ZONING AND PLATTING SITE PLAN REVIEW SHEET CONDITIONAL USE SITE PLAN APPROVAL

CASE NUMBER: SPC-2009-0362C(R2) **ZAP DATE**: October 17th, 2023

PROJECT NAME: Waller Creek Tunnel Project- Waller Beach Improvements SPR #2

ADDRESS: 74 Trinity Street

AREA: 28.7 acres

APPLICANT: City of Austin

505 Barton Springs Austin, TX 78704

AGENT: Stephen Hawkins (Aqua Permits, LLC)

6504 Betty Cook Drive Austin, TX 78723 Phone: (512) 750-1402

EXISTING ZONING: P

PROPOSED DEVELOPMENT:

Approval of a conditional use permit to allow the reconfiguration of boat dock on P zoning.

WATERSHED: Lady Bird Lake

APPLICABLE WATERSHED ORDINANCE: Current/ Comprehensive Watershed Ordinance

CAPITOL VIEW: N/A **T.I.A**.: TIA not required.

SUMMARY STAFF RECOMMENDATION:

Staff recommends approval of the improvements shown on the site plan. The related site plan has been reviewed in accordance with all requirements of the Land Development Code once submitted.

PLANNING COMMISSION ACTION:

Related Case: N/A

CASE MANAGER: Clarissa Davis Telephone: (512) 974-1423

Clarissa.Davis@austintexas.org

SPC-2009-0362C(R2) Waller Creek Tunnel Project

PROJECT INFORMATION:

ZONING: P

MAX. BLDG. CVRG: n/a
MAX. HEIGHT: n/a

PROP. BLDG. CVRG: n/a
PROP.HEIGHT: n/a

MAX. IMP. CVRG: n/a
EXIST. USE: Boat Dock
PROPOSED USE: Boat Dock

SUMMARY COMMENTS ON SITE PLAN:

Land Use: The submitted site plan is for the reconstruction of the existing floating boat docks. This project is required to receive Conditional Use approval per the P zoning 25-2-625(D)2.

Environmental: The site is not located in the Edward's Aquifer Recharge Zone. The site is in the Lady Bird Lake watershed.

SURROUNDING CONDITIONS:

Zoning/ Land use: North: CBD; Retail East: CBD; Retail

South: n/a

West: DMU; Residential

Street	R.O.W.	Surfacing	Classification
Trinity Street	80'	Varies	Level 2

CONDITIONAL USE PERMIT REVIEW AND EVALUATION CRITERA

The following evaluation is included to provide staff position on each point of the conditional use permit criteria. Section 25-5-145 of the Land Development Code states:

A. "The Land Use Commission shall determine whether the proposed development or use of a conditional use site plan complies with the requirements of this section."

B. A Conditional Use Site Plan Must:

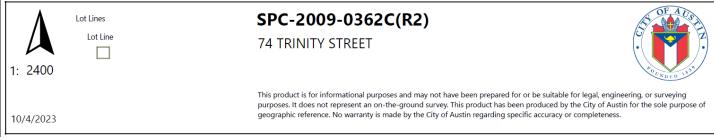
- 1. Comply with the requirements of this title; Staff Response: This site plan complies with all regulations and requirements of the Land Development Code.
- **2.** Comply with the objectives and purposes of the zoning district; Staff Response: The proposed use is compatible with the abutting uses.
- 3. Have building height, bulk, scale, setback, open space, landscaping, drainage, access, traffic circulation, and use that is compatible with the use of an abutting site; Staff Response: The site plan has complied with the Land Development Code.
- **4. Provide adequate and convenient off-street parking and loading facilities; and** Staff Response: These items have been reviewed and approved by the appropriate reviewer.

- 5. Reasonably protect persons and property from erosion, flood, fire, noise, glare, and similar adverse effects. Staff Response: These items have been reviewed and approved by the appropriate reviewers.
- 6. For conditional use located within the East Austin Overlay district, comply with the goals and objectives of a Neighborhood Plan adopted by the City Council for the area in which the use is proposed. Staff Response: This project is not within the East Austin Overlay.

C. A Conditional Use Site Plan May Not:

- **1. More adversely affect an adjoining site than would a permitted use;** Staff response: The site plan will not adversely affect any adjoining properties.
- 2. Adversely affect the safety or convenience of vehicular or pedestrian circulation, including reasonably anticipated traffic and uses in the area; Staff response: The site plan is not anticipated to have any detriment of vehicular safety or convenience. The site plan is improving these items.
- **3.** Adversely affects an adjacent property or traffic control through the location, lighting, or type of signs; Staff response: All proposed signs will comply with the Land Development Code.
- 4. For a large retail use described in Section 25-2-815 (Large Retail Uses), adversely affect the future redevelopment of the site. Staff Response: This project is not a Large Retail site plan.
- D. A site plan may not adversely affect the public health, safety, or welfare, or materially injure property. If the Land Use Commission determines that a site plan has an adverse effect or causes a material injury under this subsection, the Land Use Commission shall identify the adverse effect or material injury.





THIS PROJECT PROVIDES INSURANCE TO QUALIFIED CONTRACTORS. CONTRACTORS AND SUBCONTRACTORS OF ANY TIER SHALL WITHHOLD INSURANCE COSTS FROM THE BID, THUS REDUCING THE BID AMOUNT. PLEASE REFER TO THE SUPPLEMENTAL GENERAL CONDITIONS (SECTION 00810) AND THE SAFETY MANUAL FOR SPECIFIC INFORMATION REGARDING THE ROCIP.

SUMMARY NOTES

WALLER CREEK AND LADY BIRD LAKE URBAN WATERSHEDS. PROJECT IS SUBJECT TO WATERSHED PROTECTION REGULATIONS. **CLASSIFICATION:**

PROJECT IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE

OR CONTRIBUTING ZONE.

THIS PROJECT DOES LIE WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN, AS FLOODPLAIN NOTE: LOCATED ON FIRM PANEL NUMBER 48453C046565K DATED 01/21/2020

CITY OF AUSTIN

PARKS AND RECREATION DEPARTMENT

200 S. LAMAR BLVD. AUSTIN, TX 78704

PROGRAM ENGINEER:

KELLOGG BROWN & ROOT/ESPEY CONSULTANTS, INC. JOINT VENTURE

4801 SOUTHWEST PARKWAY, PARKWAY 2, SUITE 150 AUSTIN, TEXAS 78735

(512) 326-5659

CIVIL ENGINEER:

MWM DESIGN GROUP 305 E. HUNTLAND DR., SUITE 200

AUSTIN, TEXAS 78752

(512) 453-0767

BROWN & GAY ENGINEERS, INC. 7000 NORTH MO-PAC, SUITE 330

AUSTIN, TEXAS 78731

(512) 879-0400

GRAEBER, SIMMONS & COWAN, INC. ARCHITECT:

400 BOWIE ST. AUSTIN, TEXAS 70703

(512) 477-9417

STRUCTURAL/MECH.

