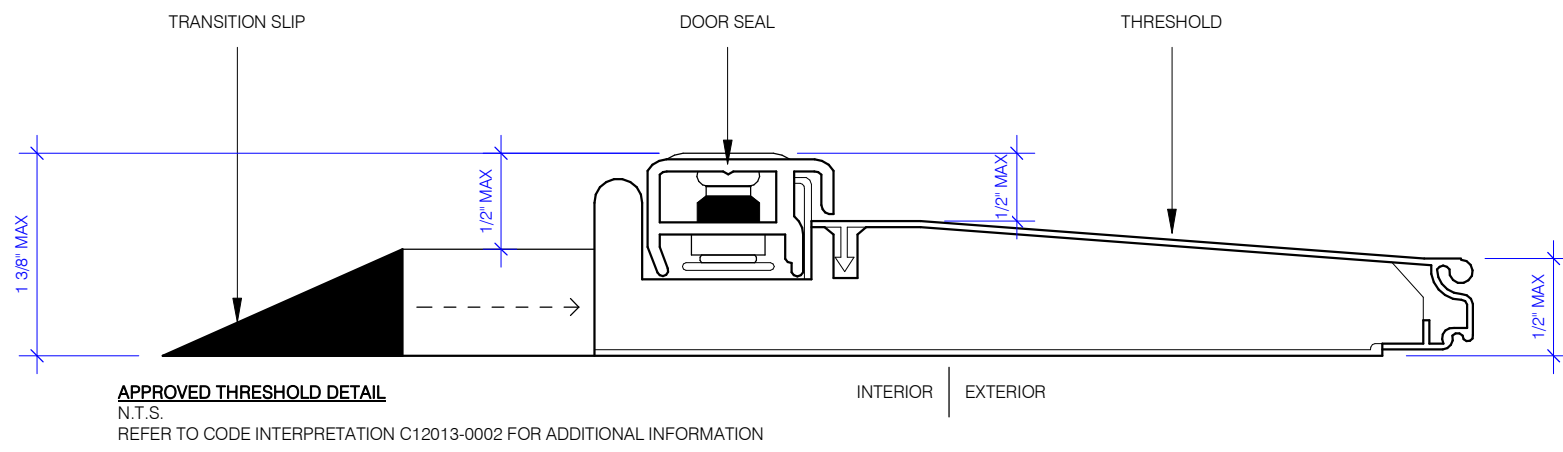
FLOOR PLANS

A1.1



VISITABILITY:

NOTE: AS STATED IN CITY OF AUSTIN (SEE SECTION 25-2-963) - NO MORE THAN FIFTY PERCENT OF EXTERIOR WALLS AND SUPPORTING STRUCTURAL ELEMENTS OF THE EXISTING STRUCTURE MAY BE DEMOLISHED OR REMOVED, INCLUDING LOAD BEARING MASONRY WALLS, AND IN WOOD CONSTRUCTION STUDS, JOIST PLATE AND TOP PLATE. FOR PURPOSES OF THIS SUBSECTION, EXTERIOR WALLS AND SUPPORTING STRUCTURAL ELEMENTS ARE MEASURED IN LINEAR FEET AND DO NOT INCLUDE THE ROOF OF THE STRUCTURE OR INTERIOR OR EXTERIOR FINISHES. (SEE SECTION 25-2-963)



GENERAL NOTES

- ALL DIMENSIONS ARE TO **FACE OF FRAMING** UNLESS NOTED OTHERWISE.
- ALL WINDOW AND DOOR OPENINGS ARE DIMENSIONED TO **CENTERLINE OF OPENING** UNLESS NOTED OTHERWISE.
- REFERENCE INTERIOR ELEVATIONS FOR ALL BUILT-IN CABINETRY / FURNITURE, FLOOR MATERIALS AND TRIM.
- PROVIDE **SMOKE ALARMS** - HARD WIRED, INTERCONNECTED, BATTERY BACKUP AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE SLEEPING ROOMS. LOCATED NOT LESS THAN 9' FROM A DOOR OF A BATHROOM WITH A TUB OR SHOWER EXCEPT WHEN THIS REQUIREMENT WILL PREVENT THE INSTALL OF A SMOKE ALARM IN REQ. LOCATION. (REF. ROPS FOR PREFERRED LOCATIONS)
- PROVIDE **CARBON MONOXIDE ALARM** - HARD WIRED WITH BATTERY BACKUP OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. (REF. ROPS FOR PREFERRED LOCATIONS)
- A FULL RESIDENTIAL **FIRE SPRINKLER SYSTEM** DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE 2019 NFPA 13D OR THE 2021 IRC F2004 STANDARDS WILL BE INSTALLED IN THIS PROPERTY. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEM OR A TEXAS LICENSED PLUMBER WITH THE MULTIPURPOSE RESIDENTIAL FIRE PROTECTION SPRINKLER SPECIALIST IMPRESS ENCLOSURE. THE SPRINKLER PLAN MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS. A FLOW TEST OF THE MOST DEMANDING AREA WILL BE REQUIRED.

DRAWING LEGEND

- NEW CONSTRUCTION
- TILE
- CONCRETE
- WOOD FLOORING

SIDE  
ANGLE  
SIDE

4709 Red Bluff Road  
Austin, TX 78702



6/28/2023  
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WEST 10TH  
1505 WEST 10TH ST, AUSTIN, TX 78703

ISSUE SETS

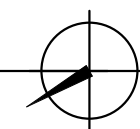
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FLOOR PLANS

A1.2

1 FLOOR PLAN - LEVEL 1  
1/4" = 1'-0"





GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- ALL WINDOW AND DOOR OPENINGS ARE DIMENSIONED TO CENTERLINE OF OPENING UNLESS NOTED OTHERWISE.
- REFERENCE INTERIOR ELEVATIONS FOR ALL BUILT-IN CABINETRY / FURNITURE, FLOOR MATERIALS AND TRIM.
- PROVIDE **SMOKE ALARMS** - HARD WIRED, INTERCONNECTED, BATTERY BACKUP AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE SLEEPING ROOMS, LOCATED NOT LESS THAN 3' FROM A DOOR OF A BATHROOM WITH A TUB OR SHOWER EXCEPT WHEN THIS REQUIREMENT WILL PREVENT THE INSTALL OF A SMOKE ALARM IN RED LOCATION. (REF RCPs FOR PREFERRED LOCATIONS)
- PROVIDE **CARBON MONOXIDE ALARM** - HARD WIRED WITH BATTERY BACKUP OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. (REF RCPs FOR PREFERRED LOCATIONS)
- A FULL RESIDENTIAL **FIRE SPRINKLER SYSTEM** DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE 2019 NFPA 13D OR THE 2021 IRC P2604 STANDARDS WILL BE INSTALLED IN THIS PROPERTY. THE PLANS FOR THE SINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE MULTIPURPOSE RESIDENTIAL FIRE PROTECTION SINKLER SPECIALIST (MRFPSS) ENDORSEMENT. THE SINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS. A FLOW TEST OF THE MOST DEMANDING AREA WILL BE REQUIRED.

DRAWING LEGEND

- NEW CONSTRUCTION
- TILE
- CONCRETE
- WOOD FLOORING

SIDE  
ANGLE  
SIDE

4709 Red Bluff Road  
Austin, TX 78702



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WEST 10TH  
1505 WEST 10TH ST, AUSTIN, TX 78703

ISSUE SETS

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FLOOR PLANS

A1.3

1 FLOOR PLAN - LEVEL 2  
1/4" = 1'-0"



GENERAL NOTES

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4. PROVIDE **SMOKE ALARMS** - HARD WIRED, INTERCONNECTED, BATTERY BACKUP AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE SLEEPING ROOMS, LOCATED NOT LESS THAN 3' FROM A DOOR OF A BATHROOM WITH A TUB OR SHOWER EXCEPT WHEN THIS REQUIREMENT WILL PREVENT THE INSTALL OF A SMOKE ALARM IN REQ. LOCATION. (REF ROPS FOR PREFERRED LOCATIONS)
5. PROVIDE **CARBON MONOXIDE ALARM** - HARD WIRED WITH BATTERY BACKUP OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. (REF ROPS FOR PREFERRED LOCATIONS)
6. A FULL RESIDENTIAL **FIRE SPRINKLER SYSTEM** DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE 2019 NFPA 13D OR THE 2021 IRC F2004 STANDARDS WILL BE INSTALLED IN THIS PROPERTY. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE MULTIPURPOSE RESIDENTIAL FIRE PROTECTION SPRINKLER SPECIALIST (MPSPS) ENDORSEMENT. THE SPRINKLER P-ANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS. A FLOW TEST OF THE MOST DEMANDING AREA WILL BE REQUIRED.

