

HISTORIC LANDMARK COMMISSION
PERMITS IN NATIONAL REGISTER HISTORIC DISTRICTS
NOVEMBER 1, 2023
HR-2023-126269; GF-2023-130950
OLD WEST AUSTIN
3209 OAKMONT BOULEVARD

PROPOSAL

Construct a new house, garage apartment, and pool.

PROJECT SPECIFICATIONS

The proposed new primary building is two stories, clad in stucco with brick accents. It is capped with a compound cross-gabled roof with a projecting bay window and shed-roofed dormer at the main elevation. It has an arched front entry and vertically oriented divided windows. The proposed ADU is constructed as a simpler version of the main house to the rear of the property.

DESIGN STANDARDS

The City of Austin's [Historic Design Standards](#) (March 2021) are based on the Secretary of the Interior's Standards for Rehabilitation and are used to evaluate projects in National Register districts. The following standards apply:

Residential new construction

1. Location

The main house is set back approximately 21 feet from the property line.

2. Orientation

The proposed buildings' orientations appear consistent with the district's contributing buildings.

3. Scale, massing, and height

The proposed main house is larger in scale than most contributing buildings in the surrounding area, though its stepped-down massing may mitigate its visual impact. The proposed ADU appears appropriate.

4. Proportions

The proposed main house's vertical fenestration and steep gable appear to exaggerate its height, though this effect is somewhat mitigated by the one-story porch and dormer above, as well as the one-story carport. The ADU's proportions are compatible and will not be seen from the street.

5. Design and style

The proposed design and style of the two buildings are consistent and appear to reflect some of the character-defining features of the district's contributing buildings.

6. Roofs

See 4.

7. Exterior walls

Proposed exterior wall materials are mostly compatible.

8. Windows and doors

See 4. The divided-light windows and arched door are mostly compatible, save for the vertical emphasis on the tallest portions of the house.

9. Porches

The proposed front porch is compatible.

10. Chimneys

The proposed chimney complies with the design standards.

11. Attached garages and carports

The attached carport is designed and sited appropriately.

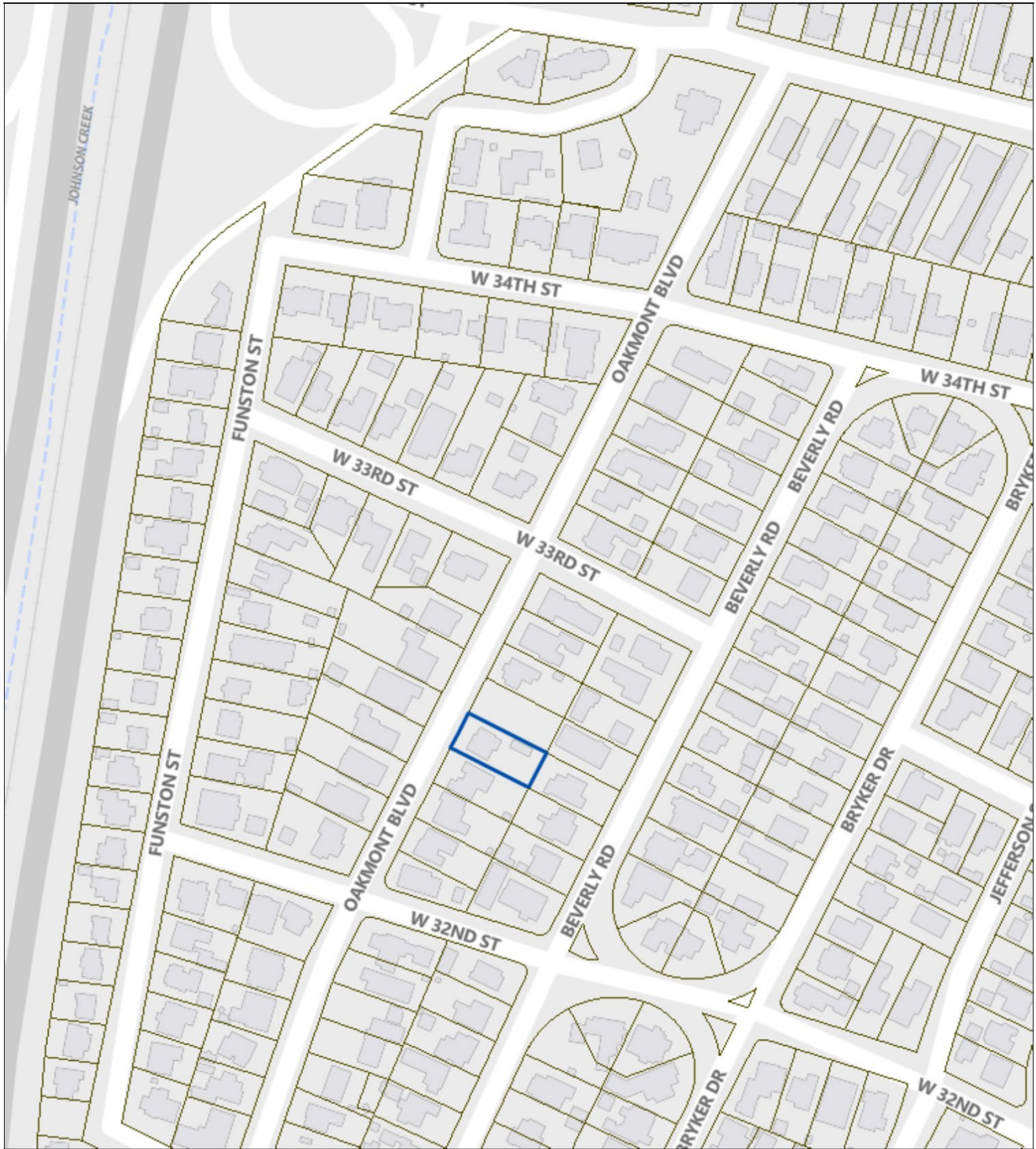
Summary

The project mostly meets the applicable standards.

STAFF RECOMMENDATION

Comment on plans.

LOCATION MAP



Lot Lines
Lot Line

GF 23-130950

3209 OAKMONT BLVD.



10/18/2023

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