ENCOTECH ENGINEERING CONSULTANTS, INC. 8500 BLUFFSTONE CV., SUITE B-103 **ENGINEER:**

> AUSTIN, TEXAS 78759 (512) 338-1101

HARUTUNIAN ENGINEERING. INC. **ELECTRICAL ENGINEER:** 305 E. HUNTLAND DR., SUITE 500

AUSTIN, TEXAS 78752

(512) 454-2788

SURVEYOR: MCGRAY & MCGRAY LAND SURVEYORS, INC.

3301 HANCOCK Dr., SUITE 6 AUSTIN, TEXAS 78731

(512) 451-8591

(512) 447-8166

GEOTECHNICAL ENGINEER:

APPROVED BY:

HOLT ENGINEERING, INC. 2220 BARTON SKYWAY AUSTIN, TEXAS 78704

WATERSHED APROTECTION DEPARTMENT

PUBLIC WORKS DEPARTMENT

Kese

5PC. 2009. 0362C

PARKS AND RECREATION DEPARTMENT

SITE PLAN/DEVELOPMENT PERMIT NUMBER

REVIEWED BY:

AUSTIN WATER UTILITY

AUSTIN FIRE DEPARTMENT

PLANNING AND DEVELOPMENT REVIEW DEPARTMENT

C.O.A. BRASS DISK SET IN CONC. SIDEWALK, 119' EAST OF FIVE

INTERSECTING SIDEWALKS JUST NORTH OF THE AUSTIN ROWING CENTER AT WALLER BEACH. J-21

ELEVATION = 455.56

FIRE FLOW DEMAND: 1,500 GPM* PER IFC 2003 WATER PRESSURE ZONE: CN1 BUILDING SIZE: 10,803 SF CONSTRUCTION TYPE: II B *AUTOMATIC SPRINKLER SYSTEM PROVIDED

6/11/10

DATE

06/03/10

DATE

6/4/10

DATE

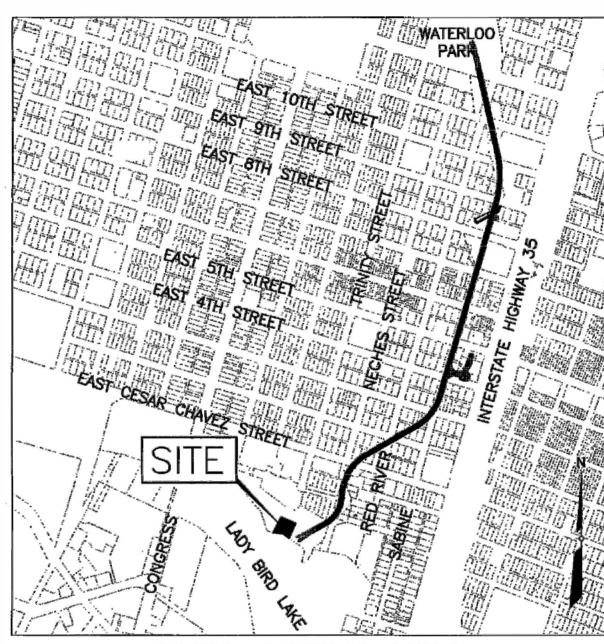
DATE

DATE



PARD BOAT FACILITY CIP ID #6521.002

* SEE SHEET TWO FOR INDEX *



SITE LOCATION - N.T.S.

COA GRID: J-21 MAPSCO PG: 585 W

PERMIT NO.:

SPC-2009-0362C 74 TRINITY STREET

ADDRESS: AUSTIN, TEXAS

LEGAL DESCRIPTION:

THE "RIVER WALK" THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS ACCORDING TO THE MAP ON FILE IN THE GENERAL LAND OFFICE OF TEXAS; AND SAID "RIVER WALK" BEING FURTHER DESCRIBED IN HOUSE BILL NO. 13,

BY 1917 LEGISLATIVE SESSION TO THE CITY OF AUSTIN.

SUBMITTAL DATE :

DECEMBER 14, 2009

SUBMITTED BY:

BRIAN K. REIS, P.E. #82746

6/2/2010 DATE

ESPEY CONSULTANTS, INC. TBPE #F-293

I, BRIAN K. REIS, P.E., CERTIFY THAT THESE PLANS ARE COMPLETE, ACCURATE AND IN COMPLIANCE WITH CHAPTER 25-8 SUBCHAPTER OF THE LAND DEVELOPMENT CODE.

, BRIAN K. REIS,, P.E., DO HEREBY CERTIFY THAT THE ENGINEERING WORK BEING SUBMITTED HEREIN COMPLIES WITH ALL PROVISIONS OF THE TEXAS ENGINEERING PRACTICE ACT, INCLUDING SECTION 131.152(e). I HEREBY ACKNOWLEDGE THAT ANY MISREPRESENTATION REGARDING THIS CERTIFICATION CONSTITUTES A VIOLATION OF THE ACT, AND MAY RESULT IN CRIMINAL, CIVIL AND/OR ADMINISTRATIVE PENALTIES AGAINST ME, AS AUTHORIZED BY THE ACT.



Kellogg Brown & Root Services, Inc. Espey Consultants, Inc.

Parkway 2, Suite 150 Austin, Texas 78735

(KBR/ESPEYJoint Venture) 4801 Southwest Parkway



REVISIONS / CORRECTIONS

NUMBER	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	TOTAL # SHEETS IN PLAN SET	NET CHANGE IMP. COVER (SQ. FT.)	TOTAL SITE IMP. COVER (SQ. FT.)/%	DATE	DATE IMAGED
1	18"SD REV HELE CROSS		57	+	4	CH1-U-11	
REV 2	REVISE BOAT DOCK AREA. RECONFIGURE EXISTING FLOATING DOCKS. DEMOLISH FAR WEST PERMANENT SHORELINE DOCK.	(R) 1, 2, 4, 7- 11, 18-19, 36-38, 44, 89-91	91	0	0		
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RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE ENGINEER.