DRAWING LEGEND

- NEW CONSTRUCTION
- TILE
- CONCRETE
- WOOD FLOORING



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ISSUE SETS

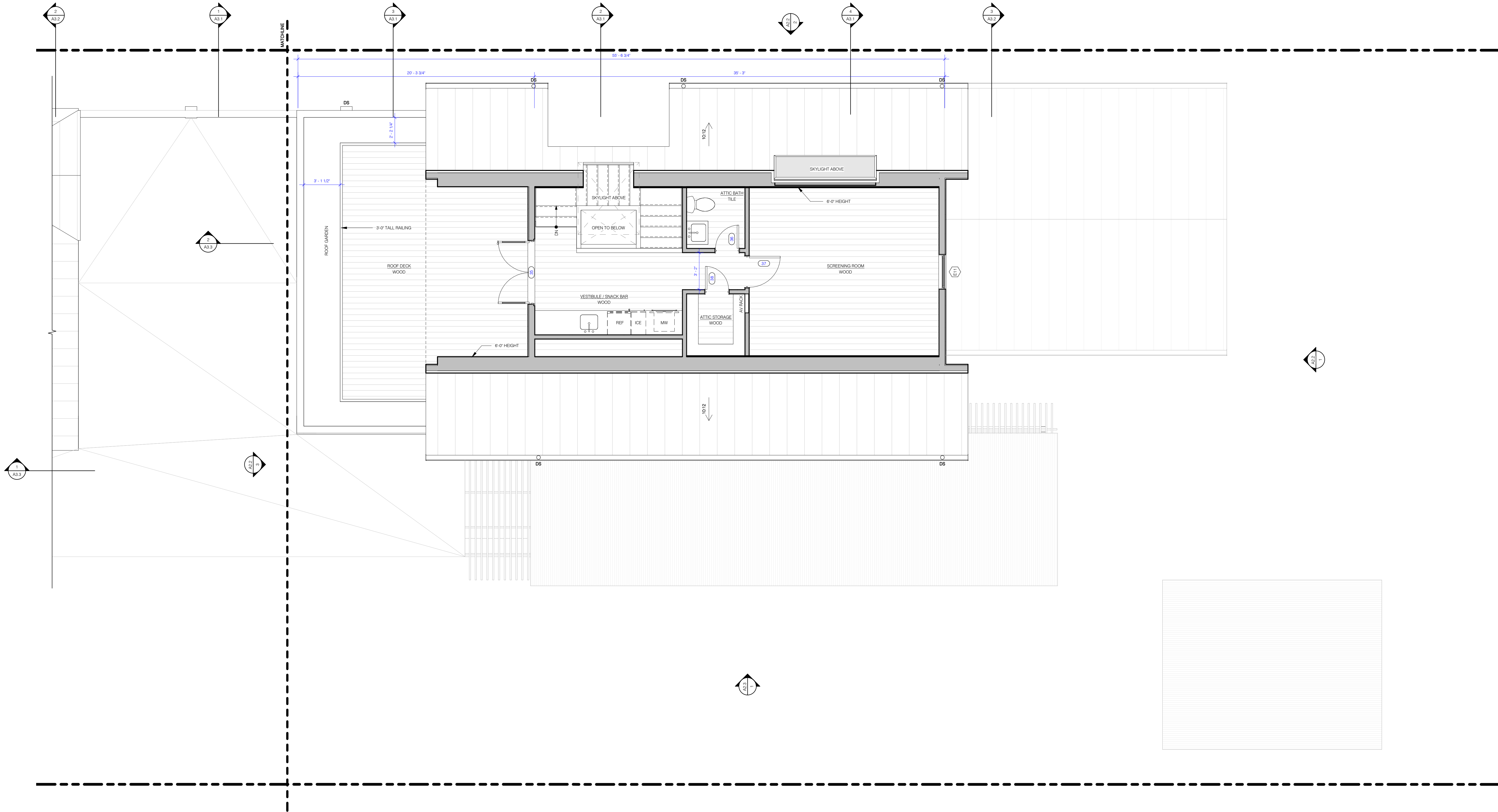
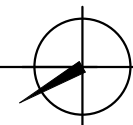
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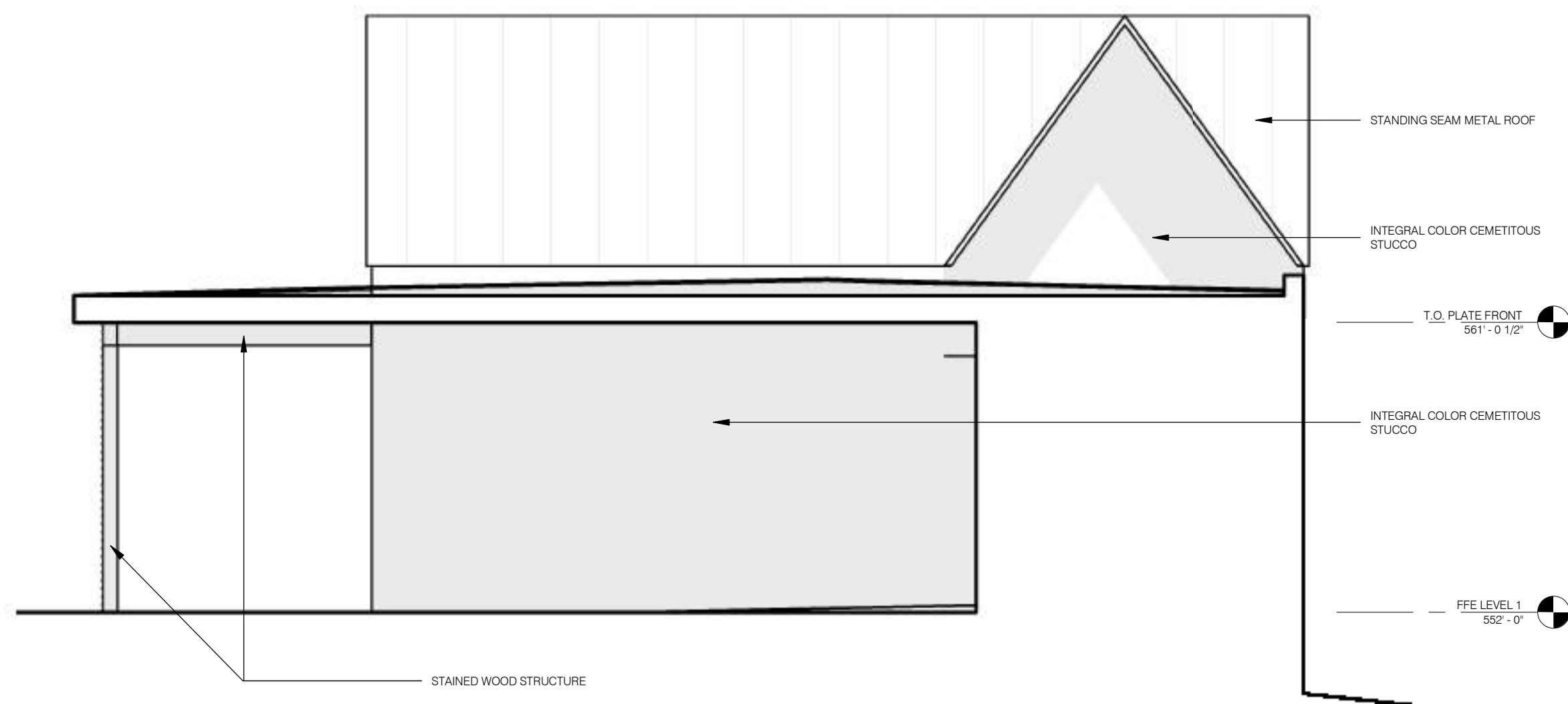
FLOOR PLANS

A1.4

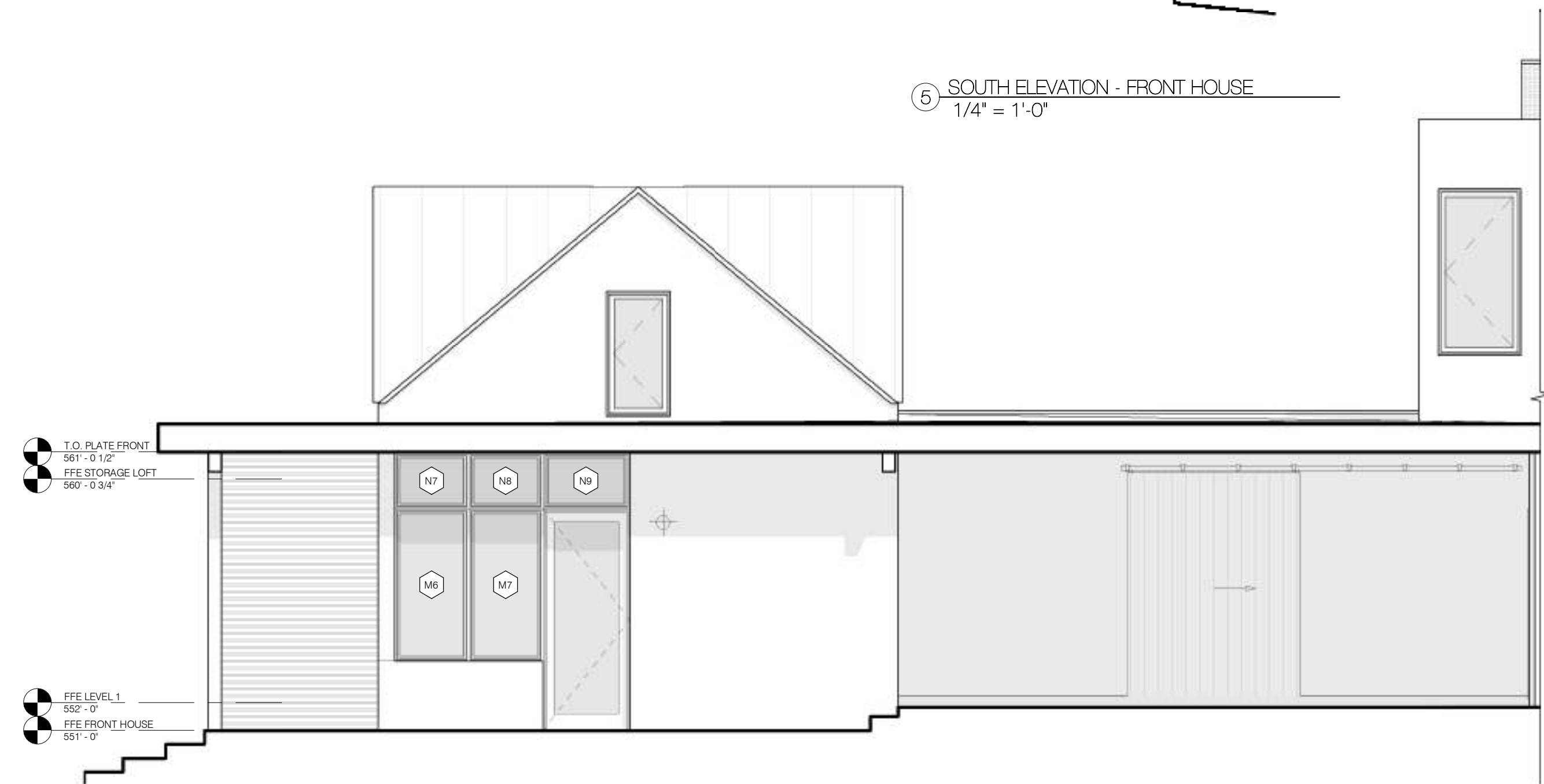
1 FLOOR PLAN - ATTIC  
1/4" = 1'-0"



