

**ZONING AND PLATTING SITE PLAN REVIEW SHEET
CONDITIONAL USE SITE PLAN APPROVAL**

CASE NUMBER: SPC-2009-0362C(R2)

ZAP DATE: October 17th, 2023

PROJECT NAME: Waller Creek Tunnel Project- Waller Beach Improvements SPR #2

ADDRESS: 74 Trinity Street

AREA: 28.7 acres

APPLICANT: City of Austin
505 Barton Springs
Austin, TX 78704

AGENT: Stephen Hawkins (Aqua Permits, LLC)
6504 Betty Cook Drive
Austin, TX 78723
Phone: (512) 750-1402

EXISTING ZONING: P

PROPOSED DEVELOPMENT:

Approval of a conditional use permit to allow the reconfiguration of boat dock on P zoning.

WATERSHED: Lady Bird Lake

APPLICABLE WATERSHED ORDINANCE: Current/ Comprehensive Watershed Ordinance

CAPITOL VIEW: N/A

T.I.A.: TIA not required.

SUMMARY STAFF RECOMMENDATION:

Staff recommends approval of the improvements shown on the site plan. The related site plan has been reviewed in accordance with all requirements of the Land Development Code once submitted.

PLANNING COMMISSION ACTION:

Related Case: N/A

CASE MANAGER: Clarissa Davis
Clarissa.Davis@austintexas.org

Telephone: (512) 974-1423

PROJECT INFORMATION:

ZONING: P

MAX. BLDG. CVRG: n/a

MAX. HEIGHT: n/a

MAX. IMP. CVRG: n/a

EXIST. USE: Boat Dock

PROP. BLDG. CVRG: n/a

PROP. HEIGHT: n/a

PROP. IMPERV. CVRG.: n/a

PROPOSED USE: Boat Dock

SUMMARY COMMENTS ON SITE PLAN:

Land Use: The submitted site plan is for the reconstruction of the existing floating boat docks. This project is required to receive Conditional Use approval per the P zoning 25-2-625(D)2.

Environmental: The site is not located in the Edward's Aquifer Recharge Zone. The site is in the Lady Bird Lake watershed.

SURROUNDING CONDITIONS:

Zoning/ Land use:

North: CBD; Retail

East: CBD; Retail

South: n/a

West: DMU; Residential

Street	R.O.W.	Surfacing	Classification
Trinity Street	80'	Varies	Level 2

CONDITIONAL USE PERMIT REVIEW AND EVALUATION CRITERIA

The following evaluation is included to provide staff position on each point of the conditional use permit criteria. Section 25-5-145 of the Land Development Code states:

A. "The Land Use Commission shall determine whether the proposed development or use of a conditional use site plan complies with the requirements of this section."