SPONSOR DEPARTMENT WATERSHED PROTECTION DEPARTMENT

MANAGING DEPARTMENT

PUBLIC WORKS DEPARTMENT

MAYOR LEE LEFFINGWELL

CITY COUNCIL MEMBERS

CHRIS RILEY, PLACE 1'. MIKE MARTINEZ, PLACE 2 RANDI SHADE, PLACE 3

LAURA MORRISON, PLACE 4 BILL SPELMAN, PLACE 5 SHERYL COLE, PLACE 6

ZONING: DMU, P

prior to the Project Expiration Date.

SITE PLAN APPROVAL SHEET 1 OF 917
FILE NUMBER SPC-2009-0362C(R2)APPRICATION DATE 07/11 THIS SEAL APPEARING APPROVED BY COMMISSION ON 4-27-2010 UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE CLARISSA EXPIRATION DATE(25-5-81, LDC) 6-11-201385 MANAGER DAVIS THIS DOCUMENT WAS AUTHORIZED BY BRIAN K. REIS P.E. NO. 82746 ON 6/2/10

_Correction 2 ___

_Correction 3

Final Plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the

construction (it a building permit is not required), must also be approved

time of filling, and all required Building Permits and/or a notice of

Espey Consultants, Inc. 4801 SOUTHWEST PARKWAY PARKWAY 2, SUITE 150 AUSTIN, TEXAS 78735 (512) 326-5659

BRIAN K. REIS

82746

Sheet Reference Number: C-001

SPC-2009-0362C R2

TBPE #F-293

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					FILE NUMBER: SPC-2009-0362C APPLICATION DATE: 12-14-2009 APPROVED BY COMMISSION ON 4-20-10 UNDER SECTION 14 OF	* * 1 2 5
					CHAPTER 25-5 OF THE CITY OF AUSTIN CODE. EXPIRATION DATE(25-5-81 LDC) 1-12 CASE MANAGED LYNDA COLLETARY BR	RIAN K. REIS
					EXPIRATION DATE(25-5-81, LDC) (2-11-13) CASE MANAGER LYNDA COURTNEY PROJECT EXPIRATION DATE (ORD. #970905-A) 12-14-2014 DWPZ_DDZ_X	82746
					$\langle n_{11} \rangle \langle n_{11} \rangle \langle n_{12} $	SC STERON 3
					Director, Watershed Protection and Development Review RELEASED FOR GENERAL COMPLIANCE: ZONING P.	SOONE FROM
					RELEASED FOR GENERAL COMPLIANCE: Rev. 1 5.10.12 Correction 2 Correction 2 Espey Consultant	ts Inc
•	•				Rev. 3 Correction 3	us, Inc.
					Subsequent Site Plans which do not comply with the Code current at the	ΓΕ 150 📗 🖊 _
					time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved (512) 326-5659	
					prior to the Project Expiration Date.	Shee