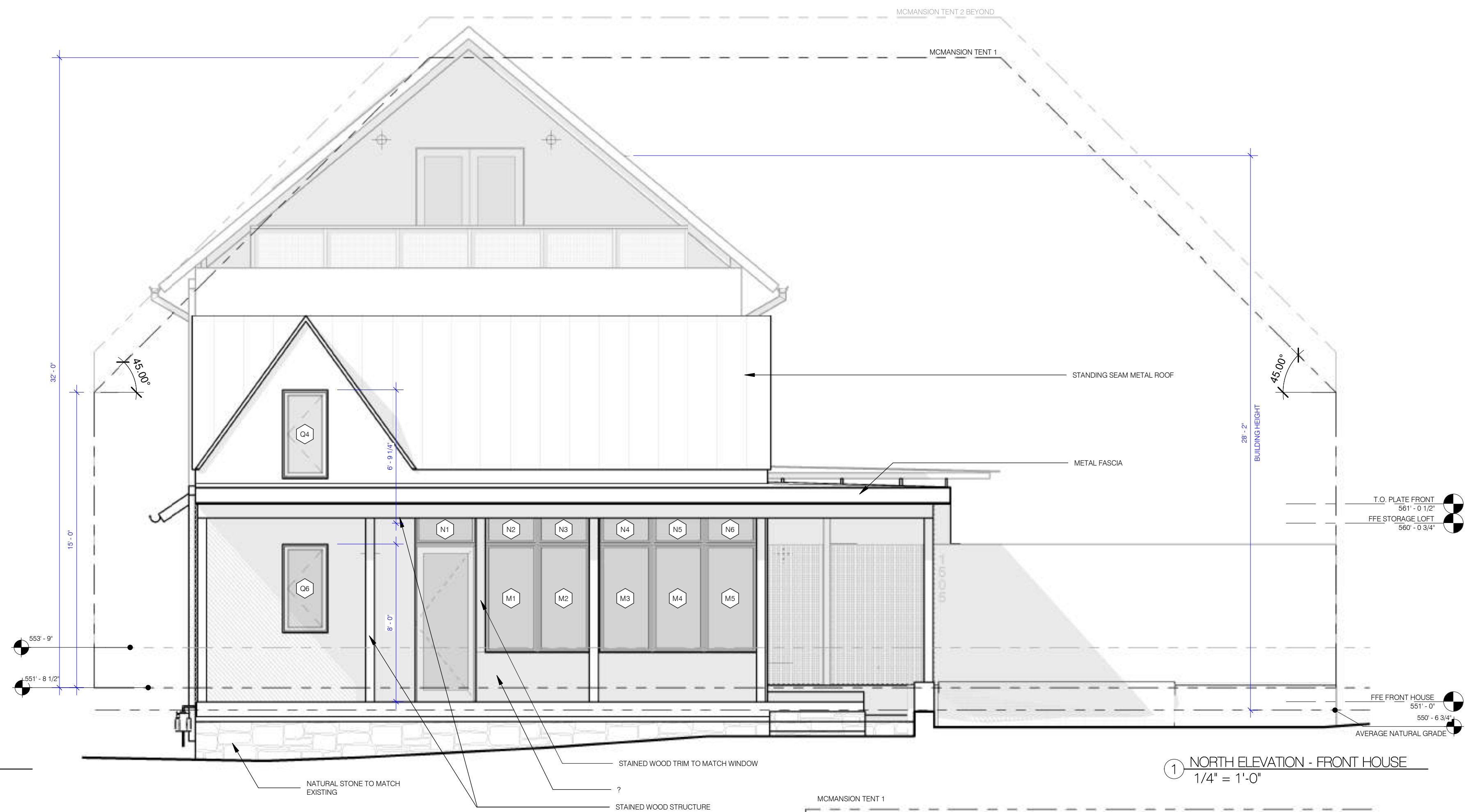




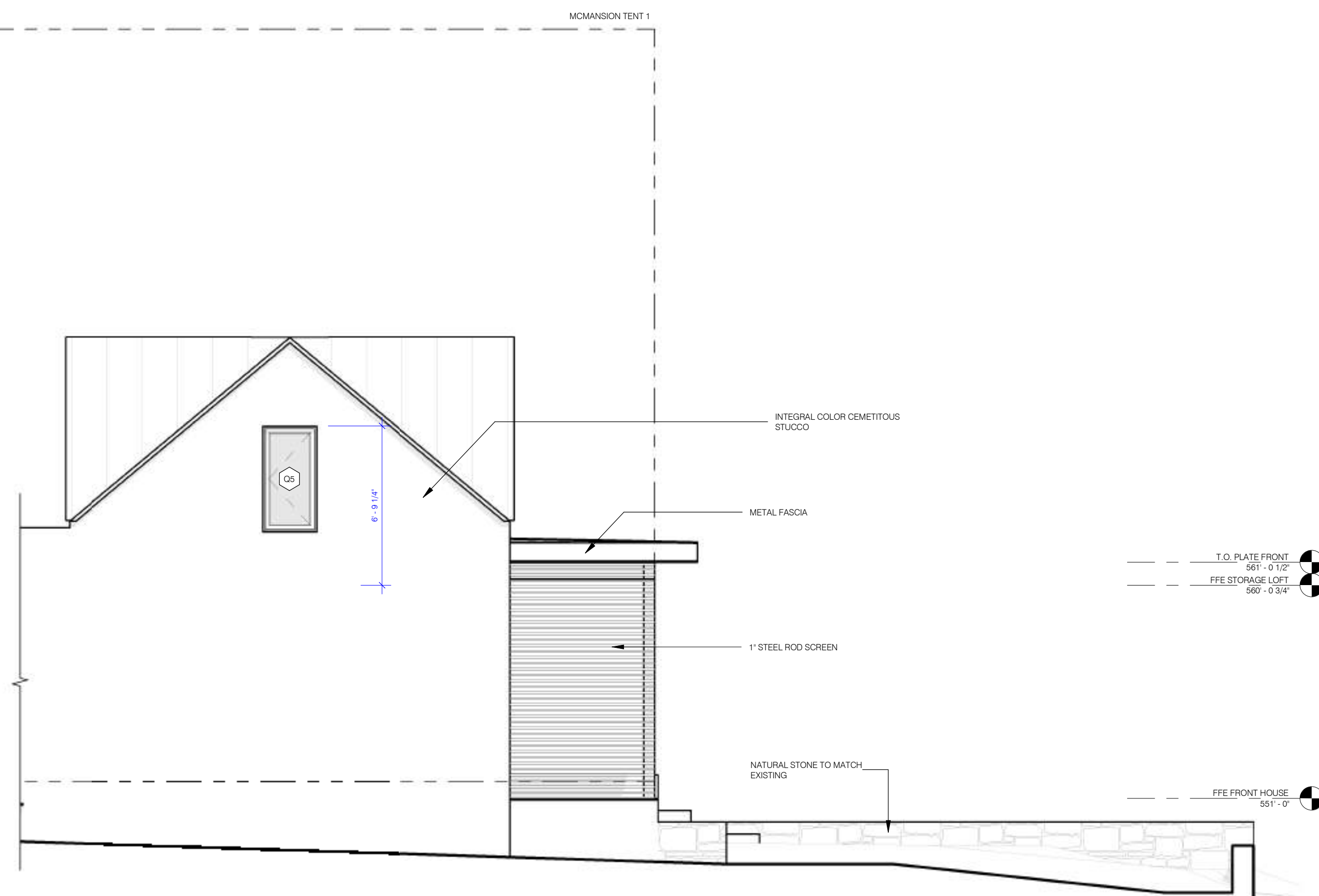
5 SOUTH ELEVATION - FRONT HOUSE  
1/4" = 1'-0"



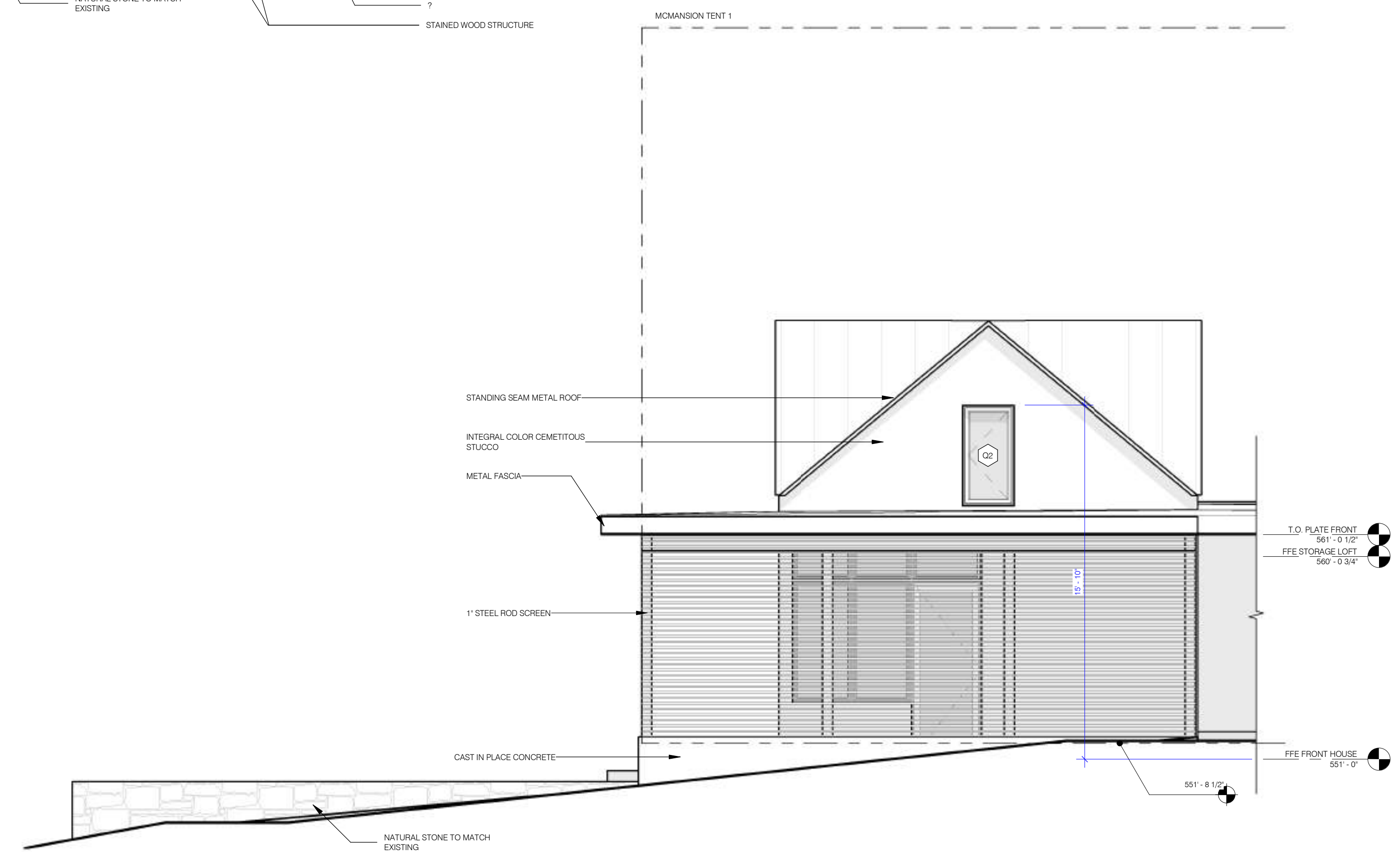
② WEST ELEVATION 2 - FRONT HOUSE  
1/4" = 1'-0"



① NORTH ELEVATION - FRONT HOUSE  
1/4" = 1'-0"



④ EAST ELEVATION - FRONT HOUSE  
1/4" = 1'-0"



③ WEST ELEVATION - FRONT HOUSE  
1/4" = 1'-0"





6/28/2023  
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1505 WEST 10TH ST, AUSTIN, TX 78703