B. A Conditional Use Site Plan Must:

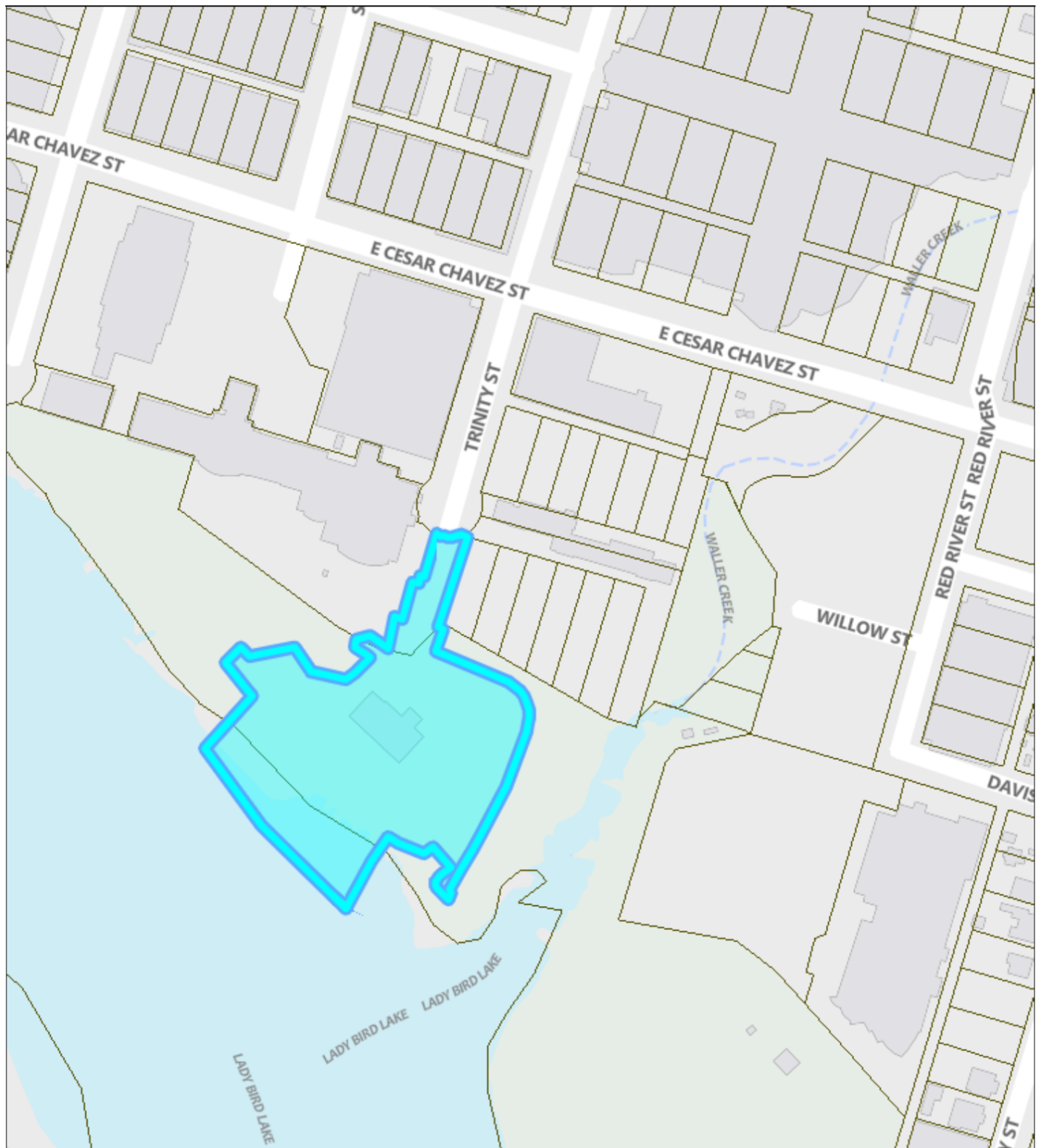
- 1. Comply with the requirements of this title;** Staff Response: This site plan complies with all regulations and requirements of the Land Development Code.
- 2. Comply with the objectives and purposes of the zoning district;** Staff Response: The proposed use is compatible with the abutting uses.
- 3. Have building height, bulk, scale, setback, open space, landscaping, drainage, access, traffic circulation, and use that is compatible with the use of an abutting site;** Staff Response: The site plan has complied with the Land Development Code.
- 4. Provide adequate and convenient off-street parking and loading facilities; and** Staff Response: These items have been reviewed and approved by the appropriate reviewer.

5. **Reasonably protect persons and property from erosion, flood, fire, noise, glare, and similar adverse effects.** Staff Response: These items have been reviewed and approved by the appropriate reviewers.
6. **For conditional use located within the East Austin Overlay district, comply with the goals and objectives of a Neighborhood Plan adopted by the City Council for the area in which the use is proposed.** Staff Response: This project is not within the East Austin Overlay.