APPENDIX P-1 - EROSION CONTROL NOTES 1. The contractor shall install erosion/sedimentation controls, tree/natural area protective fencing, and conduct "Pre-Construction" tree fertilization (if applicable) prior to any site preparation work (clearing, grubbing or excavation). 2. The placement of erosion/sedimentation controls shall be in accordance with the Environmental Criteria Manual and the approved Erosion and Sedimentation Control Plan. The COA ESC Plan shall be consulted		
and used as the basis for a TPDES required SWPPP. If a SWPPP is required, it shall be available for review by the City of Austin Environmental Inspector at all times during construction, including at the Pre-Construction meeting. The checklist below contains the basic elements that shall be reviewed for permit approval by COA EV Plan Reviewers as well as COA EV Inspectors. — Plan sheets submitted to the City of Austin MUST show the following:		
✓ Direction of flow during grading operations.) <u>B</u> C	D E
✓ Location, description, and calculations for off-site flow diversion structures.	PHASE 1-PARD BOAT FACILITY AND	
✓ Areas that will not be disturbed; natural features to be preserved.	SEQUENCE OF CONSTRUCTION -APPENDIX P-4 (MODIFIED)	PHASE 1-PARD BOAT FACILITY SEQUENCE OF CONSTRUCTION (CONTINUED)
✓ Delineation of contributing drainage area to each proposed BMP (e.g., silt fence, sediment basin, etc.).	NOTE TO CONTRACTOR: CONSTRUCTION ACTIVITIES SHALL BE SEQUENCED TO MAINTAIN OPENNESS OF HIKE AND BIKE TRAIL FROM THE WESTERN LIMITS OF CONSTRUCTION TO THE EASTERN LIMITS	11. INSTALL TEMPORARY AND PERMANENT SERVICE UTILITIES TO BUILDING #2 AS SHOWN ON THE APPROVED SITE PLAN. SERVICES TO BUILDING #2 TO REMAIN UNINTERRUPTED. PRIOR TO
✓ Location and type of E&S BMPs for each phase of disturbance.	OF CONSTRUCTION AND ON TO THE PEDESTRIAN BRIDGE OVER WALLER CREEK AT LADY BIRD	ABANDONMENT AND REMOVAL OF EXISTING GRINDER PUMP AND WET WELL, INSTALL AND PLACE INTO SERVICE NEW GRINDER PUMP, WET WELL, AND LOW PRESSURE FORCE MAIN.
✓ Calculations for BMPs as required.	LAKE. TEMPORARY TRAIL DETOUR SHALL BE MAINTAINED TO PROVIDE CLEAR AND SAFE PASSAGE THROUGH AND/OR AROUND THE LIMITS OF CONSTRUCTION.	
✓ Location and description of temporary stabilization measures.	GENERAL SEQUENCE OF CONSTRUCTION:	12. BEGIN SITE CLEARING/CONSTRUCTION ACTIVITIES FOR NEW BUILDING; INSTALL, CONNECT TO BUILDING, AND PLACE INTO SERVICE SITE UTILITIES AND OTHER SITE IMPROVEMENTS AS
 ✓ Location of on-site spoils, description of handling and disposal of borrow materials, and description of on-site permanent spoils disposal areas, including size, depth of fill and revegetation procedures. 	1. TEMPORARY EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED AS INDICATED ON	SHOWN ON THE APPROVED SITE PLAN. MAINTAIN SAFE AND CLEAR PASSAGE BETWEEN ADMINISTRATION/CLUBHOUSE (BUILDING #2), TEMPORARY SECURE BOAT STORAGE AREA,
✓ Describe sequence of construction as it pertains to ESC including the following elements:	THE APPROVED SITE PLAN AND IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT IS REQUIRED TO BE POSTED ON THE SITE. INSTALL TREE	DOCK/PIERS, AND EXISTING HIKE AND BIKE TRAIL FROM THE WESTERN LIMITS OF CONSTRUCTION TO THE EASTERN LIMITS OF CONSTRUCTION AND ONTO THE PEDESTRIAN
1.Installation sequence of controls (e.g. perimeter controls, then sediment basins, then temporary stabilization, then permanent, etc.)2.Project phasing if required (LOC greater than 25 acres)3.Sequence of grading operations and	PROTECTION AND INITIATE TREE MITIGATION MEASURES. INSTALL CONSTRUCTION SECURITY FENCE AS REQUIRED. INSTALL TEMPORARY PEDESTRIAN TRAIL REPOUTE AS SHOWN ON PLANS	BRIDGE OVER WALLER CREEK AT LADY BIRD LAKE.
notation of temporary stabilization measures to be used 4. Schedule for converting temporary basins to permanent WQ controls 5. Schedule for removal of temporary controls 6. Anticipated maintenance schedule for temporary controls	(SEE SHEET C-014).	13. AFTER ACQUISITION OF A TEMPORARY CO FOR THE NEW BUILDING AND RELOCATION OF THE TENANTS FROM BUILDING #2 AND ITEMS FROM SECURE TEMPORARY BOAT STORAGE AREA TO
— Categorize each BMP under one of the following areas of BMP activity as described below:	2. THE ENVIRONMENTAL PROJECT MANAGER OR SITE SUPERVISOR MUST CONTACT THE WATERSHED PROTECTION DEPARTMENT, ENVIRONMENTAL INSPECTION, AT 512-974-2278, 72	THE NEW BUILDING, REMOVE SECURITY FENCE FOR TEMPORARY BOAT STORAGE AREA AND BEGIN DEMOLITION ACTIVITIES OF THE EXISTING ADMINISTRATION/CLUBHOUSE (BUILDING #2).
3.1 Minimize disturbed area and protect natural features and soil	HOURS PRIOR TO THE SCHEDULED DATE OF THE REQUIRED ON-SITE PRECONSTRUCTION MEETING.	MAINTAIN SAFE AND CLEAR PASSAGE BETWEEN NEW BUILDING, PIERS/DOCKS, AND EXISTING HIKE AND BIKE TRAIL FROM THE WESTERN LIMITS OF CONSTRUCTION TO THE EASTERN LIMITS
3.2 Control Stormwater flowing onto and through the project	$\frac{1}{2}$	OF CONSTRUCTION AND ONTO THE PEDESTRIAN BRIDGE OVER WALLER CREEK AT LADY BIRD
3.3 Stabilize Soils	3. THE ENVIRONMENTAL PROJECT MANAGER, AND/OR SITE SUPERVISOR, AND/OR DESIGNATED RESPONSIBLE PARTY, AND THE GENERAL CONTRACTOR WILL FOLLOW THE STORM WATER	LAKE.
3.4 Protect Slopes	POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE. TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE REVISED, IF NEEDED, TO COMPLY WITH CITY INSPECTORS'	14. INSTALL PERMANENT WATER QUALITY POND AS SHOWN ON THE APPROVED SITE PLAN. CONSTRUCT PERMANENT OUTLET STRUCTURE AND STORM DRAIN LINE 2—A PRIOR TO
3.5 Protect Storm Drain Inlets	DIRECTIVES, AND REVISED CONSTRUCTION SCHEDULE RELATIVE TO THE WATER QUALITY PLAN REQUIREMENTS AND THE EROSION PLAN.	DEVELOPMENT OF EMBANKMENT OR EXCAVATION THAT LEADS TO PONDING CONDITIONS. CONSTRUCT WATER QUALITY POND AND ALL APPURTENANCES BETWEEN STATION 1+00 OF
3.6 Establish Perimeter Controls and Sediment Barriers	4. TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE INSPECTED AND MAINTAINED IN	STORM DRAIN LINE 2—A AND THE SPLITTER BOX. REMOVE TEMPORARY PLUG IN STORM DRAIN LINE 2—B AND CONNECT TO SPLITTER BOX AND CURB INLET.
3.7 Retain Sediment On-Site and Control Dewatering Practices	ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE.	15. COMPLETE CONSTRUCTION AND START REVEGETATION OF THE SITE AND INSTALLATION OF
3.8 Establish Stabilized Construction Exits	5. TREES WILL BE FERTILIZED PRIOR TO ANY CONSTRUCTION ACTIVITY. MATERIALS AND METHODS	LANDSCAPING.
3.9 Any Additional BMPs	ARE TO BE APPROVED BY THE CITY ARBORIST (974–1876) PRIOR TO APPLICATION.	16. UPON COMPLETION OF THE SITE CONSTRUCTION AND REVEGETATION OF A PROJECT SITE, THE DESIGN ENGINEER SHALL SUBMIT AN ENGINEER'S LETTER OF CONCURRENCE TO THE
— Note the location of each BMP on your site map(s).	THE GENERAL CONTRACTOR SHALL SELECT A FERTILIZATION CONTRACTOR AND INSURE COORDINATION WITH THE CITY ARBORIST. WITHIN 7 DAYS AFTER FERTILIZATION IS	WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT INDICATING THAT CONSTRUCTION, INCLUDING REVEGETATION, IS COMPLETE AND IN SUBSTANTIAL CONFORMITY
— For any structural BMPs, you should provide design specifications and details and refer to them.	PERFORMED, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF THE WORK PERFORMED	WITH THE APPROVED PLANS. AFTER RECEIVING THIS LETTER, A FINAL INSPECTION WILL BE
— For more information, see City of Austin Environmental Criteria Manual 1.4.	TO THE CITY ARBORIST, WATERSHED PROTECTION, P.O. BOX 1088, AUSTIN, TEXAS, 78767.	SCHEDULED BY THE APPROPRIATE CITY INSPECTOR.