WEST 10TH

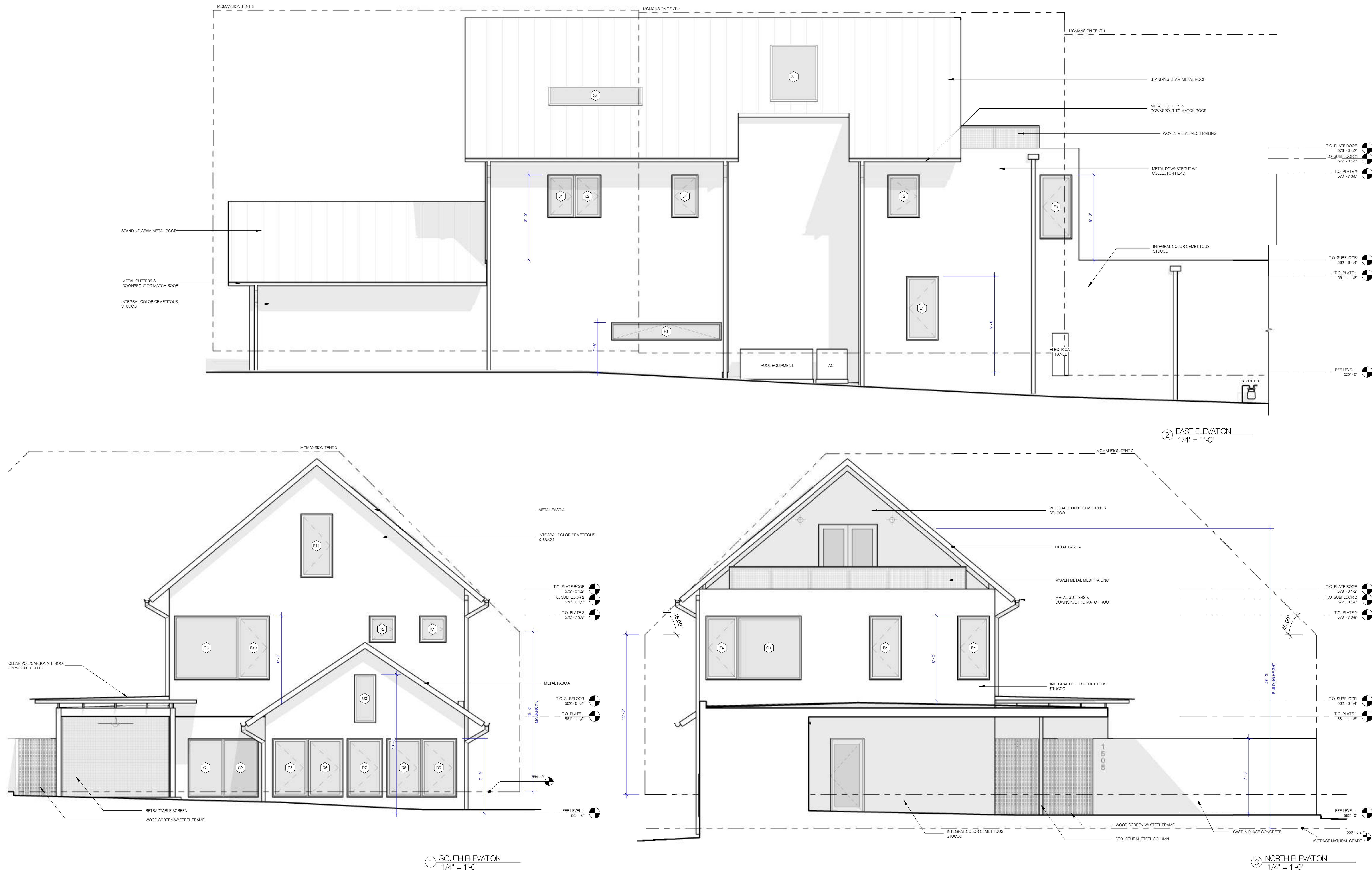
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EXTERIOR ELEVATIONS

A2.2







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1505 WEST 10TH ST, AUSTIN, TX 78703

WEST 10TH

ISSUE SETS

DATE	DESCRIPTION
6.28.23	PERMIT SET

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EXTERIOR ELEVATIONS

A2.3







6/28/2023  
3:50:26 PM

WEST 10TH  
1505 WEST 10TH ST, AUSTIN, TX 78703

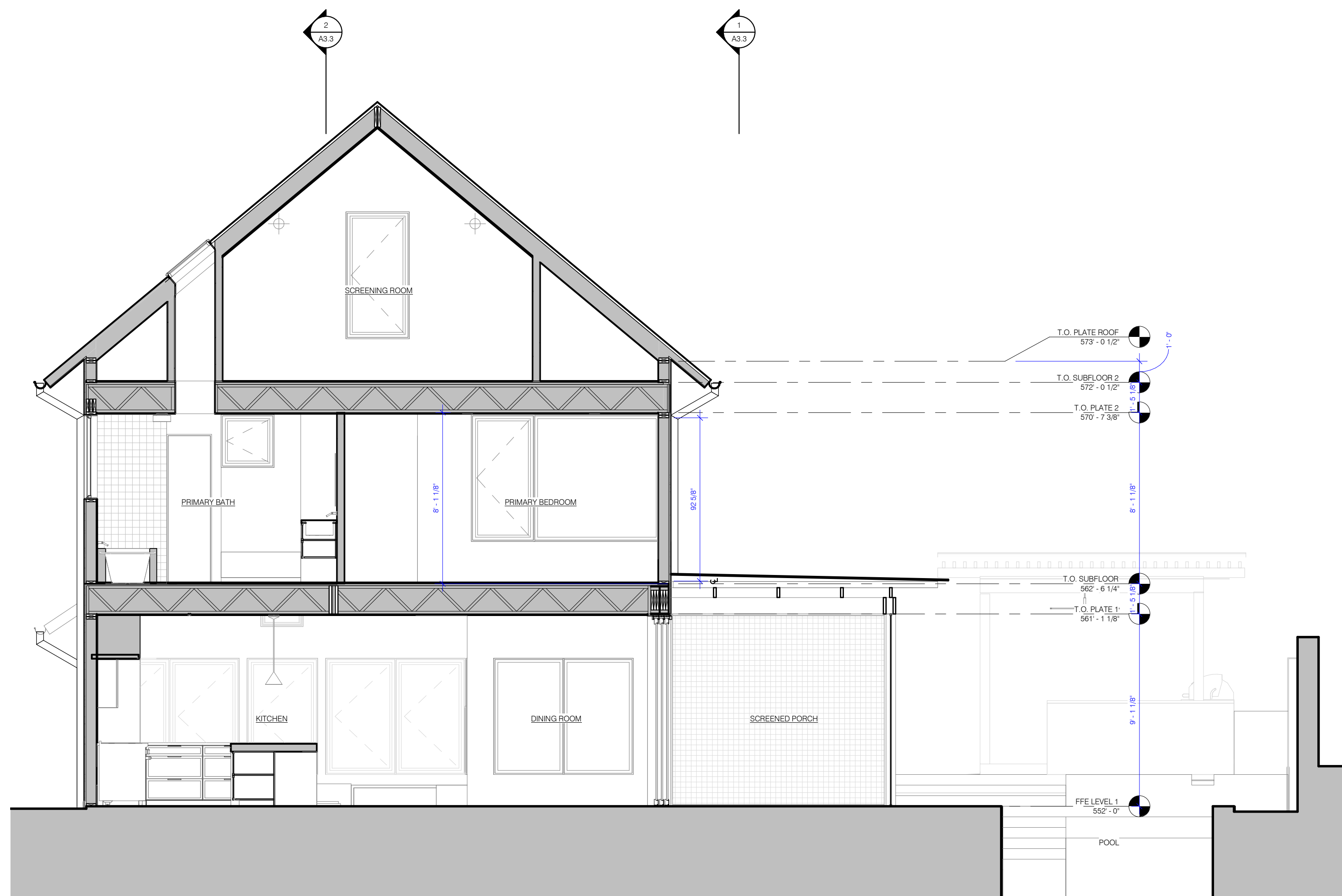
ISSUE SETS

DATE	DESCRIPTION
6.28.23	PERMIT SET

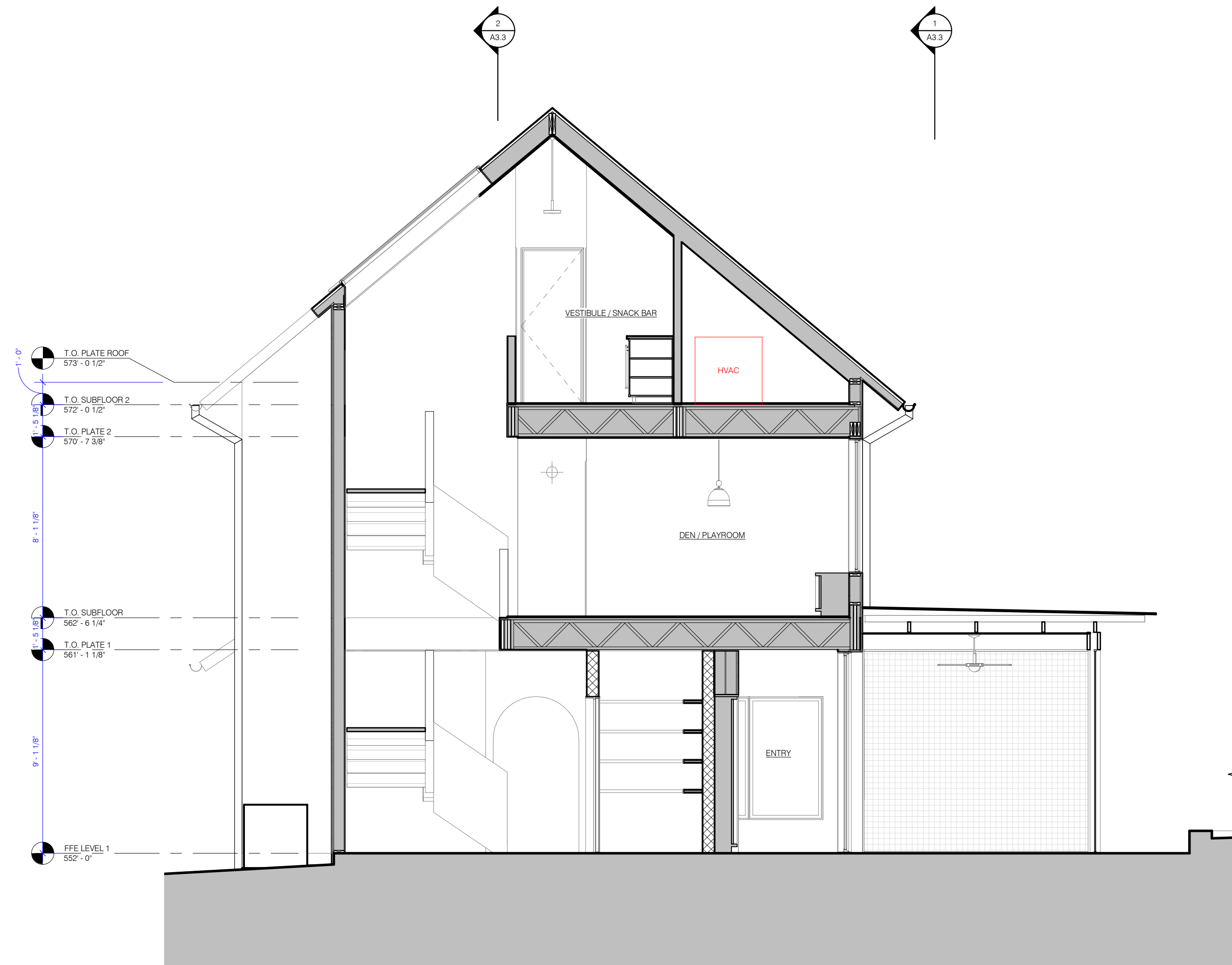
6/28/2023  
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BUILDING SECTIONS