C. A Conditional Use Site Plan May Not:

1. **More adversely affect an adjoining site than would a permitted use;** Staff response: The site plan will not adversely affect any adjoining properties.
2. **Adversely affect the safety or convenience of vehicular or pedestrian circulation, including reasonably anticipated traffic and uses in the area;** Staff response: The site plan is not anticipated to have any detriment of vehicular safety or convenience. The site plan is improving these items.
3. **Adversely affects an adjacent property or traffic control through the location, lighting, or type of signs;** Staff response: All proposed signs will comply with the Land Development Code.
4. **For a large retail use described in Section 25-2-815 (Large Retail Uses), adversely affect the future redevelopment of the site.** Staff Response: This project is not a Large Retail site plan.

- D. A site plan may not adversely affect the public health, safety, or welfare, or materially injure property. If the Land Use Commission determines that a site plan has an adverse effect or causes a material injury under this subsection, the Land Use Commission shall identify the adverse effect or material injury.**



1: 2400

Lot Lines

Lot Line

**SPC-2009-0362C(R2)**

74 TRINITY STREET



10/4/2023

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey. This product has been produced by the City of Austin for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

WALLER CREEK TUNNEL PROJECT WALLER BEACH SITE PLAN IMPROVEMENTS



PARD BOAT FACILITY CIP ID #6521.002

SEE SHEET TWO FOR INDEX

A detailed map of the Waterloo Park area. The map shows a grid of streets including East 10th Street, East 9th Street, East 8th Street, East 5th Street, East 4th Street, East Cesar Chavez Street, Third Street, Neches Street, Red River Street, and Sabine Street. A thick black line represents Interstate Highway 35, running vertically on the right side of the map. Waterloo Park is labeled at the top. A box labeled 'SITE' is located near the intersection of East Cesar Chavez Street and Lady Bird Lake. A line connects the 'SITE' box to a black square marker on Lady Bird Lake. Congress Street is shown at the bottom left. A north arrow is located at the bottom right.

SUBMITTAL DATE : DECEMBER 14, 2009

FIRE FLOW DEMAND: 1,500 GPM*
PER IFC 2003

WATER PRESSURE ZONE: CN1

BUILDING SIZE: 10,803 SF

CONSTRUCTION TYPE: II B

*AUTOMATIC SPRINKLER
SYSTEM PROVIDED

APPROVED BY:

SUBMITTED BY:

Brian K. Rei 6/2/2010
BRIAN K. REI, P.E. #82746 DATE

BRIAN K. REIS, P.E. #82746
ESPEY CONSULTANTS, INC.
TBPE #F-293

I, BRIAN K. REIS, P.E., CERTIFY THAT THESE PLANS ARE COMPLETE, ACCURATE AND IN COMPLIANCE WITH CHAPTER 25--8 SUBCHAPTER OF THE LAND DEVELOPMENT CODE.

I, BRIAN K. REIS., P.E., DO HEREBY CERTIFY THAT THE ENGINEERING WORK BEING SUBMITTED HEREIN COMPLIES WITH ALL PROVISIONS OF THE TEXAS ENGINEERING PRACTICE ACT, INCLUDING SECTION 131.152(e). I HEREBY ACKNOWLEDGE THAT ANY MISREPRESENTATION REGARDING THIS CERTIFICATION CONSTITUTES A VIOLATION OF THE ACT, AND MAY RESULT IN CRIMINAL, CIVIL AND/OR ADMINISTRATIVE PENALTIES AGAINST ME, AS AUTHORIZED BY THE ACT.



Kellogg Brown & Root Services, Inc.
Espey Consultants, Inc.
 (KBRESPEY Joint Venture)
 4801 Southwest Parkway
 Parkway 2, Suite 150
 Austin, Texas 78735

[illegible]

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE ENGINEER.