3. The Placement of tree/natural area protective fencing shall be in accordance with the City of Austin standard Notes for Tree and Natural Area Protection and the approved Grading/Tree and Natural Area Plan. 4. A preconstruction conference shall be held on-site with the contractor, design Engineer/permit applicant and Environmental Inspector after installation of the erosion/sedimentation controls, tree/natural area protection measures and	ALL CLASS 1 TREES WITHIN (OR ADJACENT TO) THE LIMITS OF CONSTRUCTION WHICH ARE INDICATED TO BE PRESERVED (ON THE PLANS) WILL BE FERTILIZED PRIOR TO THE	17. UPON COMPLETION OF LANDSCAPE INSTALLATION OF A PROJECT SITE, THE LANDSCAPE ARCHITECT SHALL SUBMIT A LETTER OF CONCURRENCE TO THE WATERSHED PROTECTION AND
"Pre-Construction" tree fertilization (if applicable) prior to beginning any site preparation work. The owner or owner's representative shall notify the Development Services Department, 512-974-2278 or by email at environmental.inspections@austintexas.gov, at least three days prior to the meeting date. COA approved ESC Plan and TPDES SWPPP (if required) should be reviewed by COA EV Inspector at this time.5.Any major variation in	BEGINNING OF CONSTRUCTION ACTIVITIES AND ÁGAIN AFTER THE COMPLETION OF ALL CONSTRUCTION. AREAS TO BE FERTILIZED INCLUDE THE ENTIRE CRITICAL ROOT ZONE OF A	DEVELOPMENT REVIEW DEPARTMENT INDICATING THAT THE REQUIRED LANDSCAPING IS COMPLETE AND IN SUBSTANTIAL CONFORMITY WITH THE APPROVED PLANS. AFTER RECEIVING
materials or locations of controls or fences from those shown on the approved plans will require a revisions and must be approved by the reviewing Engineer, Environmental Specialist or City Arborist as appropriate. Major revisions must be approved by authorized COA staff. Minor changes to be made as field revisions to the Erosion and Sedimentation Control Plan may be required by the Environmental Inspector during the course of construction	TREE AS DEPICTED ON THE CITY APPROVED PLANS. TREES ARE TO BE FERTILIZED VIA SOIL INJECTION METHOD (MINIMUM100 PSI), USING DOGGETT X-L INJECTO 32-7-7 OR	THIS LETTER, A FINAL INSPECTION WILL BE SCHEDULED BY THE APPROPRIATE CITY INSPECTOR.
to correct control inadequacies.6. The contractor is required to provide a certified inspector that is either a licensed engineer (or person directly supervised by the licensed engineer) or Certified Professional in Erosion and Sediment Control (CPESC or CPESC - IT), Certified Erosion, Sediment and Stormwater - Inspector (CESSWI or CESSWI - IT) or Certified Inspector of Sedimentation and Erosion Controls (CISEC or CISEC - IT) certification to	EQUIVALENT AT RECOMMENDED RATES. CONSTRUCTION THAT WILL BE COMPLETED IN LESS THAN 90 DAYS SHOULD USE MATERIAL AT ½ RECOMMENDED RATES. ALTERNATIVE ORGANIC	18. AFTER A FINAL INSPECTION HAS BEEN CONDUCTED BY THE CITY INSPECTOR AND WITH
inspect the controls and fences at weekly or bi-weekly intervals and after one-half (½) inch or greater rainfall events to insure that they are functioning properly. The person(s) responsible for maintenance of controls and fences shall immediately make any necessary repairs to damaged areas. Silt accumulation at controls must be removed when the depth reaches six (6) inches or one-third (⅓) of the installed height of the control whichever is less.7. Prior	FERTILIZER MATERIALS ARE ACCEPTABLE WHEN APPROVED BY THE CITY ARBORIST.	APPROVAL FROM THE CITY INSPECTOR, REMOVE THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND COMPLETE ANY NECESSARY FINAL REVEGETATION RESULTING FROM REMOVAL
to final acceptance by the City, haul roads and waterway crossings constructed for temporary contractor access must be removed, accumulated sediment removed from the waterway and the area restored to the original grade and revegetated. All land clearing debris shall be disposed of in approved spoil disposal sites.8.All work must stop if a void in the rock substrate is discovered which is; one square foot in total area; blows air from within the substrate	6. INSTALL ALL LANDSCAPING, SCREENING, AND IRRIGATION WITHIN THE TEMPORARY WORKSPACE EASEMENT ON THE FOUR SEASON PROPERTY AS SHOWN ON PLANS (SEE L-003).	OF THE CONTROLS. CONDUCT ANY MAINTENANCE AND REHABILITATION OF THE WATER QUALITY PONDS OR CONTROLS.
and/or consistently receives water during any rain event. At this time it is the responsibility of the Project Manager to immediately contact a City of Austin Environmental Inspector for further investigation. In addition, if the project site is located within the Edwards Aquifer, the Project Manager must notify the Travis County Balcones Canyonlands Conservation Preserve (BCCP) by email at bccp@traviscountytx.gov. Construction activities within 50	CONTRACTOR SHALL COORDINATE INSTALLATION OF PLANTS AND IRRIGATION, AS WELL AS MODIFICATIONS TO BOTH FOUR SEASON'S IRRIGATION AND EXISTING PARK IRRIGATION SYSTEMS	
feet of the void must stop.9. Temporary and Permanent Erosion Control: All disturbed areas shall be restored as noted below: A. All disturbed areas to be revegetated are required to place a minimum of six (6) inches of topsoil [see Standard Specification Item No. 601S.3(A)]. Do not add topsoil within the critical root zone of existing trees.	WITH THE FOUR SEASON'S LANDSCAPER: LANDSCAPE RESOURCES, INC. JARED ARMSTRONG AT 512.563.9409.	PHASE 2-OUTLET FACILITY APPENDIX P-4: SEQUENCE OF CONSTRUCTION
• Topsoil salvaged from the existing site is encouraged for use, but it should meet the standards set forth in 601S.	7. BEGIN SITE CLEARING/CONSTRUCTION ACTIVITIES FOR NEW ACCESS ROAD FROM STATION 6+80	1. INSTALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND TREE PROTECTION FOR
An owner/engineer may propose use of onsite salvaged topsoil which does not meet the criteria of Standard Specification 601S by providing a soil analysis and a written statement from a qualified professional in soils, landscape architecture, or agronomy indicating the onsite topsoil will provide an equivalent growth media and specifying what, if any, soil amendments are required.	TO STATION 10+06.21 (SEE PLAN SHEET C-015 FOR STATION LOCATION). ALL CONSTRUCTION	THIS STEP AS INDICATED ON THE APPROVED SITE PLAN IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT IS REQUIRED TO BE POSTED ON
• Soil amendments shall be worked into the existing onsite topsoil with a disc or tiller to create a well-blended material.	ACTIVITIES FOR THE ACCESS ROAD SHALL BE PURSUANT TO SPECIAL CONDITIONS AS STATED ON THE APPROVED SITE PLAN (SEE SHEETS C-015). CONSTRUCTION OF ACCESS ROAD SHALL	THE SITE.
The vegetative stabilization of areas disturbed by construction shall be as follows:	INCLUDE INSTALLATION OF PROPOSED UTILITIES AND ADJUSTMENTS TO EXISTING UTILITIES AS REQUIRED TO MAINTAIN MINIMUM COVER.	2. THE ENVIRONMENTAL PROJECT MANAGER OR SITE SUPERVISOR MUST CONTACT THE WATERSHED
TEMPORARY VEGETATIVE STABILIZATION:	SEQUENCE OF STORM DRAIN LINE CONSTRUCTION	PROTECTION DEPARTMENT, ENVIRONMENTAL INSPECTION, AT 512-974-2278, 72 HOURS PRIOR TO THE SCHEDULED DATE OF THE REQUIRED ON-SITE PRECONSTRUCTION MEETING.
1. From September 15 to March 1, seeding shall be with or include a cool season cover crop: (Western Wheatgrass (Pascopyrum smithii) at 5.6 pounds per acre, Oats (Avena sativa) at 4.0 pounds per acre, Cereal Rye Grain (Secale	a. CONSTRUCT STORM DRAIN LINE #1 AS SHOWN ON THE PLAN TO DISCHARGE TO LADY	3. THE ENVIRONMENTAL PROJECT MANAGER, AND/OR SITE SUPERVISOR, AND/OR DESIGNATED
cereale) at 45 pounds per acre. Contractor must ensure that any seed application requiring a cool season cover crop does not utilize annual ryegrass (Lolium multiflorum) or perennial ryegrass (Lolium perenne). Cool season cover crops are not permanent erosion control.2. From March 2 to September 14, seeding shall be with hulled Bermuda at a rate of 45 pounds per acre or a native plant seed mix conforming to Item 604S or 609S.A. Fertilizer shall be	BIRD LAKE. THIS STORM DRAIN LINE SHALL SERVE AS A BY—PASS FOR OFF—SITE STORMWATER RUNOFF FROM TRINITY STREET TO PASS UNDER THE SITE.	RESPONSIBLE PARTY, AND THE GENERAL CONTRACTOR WILL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE. TEMPORARY EROSION AND