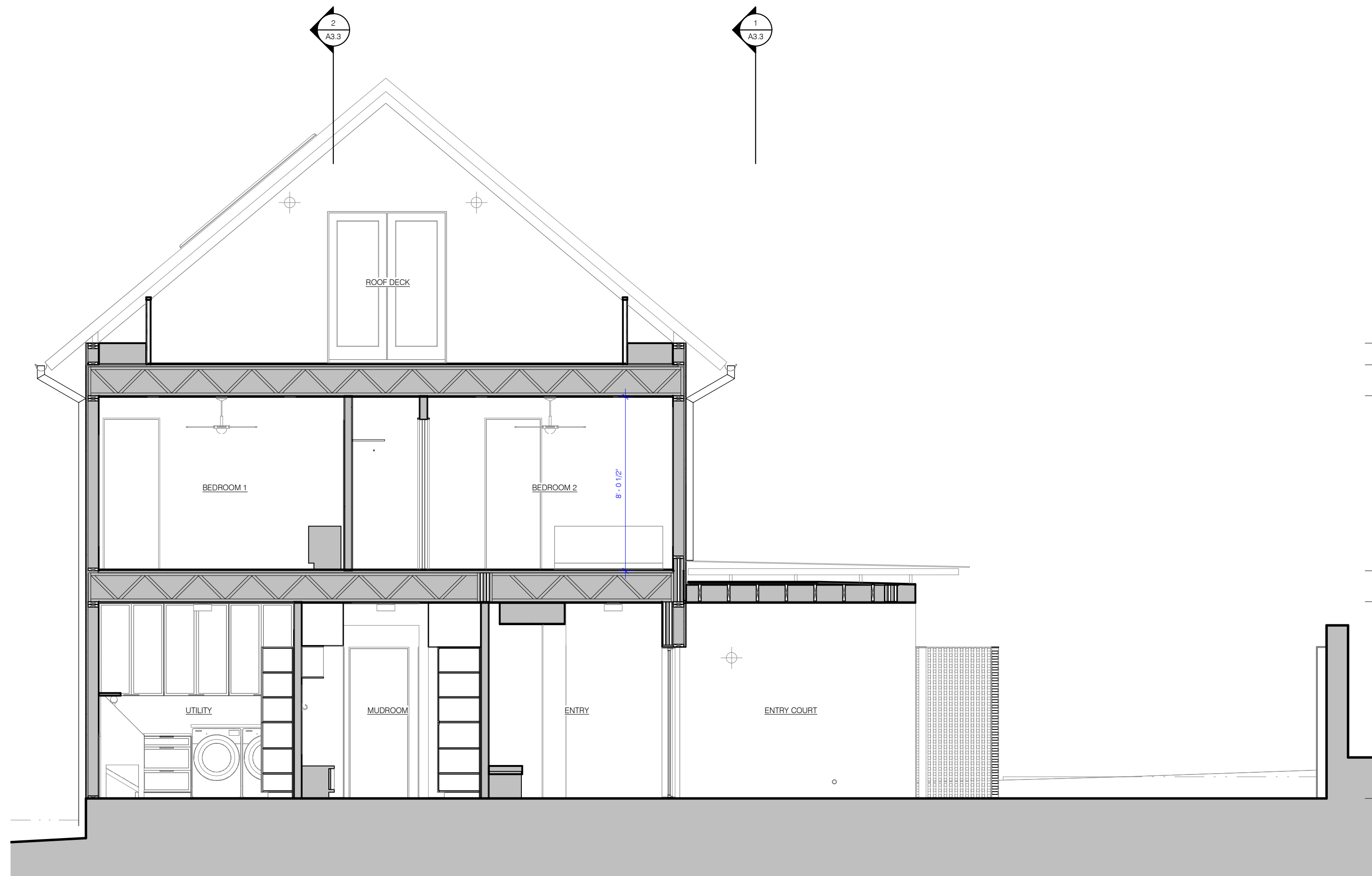
A3.1



④ E/W SECTION 4  
1/4" = 1'-0"



② E/W SECTION 2  
1/4" = 1'-0"

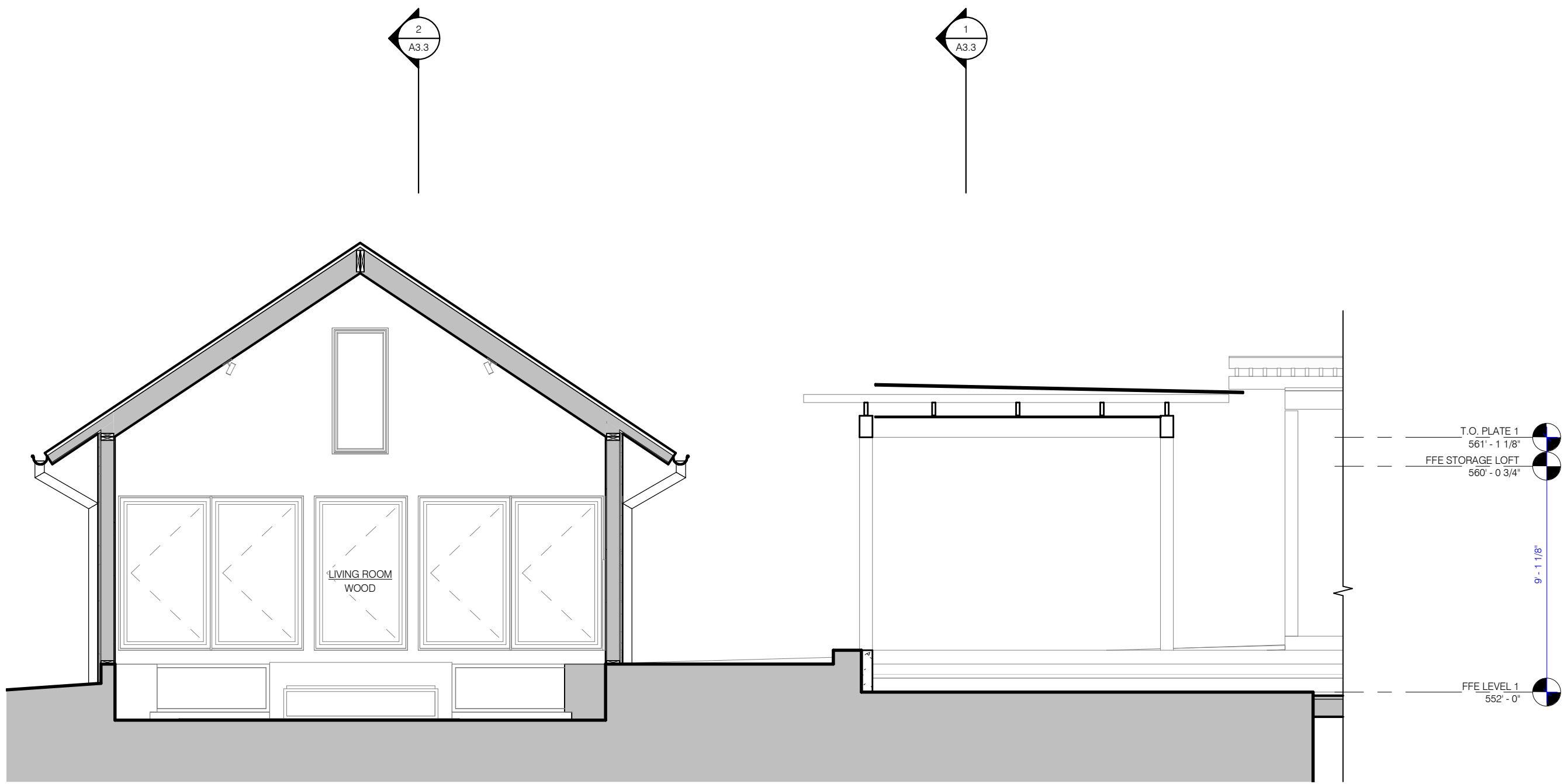


③ E/W SECTION 5  
1/4" = 1'-0"



① E/W SECTION 1  
1/4" = 1'-0"