WATERSHED PROTECTION DEPARTMENT

PUBLIC WORKS DEPARTMENT

LEE LEFFINGWELL

CHRIS RILEY, PLACE 1
MIKE MARTINEZ, PLACE 2
RANDI SHADE, PLACE 3

LAURA MORRISON, PLACE 4
BILL SPELMAN, PLACE 5
SHERYL COLE, PLACE 6

ZONING: DMU, P

SITE PLAN APPROVAL SHEET 1 OF 517
FILE NUMBER: SPC-2009-0362C(R2) APPLICATION DATE: 07/11/2022
APPROVED BY COMMISSION ON 4-27-2024 UNDER SECTION 112 C
CHAPTER 23-5, OF THE CITY OF ALSTON, CO. CLARISSA
EXPIRATION DATE(25-5-81, LOC # 6-11-2013) DATE MANAGER DAVIS
PROJECT EXPIRATION DATE (ORD. #97005-A) 12-14-2014 DMFZ JDZ X
Kimberly Courtney
Director, Watershed Protection and Development Review
RELEASED FOR GENERAL COMPLIANCE: 6-14-19 ZONING P
Rev. 1 Correction 1 CA 1.43.11
Rev. 2 Correction 2 J
Rev. 3 Correction 3
Final Plot must be recorded by the Project Expiration Date, if applicable.
Subsequent Site Plans which do not comply with the Code current at the
time of filing, and all required Building Permits and/or a notice of
construction (if a building permit is not required), must also be approved
prior to the Project Expiration Date.

THIS SEAL APPEARING
-ON
THIS DOCUMENT WAS
AUTHORIZED BY
BRIAN K. REIS
P.E. NO. 82746
ON 6/2/10 P



Espey Consultants, Inc.
4801 SOUTHWEST PARKWAY
PARKWAY 2, SUITE 150
AUSTIN, TEXAS 78735
(512) 326-5659
TBPE #F-293

Sheet
Reference
Number:
C-001
Sheet 1 of 91

SPC-2009-0362C R2

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90		ANCHOR PLAN/STRUCTURAL
		ANCHOR PLAN/STRUCTURAL LAYOUT

[illegible]

CITY OF AUSTIN
WATERSHED PROTECTION
DEPARTMENT

KBR/ESPEY JOINT VENTURE
 4801 SOUTHWEST PARKWAY
 PARKWAY 2, SUITE 150
 AUSTIN, TEXAS 78735

Designed by: J.D. VANEY
 Reviewed by: J. MOODY
 Drawn by: RTA/AVERA
 Checked by: K. MOODY

File name: WCOG--002--C-P-INDX.DWG
 Plot date: August 2011
 Drawing scale:

WALLER CREEK TUNNEL PROJECT
WALLER BEACH SITE PLAN IMPROVEMENTS
PARD BOAT FACILITY

Sheet
Reference
Number: **R1**
C-002
Sheet 2 of **91**

SITE PLAN APPROVAL SHEET 2 OF 86
FILE NUMBER: SPC-2009-03626 APPLICATION DATE: 12-14-2009
APPROVED BY COMMISSION ON 4-20-10 UNDER SECTION 191 OF
CHAPTER 205 OF THE CITY OF AUSTIN CODE
EXPIRATION DATE(25-5-81, LDC) 01-01-13 CASE MANAGER LYNDA COURTNEY
PROJECT EXPIRATION DATE (ORD. #70906-A) 12-14-2014 DMF7_D02_X
James C. Courtney
Director, Watershed Protection and Development Review
RELEASED FOR GENERAL COMPLIANCE. ZONING R-1
Rev. 1 OK 5-10-12 Correction 1 08-24-12
Rev. 2 0 Correction 2
Rev. 3 0 Correction 3
Final Plan must be recorded by the Project Expiration Date, if applicable.
Subsequent Site Plans which do not comply with the Code current at the
time of filing, and all required Building Permits and/or a notice of
construction (if a building permit is not required), must also be approved
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SPC-2009-0362C^{R2}