applied only if warranted by a soil test and shall comform to Item No. 606S, Fertilizer. Fertilization should not occur when rainfall is expected or during slow plant growth or dormancy. Chemical fertilizer may not be applied in the Critical Water Quality Zone. B. Hydromulch shall comply with Table 1, below. C. Temporary erosion control shall be acceptable when the grass has grown at least 1½ inches high with a minimum of 95% total coverage so that all	b. CONSTRUCT STORM DRAIN LINE 2-B (18-INCH RCP FOR WATER QUALITY POND) FROM	SEDIMENTATION CONTROLS WILL BE RÉVISED, IF NEEDED, TO COMPLY WITH CITY INSPECTOR'S DIRECTIVES, AND REVISED CONSTRUCTION SCHEDULE RELATIVE TO THE WATER QUALITY PLAN
areas of a site that rely on vegetation for temporary stabilization are uniformly vegetated, and provided there are no bare spots larger than 10 square feet.D.When required, native plant seeding shall comply with requirements of the City of Austin Environmental Criteria Manual, and Standard Specification 604S or 609S.	STATION 1+06 TO STATION 4+30 TEMPORARILY PLUG BOTH ENDS. PROVIDE AND PROTECT ABOVE GRADE MARKERS TO DESIGNATE LOCATION OF STATION 1+06 AND	REQUIREMENTS AND THE EROSION PLAN.
Table 1: Hydromulching for Temporary Vegetative Stabilization	STATION 4+30 OF STORM DRAIN LINE 2-B. DO NOT CONNECT STORM DRAIN LINE 2-B TO SPLITTER BOX AT STA 1+00 OR EXISTING CURB INLET AT STATION 4+32.9 UNTIL	4. TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON
Material Description Longevity Typical Applications Application Rates 100% or any blend of wood, cellulose, straw, and/or cotton plant material (except no mulch shall exceed 30% paper) 70% or greater	WATER QUALITY POND IS COMPLETE AND READY FOR USE.	THE SITE.
Wood/Straw 30% or less Paper or Natural Fibers 0—3 months Moderate slopes; from flat to 3:1 1,500 to 2,000 lbs per acre	8. INSTALL TEMPORARY SECURITY FENCE WITH LOCKING GATE FOR TEMPORARY BOAT STORAGE AREA, COORDINATE WITH OWNER.	5. INSTALL TEMPORARY PERIMETER TRAIL TO MAINTAIN PEDESTRIAN / BICYCLE CONNECTION WITH
PERMANENT VEGETATIVE STABILIZATION:	9. REMOVE EXISTING FLOATING DOCKS, PIERS, AND BULKHEADS; COORDINATE WITH OWNER FOR	EXISTING PEDESTRIAN BRIDGE OVER WALLER CREEK.
1. From September 15 to March 1, seeding is considered to be temporary stabilization only. If cool season cover crops exist where permanent vegetative stabilization is desired, the grasses shall be mowed to a height of less than one-	RELOCATION OF EXISTING DOCKS. INSTALL TURBIDITY CURTAIN AROUND PROPOSED DOCK	6. BEGIN SITE CLEARING AND DEMOLITION OF EXISTING STRUCTURES WHILE MAINTAINING TEMPORARY TRAIL.
half (½) inch and the area shall be re-seeded in accordance with Table 2 below. Alternatively, the cool season cover crop can be mixed with Bermudagrass or native seed and installed together, understanding that germination of warm-season seed typically requires soil temperatures of 60 to 70 degrees. 2. From March 2 to September 14, seeding shall be with hulled Bermuda at a rate of 45 pounds per acre with a purity of 95% and a minimum pure live seed	LOCATION AND INSTALL PILES, PIERS, AND DOCKS AS INDICATED ON THE APPROVED SITE PLAN. REMOVE TURBIDITY CURTAIN AT END OF DOCK/PIER INSTALLATION TO ALLOW USE OF	7. PRIOR TO ANY WORK IN THE LAKE BED OR BELOW ELEV 430 INSTALL THE TURBITY CURTAIN
(PLS) of 0.83. Bermuda grass is a warm season grass and is considered permanent erosion control. Permanent vegetative stabilization can also be accomplished with a native plant seed mix conforming to Item 604S or 609S.A.Fertilizer use shall follow the recommendation of a soil test. See Item 606S, Fertilizer. Applications of fertilizer (and pesticide) on City-owned and managed property requires the yearly submittal of a Pesticide and Fertilizer	DOCKS.	PER SPECIAL SPEC 35202.
Application Record, along with a current copy of the applicator's license. For current copy of the record template contact the City of Austin's IPM Coordinator.B. Hydromulch shall comply with Table 2, below. C. Water the seeded areas immediately after installation to achieve germination and a healthy stand of plants that can ultimately survive without supplemental water. Apply the water uniformly to the planted areas without causing displacement or	10. BEGIN DEMOLITION ACTIVITIES OF THE EXISTING BOAT STORAGE FACILITY (BUILDING #1). MAINTAIN SAFE AND CLEAR PASSAGE BETWEEN ADMINISTRATION/CLUBHOUSE (BUILDING #2), TEMPORARY SECURE BOAT STORAGE AREA DOCK/PIERS AND EXISTING HIVE AND BUILDING #2)	8. INSTALL COFFERDAM TO ALLOW CONSTRUCTION ACTIVITIES WITHIN EXISTING LAKE BED.
erosion of the materials or soil. Maintain the seedbed in a moist condition favorable for plant growth. All watering shall comply with City Code Chapter 6-4 (Water Conservation), at rates and frequencies determined by a licensed irrigator or other qualified professional, and as allowed by the Austin Water Utility and current water restrictions and water conservation initiatives.D.Permanent erosion control shall be acceptable when the grass has grown at	TEMPORARY SECURE BOAT STORAGE AREA, DOCK/PIERS, AND EXISTING HIKE AND BIKE TRAIL FROM THE WESTERN LIMITS OF CONSTRUCTION TO THE EASTERN LIMITS OF CONSTRUCTION	9. TO ISOLATE EXCAVATION FROM LADY BIRD LAKE AND WALLER CREEK INSTALL CONCRETE TRENCH WALL.
least 1½ inches high with a minimum of 95 percent for the non-native mix, and 95 percent coverage for the native mix so that all areas of a site that rely on vegetation for stability must be uniformly vegetated, and provided there are no bare spots larger than 10 square feet. E. When required, native plant seeding shall comply with requirements of the City of Austin Environmental Criteria Manual, Items 604S and 609S.	AND ONTO THE PEDESTRIAN BRIDGE OVER WALLER CREEK AT LADY BIRD LAKE.	10. EXCAVATE OUTLET COVE, SHAFT AND TUNNEL. INSTALL STEEL TUBE SHORING SUPPORTING
Table 2: Hydromulching for Permanent Vegetative Stabilization		EXCAVATION DOWN TO TUNNEL LEVEL AND ROCK ANCHOR EXCAVATION AS REQUIRED.
Material Description Longevity Typical Applications Application Rates Bonded Fiber Matrix (BFM) 80% Organic defibrated fibers		11. INSTALL CONCRETE APRON, SIDE WINGWALLS, CONCRETE CANTILEVER WALLS, SPILLWAY AND FLIP BUCKET, ACCESS RAMP, CONCRETE CANTILEVER WALLS AROUND WETLANDS POND, INTAKE
10% Tackifier 6 months On slopes up to 2:1 and erosive soil conditions 2,500 to 4,000 lbs per acre (see manufacturers recommendations) Fiber Reinforced Matrix (FRM) 65% Organic defibrated fibers		PIPE, ETC. COMPLETE TUNNEL AND SHAFT CONSTRUCTION.
25% Reinforcing Fibers or less 10% Tackifier Up to 12 months On slopes up to 1:1 and erosive soil conditions 3,000 to 4,500 lbs per acre (see manufacturers recommendations)		
27 to 12 monato on stopes up to 11 and crossive son conditions 3,000 to 4,500 to 9 per acre (see manufacturers recommendations)	The following sequence of construction shall be used for all development. The applicar	It is encouraged to provide any additional details appropriate for the particular develo
10.Developer Information: Owner _CITY OF AUSTIN(AUSTIN ROWING CLUB)		
Phone # _NA	1. Temporary erosion and sedimentation controls are to be installed as indicated on the be posted on the site. Install tree protection, initiate tree mitigation measures and cond	
Address _P.O. BOX 1088, AUSTIN, TX, 78767	512-974-2278, 72 hours prior to the scheduled date of the required on-site preconstruc	
Owner's representative responsible for plan alterations:	(ESC) and Storm Water Pollution Prevention Plan (SWPPP) posted on the site. Temporal areas in plan 4 Pough grade the pond(s) at 100% proposed capacity. Fither the perr	· · · · · · · · · · · · · · · · · · ·
Phone #	the erosion plan.4.Rough grade the pond(s) at 100% proposed capacity. Either the permoutlet and an emergency spillway meeting the requirements of the Drainage Criteria M	± ,
	the permanent water quality pond(s) 5 Temporary erosion and sedimentation controls	