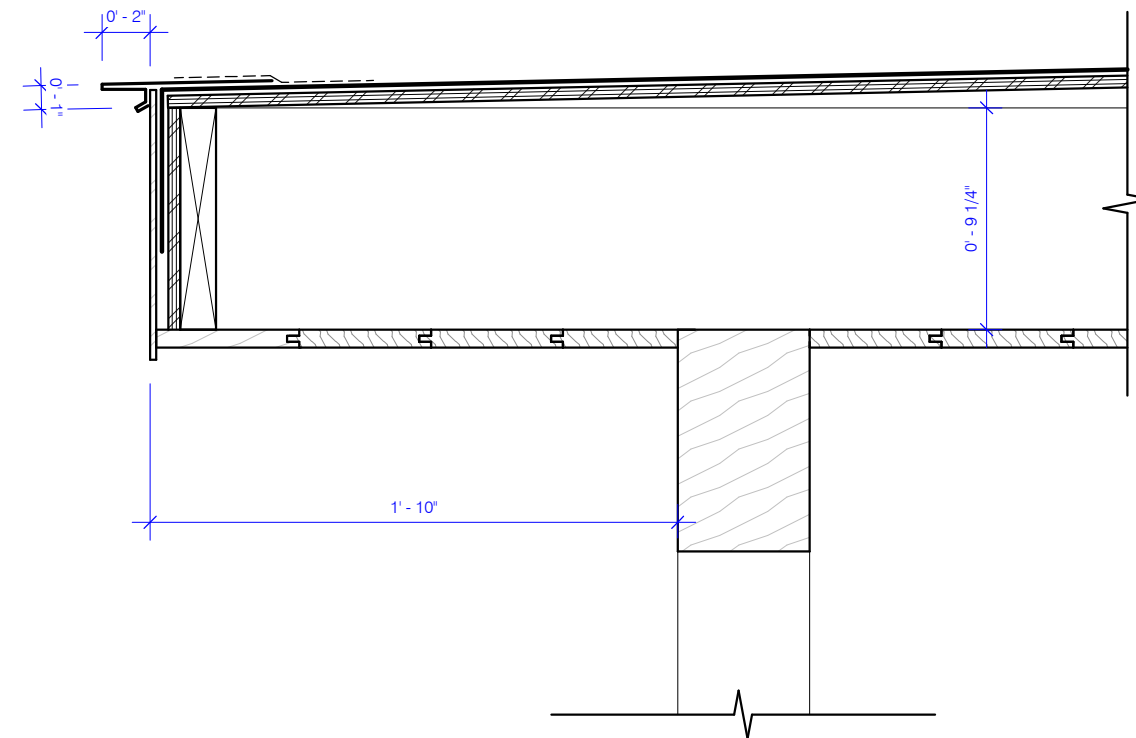




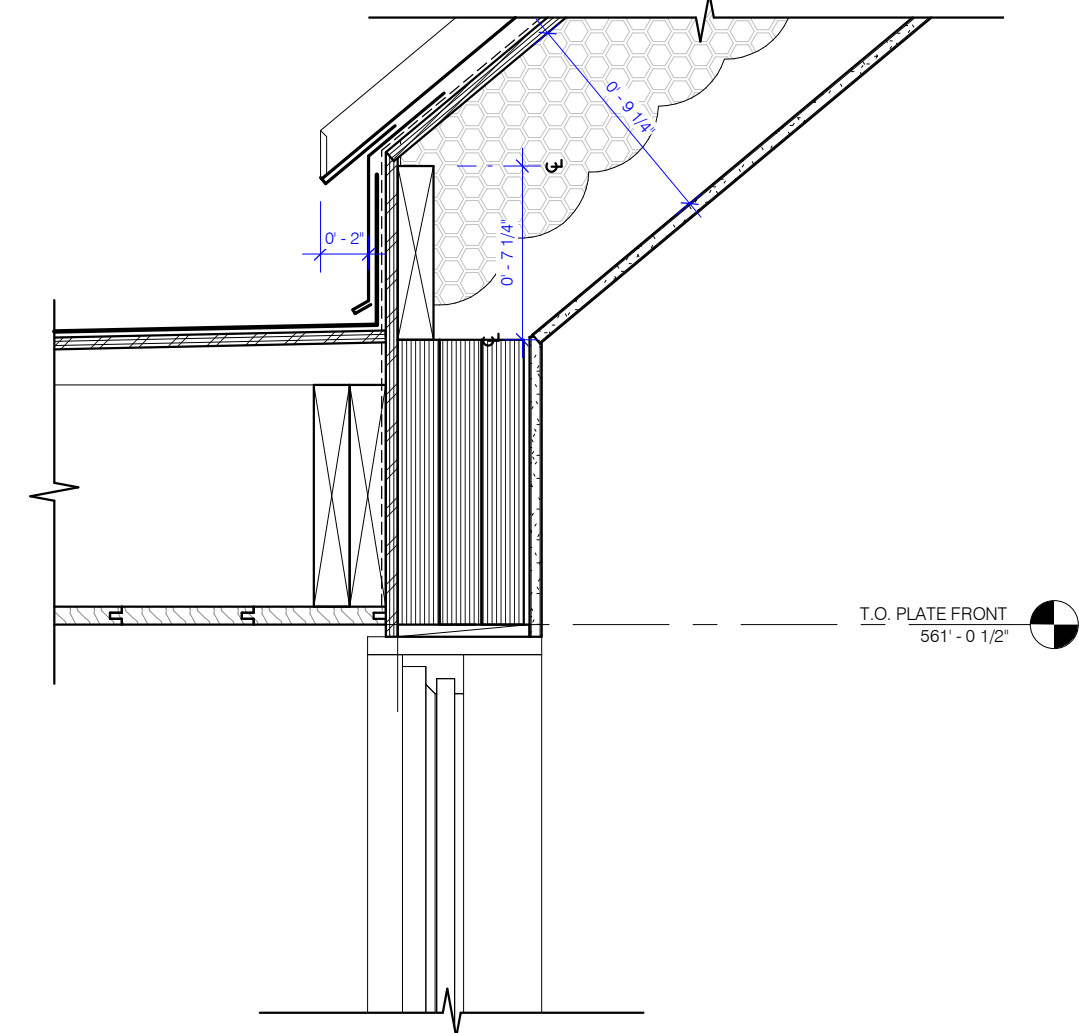
③ E/W SECTION 3  
1/4" = 1'-0"



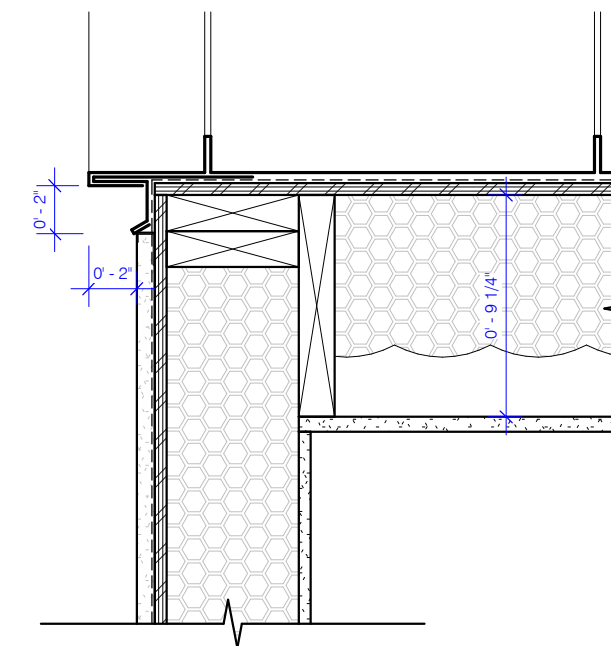
② E/W SECTION - FRONT HOUSE  
1/4" = 1'-0"



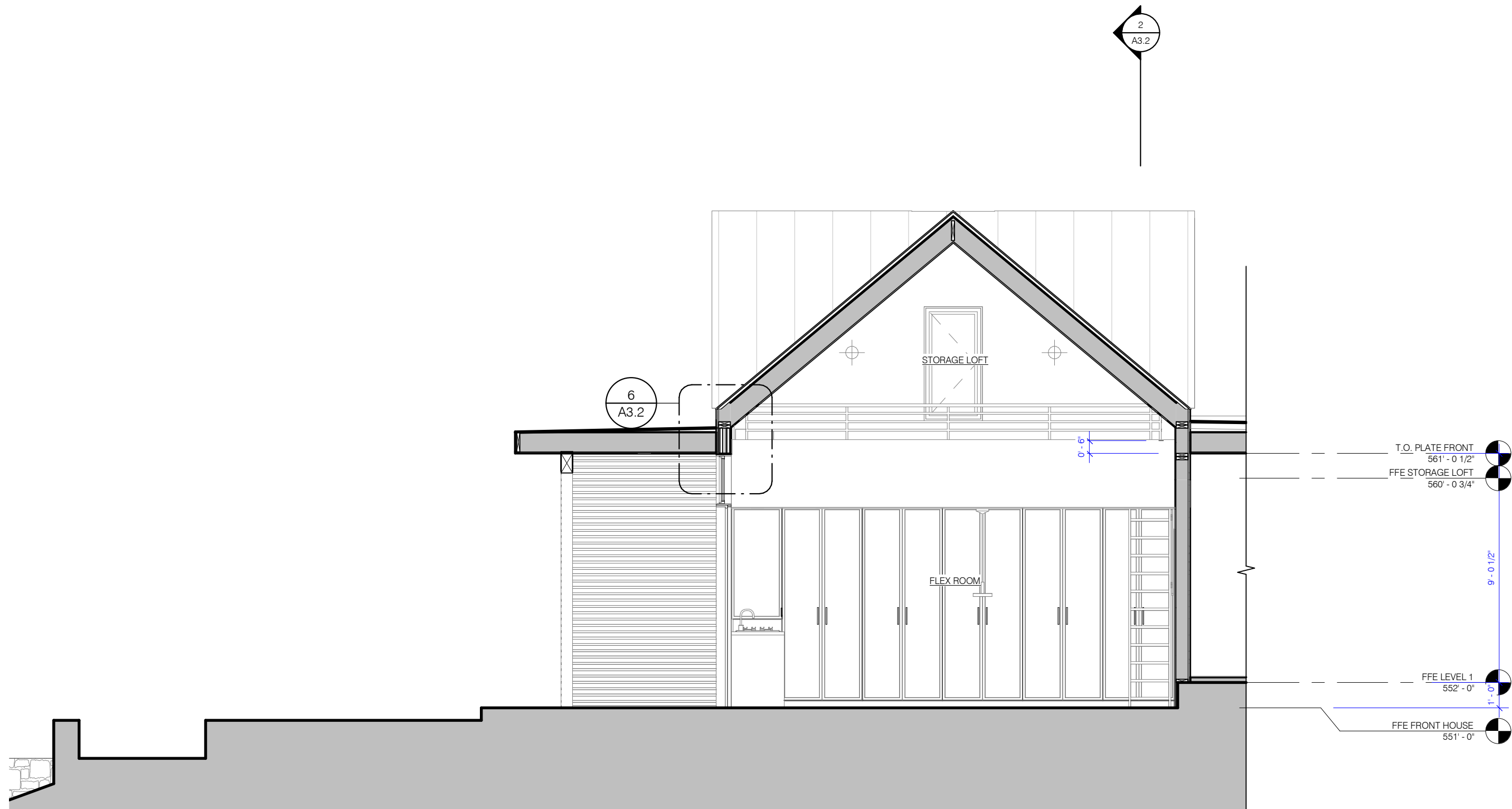
⑤ TYP. EAVE @ FRONT PORCH  
1 1/2" = 1'-0"



⑥ TYP. CLIPPED EAVE @ FRONT HOUSE  
1 1/2" = 1'-0"



④ TYP. RAKE @ FRONT HOUSE  
1 1/2" = 1'-0"



① N/S SECTION - FRONT HOUSE  
1/4" = 1'-0"

SIDE  
ANGLE  
SIDE

4709 Red Bluff Road  
Austin, TX 78702



6/28/2023  
3:50:27 PM

WEST 10TH  
1505 WEST 10TH ST, AUSTIN, TX 78703

ISSUE SETS

DATE	DESCRIPTION
6.28.23	PERMIT SET

6/28/2023  
3:50:27 PM

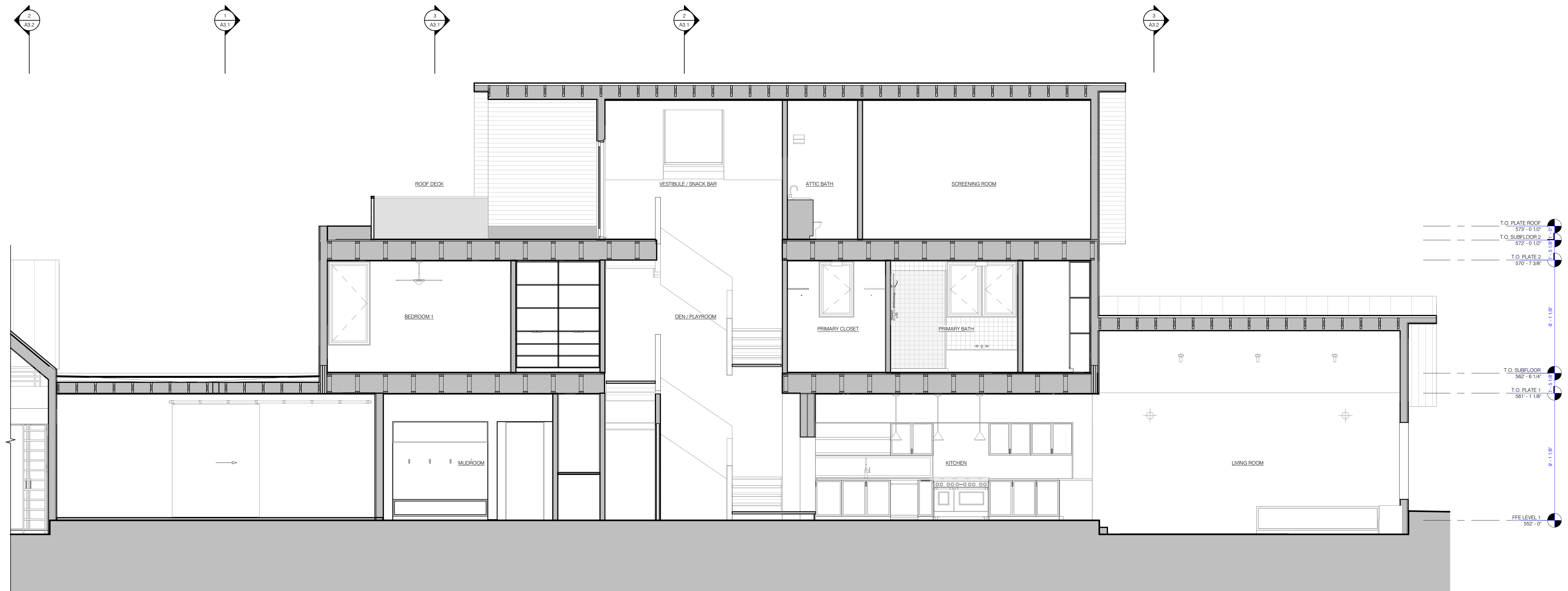
BUILDING SECTIONS

A3.2

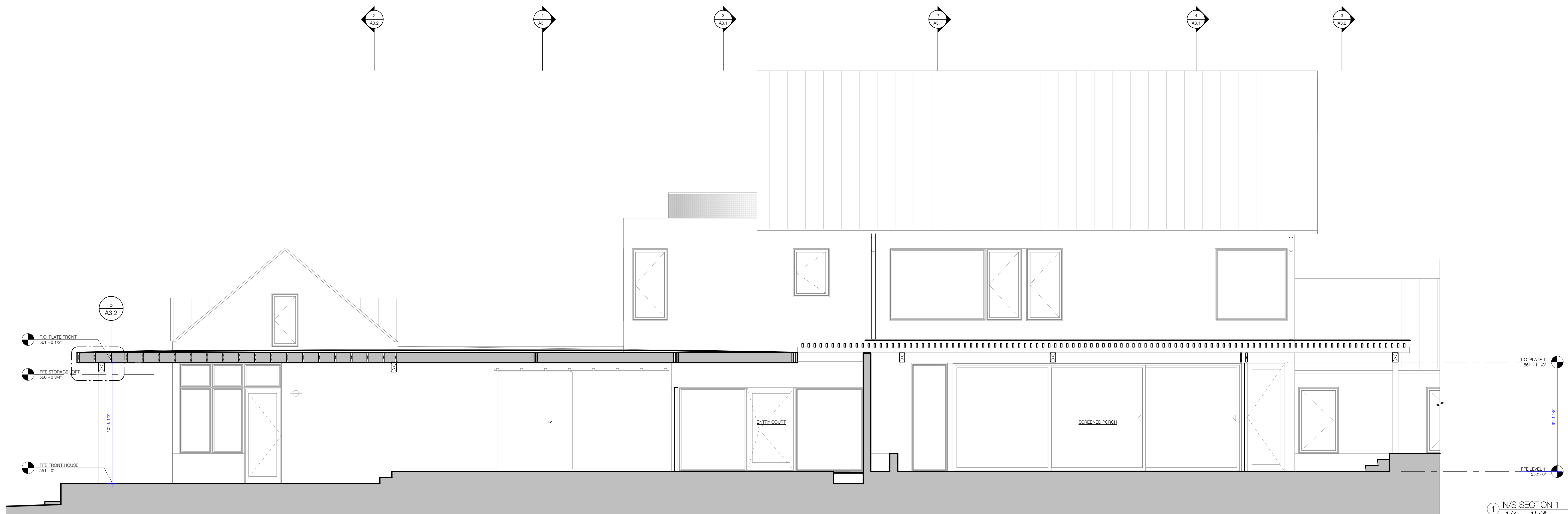




6/28/2023  
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② N/S SECTION 2  
1/4" = 1'-0"



① N/S SECTION 1  
1/4" = 1'-0"

WEST 10TH

1305 WEST TULLEST, AUSTIN, TX 78703

## ISSUE SETS

[illegible]

6/28/2023  
3:50:28 PM

BUILDING SECTIONS

### A3.3



SIDE  
ANGLE  
SIDE

4709 Red Bluff Road  
Austin, TX 78702



6/28/2023  
3:50:30 PM

# WEST 10TH

1505 WEST 10TH ST, AUSTIN, TX 78703

## ISSUE SETS

DATE	DESCRIPTION
6.28.23	PERMIT SET

6/28/2023  
3:50:30 PM

## SCHEDULES

# A6.0

DOOR SCHEDULE									
DOOR #	ENTRY	LOCATION	TYPE	WIDTH	HEIGHT	FINISH	LOCKSET	NOTES	
01	ENTRY	WOOD FRAME 3 PANEL LIFT & SLIDE	SINGLE LITE WOOD FRAME PIVOT	4'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
02	DINING ROOM	SINGLE LITE WOOD FRAME SWING DOOR	SINGLE LITE WOOD FRAME SWING DOOR	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
03	DINING ROOM	SINGLE LITE WOOD FRAME SWING DOOR	SINGLE LITE WOOD FRAME SWING DOOR	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
04	POWER	SOLID CORE SLAB POCKET	SOLID CORE SLAB POCKET	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
05	PANTRY	SOLID CORE SLAB SWING	SOLID CORE SLAB SWING	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
06	COAT CLOSET	SOLID CORE SLAB POCKET	SOLID CORE SLAB POCKET	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
07	UTILITY	SOLID CORE SLAB POCKET	SOLID CORE SLAB POCKET	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
08	MUDROOM	SOLID CORE SLAB SWING	SOLID CORE SLAB SWING	3'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
09	GARAGE STORAGE	WALL MOUNT BARN DOOR	WALL MOUNT BARN DOOR	2'-0"	8'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
10	WVAC	SOLID CORE SLAB SWING	SOLID CORE SLAB SWING	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
11	UTILITY	SOLID CORE SLAB POCKET	SOLID CORE SLAB POCKET	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
21	PRIMARY BED	SOLID CORE SLAB SWING	SOLID CORE SLAB SWING	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
22	PRIMARY WC	SOLID CORE SLAB POCKET	SOLID CORE SLAB POCKET	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
23	PRIMARY CLOSET	SOLID CORE SLAB SWING	SOLID CORE SLAB SWING	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
24	BED 1	SOLID CORE SLAB SWING	SOLID CORE SLAB SWING	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
25	BATH 1	SOLID CORE SLAB POCKET	SOLID CORE SLAB POCKET	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
26	BED 1	SOLID CORE SLAB POCKET	SOLID CORE SLAB POCKET	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
27	BED 2	SOLID CORE SLAB SWING	SOLID CORE SLAB SWING	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
28	BATH 2	SOLID CORE SLAB POCKET	SOLID CORE SLAB POCKET	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
29	BED 3	SOLID CORE SLAB POCKET	SOLID CORE SLAB POCKET	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
30	ROOF DECK	SINGLE LITE WOOD FRAME DOOR SWING	SINGLE LITE WOOD FRAME DOOR SWING	5'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
36	ATTIC BATH	SOLID CORE SLAB SWING	SOLID CORE SLAB SWING	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
37	SCREENING ROOM	SOLID CORE SLAB SWING	SOLID CORE SLAB SWING	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
41	ATTIC STORAGE	SOLID CORE SLAB SWING	SOLID CORE SLAB SWING	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
42	FLEX ROOM	SINGLE LITE WOOD FRAME SWING DOOR	SINGLE LITE WOOD FRAME SWING DOOR	3'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
43	FLEX ROOM	SINGLE LITE WOOD FRAME SWING DOOR	SINGLE LITE WOOD FRAME SWING DOOR	3'-0"	8'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	
47	Y	SOLID CORE SLAB POCKET	SOLID CORE SLAB POCKET	2'-0"	7'-0"	CLEAR - VG DOUGLAS FIR	ENTRY W/ DEADBOLT	PRICE ALL WOOD QUANTUM OR LOEWEN	

**DOOR NOTES**

1. PROVIDE TEMPERED GLAZING AS NOTED AND AS REQUIRED BY CODE, TO BE VERIFIED BY CONTRACTOR.
2. GLAZING TO BE INSULATED, LOW "E", UNLESS NOTED OTHERWISE. ALL OPENINGS TO MEET CITY OF AUSTIN ENERGY CODE W/ OVERALL U FACTOR OF 0.40 (OR BETTER) AND A SHGC OF 0.30 (OR BETTER).
3. PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS.
4. HARDWARE TO BE SELECTED BY OWNER & ARCHITECT.
5. COORDINATE DOOR SELECTIONS WITH OWNER PRIOR TO ORDERING.