Person or firm responsible for erosion/sedimentation control maintenance:

Person or firm responsible for tree/natural area protection Maintenance:

►11.The contractor shall not dispose of surplus excavated material from the site without notifying the Development Services Department at 512-974-2278 at least 48 hours prior with the location and a copy of the permit issued to

Source: Rule No. R161;15;13;1-4;2016; Rule No. R161-17,03; 3-2-2017; Rule No. R161-19.02; 3-14;2019.

LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE BOAT STORAGE AREA TO DAT STORAGE AREA AND LIMITS OF CONSTRUCTION FOR THIS PROJECT. JBHOUSE (BUILDING #2) S/DOCKS, AND EXISTING BARRICADES MUST BE ERECTED 10 FEET FROM AUSTIN ENERGY TRANSMISSION STRUCTURES TO THE EASTERN LIMITS DURING CONSTRUCTION. ER CREEK AT LADY BIRD ANY RELOCATIONS OR OUTAGES CAUSED BY THIS PROJECT WILL BE CHARGED TO THE CONTRACTOR/OWNER. APPROVED SITE PLAN. WARNING SIGNS MUST BE PLACED UNDER THE OVERHEAD TRANSMISSION LINES TO MAKE ALL LINE 2-A PRIOR TO PERSONNEL AWARE OF THE ELECTRICAL HAZARD. PONDING CONDITIONS. VEEN STATION 1+00 OF NO DUMPSTERS, STAGING OR SPOILS AREAS ALLOWED WITHIN OR 20 FEET ADJACENT TO THE Y PLUG IN STORM DRAIN TRANSMISSION EASEMENT FOR SAFETY REASONS. PRIOR TO MOBILIZING TALL EQUIPMENT SUCH AS CRANES, CALL DAVID SLOAN, 512.505.7115, AND INSTALLATION OF TO COORDINATE WITH TRANSMISSION PERSONNEL. PROPERTY OWNER IS TO PROVIDE FREE AND EASY ACCESS 24 HOURS A DAY TO THE OF A PROJECT SITE, THE CONCURRENCE TO THE MENT INDICATING THAT 10. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROLS FOR INSULATORS AND TO PREVENT UBSTANTIAL CONFORMITY FLASHING. CONTRACTOR IS RESPONSIBLE FOR ALL OUTAGES CAUSED BY THE DUST FROM THIS IAL INSPECTION WILL BE PROJECT PRE-CONSTRUCTION SAFETY MEETING REQUIRED WITH AE STAFF. FAILURE TO DO SO WILL 1444444 RESULT IN THE PROJECT BEING SHUTDOWN. CONTACT DAVID SLOAN AT 512-505-7115 A SITE, THE LANDSCAPE MINIMUM OF THREE BUSINESS DAYS PRIOR TO COMMENCING CONSTRUCTION TO SCHEDULE RSHED PROTECTION AND TAILGATE MEETING NOTE: FOR CURRENT REVISION 2 JIRED LANDSCAPING IS PLANS. AFTER RECEIVING HIGHLAND THE APPROPRIATE CITY LAKES **ENGINEERING** INSPECTOR AND WITH SION AND SEDIMENTATION SULTING FROM REMOVAL OF THE WATER QUALITY 12. FILL IN EXCAVATION ABOVE TUNNEL, INSTALL MSE WALLS, AND BRING TO FINAL GRADES. 13. PERMANENT WATER QUALITY PONDS OR CONTROLS WILL BE CLEANED OUT AND FILTER MEDIA

AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY

WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE

THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED. FOR THE

INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC

FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE

TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OFF

THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER

COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.

ELECTRICAL NOTES

CITY OF AUSTIN LAND DEVELOPMENT CODE.

17. UPON FINAL INSPECTION CONDUCTED BY THE CITY INSPECTOR AND WITH APPROVAL FROM THE CITY INSPECTOR, REMOVE THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND

COMPLETE ANY NECESSARY FINAL REVEGETATION RESULTING FROM REMOVAL OF THE

CONTROLS. CONDUCT ANY MAINTENANCE AND REHABILITATION OF THE CONTROLS.

WILL BE INSTALLED PRIOR TO / CONCURRENTLY WITH REVEGETATION OF SITE.

LOCATION

LANDSCAPING.

APPROPRIATE CITY INSPECTOR.

Subsequent Site Plans which do not comply with the Code current at the

time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

14. INSTALL BOAT DOCK PEIR AND DECK AND RELOCATE EXISTING FLOATING DOCKS TO NEW

15. COMPLETE CONSTRUCTION AND START REVEGETATION OF THE SITE AND INSTALLATION OF

16. UPON COMPLETION OF THE SITE CONSTRUCTION AND REVEGETATION. THE DESIGN ENGINEER

AND DEVELOPMENT REVIEW DEPARTMENT INDICATING THAT CONSTRUCTION, INCLUDING REVEGETATION, IS COMPLETE AND IN SUBSTANTIAL CONFORMITY WITH THE APPROVED PLANS.

AFTER RECEIVING THIS LETTER, A FINAL INSPECTION WILL BE SCHEDULED BY THE

SHALL SUBMIT AN ENGINEER'S LETTER OF CONCURRENCE TO THE WATERSHED PROTECTION

Replacement Sned SITE PLAN APPROVAL SHEET 4 OF 86
FILE NUMBER: SPC-2009-0362C APPLICATION DATE: 12-14-2009
APPROVED BY COMMISSION ON 4-20-10 UNDER SECTION 141 OF
CHAPTER 28-3 OF THE CITY OF AUSTIN CODE. EXPIRATION DATE(25-5-81, LDC) 6-16-13 CASE MANAGER LYNDA COURTNEY Project expiration date (ord. #970905-a) 12-14-2014 DWPZ_DDZ_X ma County Sirector, Watershed Protection and Development Review RELEASED_FOR GENERAL COMPLIANCE:___ ___ ZONING P 1 200 5-10 · 12 Correction 1 Final Plat must be recorded by the Project Expiration Date, if applicable.

BRIAN K. REIS

Espey Consultants, Inc. 4801 SOUTHWEST PARKWAY PARKWAY 2, SUITE 150 AUSTIN, TEXAS 78735 (512) 326-5659 TBPE #F-293

Sheet 4 of

Reference /

Number: R

SPC-2009-0362CR2

ccordance with the Erosion Sedimentation Control Plan (ESC) and Stormwater Pollution Prevention Plan (SWPPP) that is required to Environmental Project Manager or Site Supervisor must contact the Development Services Department, Environmental Inspection, at Site Supervisor, and/or Designated Responsible Party, and the General Contractor will follow the Erosion Sedimentation Control Plan eded, to comply with City Inspectors' directives, and revised construction schedule relative to the water quality plan requirements and icted prior to development of embankment or excavation that leads to ponding conditions. The outlet system must consist of a sump pit l. The outlet system shall be protected from erosion and shall be maintained throughout the course of construction until installation of d(s).5.Temporary erosion and sedimentation controls will be inspected and maintained in accordance with the Erosion Sedimentation Control Plan (ESC) and Storm Water Pollution Prevention Plan (SWPPP) posted on the site.6.Begin site clearing/ construction (or demolition) activities. 7. In the Barton Springs Zone, the Environmental Project Manager or Site Supervisor will schedule a mid-construction conference to coordinate changes in the construction schedule and evaluate effectiveness of the erosion control plan after possible construction alterations to the site. Participants shall include the City Inspector, Project Engineer, General Contractor and Environmental Project Manager or Site Supervisor. The anticipated completion date and final construction sequence and inspection schedule will be coordinated with the appropriate City Inspector.8. Permanent water quality ponds or controls will be cleaned out and filter media will be installed prior to/concurrently with revegetation of site.9. Complete construction and start revegetation of the site and installation of andscaping. 10. Upon completion of the site construction and revegetation of a project site, the design engineer shall submit an engineer's seal, signature, and date to the Development Services Department indicating that construction, including revegetation, is complete and in substantial compliance with the approved plans. After receiving this letter, a final inspection will be scheduled by the appropriate City inspector.11. Upon completion of landscape installation of a project site, the Landscape Architect shall submit a letter of concurrence to the Development Services Department indicating that the required landscaping is complete and in substantial conformity with the approved plans. After receiving this letter, a final inspection will be scheduled by the appropriate City inspector.12. After a final inspection has been conducted by the City inspector and with approval from the City inspector, remove the temporary erosion and sedimentation controls and complete any necessary final revegetation resulting from removal of the controls. Conduct any maintenance and rehabilitation of the water quality ponds or controls.