WINDOW SCHEDULE									
TAG	LOCATION	TYPE	WIDTH	HEIGHT	HEAD HEIGHT	FINISH	NOTES		
A1	ENTRY	WOOD FRAME FIXED	9'-8"	7'-0"	7'-0"	CLEAR - VS DOUGLAS FIR			
A2	ENTRY	WOOD FRAME FIXED	9'-8"	7'-0"	7'-0"	CLEAR - VS DOUGLAS FIR			
B1	DINING ROOM	WOOD FRAME FIXED	3'-4"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
C1	DINING ROOM	WOOD FRAME FIXED	3'-4"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
D1	LIVING ROOM	WOOD FRAME CASEMENT	3'-4"	7'-0"	7'-0"	CLEAR - VS DOUGLAS FIR			
D2	LIVING ROOM	WOOD FRAME CASEMENT	3'-4"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
D3	LIVING ROOM	WOOD FRAME CASEMENT	3'-4"	7'-0"	7'-0"	CLEAR - VS DOUGLAS FIR			
D4	LIVING ROOM	WOOD FRAME CASEMENT	3'-4"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
D5	LIVING ROOM	WOOD FRAME CASEMENT	3'-4"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
D6	LIVING ROOM	WOOD FRAME CASEMENT	3'-4"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
D7	LIVING ROOM	WOOD FRAME CASEMENT	3'-4"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
D8	LIVING ROOM	WOOD FRAME CASEMENT	3'-4"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
D9	LIVING ROOM	WOOD FRAME CASEMENT	3'-4"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
E1	UTILITY	WOOD FRAME CASEMENT	3'-0"	6'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
E3	BED 1	WOOD FRAME CASEMENT	3'-0"	6'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
E5	BED 2	WOOD FRAME CASEMENT	3'-0"	6'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
E6	BED 2	WOOD FRAME CASEMENT	3'-0"	6'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
ED	PRIMARY BED	WOOD FRAME CASEMENT	3'-0"	6'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
E10	PRIMARY BED	WOOD FRAME CASEMENT	3'-0"	6'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
E11	SLEEPING ROOM	WOOD FRAME CASEMENT	7'-0"	6'-3 1/2"	8'-0"	CLEAR - VS DOUGLAS FIR			
E12	DEN	WOOD FRAME CASEMENT	3'-0"	6'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
G1	BED 1	WOOD FRAME FIXED	6'-0"	6'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
G2	PRIMARY BED	WOOD FRAME FIXED	6'-0"	6'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
G3	PRIMARY BED	WOOD FRAME FIXED	6'-0"	6'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
H1	DEN	WOOD FRAME FIXED	6'-0"	6'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
J1	PRIMARY BATH	WOOD FRAME CASEMENT	2'-6"	4'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
J2	PRIMARY BATH	WOOD FRAME CASEMENT	2'-6"	4'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
J4	PRIMARY CLOSET	WOOD FRAME CASEMENT	2'-6"	4'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
J5	PRIMARY W.C.	WOOD FRAME CASEMENT	2'-6"	4'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
K1	PRIMARY BATH	WOOD FRAME CASEMENT	2'-6"	2'-6"	8'-0"	CLEAR - VS DOUGLAS FIR			
M1	ROOM	WOOD FRAME FIXED	2'-8"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
M2	FLEX ROOM	WOOD FRAME FIXED	2'-8"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
M3	FLEX ROOM	WOOD FRAME FIXED	2'-8"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
M4	FLEX ROOM	WOOD FRAME FIXED	2'-8"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
M5	FLEX ROOM	WOOD FRAME FIXED	2'-8"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
M6	FLEX ROOM	WOOD FRAME FIXED	2'-8"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
M7	FLEX ROOM	WOOD FRAME FIXED	2'-8"	5'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
N1	FLEX ROOM	WOOD FRAME FIXED	3'-1 1/2"	9'-0"	9'-0"	CLEAR - VS DOUGLAS FIR			
N2	FLEX ROOM	WOOD FRAME FIXED	2'-8"	2'-0"	9'-0"	CLEAR - VS DOUGLAS FIR			
N3	FLEX ROOM	WOOD FRAME FIXED	2'-8"	2'-0"	9'-0"	CLEAR - VS DOUGLAS FIR			
N4	FLEX ROOM	WOOD FRAME FIXED	2'-8"	2'-0"	9'-0"	CLEAR - VS DOUGLAS FIR			
N5	FLEX ROOM	WOOD FRAME FIXED	2'-8"	2'-0"	9'-0"	CLEAR - VS DOUGLAS FIR			
N6	FLEX ROOM	WOOD FRAME FIXED	2'-8"	2'-0"	9'-0"	CLEAR - VS DOUGLAS FIR			
N7	FLEX ROOM	WOOD FRAME FIXED	2'-8"	2'-0"	9'-0"	CLEAR - VS DOUGLAS FIR			
N8	FLEX ROOM	WOOD FRAME FIXED	2'-8"	2'-0"	9'-0"	CLEAR - VS DOUGLAS FIR			
N9	FLEX ROOM	WOOD FRAME FIXED	2'-8"	2'-0"	9'-0"	CLEAR - VS DOUGLAS FIR			
N10	FLEX ROOM	WOOD FRAME FIXED	3'-1 1/2"	2'-0"	9'-0"	CLEAR - VS DOUGLAS FIR			
N11	KITCHEN	WOOD FRAME FINING	10'-4"	8'-8"	8'-8"	CLEAR - VS DOUGLAS FIR			
G2	FLEX ROOM	WOOD FRAME CASEMENT	2'-3 9/16"	4'-6"	15'-10"	CLEAR - VS DOUGLAS FIR			
G3	LIVING ROOM	WOOD FRAME FIXED	2'-0"	4'-6"	13'-0"	CLEAR - VS DOUGLAS FIR			
G4	STORAGE LOFT	WOOD FRAME CASEMENT	2'-3 9/16"	4'-6"	15'-10"	CLEAR - VS DOUGLAS FIR			
G5	STORAGE LOFT	WOOD FRAME CASEMENT	2'-3 9/16"	4'-6"	15'-10"	CLEAR - VS DOUGLAS FIR			
G6	FLEX ROOM	WOOD FRAME CASEMENT	2'-3 9/16"	4'-6"	7'-0"	CLEAR - VS DOUGLAS FIR			
G7	BATH	WOOD FRAME CASEMENT	3'-0"	8'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
G8	BATH 1	WOOD FRAME CASEMENT	3'-4"	8'-0"	8'-0"	CLEAR - VS DOUGLAS FIR			
S1	STAIRWELL	SKYLIGHT	4'-0"	8'-0"		ALUMINUM TO MATCH ROOF			
S2	STAIRWELL	SKYLIGHT	4'-0"	8'-0"		ALUMINUM TO MATCH ROOF			
S3	STAIRWELL	SKYLIGHT	2'-6"	8'-0"		ALUMINUM TO MATCH ROOF			

PRICE ALL WOOD QUANTUM OR LOEWEN

WINDOW NOTES

1. ALL SIZES TO BE VERIFIED ON SITE BY WINDOW FABRICATOR. SIZES NOTED IN THIS SCHEDULE ARE GENERAL.
2. ALL WINDOWS TO BE SET INTO LOW-SLOPE FLASHINGS. UNLESS NOTED OTHERWISE, ALL WINDOWS TO MEET CITY OF AUSTIN ENERGY CODE W/ OVERALL U-FACTOR OF 0.40 (OR BETTER) AND A SHGC OF 0.30 (OR BETTER).
3. PROVIDE TEMPERED GLAZING AS NOTED AND AS REQUIRED BY CODE - TO BE VERIFIED BY CONTRACTOR.
4. PROVIDE HEAD, JAMB, AND SILL DETAILS ON SHEET 404.
5. CALLK: MOUNTED FLANGING AND BLOCKING PER WINDOW MFR. INSTALLATION INSTRUCTIONS.
6. PROVIDE SAME OPENINGS ARE TO BE FACTORY MOUNTED.
7. ALL WINDOWS LOCATED INSIDE A SHOWER TO HAVE TEMPERED GLAZING AND BE FIREGLASS.
8. PROVIDE WINDOWS WITH INSET SCREENS, 14" INSET SCREENS, 14" INSET SCREENS, CHARCOAL MESH FINISH.
9. ALL WINDOWS TO HAVE DISMISAL GLASS THICKNESSES, OPTIMAL AIR SPACE & SOUND ABSORBING SPACES AS SOUND DAMPING MEASURES.

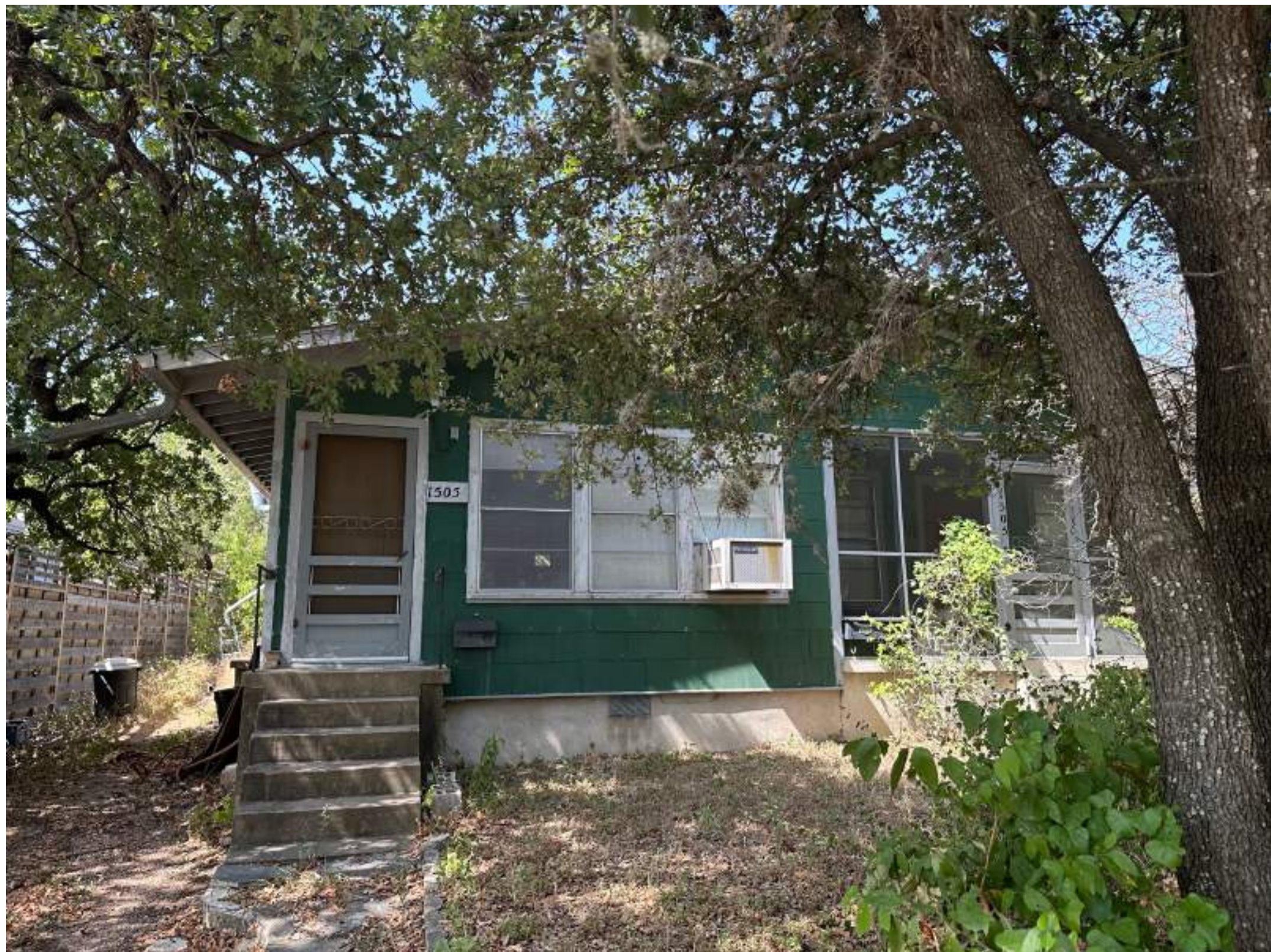
# PRICE ALL WOOD QUANTUM OR LOEWEN



ISSUE SETS	
DATE	DESCRIPTION
6.28.23	PERMIT SET



EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION (FACES WEST 10TH STREET)



VIEW FROM WEST 10TH STREET



EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



CARPORT ON WEST LOT LINE